

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
Tuesday, September 8, 2026
6:30 p.m.

AGENDA

Call to Order:

Invocation:

Pledge of Allegiance:

Roll Call:

Call to the Public (Public comment must be addressed to the Chairperson and will be limited to three minutes per person) *:

Approval of Consent Agenda:

- 1) Payment of Bills: September 8, 2026
- 2) Request to approve the August 17, 2026 regular meeting minutes.

Approval of Regular Agenda:

- 3) Consideration of a request for approval of the First Amendment to the Water Tower Lease Agreement with New Cingular Wireless PCS, LLC (formerly AT&T) for the Oak Pointe water tower located at 4500 Country Club Drive, Brighton, MI 48116.
- 4) Consideration of a recommendation for approval of an environmental impact assessment and site plan for a proposed 6,515 sq. ft. building with 8 vehicle bays for a minor auto repair establishment in the existing Livingston Commons Phase 2 Planned Unit Development. The property is located on the south side of Grand Oaks Drive and west of S. Latson Road. The request is petitioned by Zaremba Group, LLC.
 - A. Disposition of Environmental Impact Assessment dated June 19, 2026
 - B. Disposition of Site Plan dated July 14, 2026.
- 5) Consideration of a request for approval and adoption of **Ordinance Number 260908** for the proposed revised Genoa Charter Township Peddlers and Solicitors Ordinance. (Roll Call)
- 6) Consideration of a request for approval of **Resolution 260908** Recognizing September 11-17 Annually as Patriot Week in Genoa Charter Township. (Roll Call)

Items for Discussion:

- 7) Discussion of roundabout beautification as requested by the Township Supervisor.
- 8) Discussion of Board Member Code of Conduct and Decorum policy as requested by the Administrative Committee.
- 9) Update on the Eagle Scout project at the Chilson Hills Cemetery as presented by the Township Clerk.

Board Comments

Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items or at a second call to the public at the end of the meeting *may* be offered by the Chairman as they are presented.

BOARD PACKET

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING
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MEETING DATE: September 8, 2026

All information below through September 3, 2026

August 14, 2026 Bi Weekly Payroll - GENOA TOWNSHIP ONLY	\$	94,581.81
August 28, 2026 Bi Weekly Payroll - GENOA TOWNSHIP ONLY	\$	52,873.50
OPERATING EXPENSES ROADS (261C2)	\$	229,708.79
OPERATING EXPENSES SAD (264CK)	\$	10,010.53
OPERATING EXPENSES PARKS AND REC (270CK)	\$	5,529.15
OPERATING EXPENSES OAK POINTE (592FN)	\$	275,474.79
OPERATING EXPENSES LAKE EDGEWOOD (593FN)	\$	39,190.18
TOWNSHIP GENERAL EXPENSES	\$	69,033.46
TOTAL	\$	776,402.21

CASH REQUIREMENTS

CASH REQUIRED FOR NEGOTIABLE CHECKS &/OR ELECTRONIC FUNDS TRANSFERS (EFT) FOR CHECK DATE 08/14/26: \$91,798.65

TRANSACTION SUMMARY

SUMMARY BY TRANSACTION TYPE -	TOTAL ELECTRONIC FUNDS TRANSFER (EFT)	91,798.65
	CASH REQUIRED FOR NEGOTIABLE CHECKS &/OR EFT	91,798.65
	TOTAL REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES	4,394.70
	CASH REQUIRED FOR CHECK DATE 08/14/26	96,193.35

TRANSACTION DETAIL

ELECTRONIC FUNDS TRANSFER - Your financial institution will initiate transfer to Paychex **at or after 12:01 A.M.** on transaction date.

<u>TRANS. DATE</u>	<u>BANK NAME</u>	<u>ACCOUNT NUMBER</u>	<u>PRODUCT</u>	<u>DESCRIPTION</u>		BANK DRAFT AMOUNTS & OTHER TOTALS
08/13/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Direct Deposit	Net Pay Allocations	51,913.01	51,913.01
08/13/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Readychex®	Check Amounts	16,229.89	16,229.89
08/13/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Taxpay®	Employee Withholdings		
				Social Security	5,427.97	
				Medicare	1,269.41	
				Fed Income Tax	6,847.18	
				MI Income Tax	3,413.75	
				Total Withholdings	16,958.31	
				Employer Liabilities		
				Social Security	5,428.00	
				Medicare	1,269.44	
				Total Liabilities	6,697.44	23,655.75
				EFT FOR 08/13/26		91,798.65
				TOTAL EFT		91,798.65

REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES - Unless stated otherwise, Paychex does not remit these funds. You must ensure accurate and timely payment of applicable items.

<u>TRANS. DATE</u>	<u>BANK NAME</u>	<u>ACCOUNT NUMBER</u>	<u>PRODUCT</u>	<u>DESCRIPTION</u>		<u>TOTAL</u>
08/14/26	Refer to your records for account information		Payroll	Employee Deductions		
				457 EE Pretax	1,511.00	
				457 EE Roth	170.00	
				EE Medical Contribut	1,350.00	
				FSA Medical Pretax	598.03	
				Prin Retire Loan 1	672.59	
				Vol Life Ch Post Tax	1.82	

CASH REQUIREMENTS**CASH REQUIRED FOR NEGOTIABLE CHECKS &/OR ELECTRONIC FUNDS TRANSFERS (EFT) FOR CHECK DATE 08/14/26: \$2,783.16****TRANSACTION SUMMARY**

SUMMARY BY TRANSACTION TYPE -	TOTAL ELECTRONIC FUNDS TRANSFER (EFT)	2,783.16
	CASH REQUIRED FOR NEGOTIABLE CHECKS &/OR EFT	2,783.16
	TOTAL REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES	169.23
	CASH REQUIRED FOR CHECK DATE 08/14/26	2,952.39

TRANSACTION DETAIL**ELECTRONIC FUNDS TRANSFER** - Your financial institution will initiate transfer to Paychex at or after 12:01 A.M. on transaction date.

<u>TRANS. DATE</u>	<u>BANK NAME</u>	<u>ACCOUNT NUMBER</u>	<u>PRODUCT</u>	<u>DESCRIPTION</u>		BANK DRAFT AMOUNTS & OTHER TOTALS
08/14/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Direct Deposit	Net Pay Allocations	2,104.56	2,104.56
08/14/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Taxpay®	Employee Withholdings		
				Social Security	160.29	
				Medicare	37.49	
				Fed Income Tax	202.09	
				MI Income Tax	80.95	
				Total Withholdings	480.82	
				Employer Liabilities		
				Social Security	160.29	
				Medicare	37.49	
				Total Liabilities	197.78	678.60
				EFT FOR 08/14/26		2,783.16
				TOTAL EFT		2,783.16

REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES - Unless stated otherwise, Paychex does not remit these funds. You must ensure accurate and timely payment of applicable items.

<u>TRANS. DATE</u>	<u>BANK NAME</u>	<u>ACCOUNT NUMBER</u>	<u>PRODUCT</u>	<u>DESCRIPTION</u>		<u>TOTAL</u>
08/14/26	Refer to your records for account Information		Payroll	Employee Deductions		
				EE Medical Contribut	150.00	
				FSA Medical Pretax	19.23	
				Total Deductions	169.23	
				TOTAL REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES		169.23

CASH REQUIREMENTS

CASH REQUIRED FOR NEGOTIABLE CHECKS &/OR ELECTRONIC FUNDS TRANSFERS (EFT) FOR CHECK DATE 08/28/26: \$52,873.50

TRANSACTION SUMMARY

SUMMARY BY TRANSACTION TYPE -	TOTAL ELECTRONIC FUNDS TRANSFER (EFT)	52,873.50
	CASH REQUIRED FOR NEGOTIABLE CHECKS &/OR EFT	52,873.50
	TOTAL REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES	4,563.93
	CASH REQUIRED FOR CHECK DATE 08/28/26	57,437.43

TRANSACTION DETAIL

ELECTRONIC FUNDS TRANSFER - Your financial institution will initiate transfer to Paychex at or after 12:01 A.M. on transaction date.

<u>TRANS. DATE</u>	<u>BANK NAME</u>	<u>ACCOUNT NUMBER</u>	<u>PRODUCT</u>	<u>DESCRIPTION</u>		BANK DRAFT AMOUNTS & OTHER TOTALS
08/27/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Direct Deposit	Net Pay Allocations	37,977.48	37,977.48
08/27/26	BANK OF ANN ARBOR	xxxxxxxxxxxx130	Taxpay@	Employee Withholdings		
				Social Security	3,186.09	
				Medicare	745.16	
				Fed Income Tax	5,036.79	
				MI Income Tax	1,996.68	
				Total Withholdings	10,964.72	
				Employer Liabilities		
				Social Security	3,186.16	
				Medicare	745.14	
				Total Liabilities	3,931.30	14,896.02
				EFT FOR 08/27/26		52,873.50
				TOTAL EFT		52,873.50

REMAINING DEDUCTIONS / WITHHOLDINGS / LIABILITIES - Unless stated otherwise, Paychex does not remit these funds. You must ensure accurate and timely payment of applicable items.

<u>TRANS. DATE</u>	<u>BANK NAME</u>	<u>ACCOUNT NUMBER</u>	<u>PRODUCT</u>	<u>DESCRIPTION</u>		<u>TOTAL</u>
08/28/26	Refer to your records for account information		Payroll	Employee Deductions		
				457 EE Pretax	1,511.00	
				457 EE Roth	170.00	
				EE Medical Contribut	1,500.00	
				FSA Medical Pretax	617.26	
				Prin Retire Loan 1	672.59	
				Vol Life Ch Post Tax	1.82	

CHECK REGISTER FOR GENOA TOWNSHIP

CHECK DATE 08/19/2026 - 09/02/2026

BANK CODE: FNBACK, 264CK, 270CK, 592FN, 593FN (1 more)

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank 261C2 ROAD IMPROVEMENT# 401					
09/01/2026	261C2	1093	CHLORIDE SOLUTIONS, LLC	DUST CONTROL 8/18/2026	4,591.22
				DUST CONTROL 8/28/2026	3,861.62
					<u>8,452.84</u>
09/01/2026	261C2	1094	LIVINGSTON COUNTY ROAD COMMIS	BECK ROAD	151,557.28
				HUBERT ROAD	69,698.67
					<u>221,255.95</u>
261C2 TOTALS:					
Total of 2 Checks:					229,708.79
Less 0 Void Checks:					0.00
Total of 2 Disbursements:					<u>229,708.79</u>
Bank 264CK ROAD PROJECTS & LAKE MAN REIM FUND #202					
08/19/2026	264CK	4634	LCRA/PLM LAKES & LAND MANAGEM	ALGAE AND WEED TREATMENT	7,992.43
09/01/2026	264CK	4635	JOHN & EILEEN STONE	REFUND -REDUCTION TO ROAD ASSESSMENT	1,489.94
09/02/2026	264CK	4636	GANNETT MICHIGAN LOCALIQ	PUBLICATIONS	528.16
264CK TOTALS:					
Total of 3 Checks:					10,010.53
Less 0 Void Checks:					0.00
Total of 3 Disbursements:					<u>10,010.53</u>
Bank 270CK FUTURE DEVELOPMENT-PARKS&REC #208					
08/20/2026	270CK	5858	MHOG UTILITIES	SEWER & GRINDER FEE PAVILION	272.15
08/21/2026	270CK	5859	BRIGHTON SENIOR CENTER	REPLENISH FUNDS	1,000.00
09/01/2026	270CK	5860	NORTHERN PLUMBING, INC.	REPLACE BATHROOM FAUCET	780.00
09/02/2026	270CK	5861	COOPER'S TURF MANAGEMENT LLC	LAWN MAINTENANCE & VEGETATION CONTROL	3,477.00
270CK TOTALS:					
Total of 4 Checks:					5,529.15
Less 0 Void Checks:					0.00
Total of 4 Disbursements:					<u>5,529.15</u>
Bank 592FN OAK POINTE OPERATING FUND #592					
08/26/2026	592FN	6687	LIVINGSTON COUNTY REGISTER OF SPECIAL LANGUAGE TO RECORD EASEMENT (GR		30.00
09/02/2026	592FN	6688	AMERICAN AQUA	SYSTEM MAINTENANCE & RO FILERS (4) FOR	539.12
				R-O FILTERS AT 4688 BRIGHTON ROAD	185.92
					<u>725.04</u>
09/02/2026	592FN	6689	BRIGHTON ANALYTICAL LLC	DRINKING WATER CALCIUM BY EPA, WATER AN	220.00
				DRINKING WATER CALCIUM BY EPA, WATER AN	220.00
				DRINKING WATER CALCIUM BY EPA, WATER AN	220.00
				SODIUM & CHLORIDE TESTING-GENOA OAK POI	256.00
					<u>916.00</u>

CHECK REGISTER FOR GENOA TOWNSHIP

CHECK DATE 08/19/2026 - 09/02/2026

BANK CODE: FNBCK, 264CK, 270CK, 592FN, 593FN (1 more)

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank 592FN OAK POINTE OPERATING FUND #592					
09/02/2026	592FN	6690	COOPER'S TURF MANAGEMENT LLC	LAWN MAINTENANCE & VEGETATION CONTROL	775.00
09/02/2026	592FN	6691	DUBOIS-COOPER	SIMPLEX CONTROL PANEL DOORS-SPLIT WITH GRINDER PUMPS, STATIONS AND PARTS	89.00 26,217.00
					26,306.00
09/02/2026	592FN	6692	EJ USA, INC.	GRINDER CAN LID FOR 4085 HIGHCREST	992.65
09/02/2026	592FN	6693	GENOA TWP OAK POINTE SEWER BO	MAY, JUNE & JULY SEWER DEBT FEES	92,458.89
09/02/2026	592FN	6694	HYDROCORP LLC	MONTHLY CONTRACT-NON RESIDENTIAL CROSS C	262.42
				MONTHLY CONTRACT-NON RESIDENTIAL CROSS	262.42
				MONTHLY CONTRACT-RESIDENTIAL CROSS CONN	740.23
				MONTHLY CONTRACT-RESIDENTIAL CROSS CONN	740.23
					2,005.30
09/02/2026	592FN	6695	LOREA TOPSOIL & AGGREGATE	TOPSOIL AND STRAW MULCH	116.50
09/02/2026	592FN	6696	MERIT LABORATORIES	PFAS SAMPLING	2,896.00
				PFAS SAMPLING	3,113.00
				PFAS SAMPLING	4,286.00
				PFAS SAMPLING	6,250.00
				PFAS SAMPLING	1,040.00
				PFAS SAMPLING	799.00
					18,384.00
09/02/2026	592FN	6697	MHOG DPW FUND	AUGUST 2026 MAINTENANCE/BILLING	25,193.83
				SEPTEMBER 2026 MAINTENANCE/BILLING	25,193.83
				AUGUST 2026 MAINTENANCE/BILLING FEES	31,270.33
				SEPTEMBER 2026 MAINTENANCE/BILLING FEES	31,270.33
				REIMBURSEMENT OF VACTOR TRUCK COSTS	16,009.00
					128,937.32
09/02/2026	592FN	6698	WATER SOLUTIONS UNLIMITED, IN	HYPOCHLORITE CHEMICAL	3,053.09
09/02/2026	592FN	6699	COOPER'S TURF MANAGEMENT LLC	LAWN MAINTENANCE & VEGETATION CONTROL	775.00
592FN TOTALS:					
Total of 13 Checks:					275,474.79
Less 0 Void Checks:					0.00
Total of 13 Disbursements:					275,474.79
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590					
09/02/2026	593FN	4778	COOPER'S TURF MANAGEMENT LLC	LAWN MAINTENANCE & VEGETATION CONTROL	445.00
09/02/2026	593FN	4779	DUBOIS-COOPER	SIMPLEX CONTROL PANEL DOORS-SPLIT WITH	68.00
09/02/2026	593FN	4780	GENOA OCEOLA SWR & WTR AUTHOR	STATION CLEANING DEBRIS-SANITARY DISPOS	351.72
09/02/2026	593FN	4781	HAVILAND PRODUCTS COMPANY	CALCIUM NITRATE	4,095.80
				DEPOSIT CONTAINER RETURN	(2,400.00)
					1,695.80

CHECK REGISTER FOR GENOA TOWNSHIP

CHECK DATE 08/19/2026 - 09/02/2026

BANK CODE: FNBCK, 264CK, 270CK, 592FN, 593FN (1 more)

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank 593FN LAKE EDGEWOOD OPERATING FUND #590					
09/02/2026	593FN	4782	MHOG DPW FUND	AUGUST 2026 MAINTENANCE/BILLING FEES	10,958.33
				SEPTEMBER 2026 MAINTENANCE/BILLING FEES	10,958.33
				REIMBURSEMENT FOR VACTOR TRUCK COSTS	14,268.00
					<u>36,184.66</u>
09/02/2026	593FN	4783	COOPER'S TURF MANAGEMENT LLC	LAWN MAINTENANCE & VEGETATION CONTROL	445.00
593FN TOTALS:					
Total of 6 Checks:					39,190.18
Less 0 Void Checks:					0.00
Total of 6 Disbursements:					<u>39,190.18</u>
Bank FNBCK GENERAL FUND CHECKING ACCT FUND 101					
08/19/2026	FNBCK	218(E)	MERS-MICH. EMPLOYEES RETIRE	MERS CONTRIBUTION	693.00
08/20/2026	FNBCK	40461	DELTA DENTAL	SEPTEMBER DENTAL INSURANCE	1,539.88
08/20/2026	FNBCK	40462	KP ELITE CLEANING LLC	TOWNSHIP HALL CLEANING	2,220.50
08/20/2026	FNBCK	40463	MHOG UTILITIES	SEWER & GRINDER FEES	531.30
08/20/2026	FNBCK	40464	MUTUAL OF OMAHA	SEPTEMBER LIFE INSURANCE	1,189.73
08/20/2026	FNBCK	40465	VERIZON WIRELESS	TABLETS	120.03
08/24/2026	FNBCK	219(E)	VISA	VISA CHARGES	3,068.18
08/25/2026	FNBCK	40467	COMCAST	BUNDLED SERVICES	409.24
09/01/2026	FNBCK	40468	AMERICAN AQUA	WATER DELIVERY	75.00
09/01/2026	FNBCK	40469	BRIGHTON ANALYTICAL LLC	TEST DRINKING WATER	62.00
09/01/2026	FNBCK	40470	BUSINESS IMAGING GROUP	CLERK'S OFFICE ENVELOPES	246.75
09/01/2026	FNBCK	40471	JESSICA BUTTERMORE	ANNUAL ASSESSING CONFERENCE MILEAGE & M	248.95
09/01/2026	FNBCK	40472	CONTINENTAL LINEN SERVICE	RUGS	175.54
09/01/2026	FNBCK	40474	DTE ENERGY	4740 BAUER RD ACCT# 9100 164 6399 4	38.64
09/01/2026	FNBCK	40475	ESRI	ANNUAL GIS SYSTEM	2,768.75
09/01/2026	FNBCK	40476	ETNA SUPPLY COMPANY	FORD SWIVEL UNION NUT FOR 1" METERS	133.59
				RED-BLK-GREEN WIRE	300.00
				SENSUS OMNI C2 REGISTERS	3,300.00
				1" IPERL METERS FOR STOCK	9,975.00
				IPERL STAND ALONES	700.00
				3/4" RUBBER GASKETS FOR METERS	67.00
				1" METER HORNS FOR STOCK	3,600.00
				1" METER HORNS FOR STOCK (REST OF B/O I	3,600.00
					<u>21,675.59</u>
09/01/2026	FNBCK	40477	FEDERAL EXPRESS CORP	FEX EX PACKAGE	43.43
09/01/2026	FNBCK	40478	FOSTER SWIFT COLLINS & SMITH	PROFESSIONAL SERVICES	1,802.36
				PROFESSIONAL SERVICES	3,623.49
				CREDIT DUE TO OVERPAYMENT	(4,724.21)
					<u>701.64</u>
09/01/2026	FNBCK	40479	GENOA TWP OAK POINTE OPERATIN	3650 WOODRIDGE OP GRINDER ESCROW	6,250.00
09/01/2026	FNBCK	40480	GORDON FOOD SERVICE	OFFICE SUPPLIES	182.87
09/01/2026	FNBCK	40481	KP ELITE CLEANING LLC	TOWNSHIP HALL CLEANING	2,220.50
09/01/2026	FNBCK	40482	LIVINGSTON COUNTY CLERK, ELEC	AUGUST 4, 2026 PRIMARY ELECTION	2,848.81

CHECK REGISTER FOR GENOA TOWNSHIP

CHECK DATE 08/19/2026 - 09/02/2026

BANK CODE: FNBCK, 264CK, 270CK, 592FN, 593FN (1 more)

Check Date	Bank	Check	Vendor Name	Description	Amount
Bank FNBCK GENERAL FUND CHECKING ACCT FUND 101					
09/01/2026	FNBCK	40483	MANER COSTERISAN	FINANICAL STATEMENT AUDIT SERVICES	11,000.00
09/01/2026	FNBCK	40484	MEI TOTAL ELEVATOR SOLUTIONS	STATE MANDATED ELEVATOR TESTING	1,610.00
09/01/2026	FNBCK	40485	PAMELA PRZYBYLA	DROPBOX & MEMBER ED DAY MAMC	218.69
09/01/2026	FNBCK	40486	PITNEY BOWES, INC	PITNEY BOWES TAPE STRIPS	81.33
09/01/2026	FNBCK	40487	RICHARD SOUCY	MICHIGAN ASSOCIATION OF MUNICIPAL CEMEM	114.00
09/01/2026	FNBCK	40488	ROCKET ENTERPRISE INC	FLAG SERVICES	2,395.00
09/01/2026	FNBCK	40489	STAPLES	ELECTION SUPPLIES	73.08
				SUPPLIES	319.73
					<u>392.81</u>
09/01/2026	FNBCK	40490	SUSAN DOMEN	MILEAGE FOR CEMETERY TRAINING	95.00
09/01/2026	FNBCK	40491	XEROX BUSINESS SOLUTIONS	KIP/KIP860 MONTHLY CHARGES	347.95
09/01/2026	FNBCK	40492	FOSTER SWIFT COLLINS & SMITH	LEGAL SERVICES	74.73
				LEGAL SERVICES	240.59
					<u>315.32</u>
09/02/2026	FNBCK	40493	CHECKER'S CLEANING SUPPLY, LL	OFFICE SUPPLIES	365.95
09/02/2026	FNBCK	40494	COOPER'S TURF MANAGEMENT LLC	LAWN MAINTENANCE & VEGETATION CONTROL	1,640.00
09/02/2026	FNBCK	40495	GANNETT MICHIGAN LOCALIQ	PUBLICATIONS	850.83
09/02/2026	FNBCK	40496	NETWORK SERVICES GROUP, L.L.C	MONTHLY SERVER & WORKSTATION MAINTENANC	2,241.25
				REGULAR MAINTENANCE	55.00
					<u>2,296.25</u>
FNBCK TOTALS:					
Total of 36 Checks:					69,033.46
Less 0 Void Checks:					0.00
Total of 36 Disbursements:					<u>69,033.46</u>
REPORT TOTALS:					
Total of 64 Checks:					628,946.90
Less 0 Void Checks:					0.00
Total of 64 Disbursements:					<u>628,946.90</u>



Bonus Points
Available
29,047

Account Summary

Billing Cycle	08/02/2026
Days In Billing Cycle	32
Previous Balance	\$2,200.68
Purchases	+ \$3,118.44
Cash	+ \$0.00
Balance Transfers	+ \$0.00
Special	+ \$0.00
Credits	- \$50.26
Payments	- \$2,200.68
Other Charges	+ \$0.00
Finance Charges	+ \$0.00

NEW BALANCE **\$3,068.18**

Credit Summary

Total Credit Line	\$10,000.00
Available Credit Line	\$6,931.82
Available Cash	\$1,000.00
Amount Over Credit Line	\$0.00
Amount Past Due	\$0.00
Disputed Amount	\$0.00

Important Information About Your Account

THANK YOU FOR CHOOSING OUR CREDIT CARD. WE'D LIKE TO NOTIFY YOU THAT A PORTION OF YOUR REWARD POINTS WILL EXPIRE ON OR AFTER DECEMBER 1, 2026, IF APPLICABLE. PLEASE REFER TO YOUR MONTHLY STATEMENT FOR DETAILS ABOUT YOUR POINTS BALANCE AND EXPIRATION.

Account Inquiries



Call us at: (800) 883-0131
Lost or Stolen Card: (800) 883-0131



Go to MyCardStatement.com



Write us at PO BOX 105666, ATLANTA, GA
30348-5666

Payment Summary

NEW BALANCE **\$3,068.18**

MINIMUM PAYMENT **\$3,068.18**

PAYMENT DUE DATE **08/26/2026**

NOTE: Grace period to avoid a finance charge on purchases, pay entire new balance by payment due date. Finance charge accrues on cash advances until paid and will be billed on your next statement.

Cardholder Account Summary

Trans Date	Post Date	Plan Name	Reference Number	Description	Amount
07/05	07/06	PBUS01	24692166186403064027778	AMAZON MKTPL*5J5UV9V03 Amzn.com/bill WA	\$26.99
07/08	07/08	PBUS01	24011346189100036360639	MICROSOFT#G169172125 MICROSOFT.COM WA	\$660.15
07/08	07/09	PBUS01	24435656189195748038895	MSU PAYMENT ONLINE 517-355-5023 MI	\$575.00
07/13	07/14	PBUS01	24692166194400461870339	AMAZON MKTPL*648MC3563 Amzn.com/bill WA	\$34.95
07/16	07/16	PBUS01	24430996197823740053399	DMI* DELL K-12/GOVT 800-981-3355 TX	\$1,434.53
07/15	07/16	PBUS01	24692166196402247195591	AMAZON MKTPL*985FS4T63 Amzn.com/bill WA	\$50.26
07/15	07/16	PBUS01	24755426197641971517618	SEC OF STATE ESERVICES 517-3350436 MI	\$10.17

office supplies 101-261-750-000
monthly office 365 101-261-751-000
ZONING TRAINING 101-701-910-000
Election Supplies 101-262-751-001
Replace failed PC 101-900-975-000
OFFICE SUPPLIES 101-261-750-000
notary renewal 101-261-791-000



Cardholder Account Summary Continued					
Trans Date	Post Date	Plan Name	Reference Number	Description	Amount
07/15	07/16		74692166196402344801922	CREDIT VOUCHER AMAZON MKTPLCE PMTS Amzn.com/bill WA	\$50.26-
07/20	07/20	PBUS01	24692166201406591205768	AMAZON MKTPL*T83F44KY3 Amzn.com/bill WA	\$17.97
07/20	07/20	PBUS01	24692166201406598032066	AMAZON MKTPL*TN3BI81Z3 Amzn.com/bill WA	\$89.08
07/25	07/26	PBUS01	24011346206100040962502	MICROSOFT#G173376530 MICROSOFT.COM WA	\$1.83
07/25	07/26	PBUS01	24011346206100149198784	AMAZON RETA*ZF88R0YA3 WWW.AMAZON.CO WA	\$15.89
07/25	07/26	PBUS01	24692166206402077412775	AMAZON MKTPL*PM6T76UH3 Amzn.com/bill WA	\$32.24
07/25	07/26	PBUS01	24692166206402088263084	AMAZON MKTPL*LR18P8CF3 Amzn.com/bill WA	\$124.98
07/28	07/28	PBUS01	24011346209100036532423	MICROSOFT#G173737529 MICROSOFT.COM WA	\$44.40
07/27	07/29		74009776210001204900356	PAYMENT - THANK YOU	\$2,200.68-

Refund to 101-261-750-000
OFFICE SUPPLIES 101-261-750-000
OFFICE SUPPLIES 101-261-750-000
SOFTWARE 101-261-751-000
OFFICE SUPPLIES 101-261-750-000
ELECTION SUPPLIES 101-261-751-001
EQUIPMENT - 101-261-751-001
EMAIL LICENCE 101-261-751-000

cRewards Bonus Points Information as of 07/31/2026					
cRewards	Beginning Balance	Points Earned	Points Adjusted	Points Redeemed	Ending Balance
	25,979	3,068	0	0	29,047

Finance Charge Summary / Plan Level Information									
Plan Name	Plan Description	FCM ¹	Average Daily Balance	Periodic Rate *	Corresponding APR	Finance Charges	Effective APR Fees **	Effective APR	Ending Balance
Purchases									
PBUS01001	PURCHASE	G	\$0.00	2.12416%(M)	25.4900%(V)	\$0.00	\$0.00	0.0000%	\$3,068.18
Cash									
CBUS01001	CASH	A	\$0.00	2.37416%(M)	28.4900%(V)	\$0.00	\$0.00	0.0000%	\$0.00
* Periodic Rate (M)=Monthly (D)=Daily							Days In Billing Cycle: 32		
** includes cash advance and foreign currency fees							APR = Annual Percentage Rate		
1 FCM = Finance Charge Method									
(V) = Variable Rate If you have a variable rate account the periodic rate and Annual Percentage Rate (APR) may vary.									

**GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
August 17, 2026**

MINUTES

Call to Order

Supervisor Spicher called the regular meeting of the Genoa Charter Township Board to order at 6:30 pm at the Township Hall.

Invocation

Supervisor Spicher led the invocation for the Board and the members of the public.

Pledge of Allegiance

The Pledge of Allegiance was recited.

Roll Call

The following members were present constituting a quorum for the transaction of business: Kevin Spicher, Candie Hovarter, Robin Hunt, Bill Reiber, Rick Soucy, Jodi Valenti, and Todd Walker.

Also present was Township Manager Kelly VanMarter, Township Attorneys Joe Seward and Kali Henderson, and six people in the audience.

Call to the Public

The call to the public was opened at 6:32 pm.

Mr. Rodney Conway of Prentice Estates Complex provided a report to the Township Manager. Tap In's is in violation of the township's noise ordinance. He recorded the sound from last Friday night. He asked the board to do something about this. It is a public health issue.

Ms. Deb Beattie of 3109 Pineview Trail questioned the removal of trees that were discussed for the MHOG project. It was stated they will keep "as many as they can". That needs to be more specific. She questioned if the new solicitor's ordinance "has teeth".

The call to the public was closed at 6:36 pm.

Approval of Consent Agenda:

Mr. Soucy **moved**, and Mr. Walker supported approving the Consent Agenda as presented. Mr. Reiber stated he has questions about the payment of bills and the minutes and requested they both be moved to the regular agenda. **The motion failed unanimously.**

Approval of Regular Agenda:

Moved by Hunt, supported by Valenti, to approve the Regular Agenda with Items #1 - #16. **The motion carried unanimously.**

1. Payment of Bills: August 17, 2026

Mr. Reiber questioned the mileage reimbursement for the clerk department employees. Mr. Soucy stated that the employee mileage is not just for election day. His mileage reimbursement was all for election day. Ms. VanMarter and the board reviewed and discussed the policy provisions for mileage reimbursement.

Moved by Hunt, supported by Walker, to approve the Payment of Bills dated August 17, 2026 as presented. **The motion carried, with Mr. Reiber voting “nay”.**

2. Request to approve the August 3, 2026 regular meeting minutes.

Mr. Reiber questioned the statement he made under “Board Comments”. The board discussed the item.

Moved by Hunt, supported by Valenti, to approve the August 3, 2026 regular meeting minutes as presented. **The motion carried unanimously.**

Supervisor Spicher advised that the board did not ignore Mr. Ford’s statement from the last meeting. They listened to his concerns; however, EGLE has strict requirements as to what can be done and what can’t.

3. Public Hearing on the proposed Grand Beach Lake Aquatic Weed Control Special Assessment Roll.

A. Call to the Property Owners

B. Call to the Public

The call to the property owners was opened at 6:52 pm with no response.

The call to the public was opened at 6:52 pm with no response.

Mr. Joseph Fader of 8612 Rink Drive expressed his pleasure with the township board. He loves the invocation at the beginning of the meeting. He thanked the board for allowing the SAD process as it has done so much for their lake.

The call to the public was closed at 6:56 pm.

4. Request for approval of Resolution #5 – Confirming the Special Assessment Roll for the Grand Beach Lake Aquatic Weed Control Special Assessment Project (winter tax 2026). (Roll Call)

Moved by Soucy, supported by Walker, to approve Resolution #5 – Confirming the Special Assessment Roll for the Grand Beach Lake Aquatic Weed Control Special Assessment Project (winter tax 2026). **The motion carried unanimously with a roll call vote (Reiber - yes; Hunt - yes; Valenti - yes; Walker - yes; Soucy - yes; Spicher - yes)**

5. Consideration of a recommendation for approval of an environmental impact assessment for a proposed 5,940 sq. ft. administrative office building for the MHOG Water Authority. The property is located at 900 Chilson Road, west side of Chilson Road, south of Grand River Avenue. The request is petitioned by MHOG.

Dr. Greg Tatara of MHOG and Mr. Jason Lipa of Schafer Construction were present. Mr. Lipa advised they received a unanimous recommendation from the Planning Commission. There is a 40 foot front yard setback and the majority of that vegetation will remain. They will need to remove some of the trees to allow for the driveway. They showed the site plan indicating where trees will be removed.

Mr. Reiber asked if a tree survey was done. Ms. VanMarter stated there are certain types of development that require a tree inventory. It was not required for this project.

Ms. Hunt stated the project is necessary and fits well into the neighborhood. Supervisor Spicher agreed.

Mr. Reiber asked if the applicant will be doing a tree inventory. Mr. Lipa stated they will not be doing one. There are no large trees that will be removed. It will be mostly brush.

Moved by Soucy, supported by Hunt, to approve the environmental impact assessment dated July 21, 2026 for a proposed 5,940 sq. ft. administrative office building for the MHOG Water Authority located at 900 Chilson Road. **The motion carried unanimously.**

6. Consideration of a recommendation for approval of an environmental impact assessment, PUD amendment and site plan for a proposed parking lot expansion for the existing Trinity Health Hospital. The property is located at 7575 Grand River Avenue, north side of Grand River Avenue, west of Hacker Road. The request is petitioned by Trinity Health.

A. Disposition of Environmental Impact Assessment

B. Disposition of Site Plan

C. Disposition of PUD Amendment

Mr. Reiber provided a review of the project, noting that the new parking spaces were part of banked parking when the hospital was first built, with an additional 40 spots.

Ms. Hovarter asked when the township will allow no more surface parking and they will have to go up. Ms. VanMarter stated there is an ordinance with regard to total impervious surface allowed and that would be reviewed at that time.

Moved by Hunt, supported by Soucy, to approve the amendment to the Trinity Health Planned Unit Development agreement with the following condition:

1. The petitioner will meet all requirements of township staff and the township attorney prior to issuance of a Land Use Permit.

The motion carried unanimously.

Moved by Soucy, supported by Reiber, to approve the Environmental Impact Assessment dated July 2, 2026 for a proposed parking lot expansion for Trinity Health located at 7575 Grand River Avenue. **The motion carried unanimously.**

Moved by Hunt, supported by Soucy, to approve the Site Plan dated July 14, 2026 for a proposed parking lot expansion for Trinity Health located at 7575 Grand River Avenue with the following conditions:

1. Any trees marked as transplanted need to survive their first year or be replanted with the same species of trees.
2. There is consistency in the site lighting throughout the entirety of the site.
3. Any areas on the plans identified as future development areas be removed so it clarifies the intent of this submittal prior to Land Use Permit issuance.
4. The petitioner will meet all requirements of the Fire Marshal's letter dated August 3, 2026 prior to issuance of a Land Use Permit issuance.
5. The petitioner will meet all requirements of the township engineer's letter from August 4, 2026 prior to issuance of a Land Use Permit issuance.
6. PUD agreement shall be executed prior to Land Use Permit issuance.

The motion carried unanimously.

7. **Consideration of a request to approve the Certificate of Recognition and Appreciation to be presented to Samuel C. Seizert in celebration of his 100th Birthday.**

Ms. VanMarter stated that less than ½ of 1% of WWII veterans are alive today. She showed photographs of Sam during his time in the service and a recent photo.

Moved by Soucy, supported by Hovarter, to approve the Certificate of Recognition and Appreciation to be presented to Samuel C. Seizert in celebration of his 100th Birthday. **The motion carried unanimously.**

8. **Request for approval of Resolution 260817A Declining Ownership and Operational Responsibility for the Community Water Supply System of Lake Chemung Outdoor Resort, Inc. (Roll Call)**

Ms. VanMarter provided a review of the reasons for this resolution. Supervisor Spicher stated that Dr. Tatara advised him there is no liability to the township to decline ownership of this system.

Moved by Soucy, supported by Valenti, to approve Resolution 260817A Declining Ownership and Operational Responsibility for the Community Water Supply System of Lake Chemung Outdoor Resort, Inc. **The motion carried unanimously with a roll call vote (Hunt - yes; Valenti - yes; Hovarter - yes; Walker - yes; Reiber - Soucy - yes; Spicher - yes).**

9. Request for the introduction of proposed Ordinance Number 260908 and to set the meeting date for considering the proposed ordinance for adoption before the Township Board on Tuesday, September 8, 2026 for the purpose of considering a Genoa Charter Township Peddlers and Solicitors Ordinance.

Ms. Hovarter is not in agreement with the time limit being 10 pm. Ms. Henderson stated this time is aligned with the township's noise ordinance.

Mr. Reiber had questions regarding the No Knock List. Is a minor is considered "a lawful occupant", how would the no knock registry affect rental properties, and will the resident who requests to be put on the list receive notification that their request was received? Ms. Henderson stated a minor would be a lawful occupant, she is unsure of how rental properties are affected and stated an email will be sent to the person who registers and they will also receive the window sticker.

Ms. Henderson addressed the request from the public comment regarding the ordinance not having "any teeth". Ms. Henderson stated that if the applicant is found to be misrepresenting themselves, then the permit will be revoked by a notice being sent to the applicant. Ms. Valenti asked what occurs when someone ignores their permit being revoked. Ms. Henderson stated that would be an enforcement issue. A notice could also be put on the website and on the MyGenoa app advising the public of companies whose permits have been revoked.

Mr. Reiber confirmed that the solicitor must obtain an updated No Knock list each day they are out. He suggested providing the ordinance, or information on where they can find it, to anyone who is applying for a solicitation permit.

Moved by Hunt, supported by Walker, to introduce proposed Ordinance Number 260908 and to set the meeting date for considering the proposed ordinance for adoption before the Township Board on Tuesday, September 8, 2026. **The motion carried unanimously.**

10. Consideration of a request for approval of additional services with Memtech Acoustics for ambient sound level data collection related to zoning and noise ordinance development at an additional cost not to exceed \$10,000 to be paid from Planning and Zoning Contractual Services budget line item 101-701-802-000.

Supervisor Spicher stated the township may be able to pass the cost of an ambient sound test onto an applicant; however, the township would need to determine a baseline. The data would be collected from one industrial site, one commercial site, and a residential site to determine a baseline. It is \$1,600 to add additional locations. Mr. Reiber stated this is a small sample of the township and he would like more locations to be statistically more accurate. Ms. VanMarter stated additional locations can be done if the board chooses to approve additional funds. Then staff and the contractor could determine other locations..

Ms. VanMarter stated developers would need to complete a noise study so the township having this baseline data would determine how their development would affect the surrounding area.

The board discussed the best way to determine what the baselines would be, how many locations should be used for the baseline, how it would be stated in the ordinance, and how it would be used when a developer performs a sound study for their particular project.

Moved by Soucy, supported by Reiber, to approve the additional services with Memtech Acoustics for ambient sound level data collection related to zoning and noise ordinance development at an additional cost not to exceed \$15,000 to be paid from Planning and Zoning Contractual Services budget line item 101-701-802-000 noting that the original proposal was \$10,000 and the additional \$5,000 to be paid out at staff's discretion for additional site needs. **The motion carried unanimously.**

11. Consideration of Resolution 260817B to extend the temporary Moratorium on the Acceptance and Approval of Applications for Data Centers and Cryptocurrency Mining Facilities within Genoa Charter Township for an additional six (6) months. (Roll Call)

Ms. VanMarter stated a draft ordinance has been prepared, but staff is asking for an additional six months to review a noise study, ensure ordinance enforceability, finalize drafts, and conduct public hearings.

Moved by Hunt, supported by Hovarter, to approve Resolution No. 260817-B to extend the temporary moratorium on the acceptance and approval of applications for data centers and cryptocurrency mining facilities. **The motion carried unanimously with a roll call vote (Valenti - yes; Hovarter - yes; Walker - yes; Reiber - yes; Hunt - yes; Soucy - yes; Spicher - yes)**

12. Consideration of a request for approval of budget amendments to the Special Assessment Districts Fund No. 202 for the 2026/2027 Fiscal Year.

Moved by Soucy, supported by Walker, to approve the budget amendments to Fund 202 – SAD Roads and Lakes as presented. **The motion carried unanimously.**

13. Consideration of a request to approve the renewal of the snow removal maintenance services contract with Cooper's Turf Management with the only change being a \$40 increase in salt cost per application for a term beginning November 1, 2026 through April 1, 2028.

Supervisor Spicher stated if the same amount of salt is used this year that was used last year, the increase would be \$2,440. Mr. Seward stated the hold harmless provision in the agreement should be removed before it is signed.

Moved by Soucy, supported by Walker, to approve the renewal of the snow removal and salt/ice melt services contract with Cooper's Turf Management for the 2026–2028 winter seasons, at the proposed contract rates, as recommended by the Administrative Committee, and authorize the Township Manager to execute the agreement on behalf of the Township with the removal of the liability clause from the contract. **The motion carried unanimously.**

14. Consideration of a request for the Township to ask the Livingston County Road Commission to perform a speed study on Bauer Road south of Brighton Road.

Moved by Valenti, supported by Hovarter, to ask the Livingston County Road Commission to perform a speed study on Bauer Road south of Brighton Road. **The motion carried unanimously.**

15. Request for approval of the closed session minutes from August 3, 2026.

- A. If necessary, consider motion to enter into closed session under the Open Meetings Act, MCL 15.268(1)(h) to consider material exempt from discussion or disclosure by state or federal statute. (Roll Call, requires 2/3 vote)**
- B. If necessary, consider motion to adjourn the closed session and reconvene in open session. (Roll Call)**

Each board member reviewed their copy of the minutes provided by Mr. Soucy.

Moved by Hunt, supported by Soucy, to approve the closed session minutes from August 3, 2026. **The motion carried unanimously.**

The call to the public was made at 8:22 pm.

Mr. Rodney Conway does not agree with the township wanting to do the sound study. There are a lot of diverse sounds in this community. He hopes to get resolution with the Tap In's issue. Nothing has been done since he first complained in September 2025.

Ms. Deb Beattie was surprised Tap In's received a permit for outdoor music. She agrees that the noise study is necessary for the data centers.

The call to the public was closed at 8:29 pm.

Items for Discussion:

16. Update on Transportation Town Hall presented by Township Supervisor.

Supervisor Spicher provided a review of what occurred at the town hall, noting that the Livingston County Road Commission has adopted a new policy starting in 2027. They will contribute 25 percent funding toward subdivision road improvement SAD costs if the roads are public.

There will be a housing town hall on Wednesday, August 26 at 6:30 pm at the township hall.

Board Comments

Mr. Soucy provided statistics on the November 4 election, including the number of employees and number of hours worked.

Ms. Hovarter provided a review of the Howell Melonfest.

Adjournment

Moved by Walker, supported by Valenti, to adjourn the meeting at 8:43 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas
Recording Secretary

Approved: Rick Soucy, Clerk
Genoa Charter Township

Kevin Spicher, Supervisor
Genoa Charter Township



MEMO

TO: Genoa Charter Township Board
FROM: Greg Tatara, Utility Director
DATE: August 31, 2026
RE: Oak Pointe Water System – AT&T Tower Lease Agreement Amendment

.....

For consideration at tonight's Board Meeting is approval of the First Amendment to the AT&T (Cingular Wireless) Water Tower Lease Agreement. A copy of the proposed amendment is presented as **Attachment 1**. We were approached by the Lessee several months back regarding a desire to change the style and number of antennas on the Tower. Our primary concerns were structural integrity and aesthetic appearance of the proposed changes. Following review of engineer plans, it was determined the tower can support the new antennas without risk to the tower. Additionally, we requested from the Lessee renderings of the new antennas on the tower for presentation to the Villas of Oak Pointe Homeowners Association who owns the land that the tower is sited on. We received artistic renderings of the existing antennas and the proposed antennas from various views from the Lessee in early August. A copy of the renderings is presented in **Attachment 2**. These renderings were shared with the Villas of Oak Pointe, and presented in **Attachment 3** is email correspondence from the Villas of Oak Pointe HOA Board accepting the appearance of the proposed modifications. It should be noted that this amendment does not modify the monthly compensation received for the lease; however, it does update the notice requirements and addresses in the agreement.

Based on the structural and aesthetic concerns being addressed adequately by the Lessee, we recommend approval of the First Amendment to the Water Tower Lease Agreement.

Market: MINOH
 Cell Site Number: MI2223
 Cell Site Name: OAK POINTE
 Fixed Asset Number: 10129718

FIRST AMENDMENT TO WATER TOWER LEASE AGREEMENT

THIS FIRST AMENDMENT TO WATER TOWER LEASE AGREEMENT ("**Amendment**"), is dated to be effective as of the latter of the signature dates below, by and between GENOA CHARTER TOWNSHIP, a Michigan municipal corporation, having a mailing address of 2911 Dorr Road, Brighton, Michigan 48116 ("**LESSOR**") and New Cingular Wireless PCS, LLC, a Delaware limited liability company, having a mailing address of 1025 Lenox Park Blvd NE, 3rd Floor, Atlanta, GA 30319 ("**LESSEE**").

WHEREAS, LESSOR and LESSEE entered into a Water Tower Lease Agreement dated July 30, 2013, to LESSEE certain Premises, therein described, that are a portion of the Property located at 4500 Country Club Drive Brighton, MI 48116 (collectively, the "**Agreement**"); and

WHEREAS, , Lessee desires to amend the Agreement to allow for the installation of additional antennas, associated cables and other communications instruments; and

WHEREAS, LESSEE desires to amend the Agreement to modify the notice section; and

WHEREAS, LESSEE desires to amend the Agreement to permit LESSEE to add, modify and/or replace equipment in order to comply with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services; and

WHEREAS, LESSEE desires to amend the Agreement further as set forth below.

NOW THEREFORE, in consideration of the foregoing and other good and valuable considerations, the receipt and sufficiency of which are acknowledged, LESSOR and LESSEE agree as follows:

1. **Additional Antennas.** In addition to the other antennas permitted in the Agreement, Landlord consents to the installation and operation of additional antennas, associated cables and equipment as more completely described on attached Exhibit C-1. Landlord's execution of this Amendment will signify Landlord's approval of Exhibit C-1. Exhibit C-1 hereby replaces Exhibit C to the Agreement.

2. **Notices.** Section 25 of the Agreement is deleted in its entirety and replaced with the following:

NOTICES. All notices, requests, payments of rent, demands, and other communications required or permitted hereunder shall be given as follows:

For Notices of Default to Licensee:

- a) To Licensee's Lease Administration Department at NoticeIntake@att.com; and
- b) To Licensee's Law Department via First Class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid:
 New Cingular Wireless PCS, LLC
 Attn.: Legal Dept – Network Operations
 Re: Cell Site #: MI2223; Cell Site Name: OAK POINTE(MI)
 Fixed Asset #: 10129718
 208 Akard Street
 Dallas, TX 75202-4206

2021 Amendment Form
 Streamline Limited Review

For Notices of Default to Landlord:

- a) To Landlord at: supervisor@genoa.org and clerk@genoa.org
- b) To Landlord's Law Department via First Class certified or registered mail, return receipt requested, or by a nationally recognized overnight courier, postage prepaid:

2911 Dorr Road, Brighton, Michigan 48116

All other Notices will be sent:

- c) To Licensee's Lease Administration Department at NoticeIntake@att.com; and

- d) To Landlord at:

supervisor@genoa.org or clerk@genoa.org, or 2911 Dorr Road, Brighton, Michigan 48116
(enotice only if possible)

Notices by email will be effective on the first calendar day after it was sent unless the sender receives an automated message that the email has not been delivered. Electronic mail shall be sent with a read receipt, but a read receipt shall not be required to establish that notice was given and received. All other Notices shall be effective when received unless returned undelivered. Either party hereto may change the place for the giving of notice to it by thirty (30) days' prior written notice to the other party hereto as provided herein.

3. Emergency 911 Service. In the future, without the payment of additional rent and at a location mutually acceptable to LESSOR and LESSEE, LESSEE may add, modify and/or replace equipment in order to comply with any current or future federal, state or local mandated application, including but not limited to emergency 911 communication services.

4. Unmanned Aircraft System. LESSOR grants LESSEE, and any Unmanned Aircraft System ("UAS") operator acting on LESSEE's behalf, express permission to use a UAS to fly over the applicable Property and Premises in connection with LESSEE's installation, construction, monitoring, site audits, inspections, maintenance, repair, modification, or alteration activities at the Property, and to use audio and video navigation and recording in connection with the use of the UAS.

5. Other Terms and Conditions Remain. In the event of any inconsistencies between the Agreement and this Amendment, the terms of this Amendment shall control. Except as expressly set forth in this Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Amendment.

6. Capitalized Terms. All capitalized terms used but not defined in this Amendment shall have the same meanings as defined in the Agreement.

IN WITNESS WHEREOF, the parties have caused this Amendment to be effective as of the latter of the signature dates below.

LESSOR:

Genoa Charter Township

LESSEE:

New Cingular Wireless PCS, LLC,
a Delaware limited liability company

By: AT&T Mobility Corporation
Its: Manager

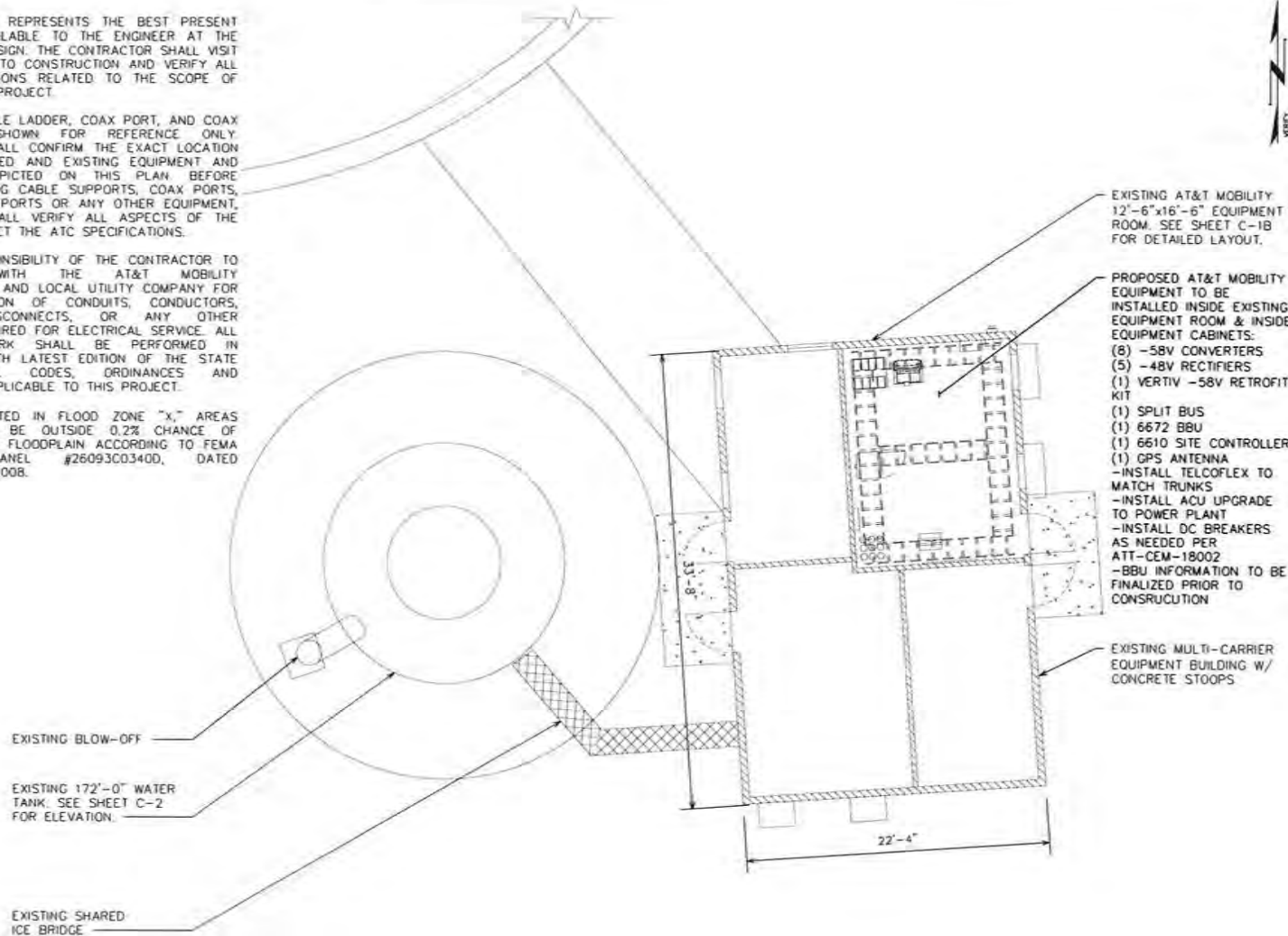
By: _____
Print Name: _____
Its: _____
Date: _____

By: _____
Print Name: _____
Its: _____
Date: _____

EXHIBIT C-1

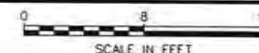
NOTES:

1. THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
2. ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT. CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE AT&T MOBILITY REPRESENTATIVE AND LOCAL UTILITY COMPANY FOR THE INSTALLATION OF CONDUITS, CONDUCTORS, BREAKERS, DISCONNECTS, OR ANY OTHER EQUIPMENT REQUIRED FOR ELECTRICAL SERVICE. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE STATE AND NATIONAL CODES, ORDINANCES AND REGULATIONS APPLICABLE TO THIS PROJECT.
4. PROPERTY LOCATED IN FLOOD ZONE "X," AREAS DETERMINED TO BE OUTSIDE 0.2% CHANCE OF ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #26093C03400, DATED SEPTEMBER 17, 2008.



COMPOUND LAYOUT

SCALE: 1/8" = 1'-0"



PLANS PREPARED FOR: 444 MICHIGAN AVE DETROIT, MI 48226	
PLANS PREPARED FOR: Communications Group 1151 SE CARY PKWY SUITE 101 CARY, NC 27518	
PROJECT INFORMATION: AT&T SITE #: DTL02223 AT&T FA CODE: 10129718 4500 COUNTRY CLUB DR BRIGHTON, MI 48116 (LIVINGSTON COUNTY)	
PLANS PREPARED BY: 326 TRYON ROAD RALEIGH, NC 27603-3530 OFFICE: (919) 661-6351 www.tepgroup.net	
SEAL: PRELIMINARY DO NOT USE FOR CONSTRUCTION	
IS 05-22-26 J 09-09-25 REV DATE	100% CONSTRUCTION 50% DRAWING ISSUED FOR:
DRAWN BY: TSD CHECKED BY: CCJ	
SHEET TITLE: COMPOUND LAYOUT	
SHEET NUMBER: C-1A	REVISION: B

NOTES:

1. VIEW SHOWN BELOW DRAWN FROM INFORMATION PROVIDED BY MASTEC COMMUNICATIONS GROUP. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION AND TO NOTIFY TEP IMMEDIATELY OF ANY DISCREPANCIES.

2. TEP DID NOT VISIT THIS SITE. TEP DOES NOT GUARANTEE, OR ENSURE THE PRECISION, ACCURACY, OR CORRECTNESS AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MIGHT OCCUR.

EXISTING AT&T MOBILITY EQUIPMENT INSIDE EXISTING NETSURE 721 POWER PLANT:

(4) -48V RECTIFIERS
(12) SBS170F BATTERIES TO REMAIN
(12) C48/24 CONVERTERS TO BE REMOVED

EXISTING AT&T MOBILITY NETSURE 721 INDOOR POWER PLANT TO REMAIN

EXISTING AT&T MOBILITY EQUIPMENT INSIDE EXISTING BATTERY RACK:
(8) SBS170F BATTERIES TO REMAIN

EXISTING AT&T MOBILITY BATTERY RACK TO REMAIN

EXISTING AT&T MOBILITY UMTS CABINET TO REMAIN

EXISTING AT&T MOBILITY FIBER COIL BOX TO REMAIN

EXISTING AT&T MOBILITY STUB-UP CONDUIT TO REMAIN

EXISTING AT&T MOBILITY FIB RACK TO REMAIN

EXISTING AT&T MOBILITY EQUIPMENT INSIDE EXISTING FIB RACK:
(2) DC12_RM (V2) TO REMAIN

EXISTING AT&T MOBILITY 12'-6"x16'-6" EQUIPMENT ROOM

EXISTING AT&T MOBILITY GENERATOR RECEPTACLE TO REMAIN

EXISTING AT&T MOBILITY AC PANEL TO REMAIN

EXISTING AT&T MOBILITY MANUAL TRANSFER SWITCH TO REMAIN

EXISTING AT&T MOBILITY HVAC UNIT (TYP) TO REMAIN

EXISTING AT&T MOBILITY T-STAT TO REMAIN

EXISTING AT&T MOBILITY TELCO BOARD

EXISTING DETAILED EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"

SCALE IN FEET

NOTES:

1. VIEW SHOWN BELOW DRAWN FROM INFORMATION PROVIDED BY MASTEC COMMUNICATIONS GROUP. CONTRACTOR TO VERIFY ALL EXISTING INFORMATION AND TO NOTIFY TEP IMMEDIATELY OF ANY DISCREPANCIES.

2. TEP DID NOT VISIT THIS SITE. TEP DOES NOT GUARANTEE, OR ENSURE THE PRECISION, ACCURACY, OR CORRECTNESS AND ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, OR INJURY THAT MIGHT OCCUR.

3. THIS CONSTRUCTION DRAWING SET IS NOT INTENDED TO SHOW ANY AC ELECTRICAL EQUIPMENT CHANGES.

4. SEE SHEET R-1 FOR DETAILS ON CALCULATED AC LOADING.

EXISTING AT&T MOBILITY EQUIPMENT INSIDE EXISTING NETSURE 721 POWER PLANT:

(4) -48V RECTIFIERS
(12) SBS170F BATTERIES

EXISTING AT&T MOBILITY NETSURE 721 INDOOR POWER PLANT

EXISTING AT&T MOBILITY EQUIPMENT INSIDE EXISTING BATTERY RACK:
(8) SBS170F BATTERIES

EXISTING AT&T MOBILITY BATTERY RACK

EXISTING AT&T MOBILITY UMTS CABINET

EXISTING AT&T MOBILITY FIB RACK

EXISTING AT&T MOBILITY FIBER COIL BOX

EXISTING AT&T MOBILITY STUB-UP CONDUIT

EXISTING AT&T MOBILITY EQUIPMENT INSIDE EXISTING FIB RACK:
(2) DC12_RM (V2)

PROPOSED AT&T MOBILITY EQUIPMENT TO BE INSTALLED INSIDE EXISTING FIB RACK:
(1) 6672 BBU
(1) 6610 SITE CONTROLLER

PROPOSED AT&T MOBILITY EQUIPMENT TO BE INSTALLED INSIDE EXISTING POWER PLANT:
(1) -58V RETROFIT KIT
(8) -58V CONVERTERS
(5) -48V RECTIFIERS
-INSTALL SPLIT BUS
-INSTALL DC BREAKERS
AS NEEDED PER ATT-CEM-18002

EXISTING AT&T MOBILITY GENERATOR RECEPTACLE

EXISTING AT&T MOBILITY AC PANEL

EXISTING AT&T MOBILITY MANUAL TRANSFER SWITCH

EXISTING AT&T MOBILITY HVAC UNIT (TYP)

EXISTING AT&T MOBILITY T-STAT

EXISTING AT&T MOBILITY 12'-6"x16'-6" EQUIPMENT ROOM

EXISTING AT&T MOBILITY TELCO BOARD

PROPOSED DETAILED EQUIPMENT LAYOUT

SCALE: 1/4" = 1'-0"

SCALE IN FEET

PLANS PREPARED FOR:



PLANS PREPARED FOR:



PROJECT INFORMATION:

AT&T SITE #: DTL02223

AT&T FA CODE: 10129718

4500 COUNTRY CLUB DR
BRIGHTON, MI 48116
(LIVINGSTON COUNTY)

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



REV 05-22-26 100% CONSTRUCTION

REV 09-09-25 JOURNAL DRAWING

REV DATE ISSUED FOR:

DRAWN BY: P55 CHECKED BY: [initials]

SHEET TITLE:

DETAILED EQUIPMENT LAYOUT

SHEET NUMBER:

C-1B

REVISION:

B

TEP#251626-149674

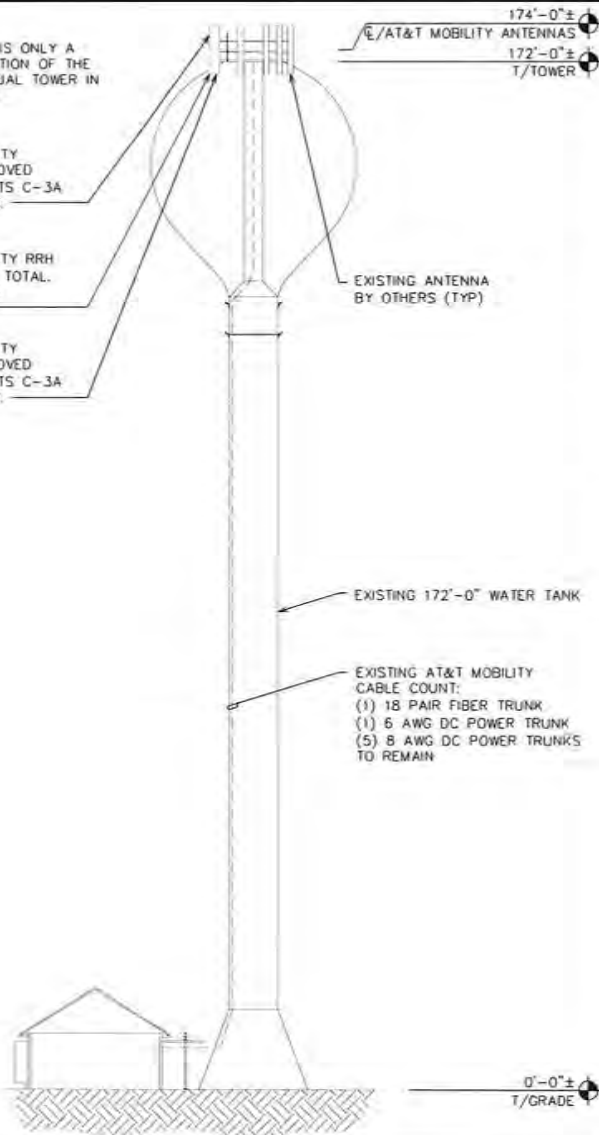
NOTE:

THE TOWER DRAWING IS ONLY A GRAPHIC REPRESENTATION OF THE STRUCTURE. THE ACTUAL TOWER IN THE FIELD MAY VARY.

EXISTING AT&T MOBILITY ANTENNA TO BE REMOVED (6) TOTAL. SEE SHEETS C-3A & C-3B FOR DETAILS.

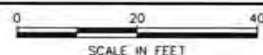
EXISTING AT&T MOBILITY RRH TO BE REMOVED (12) TOTAL. SEE SHEETS C-3A & C-3B FOR DETAILS.

EXISTING AT&T MOBILITY DIPLEXER TO BE REMOVED (6) TOTAL. SEE SHEETS C-3A & C-3B FOR DETAILS.



EXISTING TOWER ELEVATION

SCALE: 1" = 20'



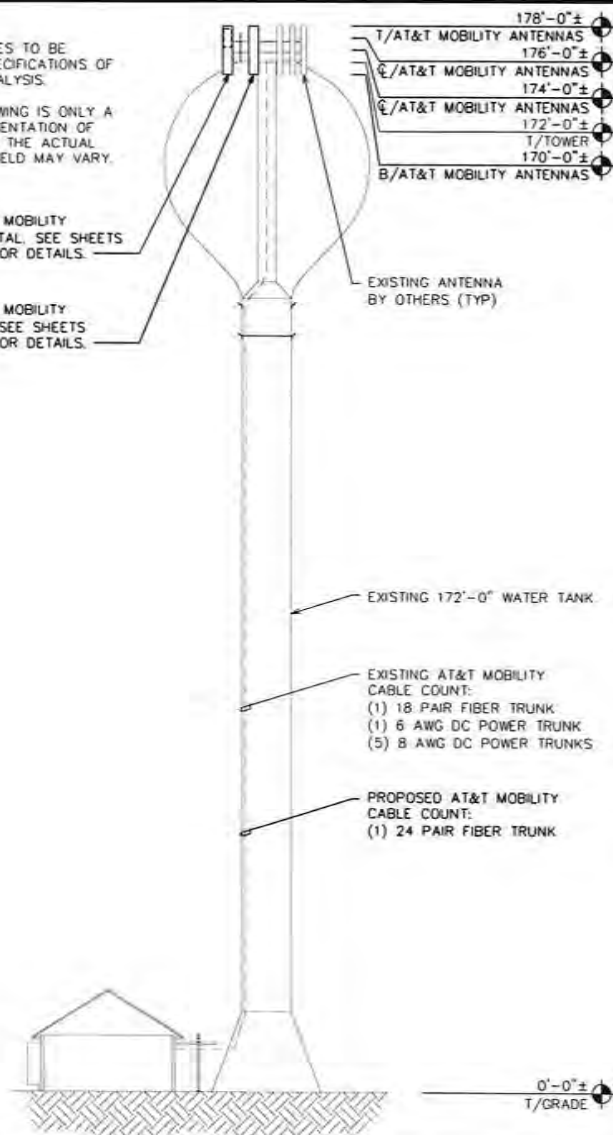
NOTES:

1. PROPOSED CABLES TO BE ROUTED PER SPECIFICATIONS OF STRUCTURAL ANALYSIS.

2. THE TOWER DRAWING IS ONLY A GRAPHIC REPRESENTATION OF THE STRUCTURE. THE ACTUAL TOWER IN THE FIELD MAY VARY.

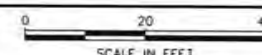
PROPOSED AT&T MOBILITY ANTENNA (9) TOTAL. SEE SHEETS C-4A & C-4B FOR DETAILS.

PROPOSED AT&T MOBILITY RRU (9) TOTAL. SEE SHEETS C-4A & C-4B FOR DETAILS.



PROPOSED TOWER ELEVATION

SCALE: 1" = 20'



PLANS PREPARED FOR:



PLANS PREPARED FOR:



PROJECT INFORMATION:

AT&T SITE #: DTL02223

AT&T FA CODE: 10129718

4500 COUNTRY CLUB DR
BRIGHTON, MI 48116
(LIVINGSTON COUNTY)

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-8351
www.tepgroup.net

SEAL:



15	05-22-26	100% CONSTRUCTION
1	09-09-25	ZONING DRAWING
REV	DATE	ISSUED FOR:

DRAWN BY: TSS CHECKED BY: JCS

SHEET TITLE:

TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-2	B
TEP#251026 / 1-19-14	

GENERAL NOTES:

1. THIS ANTENNA ORIENTATION PLAN IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE REQUIRED ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.
2. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF FOOTING ELEVATION.
3. ALL ANTENNAS, CABLES AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE STRUCTURAL ANALYSIS REPORT.
4. ALL ANTENNA BRACKETS PER ANTENNA MANUFACTURER, OR EQUAL, CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWN TILT WITH AT&T.
5. ALL ANTENNA INFORMATION TO BE CONFIRMED WITH AT&T RF DESIGN PRIOR TO INSTALLATION.
6. LOADING INFORMATION PROVIDED BY AT&T RFDS ID: 84733.

EXISTING ANTENNA/CABLE SCHEDULE

ANT. MARK	SECTOR	TECH.	MANUFACTURER/ MODEL #	AZIMUTH (TN)	RAD CENTER	ELEC. D-TILT	DIPLEXER	COAX/ CABLE	SURGE PROTECTION	RRU MODEL
A1	ALPHA	850/ 1900	*COMMSCOPE SBNH-1D6565C	343°	174°-0°	-	-	(1) 18 PAIR FIBER TRUNK (5) 8 AWG DC POWER TRUNKS (1) 6 AWG DC POWER TRUNK	(1) DC6-48-60-0-BF (1) DC6-48-60-18-BF	* (1) RRH2X60-850 * (1) RRH2X60-1900
A2	ALPHA	700/ 850/ WCS	*ACE XXQLH-654LBH8-IVT	14°	174°-0°	-	*(2) DBC0061F1V51-2			* (1) AIRSCALE DUAL RRH 4T4R B12/14 320W AHLBA * (1) AIRSCALE RRH 4T4R B5 160W AHCA * (1) RRH4X25-WCS -4R
B1	BETA	850/ 1900	*COMMSCOPE SBNH-1D6565C	117°	174°-0°	-	-			* (1) RRH2X60-850 * (1) RRH2X60-1900
B2	BETA	700/ 850/ WCS	*ACE XXQLH-654LBH8-IVT	118°	174°-0°	-	*(2) DBC0061F1V51-2		(1) DC6-48-60-18-8C	* (1) AIRSCALE DUAL RRH 4T4R B12/14 320W AHLBA * (1) AIRSCALE RRH 4T4R B5 160W AHCA * (1) RRH4X25-WCS -4R
C1	GAMMA	850/ 1900	*COMMSCOPE SBNH-1D6565C	212°	174°-0°	-	-			* (1) RRH2X60-850 * (1) RRH2X60-1900
C2	GAMMA	700/ 850/ WCS	*ACE XXQLH-654LBH8-IVT	240°	174°-0°	-	*(2) DBC0061F1V51-2			* (1) AIRSCALE DUAL RRH 4T4R B12/14 320W AHLBA * (1) AIRSCALE RRH 4T4R B5 160W AHCA * (1) RRH4X25-WCS -4R

- * - EXISTING AT&T EQUIPMENT/TECH TO BE REMOVED
** - EXISTING AT&T EQUIPMENT/TECH TO BE RELOCATED

PLANS PREPARED FOR:



PLANS PREPARED FOR:



PROJECT INFORMATION:

AT&T SITE #: DTL02223

AT&T FA CODE: 10129718

4500 COUNTRY CLUB DR
BRIGHTON, MI 48116
(LIVINGSTON COUNTY)

PLANS PREPARED BY:

325 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



1	05-22-20	100% CONSTRUCTION
2	09-03-25	ZONING DRAWING
REV	DATE	ISSUED FOR:
DRAWN BY:	ISS	CHECKED BY: CCL

SHEET TITLE:

**EXISTING ANTENNA
SCHEDULE**

SHEET NUMBER:

C-3A

REVISION:

B

TEP#253762C-1-1-2027

EXISTING ANTENNA/CABLE SCHEDULE

SCALE: N.T.S.

NOTE:

TEP DID NOT CONFIRM THE
EXISTING MOUNT CONFIGURATION.

EXISTING AT&T MOBILITY
AIRSCALE DUAL RRH
4T4R B12/14 320W
AHLBA RRU TO BE
REMOVED (1) PER
SECTOR, (3) TOTAL

EXISTING AT&T MOBILITY
RRH2X60-850 RRU
TO BE REMOVED (1) PER
SECTOR, (3) TOTAL

EXISTING AT&T MOBILITY
RRH2X60-1900 RRU
TO BE REMOVED (1) PER
SECTOR, (3) TOTAL

EXISTING ROOF VENT

EXISTING EQUIPMENT
BY OTHERS (TYP)

EXISTING 18'-6"Ø
PAINTERS RAIL

EXISTING 14'-6"Ø
ROOF HANDRAIL

EXISTING AT&T MOBILITY
AIRSCALE RRH 4T4R B5
160W AHCA RRU
TO BE REMOVED (1) PER
SECTOR, (3) TOTAL

EXISTING AT&T MOBILITY
DBC0061F1V51-2 DIPLEXER
TO BE REMOVED (4) PER
SECTOR, (12) TOTAL

EXISTING AT&T MOBILITY
AIRSCALE DUAL RRH
RRH4x25-B30 RRU
TO BE REMOVED (1) PER
SECTOR, (3) TOTAL

EXISTING AT&T MOBILITY
DC6-48-60-18-8F RAYCAP
TO REMAIN

EXISTING AT&T MOBILITY
DC6-48-60-0-8F
RAYCAP TO REMAIN

EXISTING AT&T MOBILITY
DC6-48-60-18-8C
RAYCAP TO REMAIN

EXISTING AT&T MOBILITY
SBNH-106565C ANTENNA
TO BE REMOVED
(1) PER SECTOR, (3) TOTAL
SEE SHEET C-3A FOR SCHEDULE.

EXISTING AT&T MOBILITY
XXQLH-654LBH8-IVT ANTENNA
TO BE REMOVED
(1) PER SECTOR, (3) TOTAL
SEE SHEET C-3A FOR SCHEDULE.

EXISTING 172'-0" WATER TANK



PLANS PREPARED FOR:



444 MICHIGAN AVE
DETROIT, MI 48226

PLANS PREPARED FOR:



Communications Group
1151 SE CARY PKWY SUITE 101
CARY, NC 27518

PROJECT INFORMATION:

AT&T SITE #: DTL02223

AT&T FA CODE: 10129718

4500 COUNTRY CLUB DR
BRIGHTON, MI 48116
(LIVINGSTON COUNTY)

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



05-22-26	100% CONSTRUCTION
09-09-25	ZONING DRAWING
REV	DATE
DRAWN BY:	CHECKED BY:

SHEET TITLE:

**EXISTING
ANTENNA
ORIENTATION**

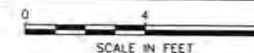
SHEET NUMBER: **C-3B**

REVISION: **B**

TEP#351526 / 249670

EXISTING ANTENNA ORIENTATION

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

1. THIS ANTENNA ORIENTATION PLAN IS A SCHEMATIC. THE CONTRACTOR SHALL VERIFY TOWER ORIENTATION AND FIELD COORDINATE REQUIRED ADJUSTMENTS TO ACHIEVE THE DESIRED ANTENNA AZIMUTHS.
2. ANTENNA CENTERLINE HEIGHT BASED ON TOP OF FOOTING ELEVATION.
3. ALL ANTENNAS, CABLES AND MOUNTS SHALL BE INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S RECOMMENDATIONS IN A MANNER CONSISTENT WITH THE STRUCTURAL ANALYSIS REPORT.
4. ALL ANTENNA BRACKETS PER ANTENNA MANUFACTURER, OR EQUAL. CONTRACTOR TO COORDINATE REQUIRED MECHANICAL DOWN TILT WITH AT&T.
5. ALL ANTENNA INFORMATION TO BE CONFIRMED WITH AT&T RF DESIGN PRIOR TO INSTALLATION.
6. CONTRACTOR IS TO VERIFY PROPOSED LOADING WITH PASSING STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION. IN THE EVENT THAT AN EXISTING MOUNT IS TO BE UTILIZE HE CONTRACTOR SHOULD ALSO VERIFY LOADING AGAINST THE PASSING MOUNT ANALYSIS. IF DISCREPANCIES ARISE, CONTRACTOR IS TO IMMEDIATELY NOTIFY AT&T MOBILITY AND TEP FOR CORRECTIVE ACTION.
7. LOADING INFORMATION PROVIDED BY AT&T RFDS ID: 84733.
8. CABLE LENGTH TAKEN FROM AT&T RFDS. CONTRACTOR TO VERIFY LENGTH PRIOR TO ORDERING MATERIALS.

PROPOSED ANTENNA/CABLE SCHEDULE

ANT. MARK	SECTOR	TECH.	MANUFACTURER/ MODEL #	DIMS (HxWxD)	AZIMUTH (TN)	RAD CENTER	ELEC. D-TILT	TMA MODEL	FILTER MODEL	COAX/CABLE	SURGE PROTECTION	RRU MODEL
A1	ALPHA	850 5G / 700 LTE	COMMScope NNH4-65C-R4	H 96.0" W 19.6" D 7.8"	340°	174°	0°	-	-	(1) 18 PAIR FIBER TRUNK	(1) DC6-48-60-0-8F (1) DC6-48-60-18-8F	(1) 4490 B5/B12A
A2A	ALPHA	700 LTE / PCS / AWS	COMMScope NNH4-65C-R6-UPM-V2	H 96.0" W 19.6" D 7.1"	340°	174°	0°	-	-			(1) 4890 B25/B66 (1) 4494 B14/B29
A2B	ALPHA	5G C-BAND/DoD	ERICSSON AIR 6472 B77G B77M	H 36.4" W 16.1" D 7.5"	340°	176°	0°	-	-			-
B1	BETA	850 5G / 700 LTE	COMMScope NNH4-65C-R4	H 96.0" W 19.6" D 7.8"	100°	174°	0°	-	-	(5) 8 AWG DC POWER TRUNKS (1) 6 AWG DC POWER TRUNK (1) 24 PAIR FIBER TRUNK	(1) DC6-48-60-18-8C	(1) 4490 B5/B12A
B2A	BETA	700 LTE / PCS / AWS	COMMScope NNH4-65C-R6-UPM-V2	H 96.0" W 19.6" D 7.1"	100°	174°	0°	-	-			(1) 4890 B25/B66 (1) 4494 B14/B29
B2B	BETA	5G C-BAND/DoD	ERICSSON AIR 6472 B77G B77M	H 36.4" W 16.1" D 7.5"	100°	176°	0°	-	-			-
C1	BETA	850 5G / 700 LTE	COMMScope NNH4-65C-R4	H 96.0" W 19.6" D 7.8"	220°	174°	0°	-	-			(1) 4490 B5/B12A
C2A	BETA	700 LTE / PCS / AWS	COMMScope NNH4-65C-R6-UPM-V2	H 96.0" W 19.6" D 7.1"	220°	174°	0°	-	-			(1) 4890 B25/B66 (1) 4494 B14/B29
C2B	BETA	5G C-BAND/DoD	ERICSSON AIR 6472 B77G B77M	H 36.4" W 16.1" D 7.5"	220°	176°	0°	-	-			-

PROPOSED AT&T EQUIPMENT & TECHNOLOGY

PROPOSED ANTENNA/CABLE SCHEDULE

SCALE: N.T.S.

PLANS PREPARED FOR:



PLANS PREPARED FOR:



PROJECT INFORMATION:

AT&T SITE #: DTL02223

AT&T FA CODE: 10129718

4500 COUNTRY CLUB DR
BRIGHTON, MI 48116
(LIVINGSTON COUNTY)

PLANS PREPARED BY:



326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.tepgroup.net

SEAL:



1 05-22-26 100% CONSTRUCTION

2 09-09-25 70% DRAWING

REV DATE ISSUED FOR:

DRAWN BY: TSS CHECKED BY: DCS

SHEET TITLE:

PROPOSED
ANTENNA/CABLE
SCHEDULE

SHEET NUMBER:

REVISION:

C-4A B

TEP#351826 1/2016/16

NOTES:

1. MOUNT ANALYSIS IS PENDING.
2. THE FOLLOWING MOUNT DRAWING IS FOR REFERENCE ONLY. TEP DID NOT VERIFY EXISTING SITE CONDITIONS.

PROPOSED AT&T MOBILITY
10' RRU MOUNT PIPE BY SITE
PRO 1 (P/N: P30120),
(1) PER SECTOR, (3) TOTAL
OR APPROVED EQUIVALENT

PROPOSED AT&T MOBILITY
8' RRU MOUNT PIPE BY SITE
PRO 1 (P/N: P296), (2) PER
SECTOR, (6) TOTAL OR
APPROVED EQUIVALENT

PROPOSED AT&T MOBILITY
4490 B5/B12A RRU
(1) PER SECTOR, (3) TOTAL

PROPOSED AT&T MOBILITY
BACK TO BACK RRU BRACKET
BY ROSENBERGER
(P/N: D200RRU)
OR APPROVED EQUIVALENT
(2) PER SECTOR, (6) TOTAL

EXISTING ROOF VENT

EXISTING 18'-6" PAINTERS RAIL

EXISTING 14'-6" ROOF HANDRAIL

12" EQUIPMENT SETBACK
(TYP)

FRONT OF ANTENNA
ALIGNMENT (TYP)

EXISTING AT&T MOBILITY
DC6-48-60-18-8F RAYCAP

EXISTING AT&T MOBILITY
DC6-48-60-0-8F RAYCAP

EXISTING AT&T MOBILITY
DC6-48-60-18-8C RAYCAP

PROPOSED AT&T MOBILITY
12" STANDOFF BY PERFECT VISION
(P/N: PV-DC-PTPC-2525-12)
(3) PER SECTOR, (9) TOTAL
OR APPROVED EQUIVALENT

PROPOSED AT&T MOBILITY
NNH4-65C-R4 ANTENNA
(TYP OF 3). SEE SHEET
C-4A FOR SCHEDULE.

PROPOSED AT&T MOBILITY
4494 B14/B29 RRU
(1) PER SECTOR, (3) TOTAL

PROPOSED AT&T MOBILITY
NNH4-65C-R6-UPM-V2
ANTENNA (1) PER SECTOR,
(3) TOTAL SEE SHEET C-4A
FOR SCHEDULE.

EXISTING 172'-0" WATER TANK

PROPOSED AT&T MOBILITY
AIR 6472 B77G B77M
ANTENNA (1) PER SECTOR,
(3) TOTAL SEE SHEET C-4A
FOR SCHEDULE.

PROPOSED AT&T MOBILITY
4890 B25/B66A RRU
(1) PER SECTOR, (3) TOTAL

PROPOSED ANTENNA ORIENTATION

SCALE: 1/4" = 1'-0"

0 4 8
SCALE IN FEET

PLANS PREPARED FOR:

444 MICHIGAN AVE
DETROIT, MI 48226

PLANS PREPARED FOR:

Communications Group
1151 SE CARY PKWY SUITE 101
CARY, NC 27518

PROJECT INFORMATION:
AT&T SITE #: DTL02223
AT&T FA CODE: 10129718
4500 COUNTRY CLUB DR
BRIGHTON, MI 48116
(LIVINGSTON COUNTY)

PLANS PREPARED BY:

326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.lepgroup.net

SEAL:

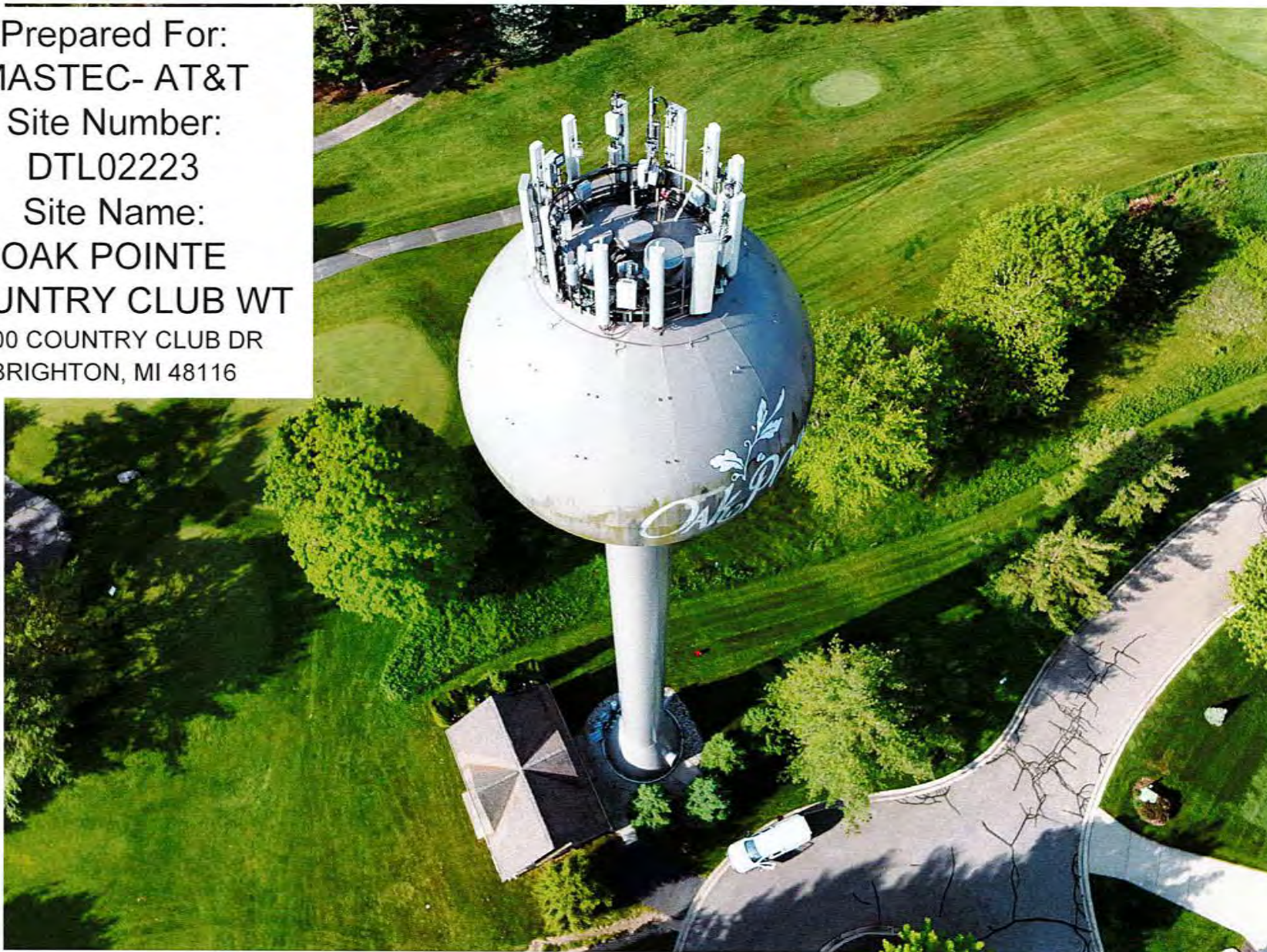
PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

D	05-22-24	100% CONSTRUCTION
E	09-09-25	ZONING DRAWING
REV	DATE	ISSUED FOR:
DRAWN BY: JSS		CHECKED BY: JSS

SHEET TITLE:
**PROPOSED
ANTENNA
ORIENTATION**

SHEET NUMBER:	REVISION:
C-4B	B
TEP#351822-1448874	

Prepared For:
MASTEC- AT&T
 Site Number:
DTL02223
 Site Name:
OAK POINTE
COUNTRY CLUB WT
 4500 COUNTRY CLUB DR
 BRIGHTON, MI 48116



SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
 BRIGHTON, MI 48116



1151 38th CARY POINT DRIVE 101
 CARY, NC 27518



844 MICHIGAN AVE
 DENVOR, MI 48029



TEP OF CO, LLC
 45 BEECHWOOD DR.
 NORTH ANDOVER, MA 01845
 OFFICE: (978) 557-5553

SITE TYPE: WATER TANK

DATE: 08/06/2026

REV: 0

DRAWN BY: ABP

SCALE: N.T.S.

THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

PAGE 1 OF 8

ATT 2

LOCUS MAP

TAKEN FROM GOOGLEEARTH.COM ON 08/06/2026



PHOTO LOCATION

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR BRIGHTON, MI 48116

MasTec
Communications Group
1151 SE CARY PARK SUITE 101
CARY, NC 27518

AT&T
844 MICHIGAN AVE
DETROIT, MI 48226

TEP
TEP OFCO, LLC
45 BEECHWOOD DR
NORTH ANDOVER, MA 01845
OFFICE: (978) 557-5555

SITE TYPE: WATER TANK	
DATE: 08/06/2026	REV: 0
DRAWN BY: ABP	
SCALE: N.T.S.	

THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

PAGE 2 OF 8

EXISTING CONDITIONS

LOCATION # 1

DATE OF PHOTO: 05/20/2024



VIEW WEST

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
BRIGHTON, MI 48116

MasTec
Communications Group

1151 SE CARY POINT SUITE 101
CARY, NC 27518

AT&T

448 MICHIGAN AVE
DURHAM, NC 27603

TEP

TEP OFCO, LLC
45 BEECHWOOD DR
NORTH ANDOVER, MA 01845
OFFICE: (978) 557-5533

SITE TYPE: WATER TANK

DATE: 08/06/2026

REV: 0

DRAWN BY: ABP

SCALE: N.T.S.

THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

PAGE 3 OF 8

PROPOSED CONDITIONS

LOCATION # 1

DATE OF PHOTO: 05/20/2024



VIEW WEST

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
 BRIGHTON, MI 48116

MasTec
 Communications Group

1151 5TH COUNTRY CLUB BLVD
 CARY, NC 27513

AT&T

444 MICHIGAN AVE
 DETROIT, MI 48206

TEP

TEP DIGITAL, LLC
 45 BEECHWOOD DR.
 NORTH ANDOVER, MA 01845
 OFFICE: (978) 557-5553

SITE TYPE: WATER TANK

DATE: 08/06/2026

REV: 0

DRAWN BY: ABP

SCALE: N.T.S.

THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

EXISTING CONDITIONS

LOCATION # 2

DATE OF PHOTO: 05/20/2024



VIEW NORTHEAST

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY
CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
BRIGHTON, MI 48116

MasTec
Communications Group

1151 51 CARY POINT SUITE 101
CARY, NC 27513

AT&T

404 MICHIGAN AVE
DETROIT, MI 48226

TEP

TEP OF CO., LLC.
45 REECHWOOD DR.
NORTH ANDOVER, MA 01845
OFFICE: (978) 557-5553

SITE TYPE: WATER TANK

DATE: 08/06/2026

REV: 0

DRAWN BY: ABP

SCALE: N.T.S.

THIS STUDY DOES NOT CLAIM IN ANY WAY
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TOPOGRAPHY AND VEGETATION
LOCATIONS AVAILABLE TO DATE.

PAGE 5 OF 8

PROPOSED CONDITIONS

LOCATION # 2

DATE OF PHOTO: 05/20/2024



VIEW NORTHEAST

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY
CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
BRIGHTON, MI 48116

MasTec
Communications Group

1151 SE CARY POWY SUE 120
CARY, NC 27518

AT&T

800 MICHIGAN AVE
DETROIT, MI 48226

TEP

TEP OP&CO, LLC
45 BEECHWOOD DR.
NORTH ANDOVER, MA 01845
OFFICE: (978) 557-5553

SITE TYPE: WATER TANK

DATE: 08/06/2026

REV: 0

DRAWN BY: ABP

SCALE: N.T.S.

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TOPOGRAPHY AND VEGETATION
LOCATIONS AVAILABLE TO DATE.

PAGE 6 OF 8

EXISTING CONDITIONS

LOCATION # 3

DATE OF PHOTO: 05/20/2024



VIEW SOUTHEAST

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
BRIGHTON, MI 48116

MasTec
Communications Group

1151 SE CARY POINT SUITE 101
CARY, NC 27518

AT&T

888 RECHORD AVE
DUNDEE, MI 48026

TEP

TEP OP&CO, LLC
45 BEECHWOOD DR.
NORTH ANDOVER, MA 01845
OFFICE: (978) 557-5533

SITE TYPE: WATER TANK

DATE: 08/06/2026

REV: 0

DRAWN BY: ABP

SCALE: N.T.S.

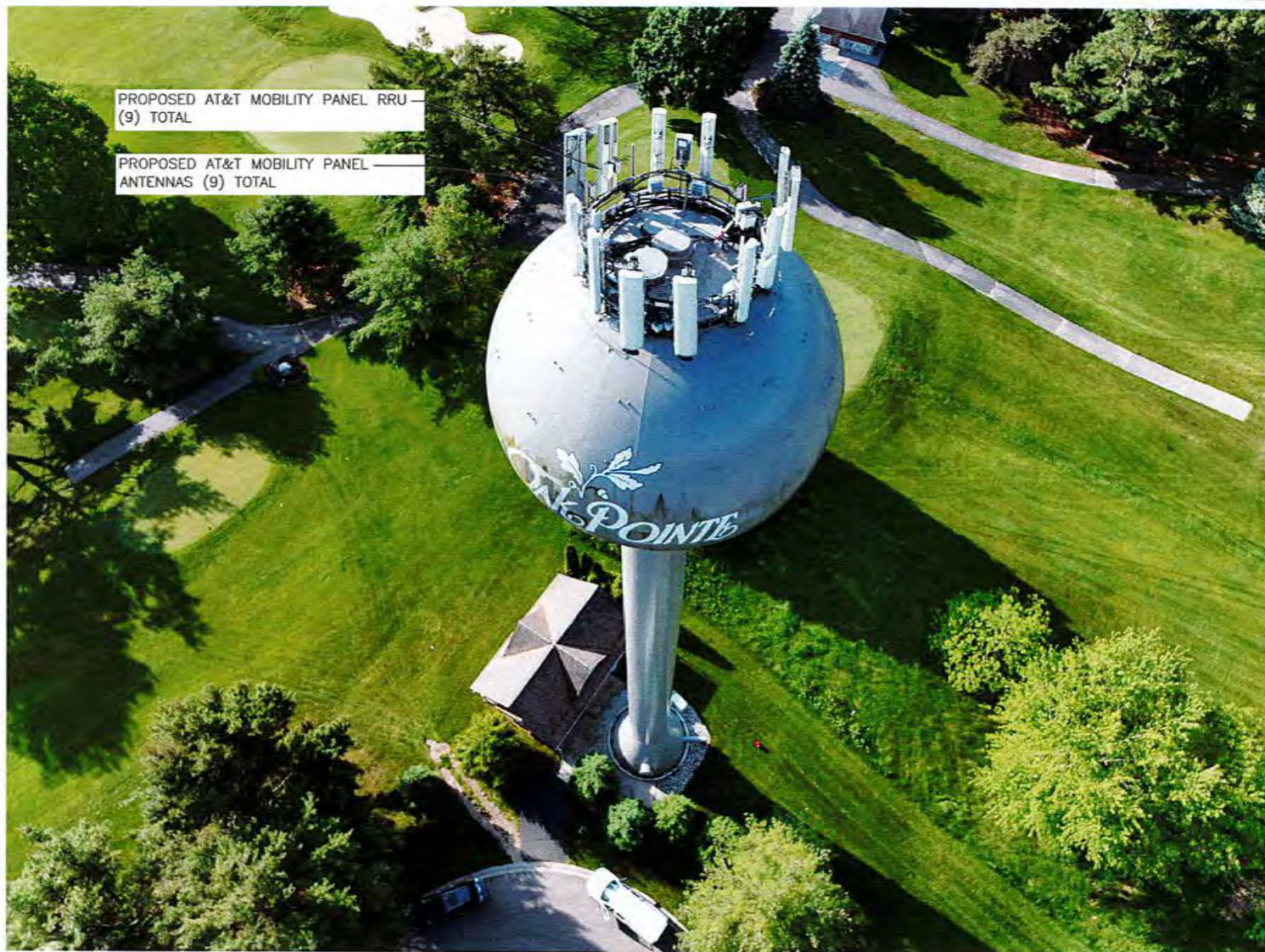
THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

PAGE 7 OF 8

PROPOSED CONDITIONS

LOCATION # 3

DATE OF PHOTO: 05/20/2024



VIEW SOUTHEAST

SITE NO: DTL02223
SITE NAME: OAK POINTE COUNTRY CLUB WT
ADDRESS: 4500 COUNTRY CLUB DR
BRIGHTON, MI 48116

MasTec
Communications Group

1151 SE CARY POINT SUITE 101
CARY, NC 27518

AT&T

846 NICHESAN AVE
DENVER, MI 48026

TEP

TEP OP&CO, LLC
45 BEECHWOOD DR
NORTH ANDOVER, MA 01845
OFFICE: (978) 557-5553

SITE TYPE: WATER TANK

DATE: 08/06/2026 **REV:** 0

DRAWN BY: ABP

SCALE: N.T.S.

THIS STUDY DOES NOT CLAIM IN ANY WAY TO SHOW THE ONLY AREAS OF VISIBILITY. IT IS MEANT TO SHOW A BROAD REPRESENTATION OF AREAS WHERE THE PROPOSED INSTALLATION MAY BE VISIBLE BASED UPON THE BEST INFORMATION FOR TOPOGRAPHY AND VEGETATION LOCATIONS AVAILABLE TO DATE.

PAGE 8 OF 8

Greg Tatara

From: James Graff <jlgraff077@gmail.com>
Sent: Wednesday, August 19, 2026 1:26 PM
To: Greg Tatara
Cc: Lois Yardley; Brad Robinson; carlene reinhold
Subject: AT&T proposed replacement of antennas on water tower at Oak Pointe

Hi Greg,

On behalf of the Villas of Oak Pointe HOA Board, based upon the information you and AT&T have provided to the HOA Board, the Board finds the appearance of AT&T's proposed replacement antennas acceptable and supports the antenna replacement. Please let me know of the outcome following the presentation of this topic at the September 8 township meeting.

If you have any questions, please contact me.

Regards,

Jim Graff
VP - Villas of Oak Pointe HOA



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Amy Ruthig, Planning Director

DATE: September 2, 2026

RE: Firestone Complete Auto Repair
Vacant, Grand Oaks Drive (11-08-200-022)
Site Plan and Environmental Impact Assessment

Please find attached the project case file for the Firestone Complete Auto Repair. This project involves construction of a 6,515 sq. ft. building with 8 vehicle bays for a minor auto repair establishment within the Livingston Commons Phase II Planned Unit Development. The property is a vacant parcel within the Livingston Commons Phase II Planned Unit Development on the south side of Grand Oaks Drive, West of S. Latson Road in front of the existing Hampton Inn Hotel. The request is petitioned by Zarembo Group, LLC. The property is zoned Non-Residential Planned Unit Development (NRPUD).

Subject Property



SUPERVISOR

Kevin Spicher

CLERK

Rick Soucy

TREASURER

Robin L. Hunt

TRUSTEES

Jodie Valenti

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

The proposed minor auto repair is a permitted use in the Livingston Commons Phase II PUD agreement. In order to proceed, the Planning Commission is to put forth a recommendation to the Township Board on the site plan and environmental impact assessment. The project was heard before the Planning Commission on August 10, 2026 and the Commission recommended approval of the environmental impact assessment and site plan. Based on the recommendation from the Planning Commission I offer the following for your consideration:

ENVIRONMENTAL IMPACT ASSESSMENT Moved by _____, supported by _____ to APPROVE the Environmental Impact Assessment dated June 19, 2026 for a proposed 6,515 sq. ft. building with eight vehicle bays for a minor auto repair establishment for a vacant parcel (4711-08-200-022 located on the south side of Grand Oaks Drive, west of S. Latson Road with the following condition:

1. Hours of operation shall be added to the environmental impact assessment prior to land use permit issuance.

SITE PLAN Moved by _____, supported by _____ to approve the site plan dated July 14, 2026 for a proposed 6,515 sq. ft. building with eight vehicle bays for a minor auto repair establishment for a vacant parcel (4711-08-200-022 located on the south side of Grand Oaks Drive, west of S. Latson Road with the following conditions:

1. The land division required for this project shall be completed prior to the issuance of a Land Use Permit.
2. The land division will include the cross-access easements required to accommodate the site plan as presented. Cross-access easements shall be recorded prior to land use permit issuance.
3. Prior to issuance of a land use permit, a concept plan depicting the proposed land division and resulting property lines shall be submitted. The concept plan shall include the two remaining parcels and identify all cross-access easements between the parcels including the two remaining parcels. The plan shall demonstrate that the proposed building and all resulting parcels comply with applicable Township Zoning Ordinance requirements, including setbacks, lot area, lot width, access, parking, and other applicable site development standards.
4. Two more parking lot trees will be established within the landscape plan.
5. The petitioner will meet all requirements of the Fire Marshal's letter dated July 22, 2026 prior to issuance of a Land Use Permit.
6. The petitioner will meet all requirements of the township engineer's letter from August 4, 2026 prior to issuance of a Land Use Permit.
7. The petitioner will meet all requirements of the township planner's letter dated July 31, 2026 prior to issuance of a Land Use Permit.

If you should have any questions, please feel free to contact me.

Best Regards,



Amy Ruthig
Planning Director



GENOA CHARTER TOWNSHIP

Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

(Application must be completed in its entirety)

APPLICANT NAME & ADDRESS: Zaremba Group, LLC

If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: RLG Howell, LLC

SITE ADDRESS: TBD Grand Oaks Drive, Howell (Genoa Township), Michigan

PARCEL #(s): 11-08-200-022

LOCATION AND BRIEF DESCRIPTION OF SITE: Site is located along Grand Oaks Drive between Fendt Drive and South Latson Road. The site is undeveloped and is currently a grass lot.

BRIEF STATEMENT OF PROPOSED USE: Applicant proposes a +- 6,600 SF Firestone Complete Auto Care center, which includes minor automotive repair & tire sales. The proposed site would include onsite parking as well as a screened dumpster and used tire enclosure.

THE FOLLOWING BUILDINGS ARE PROPOSED: A +- 6,600 sf structure consisting of 8-service bays for all automotive repair operations to be conducted inside the building. Additionally, a separate remote trash and used tire enclosure is proposed.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Justin Bruce – Development Manager for Zaremba Group, LLC

ADDRESS: 14600 Detroit Avenue, Suite 1500, Lakewood, Ohio 44107

Bruce Langos
RLG Howell LLC & GGG Howell LLC
10050 Innovation Drive Suite 100
Miamisburg, Ohio 45342

June 5, 2026

RE: Real Estate Purchase Agreement dated February 4, 2026 ("Agreement") by and between RLG Howell LLC, as Seller, and Dearborn Land Investment, LLC, as Buyer, for 1.15± acres of real property located on Grand Oaks Drive in Howell (Genoa Township), Livingston County, Michigan and identified by Tax Parcel Number 11-08-200-022 ("Property")

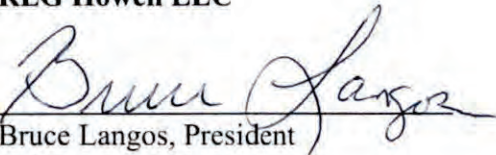
To Whom It May Concern:

Pursuant to the above referenced Agreement, Seller hereby authorizes Zaremba Group, LLC, the sole member of Dearborn Land Investment, LLC, as designated agent of Buyer, and/or AR Engineering, a consultant of Zaremba Group, LLC are authorized to submit to the Genoa Charter Township for Site Plan Review for the proposed Bridgestone/Firestone Complete Auto Care to the Genoa Township Planning Commission & Township Board.

Please contact the undersigned if you have any questions regarding this matter.

Very truly yours,

RLG Howell LLC


Bruce Langos, President

- The petitioner will meet all requirements of the township planner's letter dated August 7, 2026 prior to issuance of a Land User Permit.

The motion carried unanimously.

Moved by Commissioner Rauch, supported by Commissioner Rassel, to recommend to the Township Board approval of the PUD amendment for a proposed parking lot expansion for the existing Trinity Health Hospital with the following conditions:

- The petitioner will meet all requirements of the Fire Marshal's letter dated August 3, 2026 prior to issuance of a Land User Permit.
- The petitioner will meet all requirements of the township engineer's letter from August 4, 2026 prior to issuance of a Land User Permit.
- The petitioner will meet all requirements of the township planner's letter dated August 7, 2026 prior to issuance of a Land User Permit.
- The petitioner will meet all requirements of township staff and the township attorney prior to issuance of a Land User Permit.

The motion carried unanimously.

OPEN PUBLIC HEARING #4...Consideration of an environmental impact assessment and site plan for a proposed 6,515 sq. ft. building with 8 vehicle bays for a minor auto repair establishment in the existing Livingston Commons Phase 2 Planned Unit Development. The property is located on the south side of Grand Oaks Drive and west of S. Latson Road. The request is petitioned by Zaremba Group, LLC.

A. Recommendation of Environmental Impact Assessment

B. Recommendation of Site Plan

Mr. Justin Bruce of the Zaremba Group and Ms. Whitney Pizzala of AR Engineering were present. Mr. Bruce stated they will meet all of the comments from the consultants' and Fire Marshal's letters. They provided colored renderings and proposed building material samples.

Mr. Borden reviewed his letter dated July 31, 2026.

1. Use Conditions (Section 7.02.02(k)):
 - A. He suggests that approval of the land division request be included as a condition (if favorable action is considered).
2. The applicant must address any comments from the Brighton Area Fire Authority and obtain all necessary permits related to the storage of hazardous materials.
3. Site Plan Review:
 - A. Building materials and colors are subject to review/approval by the Planning Commission.
 - B. They meet the parking requirements; however, he suggests the two parallel parking spaces proposed be reserved for employees only.
 - C. The landscape plan is slightly deficient in buffer zone and parking lot plantings. Additional shrubs are provided that offset the buffer zone deficiency; however, he suggests the applicant provide the additional two trees; however, there is not sufficient room in the parking lot for them, so they should be placed somewhere else on the site.
 - D. The applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority.

Ms. Streveler reviewed her letter dated August 4, 2026

1. Plans should be signed and sealed.

2. Easements should be provided for any public proposed storm sewer as required by LCDDC Standards. We recommend that the petitioner address the above comments and resubmit for additional review. Please call or email if you have any questions.

Commissioner Reiber questioned this proposed business's compatibility with the surrounding businesses. Commissioner Chouinard stated there are vehicle repair type businesses down Grand Oaks Drive. Commissioner McBain sees that the business , building design and materials align with the surrounding businesses. Commissioner Hadjinian agrees.

The Fire Marshal's letter dated July 21, 2016 states:

1. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, Standard for the Installation of Automatic Sprinkler Systems.
 - A. The FDC shall be located on the front of the building (Grand Oaks).
 - B. The location, size, gate valve, and connection of the fire protection lead shall be indicated on the utility site plan. The fire protection line shall be a minimum of 6".
 - C. A hydrant shall be located within 100' of the fire department connection. (This appears to be in compliance.)
2. The access drive into the site and the future connection drive to the adjacent site shall be at least 26 feet wide. With a width of 26 feet, one side (building side) of the drive shall be marked as a fire lane. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to support the imposed load of fire apparatus weighing at least 84,000 pounds. (This appears to be in compliance.)
3. Access around the building shall provide emergency vehicles with a turning radius of 50 feet outside and 30 feet inside. Vehicle circulation shall account for non-emergency traffic and keep vehicles within the lanes of travel. (This appears to be in compliance.)
4. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to 5. Future project submittals shall include the project's address and street name in the title block. (This appears to be in compliance.)
6. The building shall include the building address on the building. The address shall be a minimum of 6" high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.
7. The location of a Knox Box shall be indicated on future submittals. The Knox Box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority.
8. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building.
9. Provide names, addresses, phone numbers, numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

Chairperson McCreary asked about the traffic impact. Ms. Pizzala reviewed the results of the traffic analysis and based on the low impact, it does not require a traffic study be performed.

There was a discussion regarding the cross access easements. Mr. Bruce stated this will be completed when the land is sold. Commissioner Rauch stated this will be a requirement of the land division.

The call to the public was opened at 8:42 pm with no response.

Ms. Ruthig showed the list of uses allowed in this PUD.

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to recommend to the township board approval of the environmental impact assessment dated June 19, 2026 for a proposed 6,515 sq. ft. building with eight vehicle bays for a minor auto repair establishment in the existing Livingston Commons Phase 2 Planned Unit Development. **The motion carried unanimously.**

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to recommend to the township board approval of the site plan dated July 20, 2026 for a proposed 6,515 sq. ft. building with eight vehicle bays for a minor auto repair establishment in the existing Livingston Commons Phase 2 Planned Unit Development, with the following conditions:

- The land division required for this project shall be completed prior to the issuance of a Land Use Permit.
- The land division will include the cross access easements required to accommodate the site plan as presented.
- The Planning Commission finds the building materials to be satisfactory and meet the intent of the ordinance.
- The two parallel parking spots on the west side of the site be identified as employee parking only.
- Two more parking lot trees will be established within the landscape plan.
- The Planning Commission finds that the use conditions of 7.02.02(k) meets the intent of the ordinance.
- The petitioner will meet all requirements of the Fire Marshal's letter dated July 22, 2026 prior to issuance of a Land User Permit.
- The petitioner will meet all requirements of the township engineer's letter from August 4, 2026 prior to issuance of a Land User Permit.
- The petitioner will meet all requirements of the township planner's letter dated July 31, 2026 prior to issuance of a Land User Permit.

The motion carried unanimously.

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated there will be two items on the September agenda.

She will be meeting with the acoustic consultant who will provide information to help the township with developing the data center ordinance. They will be attending the September meeting.



July 31, 2026

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Firestone Complete Auto Care – Site Plan Review #2
Location:	Grand Oaks Drive – south side of Grand Oaks, west of S. Latson Road
Zoning:	NR-PUD Non-Residential Planned Unit Development

Dear Commissioners:

At the Township's request, we have reviewed the revised submittal materials requesting site plan review/approval for development of a Firestone Complete Auto Care business (plans dated 7/20/26).

A. Summary

1. Use Conditions (Section 7.02.02(k)):

1. We suggest that approval of the land division request be included as a condition (if favorable action is considered).
2. The applicant must address any comments from the Brighton Area Fire Authority and obtain all necessary permits related to the storage of hazardous materials.

2. Site Plan Review:

- a. Building materials and colors are subject to review/approval by the Planning Commission.
- b. We suggest the 2 parallel parking spaces be reserved for employees only.
- c. The landscape plan is slightly deficient in buffer zone and parking lot plantings. Additional shrubs are provided that offset the buffer zone deficiency; however, we suggest the applicant provide the additional 2 parking lot trees required.
- d. The applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority.

B. Proposal/Process

The applicant requests review/approval of a site plan for a Firestone Complete Auto Care business, which includes a 6,515 square foot building with 8 vehicle bays for a minor auto repair establishment.

Per the PUD Agreement for Livingston Commons Phase II, minor auto repair establishments are permitted by right, though such uses are subject to the conditions of Section 7.02.02(k) of the Township Zoning Ordinance.

Procedurally, the Planning Commission is to review the final PUD site plan and Environmental Impact Assessment and put forth recommendations on both to the Township Board for their final consideration.



Aerial view of site and surroundings (looking north prior to hotel and gas station development)

C. Use Conditions

Minor auto repair establishments are subject to the use requirements of Section 7.02.02(k), as follows:

- 1. There shall be a minimum lot area of one (1) acre and minimum lot frontage of two hundred fifty (250) feet.**

Part of the overall development review process includes a land division to create the subject parcel.

The revised submittal depicts a new parcel with 1.12 acres of lot area and 250.5 feet of lot frontage, as required.

If the Commission considers favorable recommendations, we suggest that approval of the land division request be included as a condition.

- 2. Pump islands shall be a minimum of twenty (20) feet from any public right of way or lot line, and at least forty (40) feet from any residential lot line.**

This standard is not applicable to the request.

- 3. Access driveways shall meet the standards of Article 15; turning movements may be restricted in consideration of traffic conditions. Only one driveway shall be permitted from each street unless the Planning Commission determines additional driveways will be consistent with the purpose of Article 15.**

The site plan includes shared/cross access with the 2 abutting properties (gas station to the east and undeveloped to the west), but does not propose direct access to/from Grand Oaks Drive.

- 4. Where adjoining residentially zoned or used property, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may approve a landscaped berm as an alternative.**

This standard is not applicable to the request.

5. **All repair work shall be conducted completely within an enclosed building. Garage doors shall not face any public roadway except as approved by the Planning Commission under the following circumstances: a. For through garages where doors are provided on the front and rear of the building; b. Garages located on corner or through lots; and, c. Where the Planning Commission determines that a rear garage would have a negative impact on an abutting residential district. Under these circumstances the Planning Commission may require additional landscape screening above and beyond what is required for street frontage landscaping.**

Work on vehicles will occur within an enclosed building and overhead doors do not face a public roadway.

6. **There shall be no outdoor storage or display of vehicle components and parts, supplies, or equipment or other merchandise, except within an area defined on the site plan approved by the Planning Commission and which extends no more than ten (10) feet beyond the building.**

The applicant has noted that outdoor storage or display is not proposed as part of this project.

7. **Storage of wrecked, partially dismantled, or other derelict vehicles is prohibited, unless such storage is required under police or court order. Vehicles shall not be stored outdoors for more than seven (7) days in any thirty (30) day period.**

The applicant has noted that storage of such vehicles is not proposed as part of this project.

8. **Storage of gasoline shall be at least four hundred (400) feet from churches, schools or similar public/quasi public places of assembly.**

This standard is not applicable to the request.

9. **Below ground fuel storage tanks shall be at least two thousand (2000) feet from any drinking water well serving two or more residential units.**

This standard is not applicable to the request.

10. **The design and materials of the canopy shall be compatible with the main building. The proposed clearance of any canopy shall be noted on the site plan. Any signs, logo or identifying paint scheme on the canopy shall be reviewed by the Planning Commission and considered part of the maximum wall sign permitted. Details on the canopy lighting shall be provided to ensure there is no glare on the public streets or adjacent property, and that lighting levels are in accordance with Section 12.03. Canopy lighting shall be recessed such that the light source cannot be seen from off site.**

This standard is not applicable to the request.

11. **The applicant shall submit a Pollution Incidence Protection Plan (PIPP) as part of the Impact Assessment. The PIPP shall describe measures to prevent groundwater contamination caused by accidental gasoline spills or leakage, such as: special check valves, drain back catch basins and automatic shut off valves.**

The submittal includes a "Spill Management SOP," which services as the required PIPP.

- 12. In the event that an automobile service station use has been abandoned or terminated for a period of more than one (1) year, all underground gasoline storage tanks shall be removed from the premises.**

This standard is not applicable to the request.

- 13. The establishment of a new automobile service station shall require the lot to be separated a minimum of five hundred (500) feet from any other lot containing an existing automobile service station.**

This standard is not applicable to the request.

- 14. Automobile service stations and maintenance establishments shall comply with the requirements of Section 13.07 Hazardous Materials and Fuel Storage.**

The project does not include fuel storage and the PIPP is provided (as noted above). The applicant will need to comply with additional standards under this Section, including addressing any comments from the Brighton Area Fire Authority and obtaining all necessary permits.

D. Site Plan Review

- 1. Dimensional Requirements.** As noted in the table below, the site plan complies with the dimensional requirements of this PUD:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
NR-PUD	1	175	50	20	20	20 front 10 side/rear	35% building 85% impervious	75' 5 stories
Proposed	1.12	250.5	83	22 (E) 72 (W)	50	20 front 10 side/rear	14% building 70% impervious	25.5' 1 story

- 2. Building Design and Materials.** The primary building materials are brick and stone with EIFS accents.

The revised submittal includes building material calculations, which demonstrate compliance with the standards of Section 12.01.

The applicant should be prepared to present building material and color samples to the Commission for their consideration. Ultimately, building materials and colors are subject to review and approval by the Planning Commission.

- 3. Pedestrian Circulation.** A public sidewalk/pathway is not required (nor proposed) in this location, though the site plan does include sidewalks and a crosswalk between the parking lot and building entrances.
- 4. Vehicular Circulation.** The site plan proposes access to/from the shared driveway for the gas station to the east, with no direct access to/from Grand Oaks Drive. The plan also includes a cross access connection for the undeveloped parcel to the west.

Internal drive aisles are of sufficient width for two-way traffic around the proposed development area.

The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation, including the proposed driveway design and location.

5. **Parking.** The parking calculations on Sheet C01 result in the need for 30 spaces, which are provided.

Similar to the comment in our initial review letter, we suggest the 2 parallel parking spaces on the west side of the site be signed and used for employees only.

The dimensions and design of parking spaces and drive aisles comply with Ordinance standards. The number of barrier-free spaces is also compliant.

6. **Exterior Lighting.** The lighting plan identifies 5 parking lot light poles and 11 wall mounted fixtures. The fixture depiction is that of a downward directed, cut-off LED.

Photometric readings (on-site and along property lines) comply with current Ordinance standards.

7. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Comments
Front yard greenbelt	20' width 6 canopy trees	20' width 6 trees	Requirements met
Buffer Zone C (S)	10' width 10 trees OR 40 shrubs	10' width 7 trees 12 shrubs	Requirements met
Buffer Zone C (E)	10' width 11 trees OR 43 shrubs	18' width 45 shrubs	Requirement met
Buffer Zone C (W)	10' width 11 trees OR 43 shrubs	10' width 6 trees 12 shrubs	Deficient by 2 trees OR 8 shrubs
Parking lot	4 canopy trees 310 SF landscaped area	2 canopy trees 440+ SF landscaped area	Deficient by 2 canopy trees

It is worth noting that the Grand Oaks greenbelt contains approximately 40 shrubs, which more than offsets the buffer zone deficiency; however, we suggest the applicant provide the additional 2 trees required for the parking lot.

8. **Waste Receptacle.** As noted in the table below, the proposed waste receptacle and enclosure comply with the requirements of Section 12.04:

	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard AND not less than 20' from residential	Rear yard	Requirements met
Access	Clear access w/ out damaging buildings/vehicles	Sufficient maneuvering area	Requirements met
Base design	9' x 15' concrete pad	Base pad and extension depicted	Requirements met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3-sided enclosure w/ gate Masonry walls 8'	Requirements met

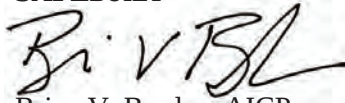
9. **Accessory Building.** The proposal includes a used tire storage building connected to the waste receptacle enclosure in the southwesterly corner of the site.

The revised submittal includes details depicting the use of stone and brick matching that used on the principal building.

Additionally, the applicant has included a note stating that no used tires will be stored outside of or above the building, as requested.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFE BUILT

A handwritten signature in black ink, appearing to read "B. V. Borden", is written over a faint, rectangular, light-colored stamp or watermark.

Brian V. Borden, AICP
Planning Manager



August 4, 2026

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Howell Firestone
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a review of the site plan submittal for Howell Firestone Complete Auto Care last dated July 20, 2026. The site plan was prepared by AR Engineering, LLC on behalf of RLG Howell, LLC. The development is located on 1.09 acres south of Grand Oaks Drive, 400 feet west of South Latson Road. The Petitioner is proposing a new auto service center. The proposed site includes a new parking lot and storm sewer.

We offer the following comments:

GENERAL

1. Plans should be signed and sealed.

DRAINAGE AND GRADING

1. Easements should be provided for any public proposed storm sewer as required by LCDC Standards.

We recommend that the petitioner address the above comments and resubmit for additional review. Please call or email if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sydney Streveler', with a horizontal line extending to the right.

Sydney Streveler, EIT
Civil Engineering Group



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

July 22, 2026

Bobby Foster, Planner
Genoa Charter Township
2911 Dorr Rd.
Brighton, MI 48116

RE: Firestone Tire
TBD Grand Oaks Dr.
Site Plan Review

Dear Bobby:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on July 22, 2026 and the drawings are not dated. The project is based on an approximately 1.09-acre parcel being developed for a ~6,600-square-foot S-1 Vehicle Repair facility. The plan review is based on the requirements of the International Fire Code (IFC) 2024 edition.

The initial site plan and drawings received were very limited in site detail and dimensions. Comments were based on what was provided. No response was provided regarding the previous letter comments dated July 9, 2026.

1. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*.

IFC 903.2.9.1(4)

A. The FDC shall be located on the front of the building (Grand Oaks).

B. The location, size, gate valve, and connection of the fire protection lead shall be indicated on the utility site plan. *The fire protection line shall be a minimum of 6".*

NFPA 13 5.1.3.1

C. A hydrant shall be located within 100' of the fire department connection. **(This appears to be in compliance.)**

IFC 912.8

2. The access drive into the site and the future connection drive to the adjacent site shall be at least 26 feet wide. With a width of 26 feet, one side (building side) of the drive shall be marked as a fire lane. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to support the imposed load of fire apparatus weighing at least 84,000 pounds. **(This appears to be in compliance.)**

IFC Appendix D

3. Access around the building shall provide emergency vehicles with a turning radius of 50 feet outside and 30 feet inside. Vehicle circulation shall account for non-emergency traffic and keep vehicles within the lanes of travel. **(This appears to be in compliance.)**

IFC 503.2.4

4. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere's, lighting, and large canopy trees. **(This appears to be in compliance.)**

IFC 503.2.1



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Firestone Tire
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Site Plan Review

5. Future project submittals shall include the project's address and street name in the title block.
(This appears to be in compliance.)

IFC 105.3.7

6. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

IFC 505.1

7. The location of a Knox Box shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority.

IFC 506.1

8. During the construction process, the building will be evaluated for emergency responder radio signal strength. If coverage is found to be questionable or inadequate; the contractor or the building owner shall hire an approved contractor to conduct a grid test of the facility. If the signal strength coverage is found to be non-compliant, an approved emergency responder radio coverage system shall be provided in the building.

IFC 510

9. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read 'R. Boisvert'.

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig (amy@genoa.org)



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aerals](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	3.55 (3.05-4.12)	4.18 (3.58-4.86)	5.24 (4.48-6.12)	6.17 (5.23-7.21)	7.49 (6.16-9.07)	8.54 (6.85-10.5)	9.64 (7.46-12.1)	10.8 (8.00-13.9)	12.3 (8.82-16.3)	13.6 (9.42-18.1)
10-min	2.60 (2.23-3.02)	3.06 (2.62-3.56)	3.84 (3.28-4.48)	4.52 (3.83-5.29)	5.48 (4.51-6.64)	6.25 (5.02-7.67)	7.06 (5.47-8.85)	7.89 (5.86-10.2)	9.04 (6.46-11.9)	9.94 (6.90-13.3)
15-min	2.11 (1.81-2.45)	2.49 (2.13-2.89)	3.12 (2.67-3.64)	3.67 (3.12-4.30)	4.46 (3.67-5.40)	5.08 (4.08-6.24)	5.74 (4.44-7.20)	6.42 (4.77-8.26)	7.35 (5.25-9.70)	8.08 (5.61-10.8)
30-min	1.50 (1.29-1.75)	1.77 (1.52-2.06)	2.23 (1.91-2.60)	2.62 (2.23-3.07)	3.19 (2.62-3.86)	3.64 (2.92-4.46)	4.10 (3.18-5.14)	4.59 (3.41-5.90)	5.25 (3.75-6.93)	5.77 (4.01-7.71)
60-min	0.967 (0.830-1.12)	1.15 (0.982-1.33)	1.45 (1.24-1.69)	1.72 (1.46-2.01)	2.11 (1.74-2.56)	2.42 (1.95-2.98)	2.76 (2.14-3.46)	3.10 (2.31-4.00)	3.59 (2.57-4.75)	3.97 (2.76-5.31)
2-hr	0.592 (0.511-0.683)	0.702 (0.605-0.811)	0.894 (0.768-1.04)	1.06 (0.908-1.24)	1.31 (1.09-1.59)	1.52 (1.23-1.85)	1.73 (1.35-2.16)	1.96 (1.47-2.51)	2.28 (1.64-3.00)	2.53 (1.77-3.36)
3-hr	0.436 (0.378-0.502)	0.517 (0.447-0.594)	0.658 (0.567-0.759)	0.785 (0.673-0.909)	0.974 (0.813-1.18)	1.13 (0.920-1.38)	1.30 (1.02-1.62)	1.48 (1.11-1.89)	1.73 (1.25-2.27)	1.93 (1.36-2.56)
6-hr	0.259 (0.226-0.296)	0.302 (0.263-0.345)	0.379 (0.329-0.435)	0.451 (0.389-0.518)	0.559 (0.472-0.675)	0.652 (0.535-0.793)	0.752 (0.595-0.935)	0.860 (0.653-1.10)	1.02 (0.740-1.33)	1.14 (0.806-1.50)
12-hr	0.152 (0.133-0.172)	0.172 (0.151-0.196)	0.211 (0.184-0.240)	0.247 (0.214-0.282)	0.303 (0.258-0.364)	0.352 (0.291-0.426)	0.405 (0.323-0.501)	0.463 (0.354-0.588)	0.548 (0.402-0.712)	0.617 (0.439-0.806)
24-hr	0.087 (0.077-0.098)	0.098 (0.087-0.111)	0.119 (0.104-0.134)	0.138 (0.121-0.157)	0.168 (0.144-0.200)	0.194 (0.161-0.233)	0.222 (0.178-0.273)	0.253 (0.195-0.319)	0.298 (0.220-0.384)	0.334 (0.239-0.433)
2-day	0.049 (0.043-0.055)	0.056 (0.049-0.062)	0.068 (0.060-0.077)	0.079 (0.070-0.090)	0.096 (0.083-0.114)	0.111 (0.092-0.132)	0.126 (0.102-0.153)	0.143 (0.110-0.178)	0.166 (0.123-0.213)	0.185 (0.133-0.239)
3-day	0.035 (0.032-0.040)	0.040 (0.036-0.045)	0.049 (0.043-0.055)	0.057 (0.050-0.064)	0.069 (0.059-0.081)	0.079 (0.066-0.093)	0.089 (0.072-0.108)	0.101 (0.078-0.125)	0.117 (0.087-0.149)	0.130 (0.094-0.167)
4-day	0.028 (0.025-0.032)	0.032 (0.029-0.036)	0.039 (0.035-0.043)	0.045 (0.040-0.050)	0.054 (0.047-0.063)	0.062 (0.052-0.073)	0.070 (0.057-0.084)	0.079 (0.061-0.097)	0.091 (0.068-0.116)	0.101 (0.073-0.130)
7-day	0.019 (0.017-0.021)	0.021 (0.019-0.024)	0.025 (0.023-0.028)	0.029 (0.026-0.033)	0.035 (0.030-0.040)	0.039 (0.033-0.046)	0.044 (0.036-0.053)	0.050 (0.039-0.061)	0.057 (0.043-0.072)	0.063 (0.046-0.080)
10-day	0.015 (0.014-0.017)	0.017 (0.015-0.019)	0.020 (0.018-0.022)	0.023 (0.020-0.025)	0.027 (0.023-0.031)	0.030 (0.025-0.035)	0.034 (0.028-0.040)	0.038 (0.029-0.046)	0.043 (0.032-0.054)	0.047 (0.035-0.060)
20-day	0.010 (0.009-0.011)	0.011 (0.010-0.012)	0.013 (0.012-0.014)	0.015 (0.013-0.016)	0.017 (0.015-0.019)	0.019 (0.016-0.022)	0.021 (0.017-0.025)	0.023 (0.018-0.028)	0.026 (0.020-0.032)	0.028 (0.021-0.036)
30-day	0.008 (0.007-0.009)	0.009 (0.008-0.010)	0.010 (0.009-0.011)	0.012 (0.010-0.013)	0.013 (0.012-0.015)	0.015 (0.013-0.017)	0.016 (0.013-0.019)	0.018 (0.014-0.021)	0.020 (0.015-0.024)	0.021 (0.016-0.027)
45-day	0.007 (0.006-0.007)	0.007 (0.007-0.008)	0.009 (0.008-0.009)	0.009 (0.009-0.010)	0.011 (0.009-0.012)	0.012 (0.010-0.013)	0.013 (0.010-0.015)	0.014 (0.011-0.017)	0.015 (0.011-0.019)	0.016 (0.012-0.020)
60-day	0.006 (0.005-0.006)	0.006 (0.006-0.007)	0.007 (0.007-0.008)	0.008 (0.007-0.009)	0.009 (0.008-0.010)	0.010 (0.009-0.011)	0.011 (0.009-0.013)	0.012 (0.009-0.014)	0.012 (0.009-0.015)	0.013 (0.010-0.016)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

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PF graphical

Impact Assessment Narrative

a. **Name(s) and address(es) of person(s) responsible for preparation** of the impact assessment and a brief statement of their qualifications.

Whitney Pizzala as a licensed state of Michigan Professional Engineer.

b. **Map(s) and written description/analysis of the project site** including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.

An aerial site plan depicting these features is included. The site is primarily vacant with a small cluster of brushes to the south of the site. A survey is also included with the submittal packet depicting the site conditions at the time of the field work.

c. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands, mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potentially regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

The existing site is a grassy vacant property. There are no records of the site having been previously developed. The existing site topography slopes towards the north to the existing road and with the grade of the road to the East.

d. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

This site is under a stormwater agreement during the rework of I-96. There is a common storm basin to be used by the sites that will be used for conveying the storm and runoff from the site.

e. **Impact on surrounding land used:** Description of the types of proposed uses and other man-made facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The surrounding developed areas are currently similar uses. Directly to the east is a gas station with a coffee shop. South is a hotel, to the North is a Lowes and the property to the west is vacant but expected to be a commercial site and is zoned as such.

f. Impact on public facilities and services: Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

The site will be staffed by 8-12 employees on a single day. There will be an average of 45 visitors per day at the location. There is no expected impact on and of the public agencies listed above for this development.

g. Impact on public utilities: Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single-family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The site has an existing water service stub that will be used to connect with the 4" service for the business. The sanitary will have an onsite grease and oil separator for treatment before connecting to the township sanitary sewer at the north end of the site. The existing site sanitary discharge from is zero with an expected discharge rate of 600 gallons per day.

h. Storage and handling of any hazardous materials: A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

Any hazardous chemicals inside the building will be stored properly according to local and federal guidelines. Used tire storage will be located outside the building with weekly pickups or more frequently as needed. They will be stored in their own separated enclosure next to the dumpster enclosure. The sanitary will have an onsite grease and oil separator for treatment before connecting to the township sanitary sewer at the north end of the site.

Spill Management SOP

Purpose and Overview

The SOP outlines the steps that should be taken in the event of a spill or release of a regulated substance that occurs at a retail location. **Do not risk threat of injury or harm when completing your duties.**

Above all, the safety of Teammates and the Boss is our top priority.

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Scope

In Scope:

- Spill Prevention
- Spill Response
- Spill Management

Out of Scope:

- Records management
- Waste management
- Emergency Action Plan
- Media relations

Key Terms

- Absorbent Boom – Tube-shaped absorbent used to control or limit the spreading of a regulated substance after a spill (a.k.a. snakes, sausages, socks).
- EHSS – Environment, Health, Safety, and Sustainability.
- Regulated Substance – Hazardous, non-hazardous, or petroleum-based liquid or solid.
- Spill – An unplanned or unintended spill or release of a regulated material.
 - Large Spill – Meets at least one of the following criteria:
 - Greater than 5 gallons of a regulated material;
 - Any-sized spill that enters floor drains, sumps, or storm drains; and/or,
 - Any-sized spill or release to the exterior of the building.
 - Small Spill – Less than 5 gallons of a regulated material contained within the building.
- Spill Prevention – Using or implementing Best Management Practices (BMPs) to reduce or eliminate the likelihood of a spill or release.
- Spill Response – The act of responding to a spill or release by physically cleaning up a regulated material after the spill and properly reporting the spill to the emergency contacts.
- Spill Supplies – Inventory of absorbents and supplies only to be used during a spill response.

Why

- To ensure that procedures for spill prevention and response are clearly understood and properly implemented.

Policy

- N/A

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Teammate Expectations

All Teammates must read, understand and adhere to this SOP

Store Manager:

- Ensures all Small Spills are cleaned up immediately regardless of the amount spilled.
- Ensures the inventory of spill supplies is sufficient (i.e. 2 cases of absorbent pads and 2 cases of absorbent booms).
- Contacts the waste disposal/emergency response contractor for Large Spills.
- Ensures the Area Manager, EHSS Team, and Region Office are contacted if the spill is classified as a Large Spill (See Key Terms).
- Manages Small Spill response.
- Implements Best Management Practices (BMPs) to decrease the likelihood of a leak, spill, or release

Area/Region Manager:

- Coordinates communications regarding Large Spill response with the store, the EHSS Team, and Region Office.
- Ensures BSRO's image and standards are being maintained.

EHSS Team:

- Fulfills reporting requirements with applicable local, state, and federal regulators, if required.
- Communicates clean-up requirements to the Store Manager and Area Manager.
- Engages additional environmental support teams to address spill or release (i.e., environmental consultants or emergency response team)
- Manages large spill response through the waste disposal/emergency response contractor.

Process/Procedure

Store Manager, Service Manager, and BSRO Teammates:

Spills, leaks or other releases of regulated substances are costly to BSRO in terms of cleanup expenses, business disruption (during the cleanup), potential negative public perception, legal fees, and/or fines. While spills are generally accidental, measures can be taken to prevent and to respond quickly to spills before they become an environmental issue.

Spill Prevention

The most cost-effective method to deal with spills is to establish Best Management Practices (BMPs) to minimize risk. Store Managers are responsible for implementing BMPs to decrease the likelihood of a leak, spill, or release. The BMPs listed below are the minimum standards required in our stores:

1. Reinforce proper materials handling techniques (e.g. secured lids on all containers holding fluids when not actively adding or removing fluids) with Store Teammates.
2. Ensure the Emergency Action Plan is reviewed and understood (**See Emergency Action Plan SOP**).

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3. Take extra precaution if/when any materials are moved or emptied (i.e. oil dollies, oil transfer containers, drums, EcoBoxes).
4. Ensure Store Teammates are aware of where spills are likely to occur (Waste Storage Areas and Near the Used Oil Tank).
5. Inspect containers used to hold fluids for signs of wear or damage. If the container integrity is compromised or damaged, make arrangements to transfer the fluids to a new container.
6. Inspect areas where fluids are stored for signs of leaks. If leaks are observed, make arrangements to transfer the fluids to a new container.
7. Inspect the area around aboveground storage tanks and totes. If a suspected leak is observed in the tank or tote, contact the Area Manager or EHSS Team to make arrangements with a vendor to inspect the tank (and possibly repair/replace equipment).
8. Ensure Store Teammates are aware of the location of floor drains in the shop and the location of stormwater drains in the parking area, if applicable.
9. Ensure Store Teammates are aware of the location of the spill response supplies in the store.
10. Enforce - BSRO prohibits using granular adsorbent material (a.k.a. kitty litter, oil dry, dry sweep) to cleanup spills in the service area as it can damage the piston seal on in-ground lifts. **Granular adsorbent should not be kept in the store**

Spill Supplies

Each store *must* continually have an adequate supply of spill materials for the cleanup of spills at the store. These supplies are for non-routine spills and can be used to block drains and to keep a large spill inside the store until it can be cleaned by an approved contractor. Spill supplies include absorbent booms to contain spills and block off drains, pads to absorb spilled materials, and a drum to hold the used materials (used absorbent material drum). The spill supplies are required to be readily available, fully stocked, and only be used for spill management. **Spill materials must not be used as a substitute for shop towels.**

A properly stocked store will have the following spill response and spill prevention materials which can be ordered through the POS using the following JDA numbers:

- Two cases of absorbent pads (JDA #7007984)
- Two cases of absorbent booms (JDA #7003015)
- One case of barrel top absorbent pads (JDA #7003014)

In addition, all stores will have one 55-gallon drum for used absorbent materials. This drum is to be used for saturated shop towels and used absorbent pads and booms. New or replacement drums for used absorbent materials can be ordered directly through the BSRO-approved waste disposal contractor.

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Spill Response

All spills must be responded to immediately using the spill response supplies. In the event of a spill, the Store Manager must:

- Ensure that the safety of Store Teammates and the BOSS is not compromised. Store Teammate/BOSS safety ALWAYS takes precedence over spill response.
- Determine the reason or source of the spill. If possible, act to cease the source of the spill (i.e. stop the flow of oil or other fluids).
- Protect all drains and ensure that spills do not leave the shop. Utilize absorbent booms to stop the flow of material to sensitive areas (grass-covered surfaces, landscaped areas, and storm drains).
- Cease the use of all equipment that may cause ignition or sparks.
- Open doors and windows to ventilate the area
- Start spill cleanup at the perimeter of the spill and work towards the center for Small Spills (less than 5 gallons). Store Teammates should avoid walking through the spill.
- **A spill greater than 5 gallons, any size spill that enters floor drains, or any size spill on the exterior of the building (Large Spills), must immediately be reported to our waste disposal/emergency response contractor.**
 - **Quest – 844-347-3844**
 - **For normal business hours an operator will answer the phone.**
 - **For after hour spills, choose the emergency option and leave a message. A responder will return the call in approximately 15 minutes.**
- Immediately after contacting the waste disposal/emergency contractor for a Large Spill, report the spill to the Area Manager, the EHSS Team, and the Region Office. Please note: The waste disposal/emergency contractor will contact the EHSS Team to discuss response options.
- Dispose of used spill cleanup supplies in the 55-gallon drum containing used absorbent materials.
- Document spill cleanup activities using notes and pictures.

In case of a gasoline or solvent spill: Be aware of your surroundings and remove or move away from any potential ignition sources (i.e., torches, smoking, etc.).

After the Spill

After a spill is cleaned up, the Store Manager must ensure that:

- Wastes are managed as outlined in the appropriate waste management SOPs.
- Spill cleanup materials should be stored in the 55-gallon drum containing used absorbent materials. If the spill used absorbent drum is missing or the volume of spill debris is too great, spill cleanup material may be *temporarily* stored with the used oil filters.
- Contact the BSRO-approved disposal vendor to provide empty drums and to arrange for debris to be recycled/disposed.
- Ensure that any spill supplies used in the response are replaced as outlined above.

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Reporting/Auditing Responsibilities

- The **Store Manager** must report any spill greater than 5 gallons, any size spill that enters floor drains, or any size spill on the exterior of the building to the Area Manager, the EHSS Team, and the Region Office immediately after contacting the waste disposal/emergency response contractor.
- The **Store Manager** must assist with the completion any spill documentation, if required by local, state, or federal agencies.
- The **EHSS Team** completes spill reporting requirements and communicates with local, state, and federal regulators, as required.

Leadership and Management

- The **Store Manager** must ensure that BMPs have been implemented and that the store is prepared to respond to a spill. The **Store Manager** must also ensure that any-sized spills are cleaned up immediately and that the Area Manager, EHSS Team, and Region Office are contacted in the case of a Large Spill as defined by this SOP.
- The **Area Manager** ensures that any-sized spill clean-ups have been coordinated with the EHSS Team and that communication has been maintained with waste disposal/emergency response contractor.
- The **EHSS Team** conveys clean-up requirements to the Store Manager, Area Manager, and Region Office, and oversees large spill response.

Resources

- If you have any questions regarding environmental issues, email a member of the Environmental Group at Retail-EnvironmentalTeam@bfusa.com, submit a Field Support Ticket or by reach out directly via the EHSS Contact List located in the Resource Library on SPD.
- EHSS Contact List
- A spill greater than 5 gallons, any size spill that enters floor drains, or any size spill on the exterior of the building (Large Spills), must immediately be reported to our waste disposal/emergency response contractor.
 - **Quest – Emergency Number – 844-347-3844**
 - For normal business hours an operator will answer the phone.
 - For after hour spills, choose the emergency option and leave a message. A responder will return the call in approximately 15 minutes.
 - Quest – Non-Emergency Number - 877-321-1811

Spill Management SOP					
Date Created	Date Revised	Issuing Department	Author	# of Pages	
5/26/15	12/6/2018	EHSS	CBS/NLJ	6	6 Page

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Date: June 19, 2026

To: Whitney Pizzala, PE – AR Engineering

From: Nick LaCroix, PE PTOE

Re: Firestone Tire Store Development – Trip Generation

LTE has completed a trip generation assessment for the proposed Firestone tire store development based on *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, sponsored by the Tri-County Regional Planning Commission and the Michigan Department of Transportation (MDOT). In addition, Genoa Township thresholds for requiring a detailed traffic impact study were reviewed. The following sections summarize our findings regarding the potential trip generation projections for the proposed site.

INTRODUCTION

AR Engineering is working on a project to develop a Firestone tire store located in Genoa Township, Michigan. The site is located on the south side of Grand Oaks Drive just west of Latson Road. The proposed site includes a 6,515 square-foot tire store with access to Grand Oaks Drive via the adjacent private driveway. Figure 1 shows the proposed site location and access driveway. Figure 2 shows the proposed site plan.

As part of the project approval process, a trip generation analysis has been requested to determine if a traffic study should be required and to quantify the anticipated number of vehicular trips the site may generate upon completion of the proposed project.



Figure 1. Location Map

TRIP GENERATION

The Trip Generation Manual, Twelfth Edition, by the Institute of Transportation Engineers (ITE) was used to calculate the anticipated traffic that may be generated by the proposed Firestone tire store. Trips are measured individually for inbound and outbound movements; therefore, a visit to the site by an employee or visitor, for instance, generates two trips—one inbound and one outbound.

Based on the land use descriptions provided within the ITE Trip Generation Manual, the most applicable land use for the proposed site would be the Tire Store (ITE Code 848) land use.

Table 1 shows the anticipated trip generation for the proposed site. The proposed site is anticipated to generate approximately 186 (93 inbound, 93 outbound) new daily trips, 18 new weekday morning peak hour trips (11 inbound, 7 outbound) and 25 new weekday afternoon peak hour trips (11 inbound, 14 outbound) onto the roadway system.

Table 1. Typical Weekday Trip Generation

Land Use	ITE Code	Size	AM			PM			Daily Trips
			Total	Enter	Exit	Total	Enter	Exit	
Tire Store	848	6,515 sft	18	11	7	25	11	14	186

Source: ITE Trip Generation Manual, 12th Edition

CONCLUSIONS

As per the guidelines in *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, if a new or changed land use is projected to generate at least 100 directional trips during the peak hour, or at least 750 trips during an average day, a traffic impact study may be required. If the traffic generated by the site is projected to be between 50 and 99 directional trips during a peak-hour, or between 500 – 749 trips during an average day, a traffic impact assessment at the site driveways may be required.

Genoa Township standards state a detailed traffic impact study should be completed for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips during the peak hours.

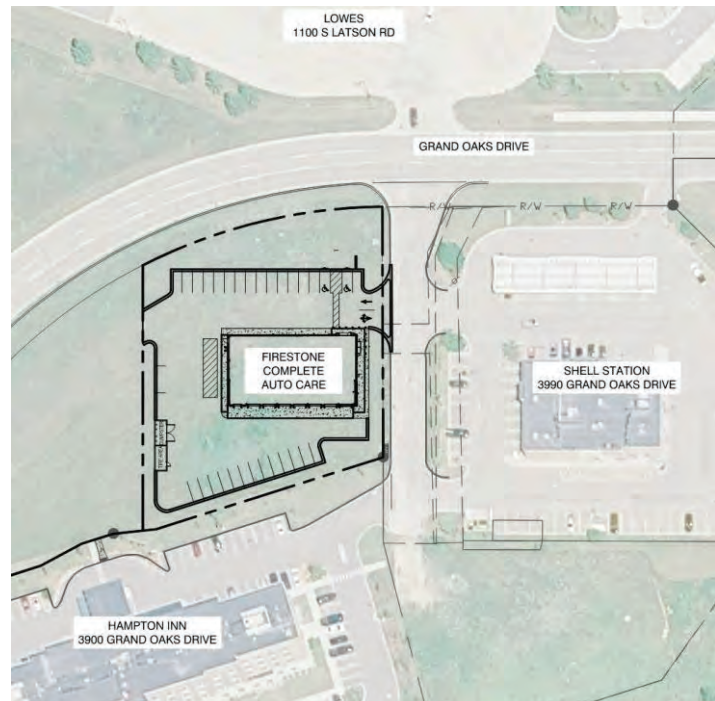


Figure 2. Site Plan

Based on the trip generation analyses performed, the proposed Firestone tire store development will generate well below the thresholds for requiring a traffic impact study or assessment with a maximum of 14 directional trips during the afternoon peak hour. In addition, the anticipated 186 daily trips indicates neither a traffic impact assessment nor traffic impact study would be recommended.

Based on the daily and peak hour trips anticipated to be generated, a traffic impact study or assessment would not be recommended for the proposed Firestone tire store development as the site is anticipated to have minimal impact on the site driveway and to the surrounding roadways.

HOWELL FIRESTONE COMPLETE AUTO CARE

**GRAND OAKS DR
SECTION 08, T.02N, R.05E
GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MI**

SITE DEVELOPMENT PLANS AUGUST 31, 2026

ISSUED FOR: SITE PLAN REVISIONS

SHEET INDEX

No.	SHEET TITLE
C00	COVER SHEET
C01	SITE PLAN
C02	SITE DEMOLITION PLAN
C03	SITE GRADING PLAN
C03.1	SITE DRAINAGE PLAN
C04	EROSION CONTROL PLAN
C04.1	EROSION CONTROL PLAN NOTES & DETAILS
C05	SITE UTILITY PLAN
C05.1	STORM PROFILE
C06	PAVING PLAN
C07	LANDSCAPE PLAN
C09	DETAIL SHEET I
C01	PHOTOMETRIC PLAN
ALTA-1	ALTA SURVEY
PA01	FLOOR PLAN & NOTES
PA04	COLORLED EXTERIOR ELEVATIONS & DETAILS

REVISIONS

No.	ISSUED FOR:	DATE:	BY:
0	SITE PLAN REVIEW	06/19/26	wp
1	SITE PLAN REVISIONS	07/20/26	wp
2	SITE PLAN REVISIONS	08/05/26	wp
3	SITE PLAN REVISIONS	08/31/26	wp
4	.	.	.
5	.	.	.

CIVIL ENGINEER:

AR ENGINEERING, LLC
5725 VENTURE PARK DRIVE, SUITE A
KALAMAZOO, MI 49008
TEL. (269) 250-5991 FAX. (866) 569-0604



Whitney Pizzala

WHITNEY PIZZALA, P.E.



AR Engineering

DATE 08/31/2026

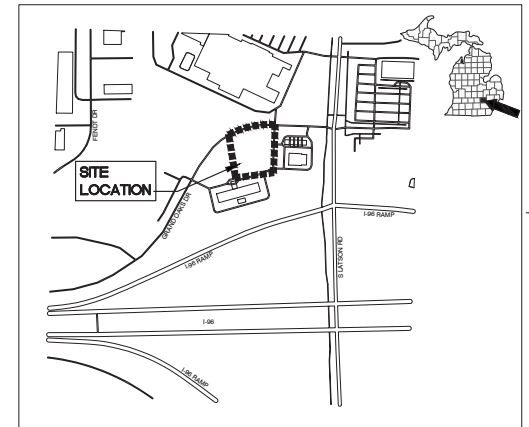
OWNERS:

RLG HOWELL LLC/IGG HOWELL LLC
10050 INNOVATION DR STE 100,
MIAMISBURG OH 45342

DEVELOPER:

ZAREMBA GROUP, LLC
14600 DETROIT AVE.
LAKESWOOD, OH 44107
TEL. (216) 226-5160

LOCATION MAP NOT TO SCALE



42°34'53.9"N 83°52'34.5"W

LEGAL DESCRIPTION

PARCEL #: 4711-08-200-022

PROPERTY DESCRIBED IN SCHEDULE "C" OF FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES COMMITMENT NO. NCS-1295414, DATED 01/21/2026
LAND IN THE TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MI, DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SECTION 8, THENCE ALONG THE NORTH LINE OF SECTION 8, SOUTH 87 DEGREES 16 MINUTES 42 SECONDS WEST, 3.27 FEET, TO THE CENTERLINE OF LATSON ROAD, THENCE ALONG THE CENTERLINE OF LATSON ROAD, THE FOLLOWING THREE (3) COURSES: 1) SOUTHERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 159.72 FEET, A RADIUS OF 10000.00 FEET, A CENTRAL ANGLE OF 00 DEGREES 54 MINUTES 55 SECONDS, AND A LONG CHORD WHICH BEARS SOUTH 00 DEGREES 40 MINUTES 20 SECONDS WEST, 159.72 FEET; 2) SOUTH 01 DEGREES 07 MINUTES 48 SECONDS WEST, 915.15 FEET, SOUTHERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 148.82 FEET, A RADIUS OF 10000.00 FEET, A CENTRAL ANGLE OF 00 DEGREES 51 MINUTES 10 SECONDS, AND A LONG CHORD WHICH BEARS SOUTH 00 DEGREES 42 MINUTES 13 SECONDS WEST, 148.82 FEET, TO THE POINT OF INTERSECTION OF THE CENTERLINE OF LATSON ROAD AND THE CENTERLINE OF RELOCATED GRAND OAKS DRIVE; THENCE ALONG THE CENTERLINE OF RELOCATED GRAND OAKS DRIVE, SOUTH 89 DEGREES 48 MINUTES 26 SECONDS WEST, 159.53 FEET; THENCE SOUTH 00 DEGREES 15 MINUTES 46 SECONDS WEST, 40.00 FEET; THENCE ALONG A LIMITED ACCESS RIGHT OF WAY LINE OF I-96, THE FOLLOWING FOUR (4) COURSES: 1) SOUTH 45 DEGREES 13 MINUTES 54 SECONDS EAST, 112.47 FEET; 2) SOUTHEASTERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 192.62 FEET, A RADIUS OF 10080.00 FEET, A CENTRAL ANGLE OF 01 DEGREES 05 MINUTES 42 SECONDS, AND A LONG CHORD WHICH BEARS SOUTH 00 DEGREES 57 MINUTES 11 SECONDS EAST, 192.62 FEET; 3) SOUTH 35 DEGREES 12 MINUTES 51 SECONDS WEST, 160.82 FEET; 4) SOUTH 72 DEGREES 24 MINUTES 04 SECONDS WEST, 200.33 FEET; THENCE NORTH 14 DEGREES 21 MINUTES 09 SECONDS WEST, 182.73 FEET; THENCE NORTH 00 DEGREES 11 MINUTES 34 SECONDS WEST, 72.82 FEET, TO THE POINT OF BEGINNING OF THE PARCEL, TO BE DESCRIBED; THENCE SOUTH 72 DEGREES 24 MINUTES 02 SECONDS WEST, 202.29 FEET; THENCE SOUTH 84 DEGREES 01 MINUTES 59 SECONDS WEST, 36.37 FEET; THENCE SOUTH 72 DEGREES 24 MINUTES 04 SECONDS WEST, 28.77 FEET; THENCE SOUTH 01 DEGREES 39 MINUTES 33 SECONDS WEST, 99.34 FEET; THENCE SOUTH 72 DEGREES 24 MINUTES 09 SECONDS WEST, 84.00 FEET; THENCE SOUTH 12 DEGREES 24 MINUTES 09 SECONDS WEST, 20.00 FEET; THENCE SOUTH 17 DEGREES 35 MINUTES 54 SECONDS EAST, 10.72 FEET; THENCE SOUTHWESTERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 78.87 FEET, A RADIUS OF 51.50 FEET, A CENTRAL ANGLE OF 87 DEGREES 44 MINUTES 44 SECONDS, AND A LONG CHORD WHICH BEARS SOUTH 26 DEGREES 16 MINUTES 26 SECONDS WEST, 71.39 FEET; THENCE SOUTH 17 DEGREES 35 MINUTES 56 SECONDS EAST, 214.73 FEET; THENCE ALONG A LIMITED ACCESS RIGHT OF WAY LINE OF I-96, SOUTH 63 DEGREES 09 MINUTES 04 SECONDS WEST, 433.52 FEET; THENCE ALONG THE SOUTHERLY RIGHT OF WAY LINE OF RELOCATED GRAND OAKS DRIVE (80 FOOT WIDE RIGHT OF WAY), THE FOLLOWING THREE (3) COURSES: 1) NORTHEASTERLY ALONG AN ARC LEFT, HAVING A LENGTH OF 301.01 FEET, A RADIUS OF 940.00 FEET, A CENTRAL ANGLE OF 18 DEGREES 20 MINUTES 51 SECONDS, AND A LONG CHORD WHICH BEARS NORTH 34 DEGREES 06 MINUTES 32 SECONDS EAST, 299.73 FEET; 2) NORTH 24 DEGREES 56 MINUTES 06 SECONDS EAST, 342.59 FEET; 3) NORTHEASTERLY ALONG AN ARC RIGHT, HAVING A LENGTH OF 517.66 FEET, A RADIUS OF 480.00 FEET, A CENTRAL ANGLE OF 64 DEGREES 28 MINUTES 38 SECONDS, AND A LONG CHORD WHICH BEARS NORTH 57 DEGREES 10 MINUTES 25 SECONDS EAST, 490.77 FEET; THENCE SOUTH 00 DEGREES 11 MINUTES 34 SECONDS EAST, 212.91 FEET, TO THE POINT OF BEGINNING

SITE DATA

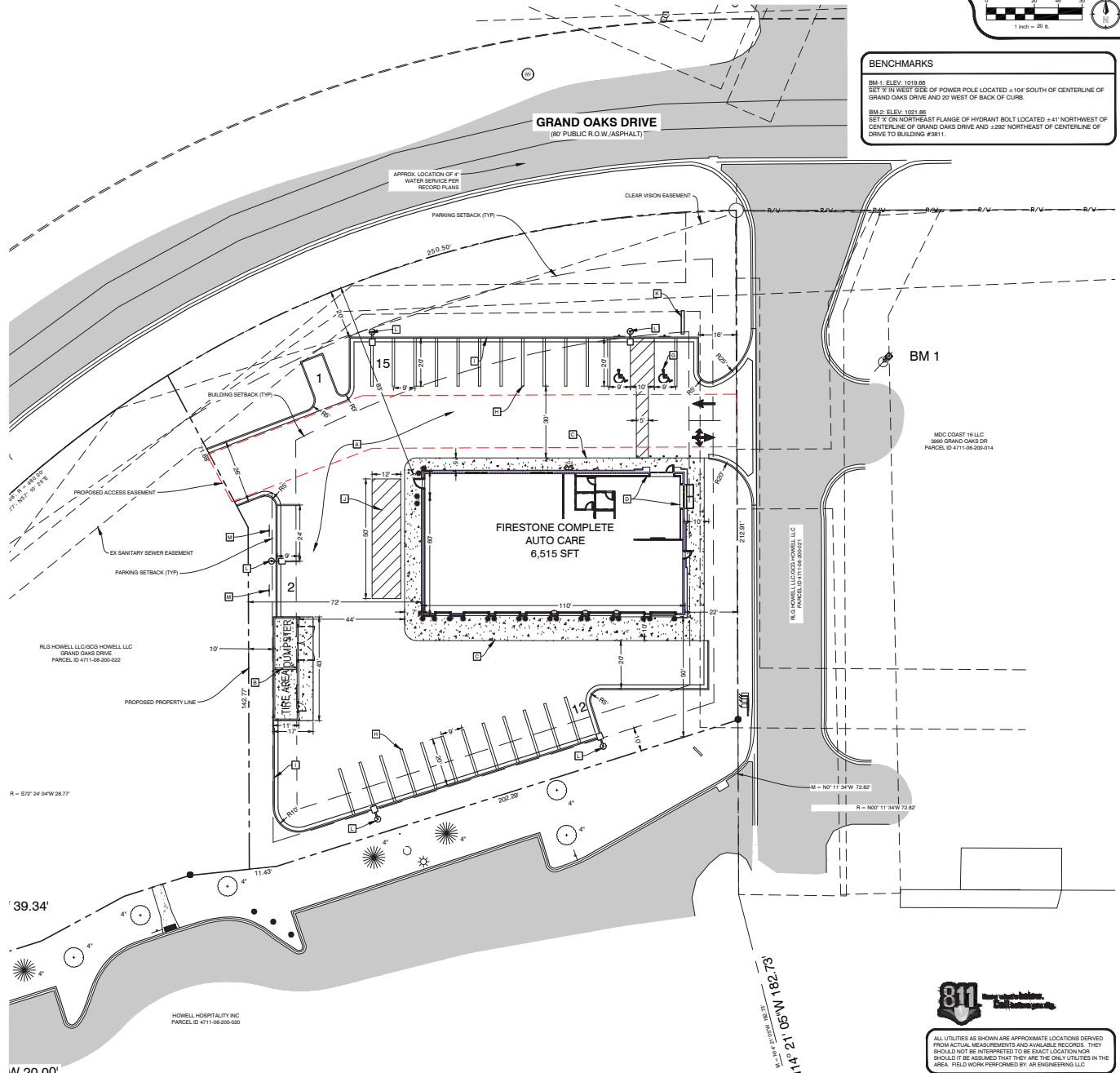
- PROPERTY INFORMATION:
PART OF PARCEL #S: 4711-08-200-022
SITE AREA: 48,927 SF (1.12AC)
OWNER: RLG HOWELL LLC/GGS HOWELL LLC
10000 INNOVATION DR STE 100
MAAMSBURG, OH 43042
DEVELOPER: ZAREMBA GROUP
JUSTIN BRUCE, DEVELOPMENT MANAGER
14000 DETROIT AVE, SUITE 1100
LAKWOOD, OH 44107
PHONE: (216) 221-6600
- PROPERTY CURRENTLY ZONED: NRPUD - NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT
ABUTTING PROPERTY CURRENTLY ZONED:
NORTH: NRPUD - NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT
SOUTH: NRPUD - NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT
EAST: NRPUD - NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT
WEST: NRPUD - NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT
PROPOSED LAND USE = MINOR AUTO REPAIR
*PERMITTED USE WITH SPECIAL USE
- SETBACKS
FRONT = 50'
SIDES = 20'
REAR = 20'
PARKING = 20' FRONT; 10' SIDE/REAR
- PARKING:
REQUIRED = (2) PARKING SPACE PER SERVICE BAY, PLUS
(1) PARKING SPACE PER EMPLOYEE, PLUS (1) SPACE PER
EACH TOW TRUCK.
(8 BAYS * 2) + 7 + 0 = 15 + 14 = 30
PROVIDED = STANDARD 9'X20' SPACES = 26
PROVIDED = PARALLEL 9'X20' SPACES = 2
BARRIER FREE SPACES = 2
TOTAL PROVIDED = 30
- BUILDING:
SINGLE STORY (29'-4")
MAXIMUM HEIGHT: 7'2"
TOTAL AREA OF 6,515 SFT. (SEE FLOOR PLAN AND
ELEVATIONS FOR MORE DETAIL.)
PROPOSED BUILDING COVERAGE: 14%
PROPOSED IMPERVIOUS COVERAGE: 70%
MAXIMUM BUILDING COVERAGE: 90%
MAXIMUM IMPERVIOUS COVERAGE: 85%
- LOT:
MINIMUM LOT SIZE: 1 ACRE
MINIMUM LOT WIDTH: 120FT
LOT SIZE: 48,927 SFT / 1.12 ACRES
LOT DIMENSIONS: IRREGULAR
- LANDSCAPING:
SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.
- STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN
ACCORDANCE WITH TOWNSHIP STORM WATER
GUIDELINES.

SITE PLAN NOTES

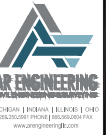
- PAVEMENT (SEE PAVING PLAN).
- TRASH AND TIRE ENCLOSURE (SEE ARCH PLANS).
- CONCRETE WALK (SEE PAVING PLAN).
- PROPOSED BUILDING SIGN.
- BOLLARDS - (33 W/ DUMPSTER ENCLOSURE) TOTAL
- DOWNSPOUT (TYP.)
- PAINT/STRIPING (SEE DETAIL SHEET)
- 4" PAINTED PARKING LOT MARKING (STRIPING) (TYP.)
- MDOT F4 CURB (SEE DETAIL SHEET)
- LOADING ZONE
- FREE STANDING SIGN (SEE ARCH PLANS)
- LIGHT POLES (SEE PHOTOMETRIC PLAN FOR DETAILS)
- EMPLOYEE ONLY PARKING SIGNS (2)

GENERAL NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL CURB RADI AND DIMENSIONS ARE TO FACE OF CURB. CURBS TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
- SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING, SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.



PLANS PREPARED BY:



DESIGNED BY: J. BRUCE
CHECKED BY: J. BRUCE
DATE: 08/31/2026

BY	DATE	ISSUED FOR:	No.
0	6/11/2026	SITE PLAN REVIEW	0
1	7/20/2026	SITE PLAN REVISIONS	1
2	08/03/2026	SITE PLAN REVISIONS	2
3	08/31/2026	SITE PLAN REVISIONS	3
4	08/31/2026	SITE PLAN REVISIONS	4

DATE	BY
6/11/2026	J. BRUCE
7/20/2026	J. BRUCE
08/03/2026	J. BRUCE
08/31/2026	J. BRUCE

SITE PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR. HOWELL, MI 48943
SECTION 06, 102N, R06E.

PROJECT:
CLIENT:
SITE ADDRESS:
SHEET NO.:

JOB NUMBER
26012110

DATE
08/31/2026

SHEET NUMBER
C01

GRADING NOTES

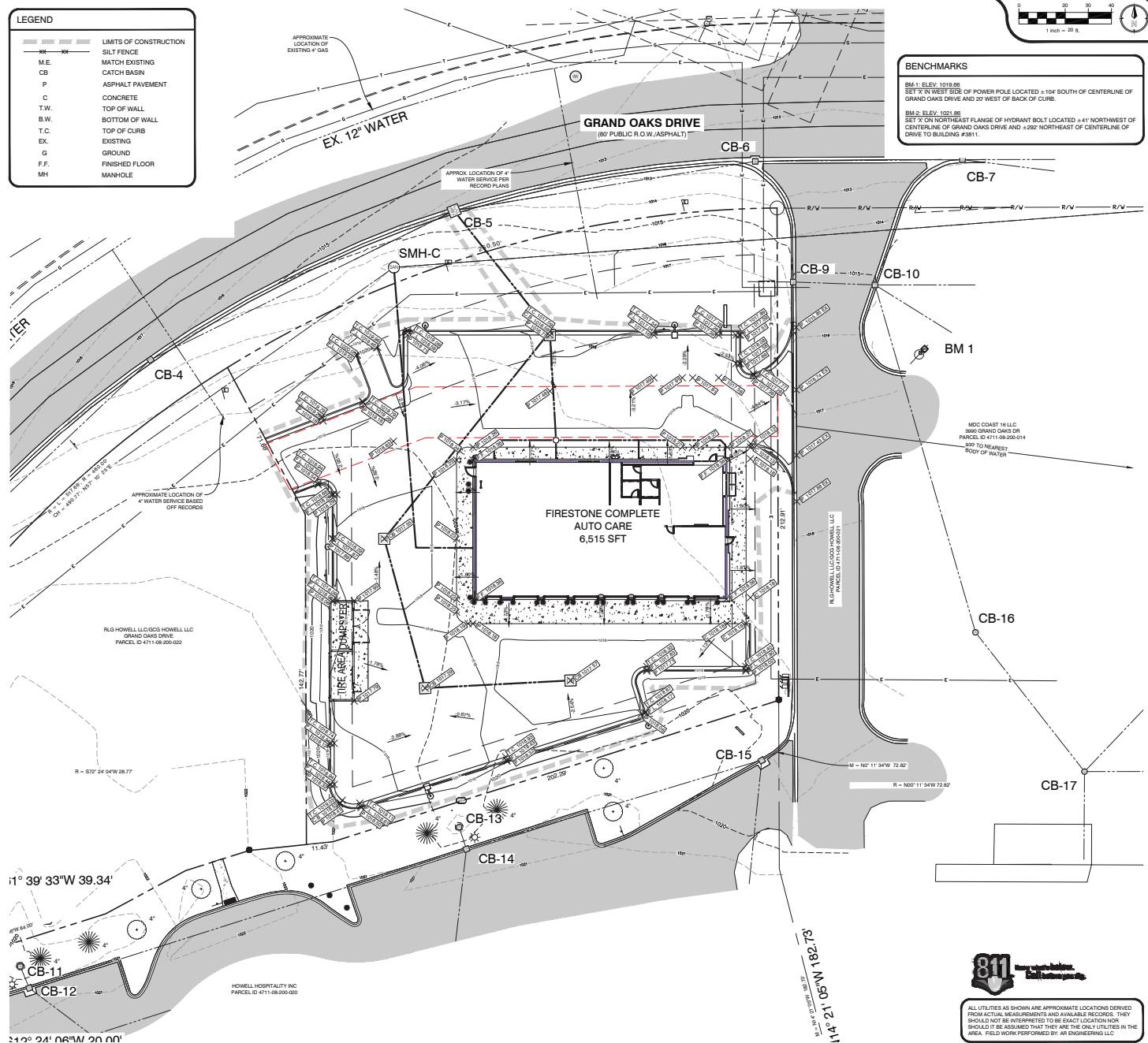
1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT 811 "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH AND REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT PREPARED BY DAVID V. LEVIN CORP.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION, RAISING TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
12. TOTAL AREA OF DISTURBANCE: 0.90 ACRES

LEGEND

- | | |
|----------------------------|------------------|
| ● FOUND CORNER | □ FIRE HYDRANT |
| ○ SET CAPPED IRON | □ MAILBOX |
| □ SQUARE STORM CATCH BASIN | □ LIGHT POLE |
| ○ ROUND STORM CATCH BASIN | □ POST |
| △ CONTROL POINT | |
| ○ DECIDUOUS TREE | ● FLAG POLE |
| ○ SANITARY MANHOLE | ○ MEASURED |
| ● BOLLARD | ○ DESCRIBED |
| ● CONIFEROUS TREE | ○ WATER VALVE |
| ○ COMMUNICATION RISER | △ SET MAG NAIL |
| | ○ HANDHOLE |
| | ○ BENCHMARK |
| — ASPHALT | — SECTION CORNER |
| - - - CONCRETE | |
| - - - STORM PIPING | |
| - - - WATER LINES | |
| - - - SANITARY SEWER | |
| - - - GAS LINES | |
| - - - ELECTRIC LINES | |
| - - - FENCE | |
| - - - TELEPHONE LINE | |

LEGEND

- | |
|--------------------------|
| — LIMITS OF CONSTRUCTION |
| — SILT FENCE |
| M.E. MATCH EXISTING |
| CB CATCH BASIN |
| P ASPHALT PAVEMENT |
| C CONCRETE |
| T.W. TOP OF WALL |
| B.W. BOTTOM OF WALL |
| T.C. TOP OF CURB |
| EX. EXISTING |
| G GROUND |
| F.F. FINISHED FLOOR |
| MH MANHOLE |



PLANS PREPARED BY:



DRAWN: JS
CHECKED: WP

No.	DATE	ISSUED FOR:
0	6/11/2020	SITE PLAN REVIEW
1	7/20/2020	SITE PLAN REVISIONS
2	08/03/2020	SITE PLAN REVISIONS
3		
4	8/31/2020	SITE PLAN REVISIONS

SITE GRADING PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
 GRAND OAKS DR, HOWELL, MI 48843
 SECTION 06, 102N, R06E

PROJECT:
CLIENT:
SITE ADDRESS:
SHEET NO.:

JOB NUMBER
 26012110
DATE
 08/31/2026

SHEET NUMBER
 C03



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING, LLC

GRADING NOTES

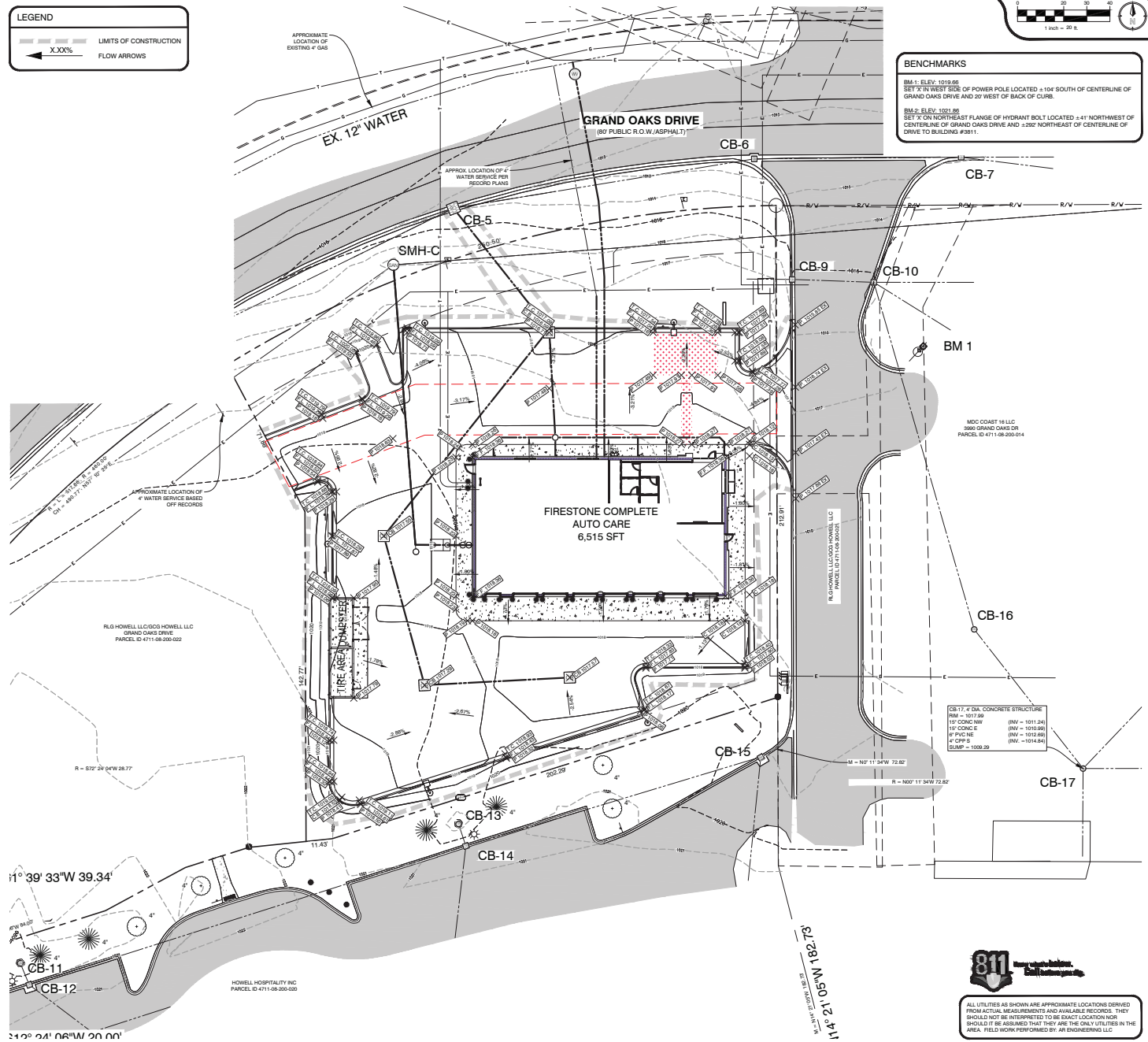
1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT 811 "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT PREPARED BY DAVID V. LEVIN CORP.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
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11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION, BARRING TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

LEGEND

- FOUND CORNER
- STREET SIGN
- SQUARE STORM CATCH BASIN
- ROUND STORM CATCH BASIN
- STORM MANHOLE
- DECIDUOUS TREE
- UTILITY POLE
- CONTROL POINT
- SANITARY CLEANOUT
- SANITARY MANHOLE
- BOLLARD
- GAS METER
- ELECTRIC TRANSFORMER
- CONFERENTIAL TREE
- SET CAPPED IRON
- FIRE HYDRANT
- WATER VALVE
- GUY ANCHOR
- LIGHT POLE
- COMMUNICATION RISER
- M = MEASURED
- D = DESCRIBED
- △ SECTION CORNER
- △ BENCHMARK
- △ SET MAG NAIL
- ASPHALT
- CONCRETE
- GRAVEL
- STORM PIPING
- WATER LINES
- SANITARY SEWER
- GAS LINES
- ELECTRIC LINES
- CABLE LINE
- OVERHEAD UTILITY
- FIBER LINE

LEGEND

- LIMITS OF CONSTRUCTION
- FLOW ARROWS



BENCHMARKS

- BM-1 ELEV. 1019.86
SET 7' IN WEST SIDE OF POWER POLE LOCATED ± 104' SOUTH OF CENTERLINE OF GRAND OAKS DRIVE AND 20' WEST OF BACK OF CURB.
- BM-2 ELEV. 1021.86
SET 7' ON NORTHEAST FLANGE OF HYDRANT BOLT LOCATED ± 41' NORTHWEST OF CENTERLINE OF GRAND OAKS DRIVE AND ± 292' NORTHEAST OF CENTERLINE OF DRIVE TO BUILDING #381.

PLANS PREPARED BY:



DRAWN: JS
CHECKED: WP

No.	DATE	ISSUED FOR:
0	6/11/2028	SITE PLAN REVIEW
1	7/20/2028	SITE PLAN REVISIONS
2	08/03/2028	SITE PLAN REVISIONS
3	8/31/2028	SITE PLAN REVISIONS
4		

SITE DRAINAGE PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR. HOWELL, MI 48843
SECTION 06, 102N, R06E.

PROJECT:
CLIENT:
SITE ADDRESS:
SHEET NO.:

JOB NUMBER
26012110

DATE
08/31/2026

SHEET NUMBER
C03.1



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING, LLC

GRADING NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT 811 "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING CITY UTILITIES NOT PART OF THE 811 "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT PREPARED BY DAVID V. LEVIN CORP.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BARRING TO BE SEEDING AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

SOIL EROSION & SEDIMENT CONTROL NOTES

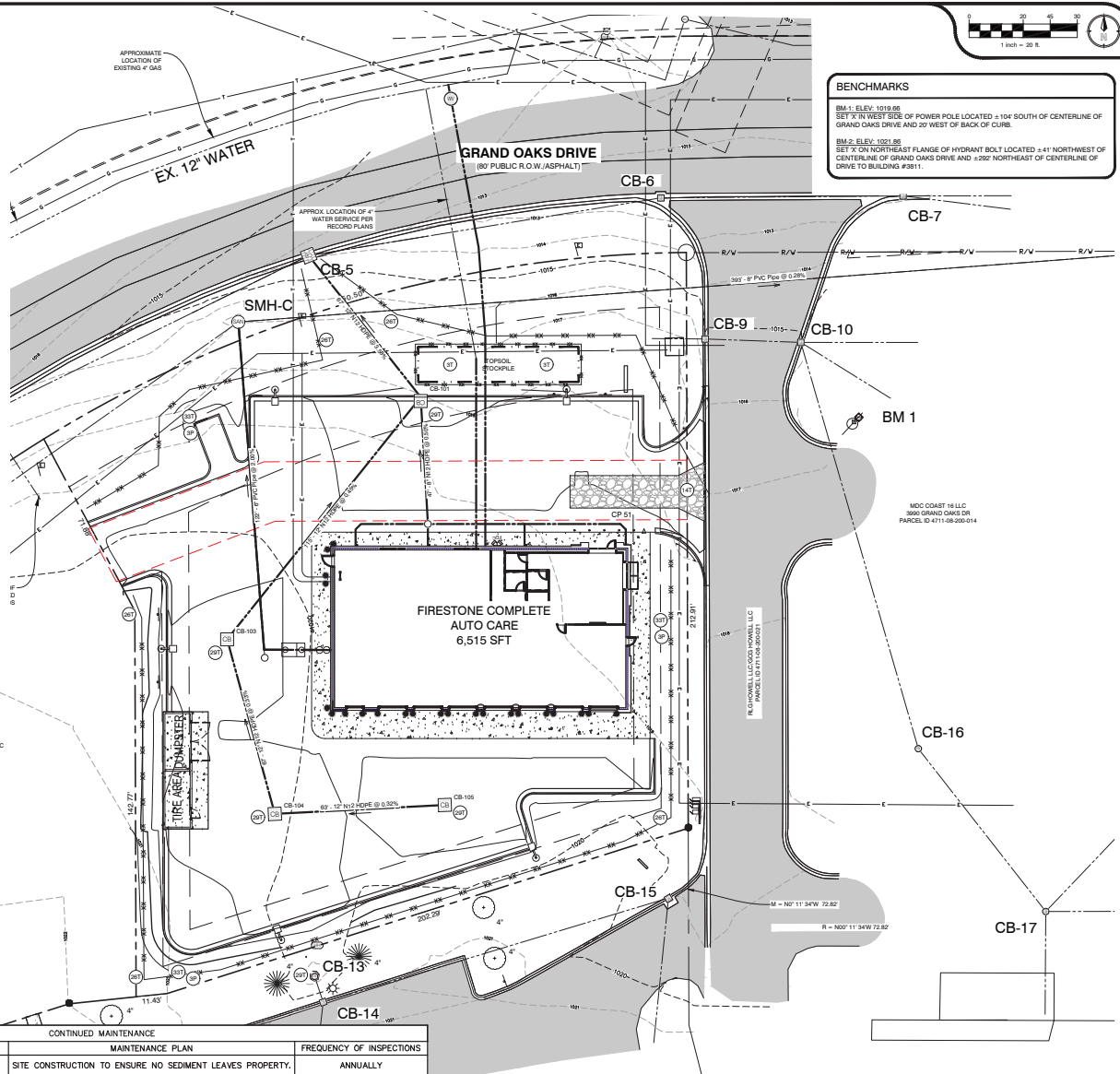
1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH MDT EGLE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE GOVERNING AUTHORITY AND A "PERMIT BY RULE" NOTICE OF COVERAGE FROM THE GOVERNING AUTHORITY. IF APPLICABLE, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE". EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.
2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TORSOL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.
3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.
4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SOILING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.
5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.
6. ANY DRAINAGE REQUIRED SHALL HAVE A DRAINAGE PLAN SUBMITTED PRIOR TO STARTING THE ACTIVITY AND MAY REQUIRE EGLE APPROVAL.
7. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PER MDT STANDARD DETAILS. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.
8. DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED TO PLACE TORSOL SURFACE. SALT, 3 INCH MDT SEEDING MIXTURE T/F APPLIED AT A RATE OF 210 LBS/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 150 LBS/ACRE, MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)
9. DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12" WIDE, 6" DEEP AND CONSIST OF 2" AGGREGATE.
10. DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATER, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.
11. DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LAIDEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.
12. DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.

LEGEND

- LIMITS OF CONSTRUCTION
- SILT FENCE

LEGEND

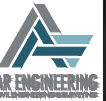
- FOUND CORNER
- STREET SIGN
- SQUARE STORM CATCH BASIN
- ROUND STORM CATCH BASIN
- STORM MANHOLE
- DECIDUOUS TREE
- UTILITY POLE
- CONTROL POINT
- SANITARY CLEANOUT
- SANITARY MANHOLE
- BOLLARD
- GAS METER
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- CONIFEROUS TREE
- SET CAPPED IRON
- FIRE HYDRANT
- WATER VALVE
- GUY ANCHOR
- LIGHT POLE
- COMMUNICATION RISER
- M = MEASURED
- D = DESCRIBED
- SECTION CORNER
- BENCHMARK
- SET MAG NAIL
- ASPHALT
- CONCRETE
- GRAVEL
- STORM PIPING
- WATER LINES
- SANITARY SEWER
- GAS LINES
- ELECTRIC LINES
- CABLE LINE
- OVERHEAD UTILITY
- FIBER LINE



BENCHMARKS

- BM-1 ELEV. 1010.86
SET 7' IN WEST SIDE OF POWER POLE LOCATED ± 10' SOUTH OF CENTERLINE OF GRAND OAKS DRIVE AND 20' WEST OF BACK OF CURB.
- BM-2 ELEV. 1021.86
SET 7' ON NORTHEAST FLANGE OF HYDRANT BOLT LOCATED ± 4' NORTHWEST OF CENTERLINE OF GRAND OAKS DRIVE AND ± 20' NORTHEAST OF CENTERLINE OF DRIVE TO BUILDING 35811.

PLANS PREPARED BY:



DESIGNED: J. BRIDGESTONE
DRAWN: JS
CHECKED: WP

NO. 0
DATE 6/1/2026
ISSUED FOR: SITE PLAN REVIEW
BY: JS

NO. 1
DATE 7/20/2026
ISSUED FOR: SITE PLAN REVIEW
BY: WP

NO. 2
DATE 08/03/2026
ISSUED FOR: SITE PLAN REVIEW
BY: JS

NO. 3
DATE 8/31/2026
ISSUED FOR: SITE PLAN REVIEW
BY: WP

NO. 4
DATE 8/31/2026
ISSUED FOR: SITE PLAN REVIEW
BY: JS

PROJECT: HOWELL, MI BRIDGESTONE
CLIENT: ZAREMBA GROUP, LLC
SITE ADDRESS: GRAND OAKS DR. HOWELL, MI 48843
SHEET NO.: 02, 102N, ROBE.

EROSION CONTROL PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR. HOWELL, MI 48843
SHEET NO.: 02, 102N, ROBE.

PROJECT: HOWELL, MI BRIDGESTONE
CLIENT: ZAREMBA GROUP, LLC
SITE ADDRESS: GRAND OAKS DR. HOWELL, MI 48843
SHEET NO.: 02, 102N, ROBE.

JOB NUMBER
26012110
DATE
08/31/2026

SHEET NUMBER
C04

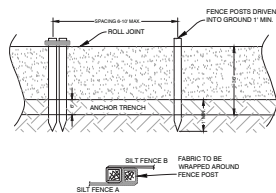
SCHEDULED ACTIVITY

CONSTRUCTION SCHEDULE	OCT 26	NOV	DEC	JAN 27	FEB	MAR	APR	MAY
TEMPERARY SESS MEASURES	X	X						
STRIP AND STOCKPILE	X							
ROUGH GRADING	X	X						
UNDERGROUND UTILITIES	X	X						
BUILDING CONSTRUCTION	X	X	X	X				
PERMANENT SESS MEASURES					X	X	X	
REMOVAL OF TEMP SESS CONTROLS (AFTER SITE IS FULLY VEGETATED)								X
FINAL GRADE					X	X		
FINAL PAVING						X	X	
LANDSCAPING								X

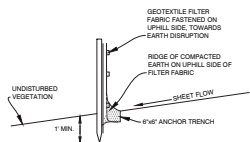
MEASURE	RESPONSIBLE PARTY	MAINTENANCE PLAN	FREQUENCY OF INSPECTIONS
BUFFER STRIPS	SITE CONTRACTOR/OWNER	SITE CONSTRUCTION TO ENSURE NO SEDIMENT LEAVES PROPERTY.	ANNUALLY
CATCH BASINS	SITE CONTRACTOR/OWNER	SITE CONTRACTOR TO INSPECT AND CLEAN POST CONSTRUCTION. OWNER TO INSPECT ANNUALLY	ANNUALLY
STORM BASIN	SITE CONTRACTOR/OWNER	SITE CONTRACTOR TO INSPECT AND CLEAN POST CONSTRUCTION. OWNER TO INSPECT ANNUALLY	ANNUALLY
SEDIMENT FOREBAY	SITE CONTRACTOR/OWNER	SITE CONTRACTOR TO INSPECT AND CLEAN POST CONSTRUCTION. OWNER TO INSPECT ANNUALLY	ANNUALLY
RIP RAP	SITE CONTRACTOR/OWNER	SITE CONTRACTOR TO INSPECT AND CLEAN POST CONSTRUCTION. OWNER TO INSPECT ANNUALLY	ANNUALLY
PERMANENT SEEDING/MULCH	SITE CONTRACTOR/OWNER	SITE CONTRACTOR TO RESTORE DISTURBED AREAS, OWNER TO ASSESS FREQUENTLY	MONTHLY



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING, LLC



ROLL JOINTS



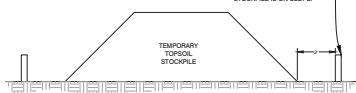
36" SILT FENCE

NOTES

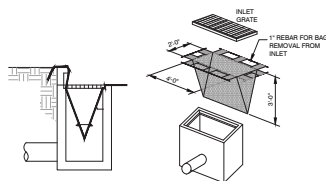
1. STOCKPILE SHALL BE STABILIZED WITH TEMP SEEDING AND EROSION CONTROL BLANKET.

2. ALL TEMP MEASURES MUST BE MAINTAINED UNTIL TOPSOIL HAS BEEN REMOVED.

PERIMETER EROSION CONTROL FENCE AROUND ENTIRE STOCKPILE OR TO EXTEND AROUND DOWNSTREAM PORTION IF STOCKPILE IS ON SLOPE.



TOPSOIL STOCKPILE



INSTALLATION DETAIL

ISOMETRIC VIEW

WHEN: WHEN SEDIMENT LADEN STORMWATER REQUIRES TREATMENT BEFORE ENTERING A STORM WATER DRAINAGE SYSTEM.

WHY: TO PREVENT SEDIMENT FROM ENTERING STORM WATER SYSTEMS.

WHERE: USE IN OR AT STORM WATER INLETS, ESPECIALLY AT CONSTRUCTION SITES OR IN STREETS.

HOW: 1. A FILTER FABRIC BAG IS HUNG INSIDE THE INLET, BENEATH THE GRATE.

2. REPLACE GRATE, WHICH WILL HOLD BAG IN PLACE.

3. ANCHOR FILTER BAG WITH 1\"

4. FLAPS OF BAG THAT EXTEND BEYOND THE BAG CAN BE BURIED IN SOIL IN EARTH AREAS.

MAINTENANCE: DROPPED FILTERS SHOULD BE INSPECTED ROUTINELY AND AFTER EACH MAJOR RAIN EVENT.

DAMAGED FILTER BAGS SHOULD BE REPLACED.

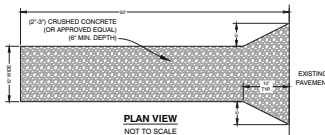
CLEAN AND/OR REPLACE FILTER BAG WHEN 1/2 FULL.

REPLACE CLOSSED FABRIC IMMEDIATELY.

IF NEEDED, INITIATE REPAIRS IMMEDIATELY UPON INSPECTION.

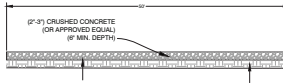
REMOVE ENTIRE PROTECTIVE MECHANISM WHEN UPGRADIENT AREAS ARE STABILIZED AND STREETS HAVE BEEN SWEEP.

INLET PROTECTION - SILT SACK



PLAN VIEW

NOT TO SCALE



PROFILE VIEW

NOT TO SCALE

STABILIZED CONSTRUCTION TRACKING MAT

PLANS PREPARED BY:



DRAWN	JS
CHECKED	WP

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN REVIEW	6/11/2026	JS
1	SITE PLAN REVISIONS	7/20/2026	WP
2	SITE PLAN REVISIONS	08/03/2026	JS
3	SITE PLAN REVISIONS	8/11/2026	WP
4			

EROSION CONTROL PLAN NOTES & DETAILS

PROJECT: HOWELL, MI BRIDGESTONE
CLIENT: ZAREMBA GROUP, LLC
SITE ADDRESS: GRAND OAKS DR, HOWELL, MI 48843
SHEET NO.: SECTION 06, 102N, R06.

JOB NUMBER
26012110

DATE
08/31/2026

SHEET NUMBER
C04.1

SITE MATERIALS & CONSTRUCTION NOTES

1. SOILS EXPOSED IN THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHOULD BE PROTECTED AGAINST ANY DETRIMENTAL CHANGES IN CONDITION SUCH AS FROM DISTURBANCE, RAIN AND FREEZING. SURFACE RUN OFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATION AND NOT ALLOWED TO POND. IF POSSIBLE, ALL FOOTING CONCRETE SHOULD BE POURED THE SAME DAY THE EXCAVATION IS MADE. IF THIS IS NOT PRACTICAL, THE FOOTING EXCAVATIONS SHOULD BE ADEQUATELY PROTECTED.
2. REMOVE ALL SUBGRADE GRADE MATERIAL THAT MAY BE SOFTENED BY RAINS, FREEZING, OR CONSTRUCTION TRAFFIC, ETC. AND REPLACE WITH COMPACTED GRANULAR FILL BY ADD OR EQUAL LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RM AND SLOTTED GRATINGS (AS SHOWN). STORM SEWER & LEACHING BASIN ARE TO BE WRAPPED WITH FILTER FABRIC.
3. STORM SEWER SHALL BE CORRUGATED HDPE PIPE WITH SMOOTH INTERIOR WALL. IF ADD OR EQUAL LEACHING BASINS AND MANHOLES ARE TO BE REINFORCED CONCRETE WITH RM AND SLOTTED GRATINGS (AS SHOWN). STORM SEWER & LEACHING BASIN ARE TO BE WRAPPED WITH FILTER FABRIC.
4. ALL WATER SERVICE LINES SHALL BE 1" PE PIPE WITHIN 5' OF BUILDING, WITH COMPRESSION FITTINGS OR MECHANICAL FITTINGS OTHER THAN FLARED ENDS. PROVIDE 5' COVER FROM FINISHED GRADE.
5. PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL WATER SERVICE LINES. IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
6. PROVIDE MINIMUM 5' COVER FROM FINISHED GRADE FOR ALL SANITARY SEWER LINES. IF COVER CANNOT BE MAINTAINED DUE TO SITE CONDITIONS OR INVERT ELEVATIONS THE ENTIRE LENGTH OF THE EXTERIOR PIPE MUST BE PROTECTED WITH 2" RIGID INSULATION BOARD ON THE TOP AND SIDES.
7. MAINTAIN 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER MAIN UTILITIES. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE UTILITIES CROSS.
8. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
9. EXTERIOR CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL HAVE LIMESTONE AGGREGATE AND SHALL HAVE 4 - 8% AIR ENTRAINMENT WITH A BROOM FINISH.
10. EXPANSION JOINTS IN CONCRETE PAVEMENT AND WALLS SHALL BE 1/2" ASPHALT IMPREGATED FULL DEPTH 40" O.C. MAXIMUM 8" AT SIDEWALK INTERSECTIONS. CRACK CONTROL SCORING AT SIDEWALK WIDTH DIMENSION AND @ 10' O.C. IN DRIVES.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED ELECTRICIAN ACCORDING TO THE N.E.P.A. NATIONAL ELECTRICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE WORKING SYSTEM.
3. ALL PLUMBING WORK SHALL BE PERFORMED BY A STATE OF MICHIGAN LICENSED PLUMBER ACCORDING TO THE INTERNATIONAL PLUMBING CODE AS MODIFIED BY THE STATE OF MICHIGAN AND LOCAL HEALTH DEPARTMENT. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
4. ALL MECHANICAL WORK SHALL BE PERFORMED ACCORDING TO THE INTERNATIONAL MECHANICAL CODE AS MODIFIED BY THE STATE OF MICHIGAN AND THE MICHIGAN ENERGY CODE. FURNISH AND INSTALL ALL MATERIALS AND LABOR TO PROVIDE A FULL WORKING SYSTEM.
5. ALL WORK SHALL CONFORM TO THE MICHIGAN HANDICAPPED ACCESSIBILITY CODE AND THE AMERICANS WITH DISABILITIES ACT.
6. WATER SERVICE PRESSURE TESTING AND CHLORINATION SHALL BE PER EGGLE AND THE GENOA CHARTER TOWNSHIP REQUIREMENTS.
7. SANITARY SEWER INSTALLATION AND TESTING MUST MEET THE REQUIREMENTS OF THE GENOA CHARTER TOWNSHIP AND THE EGLE.
8. ALL REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK.
10. CONTACT 811 "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "811" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
11. ANY SANITARY SEWER, SANITARY SEWER SERVICE LEADS, WATER MAIN, WATER SERVICES, OR STORM SEWER WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS SHALL BE REPAIRED TO THE OWNERS SATISFACTION, AND AT THE CONTRACTORS EXPENSE. IF ANY ELEMENTS OF THE SANITARY SEWER SYSTEM ARE DAMAGED AND NEED REPAIR, IT MUST MEET THE GENOA CHARTER TOWNSHIP SPECIFICATIONS.
12. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE ELECTRICAL TRANSFORMER PAD PER THE UTILITY COMPANY SPECIFICATIONS.
13. THE TELEPHONE UTILITY COMPANY SHALL PROVIDE UNDERGROUND TELEPHONE TO THE BUILDING AT THE OWNERS EXPENSE.
14. REFER TO ELECTRICAL DRAWINGS FOR UNDERGROUND ELECTRICAL REQUIREMENTS FOR SITE LIGHTING & SITE DETAILS SHEETS FOR THE FUTURE AND A POLE SPECIFICATIONS.
15. DESIGN, INSTALLATION AND SPECIFICATION FOR IMPROVEMENTS RELATED TO GAS, TELEPHONE, ELECTRIC AND CABLE TELEVISION SERVICES SHALL BE COORDINATED BY THE CONTRACTOR.
16. CONTRACTOR SHALL COORDINATE TELEPHONE, ELECTRIC, AND CABLE TELEVISION CONDUITS WITH THE APPROPRIATE UTILITY PRIOR TO PAVEMENT INSTALLATION.
17. CONTRACTOR IS TO UNCOVER AND CONFIRM ALL TAP LOCATIONS. LOCATION DISCREPANCIES ARE TO BE BROUGHT TO THE ENGINEERS ATTENTION FOR RESOLUTION.
18. THE CONTRACTOR IS TO PROVIDE THE WATER SERVICE PIPING FROM THE BUILDING TO THE SERVICE. THE CONTRACTOR SHALL MAKE THE CONNECTION TO THE SHUT OFF VALVE. THE CONTRACTOR SHALL COORDINATE SERVICES WITH THE MHOG UTILITY DEPARTMENT.
19. CONTRACTOR/OWNER SHALL OBTAIN UTILITY CONNECTION PERMITS AND SETTLE APPLICABLE UTILITY ASSESSMENTS PRIOR TO EXTENSION OF PUBLIC UTILITIES ON SITE.
20. MANHOLE AND CATCH BASIN STRUCTURES SHALL BE PRECAST AND HAVE A MAXIMUM OF 2 ADJUSTING RINGS FOR FINISH GRADE ADJUSTMENT. STORM STRUCTURES MUST ALL HAVE A SLUMP OF TWO FEET.
21. ALL WATER MAIN TO HAVE A BURIAL DEPTH AS REQUIRED BY THE SOLE FOR THE SPECIFIC REGION OF WORK IN GENOA CHARTER TOWNSHIP.
22. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
23. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT PREPARED BY DAVID V. LEWIN CORP.
24. DRIVEWAY LAYOUT AND CONNECTION TO PRIVATE DRIVE SHALL COMPLY WITH ALL ASPECTS OF THE COUNTY DRIVE PERMIT.

UTILITY PLAN NOTES

1. WATER SERVICE COORDINATE CONNECTION WITH PLUMBING PLANS.
2. STORM CLEAN OUT
3. FIRE KNOX BOX COORDINATE WITH TWP FIRE DEPARTMENT PRIOR TO INSTALL.
4. SEWER LATERAL COORDINATE CONNECTION WITH PLUMBING PLANS.
5. CONNECT TO EX 4" SMH-C. COORDINATE WITH MHOG UTILITY DEPARTMENT - (800) 881-4109, L.E. 1013.27
6. U/G ELECTRIC SERVICE.
7. U/G TELEPHONE SERVICE.
8. U/G GAS SERVICE.
9. TWO-WAY YARD CLEANTOUT
10. DOWNPOUT (TYP)
11. CONDUIT FOR ELECTRIC TO SIGN.
12. SANITARY CLEAN OUT
13. STORM CLEAN OUT
14. FIRE KNOX BOX COORDINATE WITH TWP FIRE DEPARTMENT PRIOR TO INSTALL.
15. 12" LF TO EX 12" WM - 6" DI CL 12 WM WITH SHUT OFF VALVE AND BOX. CONNECT TO EX WM WITH LIVE TAP. COORDINATE WITH TWP.
16. FDC CONNECTION COORDINATE WITH FIRE DEPARTMENT.

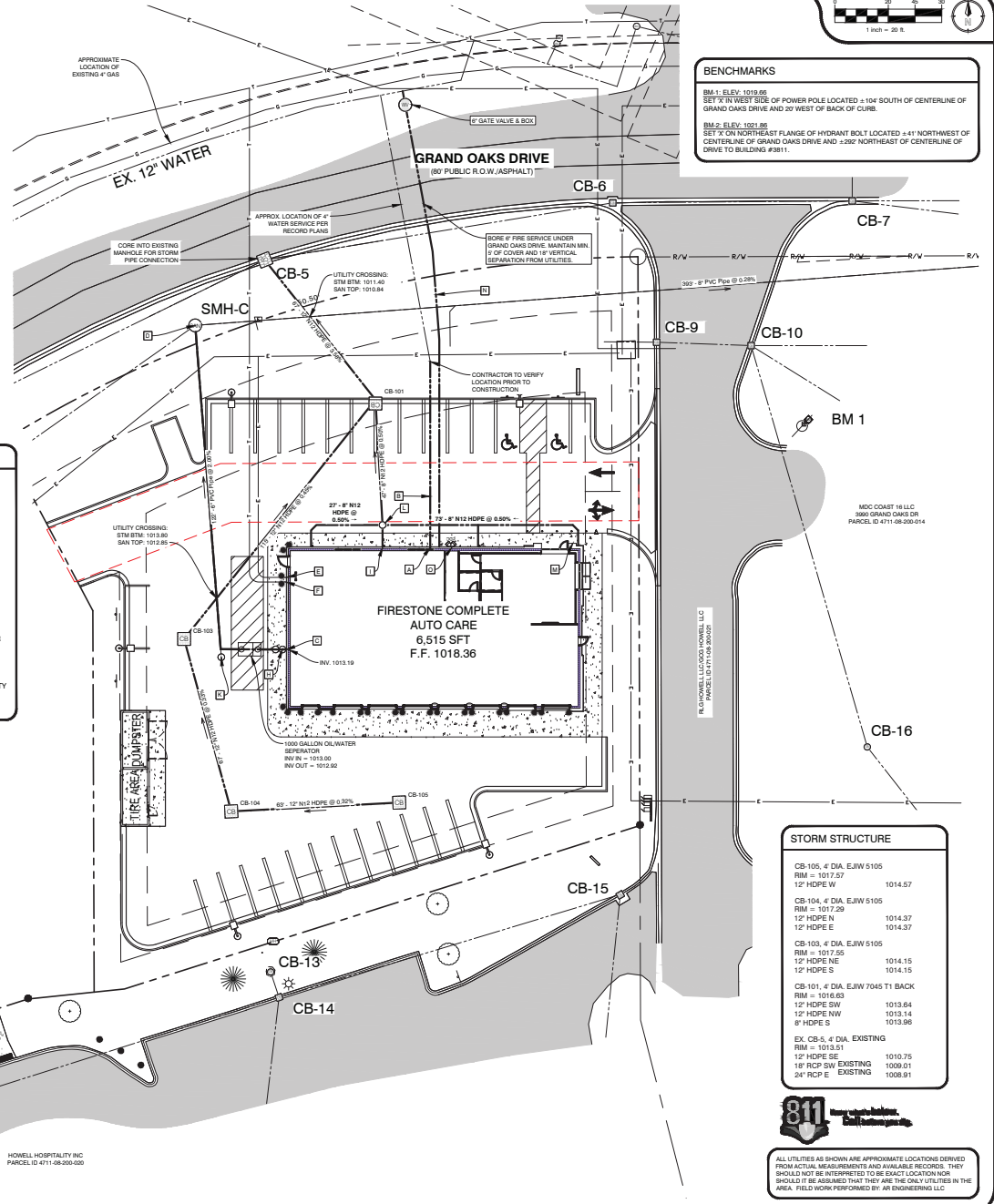
LEGEND

- STORM PIPING
- WATER LINES
- SANITARY SEWER
- GAS LINES
- ELECTRIC LINES
- TELEPHONE

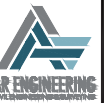
LEGEND

- FOUND CORNER
- STREET SIGN
- SQUARE STORM CATCH BASIN
- ROUND STORM CATCH BASIN
- STORM MANHOLE
- DECIDUOUS TREE
- UTILITY POLE
- CONTROL POINT
- SANITARY CLEANOUT
- SANITARY MANHOLE
- BOLLARD
- GAS METER
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- CONIFEROUS TREE
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- WATER LINES
- SANITARY SEWER
- GAS LINES
- ELECTRIC LINES
- CABLE LINE
- OVERHEAD UTILITY
- FIBER LINE

HOWELL HOSPITALITY INC
PARCEL ID 4711-08-200-020



PLANS PREPARED BY:



DRAWN: JS
CHECKED: WP

BY	DATE	ISSUED FOR:
0	6/1/2028	1. SITE PLAN REVIEW
1	7/20/2028	2. SITE PLAN REVISIONS
2	08/03/2028	3. SITE PLAN REVISIONS
3	08/03/2028	4. SITE PLAN REVISIONS
4	08/03/2028	5. SITE PLAN REVISIONS

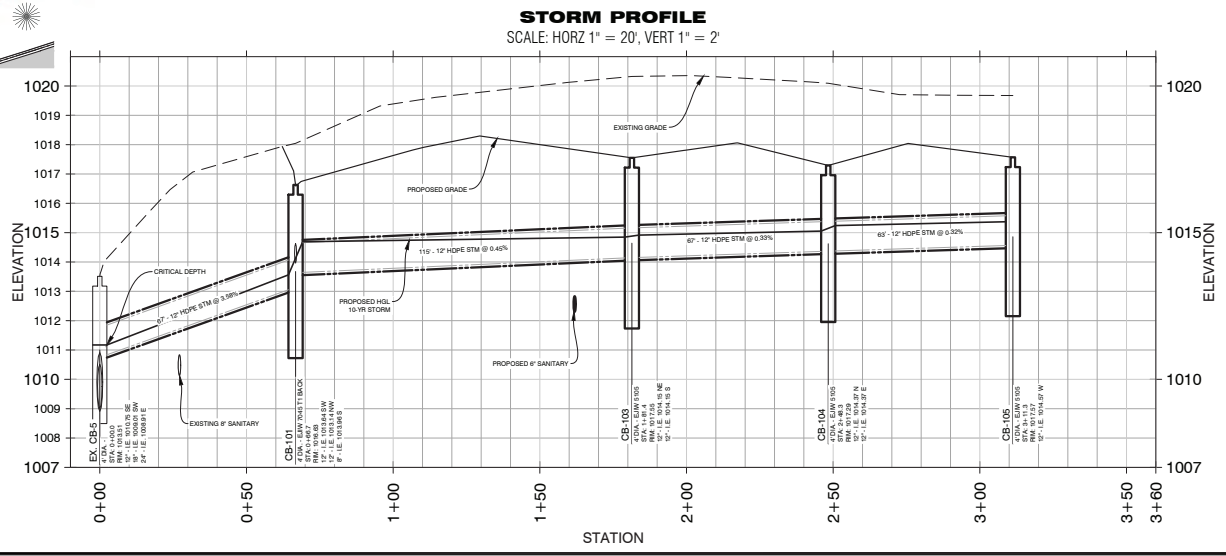
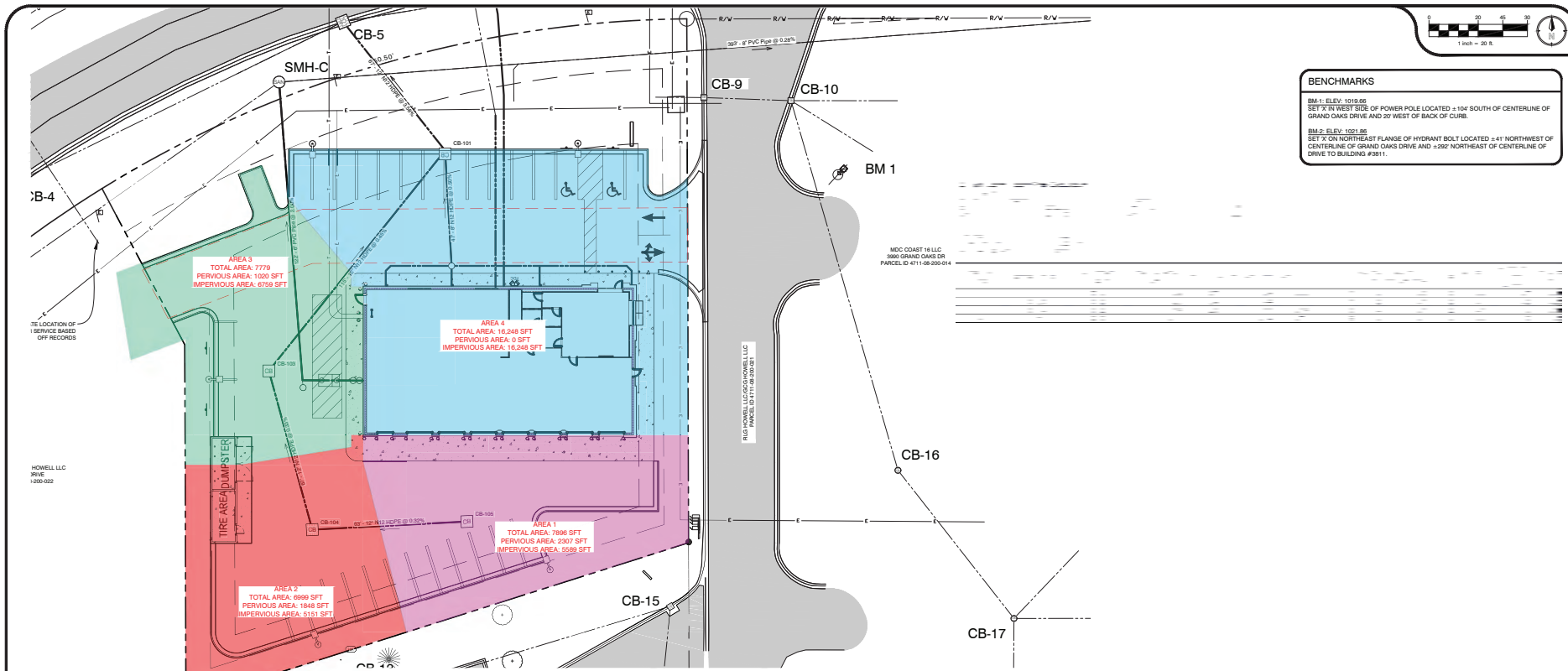
SITE UTILITY PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR. HOWELL, MI 48843
SECTION 06, 102N, R06.

PROJECT: 26012110
CLIENT: 26012110
DATE: 08/31/2026

JOB NUMBER: 26012110

DATE: 08/31/2026

SHEET NUMBER: C05



STORM STRUCTURE

CB-105, 4' DIA. EJRW 5105	
RM = 1017.57	
12" HDPE W	1014.57
CB-104, 4' DIA. EJRW 5105	
RM = 1017.20	
12" HDPE N	1014.37
12" HDPE E	1014.37
CB-103, 4' DIA. EJRW 5105	
RM = 1017.55	
12" HDPE NE	1014.15
12" HDPE S	1014.15
CB-101, 4' DIA. EJRW 7045 T1 BACK	
RM = 1016.63	
12" HDPE SW	1013.64
12" HDPE NW	1013.14
8" HDPE S	1013.96
EX. CB-5, 4' DIA. EXISTING	
RM = 1013.51	
12" HDPE SE	1010.75
18" RCP SW EXISTING	1009.01
24" RCP E EXISTING	1008.91



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING LLC

PLANS PREPARED BY:

AR ENGINEERING
SPRINGFIELD, ILLINOIS 62761
TEL: 618-244-1100
WWW.ARENGINEERING.COM

BY:

No.	DATE	ISSUED FOR:
0	6/11/2028	SITE PLAN REVIEW
1	7/20/2028	SITE PLAN REVISIONS
2	08/03/2028	SITE PLAN REVISIONS
3	8/31/2028	SITE PLAN REVISIONS
4		

STORM PROFILE
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR. HOWELL, MI 48843
SECTION 06, 102N, R06E.

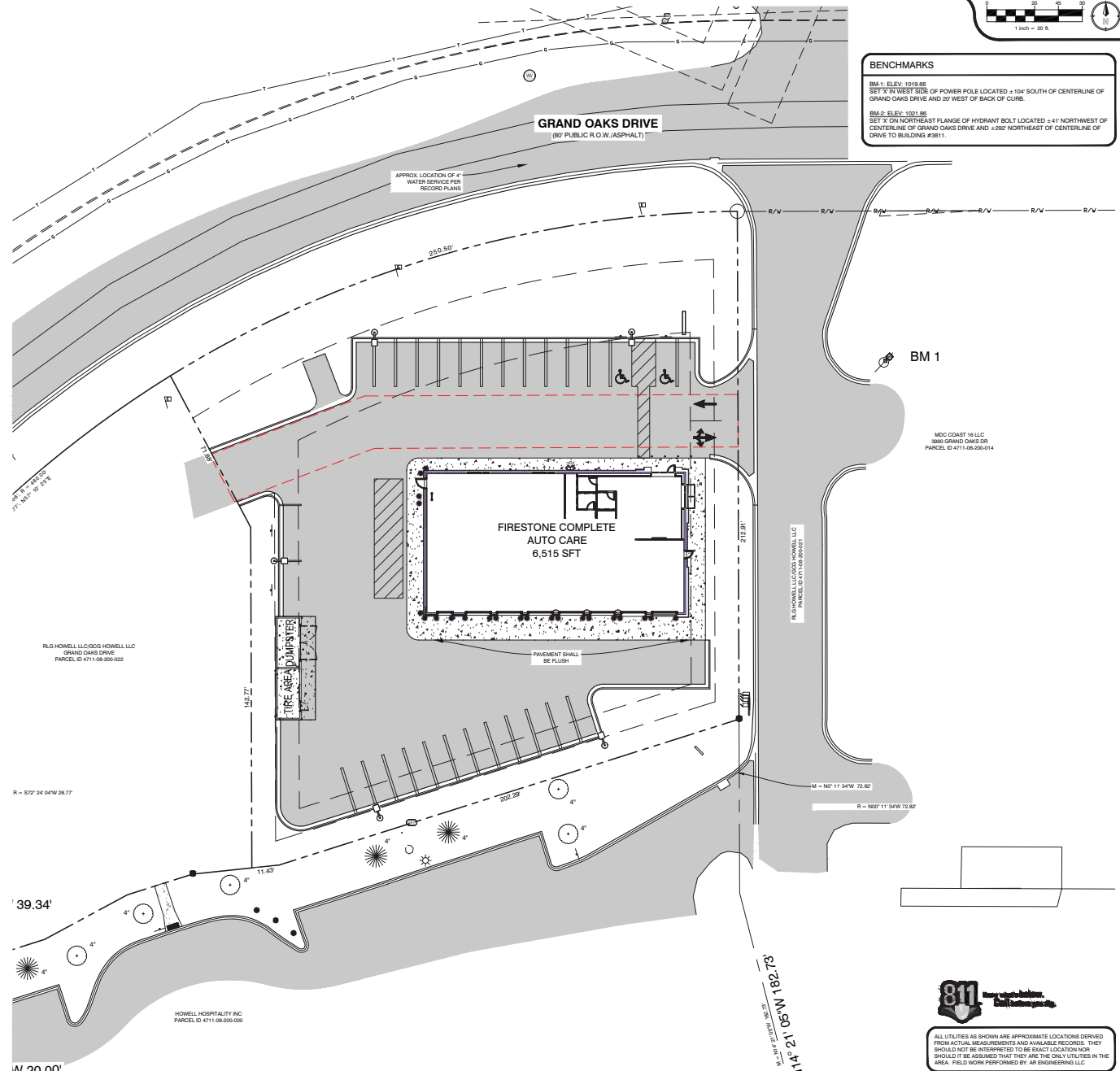
JOB NUMBER
26012110

DATE
08/31/2026

SHEET NUMBER
C05.1

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. ALL CURB RADI AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING. SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

	CONCRETE PAVEMENT (SEE DETAIL ON C9.0)
	CONCRETE PAVEMENT (SEE DETAIL ON C9.0)



AR ENGINEERING
WILSONVILLE, OREGON

CHICAGO | INDIANA | ELGIN | OHIO
TEL 252.258.0811 PHONE 855.569.2804 FAX
www.arengineeringllc.com

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DATE	REVISION	DESCRIPTION	BY	DATE
0	SITE PLAN REVIEW		JS	6/19/2026
1	SITE PLAN REVISIONS		WP	7/20/2026
2	SITE PLAN REVISIONS		JS	08/05/2026
3	SITE PLAN REVISIONS		WP	8/31/2026
4				

FOR INFORMATION, CONTRACTOR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED. SEE ADDENDUM 1.08.

PAVING PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR, HOWELL, MI 48840
SECTION 08, T02N, R05E.

PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
26012110

DATE
08/31/2026

SHEET NUMBER

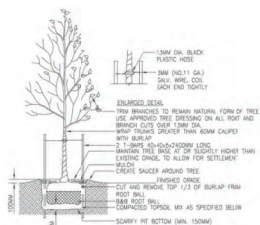
C06

PLANTING SCHEDULE

PLANT LIST	SYNTACTICAL NAME	COMMON NAME	Size	ROOT
Ag	<i>Cercis acrisseum</i>	Paperbark Maple	2.5' Cal.	88B
Cc	<i>Cercis canadensis</i>	Eastern Redbud	2.5' Cal.	88B
Ar	<i>Aralia nudicaulis</i>	Spicebush	2.5' Cal.	88B
Lt	<i>Liliodendron tulipifera</i>	Tulip Tree	2.5' Cal.	86B
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Ja	<i>Juniperus horizontalis</i>	Creeping Juniper	2.5' Cal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Green Dwarf	18-24"	Cont.
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5-32"	Cont.
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	24"	Cont.
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
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Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
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Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>	Walker's Catmint	1 gal.	Cont.
Lt	<i>Liatris spicata</i>	Knobel Seed	1 gal.	Cont.
IV	<i>IV verticillata</i>	Winterberry	6' gal.	88B
Hj	<i>Juniperus macrocarpa</i>	Summit Spruce	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Wj	<i>Weigela japonica</i>	Red Japanese Flowering	2.5' Cal.	88B
Rk	<i>Rosa 'Knockout'</i>	Knockout Rose	2.5' Cal.	88B
Ja	<i>Juniperus virginiana</i>	Blue Pine	2.5' Cal.	88B
Nw	<i>Nepeta faassenii</i>			

LANDSCAPE SITE NOTES:

- ALL PLANTING BEDS TO RECEIVE 3/4" NATURAL CRUSHED STONE 4" DEPTH ON LANDSCAPE FABRIC
- ALL PLANTING MEETING LANDS TO RECEIVE 18 X 1" ALUMINUM MILL FINISH EDGING
- ALL PLANTING BEDS TO RECEIVE MIN 6" 10 TOPSOIL(1/3) SPARTAN(1/3) COMPOST PLANT MIX FOR BACKFILL
- ALL DISTURBED AREAS SHALL BE HYDROSEEDED WITH SPARTAN DISCARD A LAWN MIX
- ALL TREE PLANTINGS PITS SHALL BE DUG TWO TIMES THE SIZE OF THE ROOTBALL AND BACKFILLED WITH 1/3 TOPSOIL 1/3 SAND 1/3 COMPOST PLANTING MIX
- ALL TREE PLANTINGS ARE RECOMMENDED TO BE STAKED WITH 3 HARDWOOD STAKES AND ARBOR TIES TO ENSURE HEALTHY GROWTH



RLG HOWELL LLC/GCG HOWELL LLC
GRAND OAKS DRIVE
PARCEL ID 4711-08-200-022

24° 04' N 20.72°

33°W 39.34'

4' 06"W 20 00'

HOWELL HOSPITALITY INC
PARCEL ID 4711-08-200-020

PARCEL ID 4711-08-200-020

— 29731 —
EL 291 N. 50.14

— 29731 —
EL 291 N. 50.14



811
Wherever you dig,
We'll be there.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING, LLC

PLANS PREPARED BY:



MICHIGAN | INDIANA | ILLINOIS | OHIO
268.250.5661 PHONE | 888.569.2634 FAX
www.zengengineeringllc.com

DRAWN:	JS
CHECKED:	WP

100

No.	ISSUED FOR:	DATE
0	SITE PLAN REVIEW	6/19/2020 JS
1	SITE PLAN REVISIONS	7/20/2020 WP
2	SITE PLAN REVISIONS	08/02/2020 JS
3	SITE PLAN REVISIONS	8/31/2020 WP
4		

LANDSCAPE PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR, HOWELL, MI 48840
SECTION 08 T02N R05E

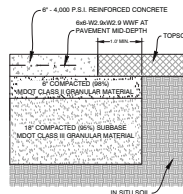
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
26012110

DATE
08/31/2026

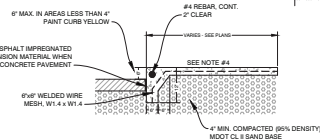
DATE
08/31/2026

SHEET NUMBER
C07



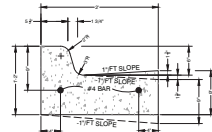
NOTES:
EXISTING SUBGRADE - PROOF ROLL AND REPLACE ALL DEFICIENT/SUSPECT AREAS.
CONCRETE MIX SHALL USE CRUSHED Limestone - NO GRAVEL OR SLAG.
BROOM FINISH SURFACE AND APPLY CURING COMPOUND (ASTM C688 TYPE 2) AT 1 GAL/SYFT FOLLOW GEOTECHNICAL ENGINEERS RECOMMENDATIONS

CONCRETE SECTION
C-34002 NOT TO SCALE

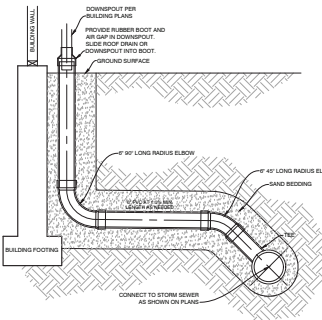


1. PROVIDE CONTROL JOINTS AT SAME DISTANCE AS WIDTH OF SIDEWALK, 10' MAX.
2. PROVIDE EXPANSION JOINTS AT 50' O.C.
3. PROVIDE 'X' EXPANSION JOINT AT BUILDING OR WALL
4. TRANSVERSE SIDEWALK SLOPES ARE TYPICALLY 1/2% OR 2% MAXIMUM. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1/2%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.

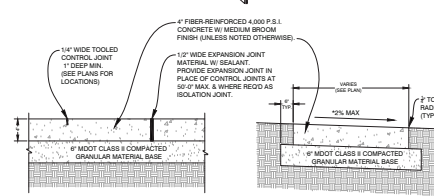
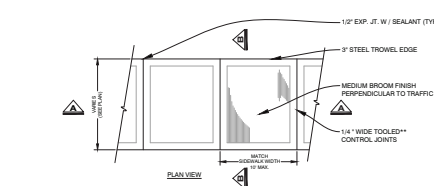
INTEGRAL SIDEWALK SECTION
C-33004 NOT TO SCALE



MDOT F4 CONC. CURB & GUTTER
C-30012 NOT TO SCALE

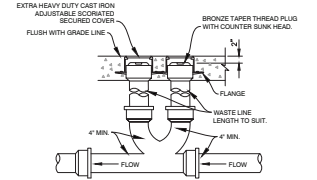


ROOF LEAD/DOWNSPOUT
C-30009 NOT TO SCALE

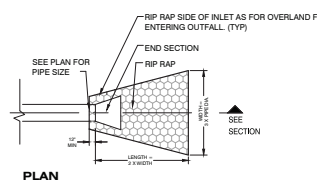


- NOTES:
1. TRANSVERSE SIDEWALK SLOPES ARE 2% MAXIMUM.
 2. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1/2%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.
 3. TRANSVERSE SIDEWALK SLOPES ARE TYPICALLY 1/2% OR 2% MAXIMUM. IN ORDER TO MEET SITE CONDITIONS, IF THE TRANSVERSE SLOPE IS REQUIRED TO BE LESS THAN 1/2%, LONGITUDINAL DRAINAGE MUST BE PROVIDED.
 4. USE MINIMUM 6\"/>

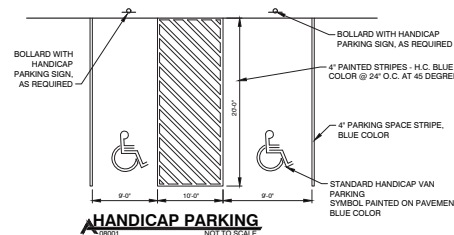
CONCRETE SIDEWALK
C-33003 NOT TO SCALE



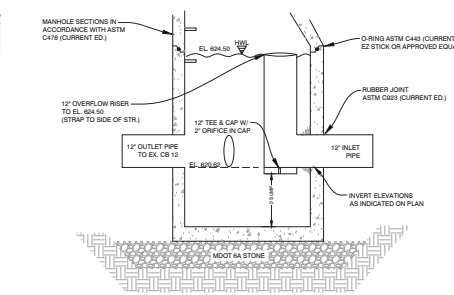
2-WAY YARD CLEANOUT
C-33001 NOT TO SCALE



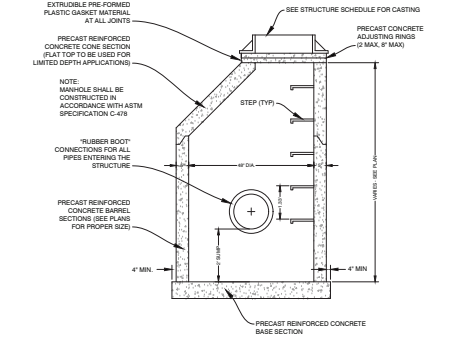
PIPE CULVERT WITH FLARED END SECTION DETAIL
C-33019 - 650002 NOT TO SCALE



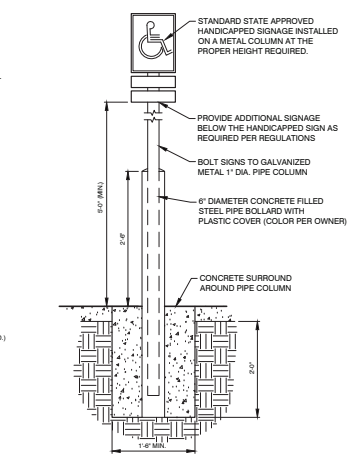
HANDICAP PARKING
C-33001 NOT TO SCALE



OUTLET STRUCTURE
C-33016 NOT TO SCALE

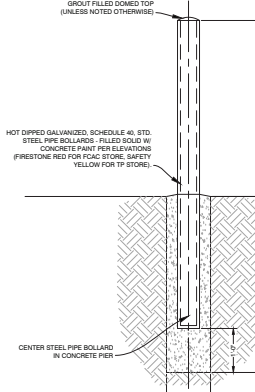


STORM CATCH BASIN DETAIL
C-33019 - 650003 NOT TO SCALE



HANDICAP PARKING SIGN
C-33002 NOT TO SCALE

- GENERAL NOTES:
1. MAINTAIN 3\"/>



6\"/>

PLANS PREPARED BY:



DRAWN: JS
CHECKED: WP

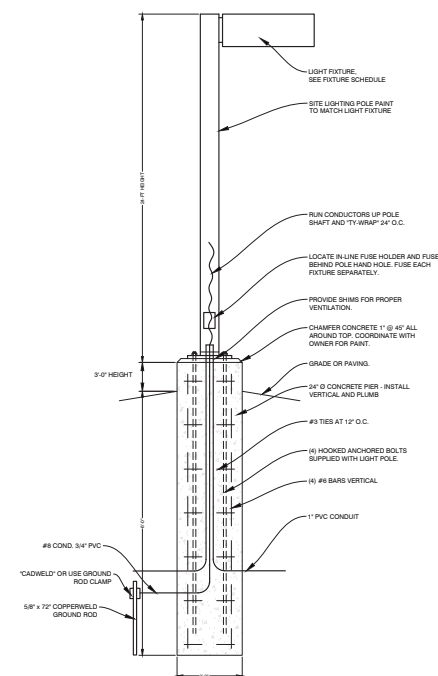
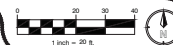
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7/20/2028	WP	1 SITE PLAN REVISION
08/03/2028	JS	2 SITE PLAN REVISIONS
8/31/2028	WP	3 SITE PLAN REVISIONS
		4

DETAIL SHEET 1
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR. HOWELL, MI 48843
SECTION 06, 102N, ROBE.

PROJECT:
CLIENT:
SITE ADDRESS:
SHEET NO. 01

JOB NUMBER
26012110
DATE
08/31/2026

SHEET NUMBER
C09



LIGHT POLE FOUNDATION

Note: #SES-25-40-01-D2-BLT w/ anchor bolts & base cover (25", 4" sq, 11 ga, black) - 27" Overall Mounting Height. Please confirm EPA and Windload rating prior to ordering. Engineer of Record responsible for base design per local conditions.

NOTES:

- 1: Luminaire data is tested to industry standards under laboratory conditions. Operating voltage and normal manufacturing tolerances of LED and drivers may effect field results.
- 2: Conformance to facility code and other local requirements is the responsibility of the owner and/or the owner's representative.
- 3: This design may not meet Title 24 or local energy code requirements. If this design needs to be alter to meet compliance, please contact the design team with specific requirements.

NOTE: For national account pricing/quotations and order placement, please contact Steve Friedman at Hermitage Lighting.
(847)830-1444
sfriedman@qohermitage.com

143

No.	ISSUED FOR:	DATE	BY
0	SITE PLAN REVIEW	6/19/2026	JS
1	SITE PLAN REVISIONS	7/20/2026	WP
2	SITE PLAN REVISIONS	08/05/2026	JS
3	SITE PLAN REVISIONS	8/31/2026	WP
4			

PHOTOMETRIC PLAN
HOWELL, MI BRIDGESTONE
ZAREMBA GROUP, LLC
GRAND OAKS DR, HOWELL, MI 48843
SECTION 08, T02N, R05E.

JOB NUMBER
26012110

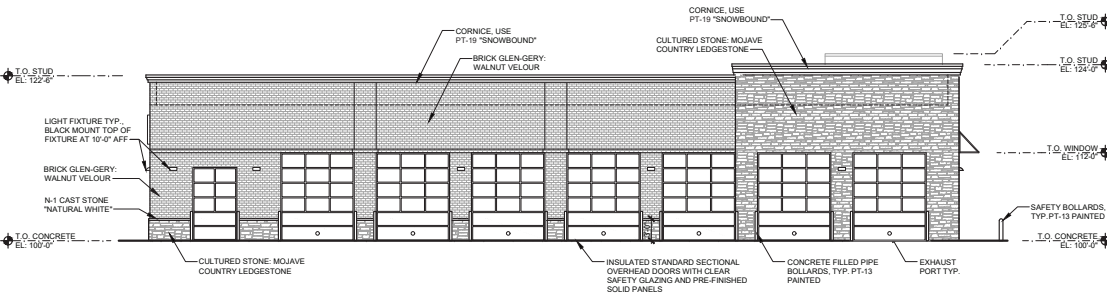
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08/31/2026

SHEET NUMBER

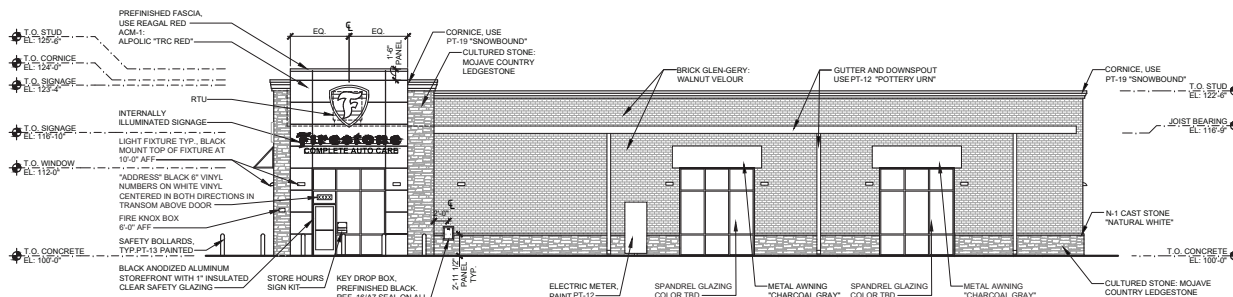
L01

1 ENLARGED PLAN
A1.0 SCALE: 1/4"=1'-0"

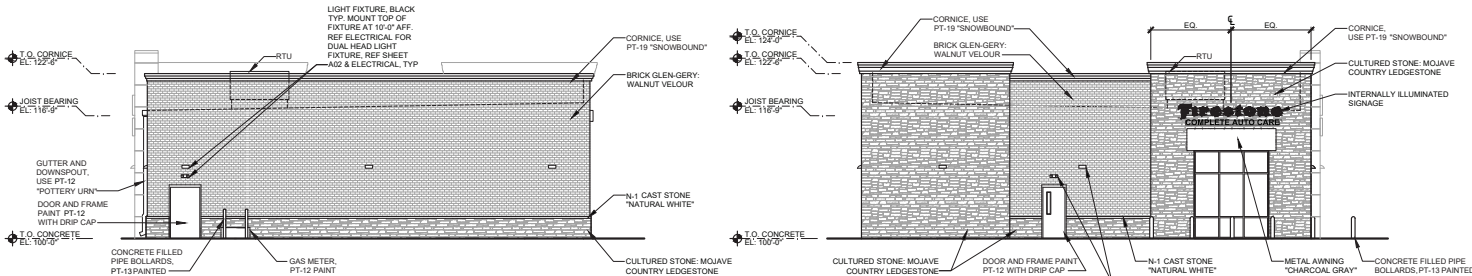
 THIS WARRANTY IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY MANNER CONTRADICTORY TO THE POLICIES OR PROCEDURES, RETAIL OPERATIONS, OR SERVICE AGREEMENTS OF BRIDGESTONE RETAIL OPERATIONS, LLC. THIS WARRANTY IS NOT VALID UNLESS IT IS ACCOMPANIED BY THE ORIGINAL BRIDGESTONE RETAIL OPERATIONS, LLC EXCLUSIVE WARRANTY CARD AND TO THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC. GRAND OAK RD HOWELL, MI	 2018 Center St, Suite 500 Cleveland, Ohio 44113 Phone: (216) 491-9300 Fax: (216) 491-8553 www.rba.com rba@rba.com <table border="1"> <tr> <td data-bbox="1751 1339 1848 1351">SHEET TITLE: FLOOR PLANS & NOTES</td> <td data-bbox="1848 1339 2003 1351">SHEET NUMBER: PA01</td> </tr> </table>	SHEET TITLE: FLOOR PLANS & NOTES	SHEET NUMBER: PA01
SHEET TITLE: FLOOR PLANS & NOTES	SHEET NUMBER: PA01		



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 WEST ELEVATION
SCALE: 1/8"=1'-0"

4 EAST ELEVATION
SCALE: 1/8"=1'-0"

- GENERAL NOTES:
1. PROVIDE DRIP CAP OVER ALL MAN DOORS SEE DETAIL 10A8
 2. PAINT ALL EXPOSED LINTELS & JAMBS TO MATCH ADJACENT BUILDING COLOR.
 3. SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SET-UP
 4. INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR. G.O. TO PROVIDE WIRING. REFER ELECTRICAL
 5. REFER SHEET A8 FOR PAINT COLOR KEY.
 6. ANY EXTERIOR CONSTRUCTION JOINT, EXPANSION JOINT, AND CRACK OF ABUTTING DISSIMILAR OR SAME MATERIALS MUST HAVE APPROPRIATE PRODUCT APPLIED TO PROVIDE AN AIR, MOISTURE, AND WATER TIGHT EXTERIOR. REFER TO SPECIFICATION SECTION 07000 FOR PRODUCTS.
 7. SIGNAGE INDICATED ON ELEVATIONS IS INTENDED TO DEMONSTRATE APPROXIMATE SIZE AND QUANTITY OF PROPOSED BUILDING SIGNAGE. REFER TO SIGNAGE PERMIT DRAWINGS FOR ACCURATE SIGNAGE INFORMATION.
 8. FOR ALL INSTANCES OF NICHHA ON EXTERIOR WALLS, GC TO PROVIDE NICHHA FACTORY STANDARD COLOR MATCHED TRIMS AND ACCESSORIES TO MATCH ADJACENT NICHHA PANEL. REFER TO SPECIFICATION SECTION 074243 FOR FURTHER INFORMATION.
 9. ALL SIDEWALK AND APRON CURBS ADJACENT TO THE BUILDING SHALL BE PAINTED YELLOW. REFERENCE SPEC SECTION 09000. PAINT ENTIRE VERTICAL FACE AND A HORIZONTAL BAND 6" WIDE FROM THE EDGE OF THE CURB.
 10. ALL JOINTS IN EIFS TO BE INSTALLED AS SHOWN.

- MATERIAL KEY:
- BRICK GLEN-GERLY 'WALNUT VELOUR'
 - CULTURED STONE 'MOJAVE COUNTRY LEDGESTONE'
 - N-1 CAST STONE NATURAL WHITE
 - ACM-1 ALPOLIC TRC RED
 - PT-12 'POTTERY URN' SW7015
 - PT-18 'CITY SCAPES' SW7067
 - PT-19 'OATMEAL' 427
 - CHARCOAL GRAY (METAL AWNING)



Firestone
COMPLETE AUTO CARE

INTERNALLY ILLUMINATED
SIGNAGE ON RACEWAY, TYP.

Firestone
COMPLETE AUTO CARE

INTERNALLY ILLUMINATED
SIGNAGE ON RACEWAY, TYP.

BUILDING SIGNAGE

20 SIGNAGE DETAIL
SCALE: 1/4"=1'-0"

CONSTRUCTION DOCUMENTS WILL BE BASED ON THE LATEST RELEASE OF THE PROTOTYPICAL DOCUMENTS ON LUCERNEX AT THE TIME OF CONSTRUCTION DOCUMENT AUTHORIZATION.

NOTE: THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. SITE INFORMATION WAS OBTAINED FROM THE CLIENTS DOCUMENTS; DESIGN MAY VARY.

PROJECT CONTACTS: PHONE #:

NS DEV MGR: KEVIN BOYER (405) 795-7636

DESIGN MGR: ALEX PASLEY (615) 260-4858

CONST MGR: JASON AVERETT (843) 730-4519

MGR CONST SUPPORT: XXXXXXXX (XXX) XXX-XXXX

ATTORNEY: CHARLES TRAUGHER (615) 937-4923

PROJECT CONTACTS: PHONE #:

ARCHITECT: MELANIE LEWIS (216) 491-9300

BOWEN & ARCHITECTS

ENGINEER: BRADY DARRAH (989) 372-3945

AR ENGINEERING LLC.

PROTOTYPE: 2026 RS

ZONE APPROVAL (BY/DATE):

VP: _____

CONT: _____

RM: _____

CM: _____

ENTITY ID: XXXXXXXX

SITE ID: XX-XX-XX-XXX

LEGACY ID: XXXXXXXX

Firestone
COMPLETE AUTO CARE

THIS DRAWING IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED TO THE OWNER. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BRIDGESTONE RETAIL OPERATIONS, LLC. THE ACCEPTANCE OF THIS DRAWING SHALL BE CONSIDERED AS AN ACCEPTANCE OF THE DRAWING CONDITION AND AS A WAIVER OF THE EXCLUSIVE OWNERSHIP IN AND TO THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC.

GRAND OAK RD
HOWELL, MI

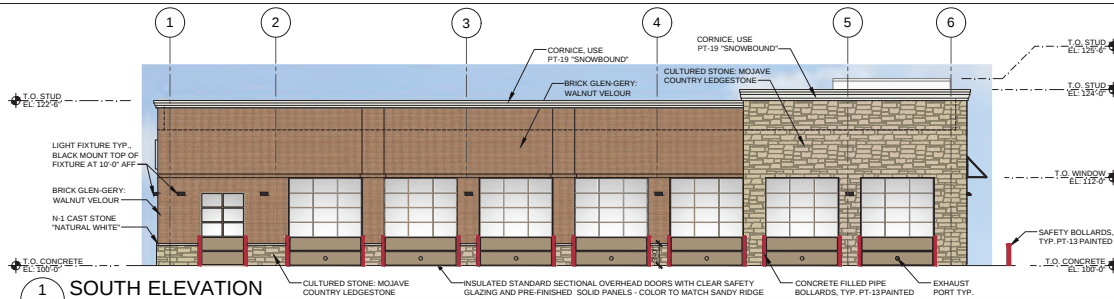
Bowen+

2019 Center St, Suite 500 | Cleveland, Ohio 44113
Phone: (216) 491-9300 Fax: (216) 491-9353
www.bowen.com info@bowen.com

SHEET TITLE: EXTERIOR ELEVATIONS & DETAILS

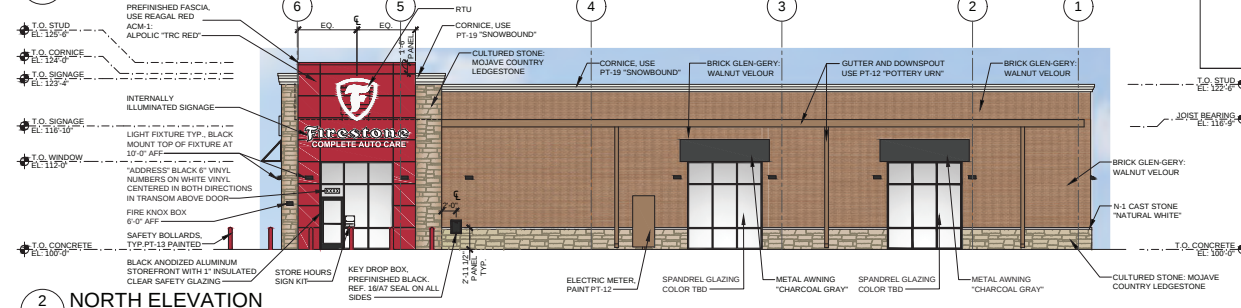
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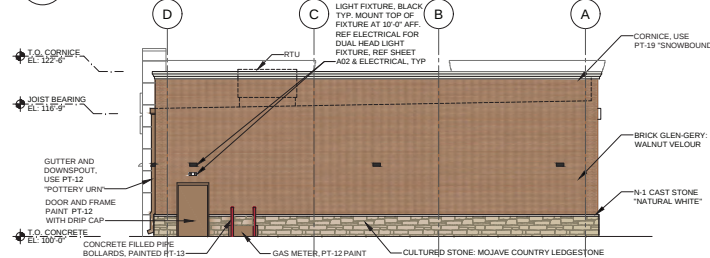
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SCALE: 1/8"=1'-0"



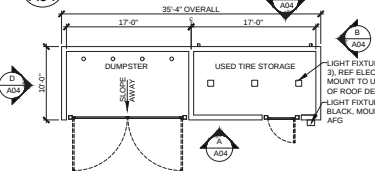
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SCALE: 1/8"=1'-0"



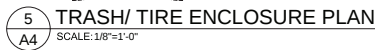
3 WEST ELEVATION

SCALE: 1/8"=1'-0"



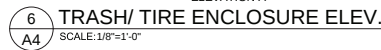
4 EAST ELEVATION

SCALE: 1/8"=1'-0"



5 TRASH/ TIRE ENCLOSURE PLAN

SCALE: 1/8"=1'-0"

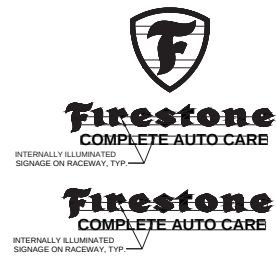


6 TRASH/ TIRE ENCLOSURE ELEV.

SCALE: 1/8"=1'-0"

ELEVATION	MATERIALS	SQ FT	PERCENTAGE
SOUTH	BRICK GLEN-GERLY WALNUT VELOUR	986.5 SQ FT	61.05 %
	CULTURED STONE: MOJAVE COUNTRY LEDGESTONE	496.50 SQ FT	30.66 %
	CAST STONE - NATURAL WHITE	7.00 SQ FT	0.43 %
	EIPS	127.00 SQ FT	7.86 %
	TOTAL	1,618.00 SQ FT	100.00 %
NORTH	BRICK GLEN-GERLY WALNUT VELOUR	1,294.35 SQ FT	63.35 %
	CULTURED STONE: MOJAVE COUNTRY LEDGESTONE	237.20 SQ FT	11.61 %
	CAST STONE - NATURAL WHITE	16.50 SQ FT	0.81 %
	ACM-1 - ALPOLIC "TRC-RED"	288.00 SQ FT	14.10 %
	EIPS	586.00 SQ FT	9.10 %
	TOTAL	2,043.05 SQ FT	100.00 %
WEST	BRICK GLEN-GERLY WALNUT VELOUR	1,117.00 SQ FT	82.13 %
	CULTURED STONE: MOJAVE COUNTRY LEDGESTONE	166.00 SQ FT	12.21 %
	CAST STONE - NATURAL WHITE	16.00 SQ FT	1.18 %
	EIPS	61.00 SQ FT	4.49 %
	TOTAL	1,360.00 SQ FT	100.00 %
EAST	BRICK GLEN-GERLY WALNUT VELOUR	341.42 SQ FT	26.29 %
	CULTURED STONE: MOJAVE COUNTRY LEDGESTONE	868.80 SQ FT	66.89 %
	CAST STONE - NATURAL WHITE	4.00 SQ FT	0.31 %
	EIPS	84.00 SQ FT	6.51 %
	TOTAL	1,298.22 SQ FT	100.00 %

- GENERAL NOTES:
1. PROVIDE DRIP CAP OVER ALL MAIN DOORS SEE DETAIL 1C14B
 2. PAINT ALL EXPOSED LINTELS & JAMBS TO MATCH ADJACENT BUILDING COLOR.
 3. SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
 4. INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.
 5. REFER SHEET A9 FOR PAINT COLOR KEY.
 6. ANY EXTERIOR CONSTRUCTION JOINT, EXPANSION JOINT, AND CRACK OF ABUTTING DISSIMILAR OR SAME MATERIALS MUST HAVE APPROPRIATE PRODUCT APPLIED TO PROVIDE AN AIR, MOISTURE, AND WATER TIGHT EXTERIOR. REFER TO SPECIFICATION SECTION 07200 FOR PRODUCTS.
 7. SIGNAGE INDICATED ON ELEVATIONS IS INTENDED TO DEMONSTRATE APPROXIMATE SIZE AND QUANTITY OF PROPOSED BUILDING SIGNAGE. REFER TO SIGNAGE PERMIT DRAWINGS FOR ACCURATE SIGNAGE INFORMATION.
 8. FOR ALL INSTANCES OF NICHHA ON EXTERIOR WALLS, GO TO PROVIDE NICHHA FACTORY STANDARD COLOR MATCHED TRIMS AND ACCESSORIES TO MATCH ADJACENT NICHHA PANEL. REFER TO SPECIFICATION SECTION 074243 FOR FURTHER INFORMATION.
 9. ALL SIDEWALK AND APRON CURBS ADJACENT TO THE BUILDING SHALL BE PAINTED YELLOW. REFERENCE SPEC SECTION 06000. PAINT ENTIRE VERTICAL FACE AND A HORIZONTAL BAND 6" WIDE FROM THE EDGE OF THE CURB.
 10. ALL JOINTS IN EIFS TO BE INSTALLED AS SHOWN.
- MATERIAL KEY:
- BRICK GLEN-GERLY "WALNUT VELOUR"
 - CULTURED STONE "MOJAVE COUNTRY LEDGESTONE"
 - N-1: CAST STONE NATURAL WHITE
 - ACM-1: ALPOLIC "TRC-RED"
 - PT-12 "POTTERY URN" SW7715
 - PT-13 "CITY SCAPE" SW7067
 - PT-13 "CITY SCAPE" SW7067
 - PT-13 "CITY SCAPE" SW7067
 - CHARCOAL GRAY (METAL AWNING)



20 SIGNAGE DETAIL

SCALE: 1/4"=1'-0"

CONSTRUCTION DOCUMENTS WILL BE BASED ON THE LATEST RELEASE OF THE PROTOTYPICAL DOCUMENTS ON LUCERNE AT THE TIME OF CONSTRUCTION DOCUMENT AUTHORIZATION. NOTE: THIS DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. SITE INFORMATION WAS OBTAINED FROM THE CLIENTS DOCUMENTS; DESIGN MAY VARY.	PROJECT CONTACTS: NS DEV MGR: KEVIN BOYER (405) 795-7636 DESIGN MGR: ALEX PASLEY (615) 260-4858 CONST MGR: JASON AVERETT (843) 730-4519 MGR CONST SUPPORT: XXXXXXXX (XXX) XXX-XXXX ATTORNEY: CHARLES TRAUGHBER (615) 937-4923	PHONE #: (405) 795-7636 (615) 260-4858 (843) 730-4519 (XXX) XXX-XXXX (615) 937-4923	PROJECT CONTACTS: ARCHITECT: MELANIE LEWIS (216) 491-9300 BOWEN & ARCHITECTS ENGINEER: BRADY DARRAH (989) 372-3945 AR ENGINEERING LLC. PROTOTYPE: 2026 RS	PHONE #: (216) 491-9300 (989) 372-3945	ZONE APPROVAL (BY/DATE): VP: _____ CONT: _____ RM: _____ CM: _____ ENTITY ID: XXXXXXX SITE ID: XX-XX-XX-XXX LEGACY ID: XXXXXXX	 THIS DRAWING IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY WAY UNLESS REFERRED TO THE NETWORK OF BRIDGESTONE RETAIL OPERATIONS, LLC. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSIDERED AS AN ACCEPTANCE OF THE FURNISHING CONDITION AND AS AGREEMENT TO THE EXCLUSIVE OWNERSHIP IN AND TO THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC. GRAND OAK RD HOWELL, MI	 2019 Center St, Suite 500 / Cleveland, Ohio 44113 Phone: (216) 491-9300 Fax: (216) 491-9053 www.bowen.com - rhew@bowen.com SHEET TITLE: COLORED EXTERIOR ELEVATIONS & DETAILS SHEET NUMBER: A04
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LNC2

SMALL LED LITEPAK

FEATURES

- 60% more lumens and increased performance than smaller LNC models
- 3000K, 4000K and 5000K as well as Phosphor Converted Amber
- Type II, III and IV distributions available for a variety of application needs
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Full cut-off, neighbor friendly
- Optional photocontrol for additional energy savings



SERVICE PROGRAMS



CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Rugged die-cast aluminum housing protects components and provides an architectural appearance
- Casting thermally conducts LED heat to optimize performance and long life
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.
- Construction tested to ASTM B117 for 1,000 hours of salt spray.

OPTICS

- Zero uplight distributions using individual acrylic Micro Strike Optics
- LED optics provide IES type III and IV distributions. Optional (CS) acrylic diffuser available for reduced glare
- L96 at 60,000hrs (Projected per IESNA TM-21-11), see table on page 3 for all values

INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.
- Optional 1/2" conduit hubs available (standard for control options and battery versions)

ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option available in 25W and 35W configurations
- Minimum operating temperature is -40°C/-40°F
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Driver RoHS and IP66
- 10kA surge protector available as an option
- 3000K CCT nominal, 4000K CCT nominal, 5000K CCT nominal (70 CRI)

CONTROLS

- Universal button photocontrol for use with 120-277V configurations
- Occupancy sensor options available for complete on/off and dimming control
- NX Lighting Controls™ available that feature dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress. Uses 15 watts of power for about 2000 lumens
- Dual Driver option provides 2 drivers within luminaire but only one set of leads exiting the luminaire, where Dual Power Feed provides two drivers which can be wired independently as two sets of leads are extended from the luminaire. Both options can not be included in one fixture.

CERTIFICATIONS

- Listed to UL1598 and CSAC22.2#250.0-24 for wet locations
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to <http://www.designlights.org/> for the most up-to-date list.
- Fixture is IP65 rated

WARRANTY

- 5 year warranty

KEY DATA

Lumen Range	1000-5600
Wattage Range	10-45
Efficacy Range (LPW)	108-124
Weights lbs. (kg)	9.6 (24.5)



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LNC2
SMALL LED LITEPAK

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ORDERING GUIDE

= Service Program
Limit of 15 luminaires
QS10
Example: LNC2-48L-25-3K7-3-UNV-DBT-PC

CATALOG # _____

ORDERING INFORMATION

Series	Light Engine	CCT/CRI	Distribution	Voltage
LNC2 Small LitePak LNC2	48L-10 1000 lumens 48L-15 2000 lumens 48L-20 2500 lumens 48L-25 3500 lumens 48L-35 4500 lumens 48L-45 5600 lumens	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI AP Amber Phosphor Converted "	2 Type 2 3 Type 3 4F Type 4 Forward 4W Type 4 Wide	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V ⁷ 480 480V ⁷

Mounting	Finish	Control Options	Additional Options
Leave blank for down NV Inverted ³	BLT Black Matte Textured BLS Black Gloss Smooth DBT Dark Bronze Matte Textured DBS Dark Brone Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color	PC Photocontrol ⁴ BTSO12F "Bluetooth Programmable, PIR Occupancy/Daylight Sensor, up to 12' mounting height ^{5,8} SCP_F Programmable Occupancy Sensor to Control Options Section ^{9,10,12}	F Fusing (specify voltage) EH Battery Backup Unit with Heater (-30°C) ^{6,9} E Battery Backup Unit (0°C) ^{6,9} CS Comfort Shield (N/A with Prismatic Refractor) 2DR Dual Driver ^{1,2} 2PF Dual Power Feed ^{1,2} CH Surface Conduit Hubs ⁶ SP 10kA Surge Protector

- NOTES
- 1 Available in 25, 35 & 45W
 - 2 Options cannot be combined with controls or PC option
 - 3 Not available with occupancy sensor, battery backup
 - 4 PC comes in standard housing
 - 5 BTS and CH options come in medium back box
 - 6 E and EH come in large back box
 - 7 347V & 480V only available in 25 and 35W
 - 8 Only available in 45 Watt
 - 9 Not available in 347/480 Volt
 - 10 Select 8 ft or 20 ft mounting height
 - 11 Can be ordered as ETO
 - 12 Not available with E or EH

REPLACEMENT PARTS (MADE TO ORDER) /ACCESSORIES

Catalog Number	Description
☐ WP-BB-XXX*	Accessory for conduit entry
☐ LNC2-CS	Frosted acrylic comfort shield/lens reduces glare and improves uniformity with only 15% lumen reduction

Notes:
* Replace XXX with paint color





LNC2
SMALL LED LITEPAK

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ORDERING GUIDE – STOCK

STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Photocell	Finish
LNC2-35-4K7-3-PC	3910	35	48L	4000K/70	120-277V	3	Yes	Dark Bronze Matte Textured

PERFORMANCE DATA

Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)			4K (4000K NOMINAL 70 CRI)			3K (3000K NOMINAL 80 CRI)		
			Lumens	LPW	B-U-G	Lumens	LPW	B-U-G	Lumens	LPW	B-U-G
10W	10.6W	Type 3	1213	121	B0-U0-G0	1117	112	B0-U0-G0	1081	108	B0-U0-G0
		Type 4	1244	124	B0-U0-G0	1144	114	B0-U0-G0	1109	111	B0-U0-G0
15W	14.5W	Type 3	1820	121	B0-U0-G0	1676	112	B0-U0-G1	1622	108	B0-U0-G1
		Type 4	1868	125	B0-U0-G1	1718	115	B0-U0-G1	1663	111	B0-U0-G1
20W	20W	Type 3	2427	121	B0-U0-G1	2234	112	B0-U0-G1	2163	108	B0-U0-G1
		Type 4	2487	124	B0-U0-G1	2292	115	B0-U0-G1	2218	111	B0-U0-G1
25W	28W	Type 3	3033	121	B1-U0-G1	2793	112	B0-U0-G1	2703	108	B0-U0-G1
		Type 4	3112	124	B0-U0-G1	2862	114	B0-U0-G1	2772	111	B0-U0-G1
35W	36.4W	Type 3	4247	121	B1-U0-G1	3910	112	B1-U0-G1	3785	108	B0-U0-G1
		Type 4	4355	124	B1-U0-G2	4011	115	B1-U0-G1	3881	111	B1-U0-G1
45W	45.1W	Type 3	5466	118	B1-U0-G1	5031	112	B1-U0-G1	4871	106	B1-U0-G2
		Type 4	5604	117	B1-U0-G2	5159	108	B1-U0-G2	4995	104	B1-U0-G2

PROJECTED LUMEN MAINTENANCE

STANDARD 9, 12 AND 18L VERSIONS

Ambient Temperature	OPERATING HOURS					
	0	25,000	50,000	TM-21-11* L96 60,000	100,000	L70 (Hours)
25°C / 77°F	1	0.97	0.95	0.94	0.91	408,000
40°C / 104°F	0.99	0.96	0.94	0.93	0.89	356,000

LUMINAIRE AMBIENT TEMP FACTOR

AMB TEMP		LUMEN MULTIPLIER
0C	32F	1.03
10C	50F	1.01
20C	68F	1
25C	77F	1
30C	86F	0.99
40C	104F	0.98

Micro Strike Lumen Multiplier			
CCT	70 CRI	80 CRI	90 CRI
2700K	–	0.841	–
3000K	0.977	0.861	0.647
3500K	–	0.900	–
4000K	1	0.926	0.699
5000K	1	0.937	0.791
Monochromatic Amber Multiplier			
Amber	0.710		



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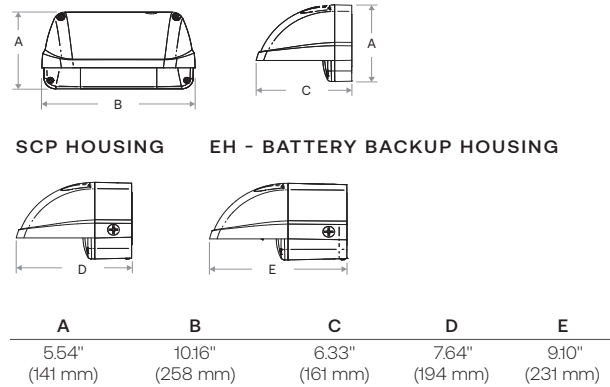
LNC2
SMALL LED LITEPAK

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

ELECTRICAL DATA

System Watts	Input Voltage	Current (AMPS)	System Power (W)
10W	120	0.09	10.6
	277	0.038	
	347	0.031	
	480	0.022	
15W	120	0.12	14.5
	277	0.07	
	347	0.04	
	480	0.03	
20W	120	0.169	20
	277	0.072	
	347	0.058	
	480	0.042	
25W	120	0.235	28
	277	0.101	
	347	0.081	
	480	0.058	
35W	120	0.305	36.4
	277	0.131	
	347	0.105	
	480	0.076	
45W	120	0.378	45.1
	277	0.163	
	347	0.13	
	480	0.094	

DIMENSIONS



DISTRIBUTIONS





LNC2
SMALL LED LITEPAK

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY



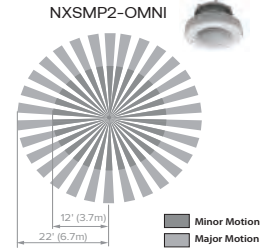
Control Option Ordering Logic & Description	Control Option Functionality									Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
BTSP-12F Bluetooth® Programmable, BTSP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft	 BTSP-OMNI-O

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
"Passcode Factory Passcode: HubbN3T!"		Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



NX LIGHTING CONTROLS FREE APP

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

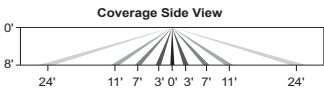
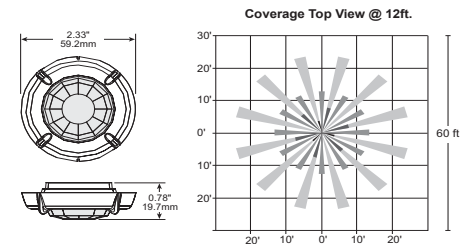
Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&gl=US

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY

Control Option Ordering Logic & Description	Control Option Functionality									Control Option Components
	Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height	
SCP_F Sensor Control Programmable, 8F or 40F	-	-	-	✓	✓	✓	✓	-	8ft or 40ft	SCP_F

COVERAGE PATTERNS FOR SCP



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SMALL LED LITEPAK

DATE: _____ LOCATION: _____
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ADDITIONAL INFORMATION

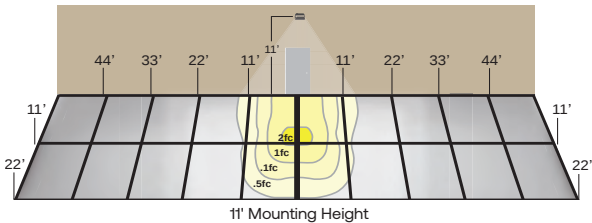
SHIPPING INFORMATION

Catalog Number	G.W.(kg)/CTN	Carton Dimensions		
		Length Inch (cm)	Width Inch (cm)	Height Inch (cm)
LNC2	14.3 (6.5)	14.5 (37)	11.4 (29)	8.4 (21.5)

CONTROL TABLE

Control Option	Sensor	Network-able	Scheduling	Occupancy	Daylight Harvesting	On/Off Control	Programming	Pair with Sensor	Sensor Mounting Height
PC	—	—	—	—	—	✓	—	—	—
BTSO12F	BTSMP-OMNI	—	—	✓	✓	with auxiliary driver	—	—	12 ft
SCP_F	—	—	—	✓	—	✓	✓	—	—

LNC2 - BATTERY BACK UP



Provides Life Safety Code average illuminance of 1.0 fc. Assumes open space with no obstructions and mounting height of 11'.

Diagrams for illustration purposes only, please consult factory for application layout.

Battery backup units consume 6 watts when charging a dead battery and 2 watts during maintenance charging. EH (units with a heater) consume up to an additional 8 watts when charging if the battery temp is lower than 10°C



SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

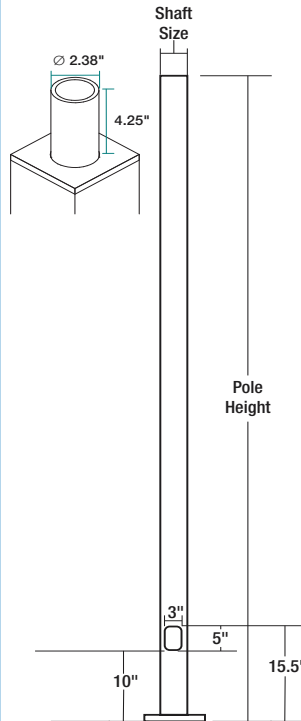
Specifications

The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.

The popularity of this series is due to its full offering of sizes, heights and standard colors with complete offering of mounting options, accessories and select styles/colors stocked for immediate shipping.

- Square Steel Straight Shaft
- One piece construction
- 2 3/8" OD tenon, Open Top or Factory drilled Side Mount Options available
- Steel Base Plate
- 3 size options for anchor bolts. All anchor bolts fully galvanized with 2 nuts and washer (bolts ordered as separate line item and paper template included as component of pole)
- Square base cover available (ordered as separate line item)
- Pole finished in weather proof powder coat paint in 4 standard colors
- 3" x 5" Gasketed hand hole standard

Dimensions



Tenon Top Pole



Open Top Pole

Ordering Information

Ordering Example: SES-XX-XX-X-XX-X-XX-XX

SES

Series	Height	Size	Gauge	Mounting	Drilling	Color
SES Square Steel Straight Pole	18 18 Feet 20 20 Feet 22 22 Feet 25 25 Feet 28 26.6 Feet	40 4"x4" Shaft 50 5"x5" Shaft	1 11 Gauge .119" thick 7 7 Gauge .179" thick	TA 2 3/8" OD Tenon ⁴ OT Open Top Pole ² TB 2 7/8" OD Tenon ⁴ A Side-Single B Side-Double at 90° C Side-Double at 180° D Side-Triple at 90° F Side-Quad at 90°	2 Drill Pattern 2 6 Drill Pattern 6 26 Drill Pattern 26 C Custom Drill Pattern ³ B4 Drill Pattern Viper Small B3 Drill Pattern Viper Large S2	DB Dark Bronze WH White BL Black PS Platinum Silver

1.
 2. Open Top Poles include a pole cap
 3. A detailed drawing of custom drill pattern required must be submitted at time of ordering
 4. Tenon 4.25" tall

Note: Custom Pole heights available, just note required height (pole will be cut down to required height from next tallest pole heights offered)





SES POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Ordering Information

Catalog Number	Pole Ht.		Nominal Shaft Dim.	Wind Load Rating- ASCE 7-05 wind map EPA Load Rating- (3 second gust wind speeds)										Wall Thick.	Bolt Circle (Sug.)	Bolt Circle	Bolt Sq.	Base Plate (sq.)	Anchor Bolt Size	Bolt Proj.	Pole Wt. (lbs.)
	ft	m		85 MPH	90 MPH	100 MPH	105 MPH	110 MPH	120 MPH	130 MPH	140 MPH	145 MPH	150 MPH								
SES-10-40-01-XX-XX	10	3.0	4"	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	77
SES-10-50-01-XX-XX	10	3.0	5"	25.0	25.0	25.0	25.0	23.0	19.1	16.0	14.7	13.5		0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-12-40-01-XX-XX	12	3.7	4"	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	90
SES-12-50-01-XX-XX	12	3.7	5"	25.0	25.0	25.0	24.0	21.8	17.8	14.5	12.1	11.0	10.0	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-14-40-01-XX-XX	14	4.3	4"	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	103
SES-14-50-01-XX-XX	14	4.3	5"	25.0	25.0	21.9	19.5	17.4	13.9	11.2	9.0	8.1	7.2	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-16-40-01-XX-XX	16	4.9	4"	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	116
SES-16-50-01-XX-XX	16	4.9	5"	25.0	23.0	17.8	15.6	13.9	10.8	8.5	6.5	5.7	5.0	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-16-50-07-XX-XX	16	4.9	5"	25.0	25.0	26.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2	0.188"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	219
SES-18-40-01-XX-XX	18	5.5	4"	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	129
SES-18-50-01-XX-XX	18	5.5	5"	21.6	18.7	14.2	12.4	10.8	8.2	6.1	4.4	3.7	3.0	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-18-50-07-XX-XX	18	5.5	5"	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6	0.188"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	243
SES-20-40-01-XX-XX	20	6.1	4"	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	142
SES-20-40-7-XX-XX	20	6.1	4"	13.6	11.6	8.5	7.2	6.1	4.4	3	1.9	1.4	1	0.188"	11"	8-11"	5.6-7.8"	11" x 1"	3/4 x 30 x 3"	4"	201
SES-20-50-01-XX-XX	20	6.1	5"	17.6	15.2	11.2	9.6	8.2	5.9	4.0	2.5	1.9	1.3	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-20-50-07-XX-XX	20	6.1	5"	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	267
SES-22-50-07-XX-XX	22	6.7	5"	25.0	23.0	17.7	15.5	13.5	10.5	8.0	6.0	5.2	4.4	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	292
SES-25-40-01-XX-XX	25	7.6	4"	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR	0.125"	11"	8-11"	5.6-7.8"	10.25 x 0.75"	3/4 x 30 x 3"	4"	175
SES-25-40-7-XX-XX	25	7.6	4"	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR	0.188"	11"	8-11"	5.6-7.8"	11" x 1"	3/4 x 30 x 3"	4"	257
SES-25-50-01-XX-XX	25	7.6	5"	10.3	8.5	5.4	4.2	3.2	1.4	NR	NR	NR	NR	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	
SES-25-50-07-XX-XX	25	7.6	5"	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	327
SES-28-50-07-XX-XX	27	8.1	5"	16.1	13.7	9.7	8.1	6.7	4.4	2.6	1.1	NR	NR	0.188"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	335
SES-30-50-07-XX-XX	30	9.1	5"	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR	0.125"	11"	10-13.5"	7.1-9.5"	12" x 1"	1 x 36 x 4"	4"	367

Catalog Number	Florida Building Code 2010 EPA Load Rating (3 second gust wind speeds)									
	85 MPH	90 MPH	100 MPH	105 MPH	110 MPH	120 MPH	130 MPH	140 MPH	145 MPH	150 MPH
SES-10-40-01-XX-XX	25.0	25.0	25.0	25.0	23.5	20.5	17.8	15.5	11.0	10.1
SES-10-50-01-XX-XX	25.0	25.0	25.0	25.0	25.0	24.5	21.3	18.5	14.7	13.5
SES-12-40-01-XX-XX	25.0	25.0	25.0	21.9	18.6	15.8	13.6	11.7	8.1	7.4
SES-12-50-01-XX-XX	25.0	25.0	25.0	25.0	22.7	19.4	16.6	14.3	11.0	10.0
SES-14-40-01-XX-XX	25.0	25.0	21.1	17.5	14.7	12.3	10.4	8.8	5.9	5.3
SES-14-50-01-XX-XX	25.0	25.0	25.0	21.4	17.9	15.1	12.7	10.7	8.1	7.2
SES-16-40-01-XX-XX	23.2	20.9	17.0	13.9	11.4	9.4	7.7	6.3	4.1	3.6
SES-16-50-01-XX-XX	25.0	25.0	20.7	17.0	14.0	11.5	9.5	7.7	5.7	5.0
SES-16-50-07-XX-XX	25.0	25.0	25.0	25.0	24.9	21.0	17.9	15.2	12.3	11.2
SES-18-40-01-XX-XX	18.9	16.8	13.5	10.8	8.7	6.9	5.5	4.2	2.6	2.1
SES-18-50-01-XX-XX	23.0	20.5	16.5	13.2	10.6	8.4	6.7	5.2	3.7	3.0
SES-18-50-07-XX-XX	25.0	25.0	25.0	24.1	20.0	16.7	13.9	11.6	9.6	8.6
SES-20-40-01-XX-XX	15.3	13.6	10.6	8.3	6.4	4.8	3.5	2.5	1.3	0.9
SES-20-40-07-XX-XX	25.0	24.0	19.6	16.1	13.2	10.8	8.9	7.2	4.3	3.7
SES-20-50-01-XX-XX	18.7	16.5	13.0	10.1	7.8	5.9	4.3	3.0	1.9	1.3
SES-20-50-07-XX-XX	25.0	25.0	24.0	19.6	16.0	13.1	10.7	8.7	7.2	6.3
SES-22-50-07-XX-XX	25.0	24.8	19.8	15.9	12.7	10.1	8.0	6.2	5.2	4.4
SES-25-40-01-XX-XX	8.8	7.4	5.2	3.4	1.9	0.7	NR	NR	NR	NR
SES-25-40-7-XX-XX	7.7	6.4	4.3	2.8	1.3	NR	NR	NR		
SES-25-50-01-XX-XX	10.7	9.0	6.3	4.1	2.3	0.8	NR	NR	NR	NR
SES-25-50-07-XX-XX	21.4	18.9	14.6	11.3	8.6	6.3	4.5	2.9	2.6	1.9
SES-28-50-07-XX-XX	18.7	16.4	12.4	9.3	6.8	4.7	3.0	1.5	NR	NR
SES-30-50-07-XX-XX	13.4	11.4	8.0	5.3	3.1	1.3	NR	NR	NR	NR

Center of EPA is located at the pole top. If bullhorns or other methods are used that locate the EPA center above the pole top, EPA limits are reduced.
Calculations are based on each square foot of EPA being equal to 30 pounds.
The EPA limits are not applicable for poles attached to structures, such as parking garage decks.

Current



SLING Micro Strike

AREA/SITE/ROAD LIGHTER

FEATURES

- Compact sleek design with multiple LED configurations and simple installation
- The SLING includes a square mounting block for easy pole installation or mast arm option for 2-3/8 ft OD roadway brackets
- Capable of replacing up to 1000w HID luminaires
- Micro Strike optical distributions of Type 2, 3, 4F, 4W or 5QW
- Tool-less entry option for easy installation and maintenance
- 3G rated for high vibration applications including bridges and overpasses



CONTROL TECHNOLOGY



LIGHT GRID

SERVICE PROGRAMS



SPECIFICATIONS

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Separate optical and electrical compartment for improved thermal management and optimum component operation
- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- Premium engineered individual acrylic lenses deliver IES Type 2, 3, 4F, 4W and 5QW distributions
- Lens distributions are field rotatable (in 90° increments) or exchangeable for job site fine-tuning
- 3000K, 4000K or 5000K (70 CRI) CCT
- 80, 160 or 320 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Tool-less entry to wiring/driver compartment optional
- Arm mounting works with S2 drill pattern
- Fixture ships with square mounting block for ease of installation
- Mast arm fitter accessory or option available for 2-3/8" OD brackets with vertical tilt of +3°, 0° or -3°

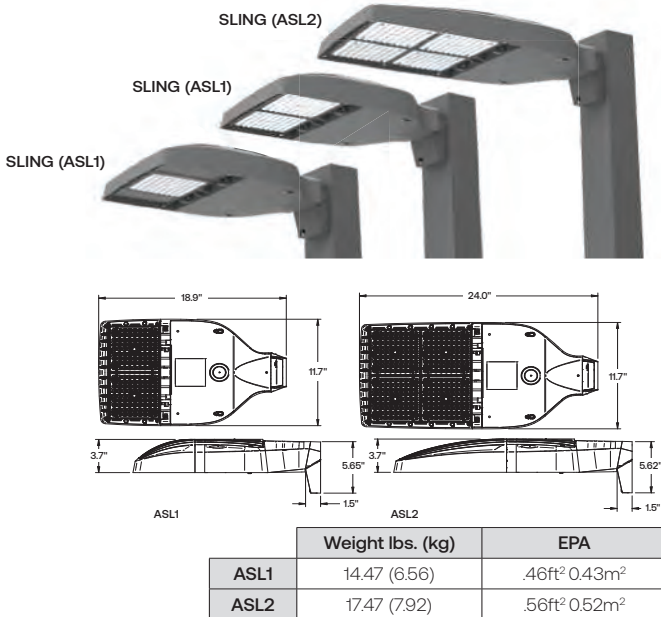
ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature -40° C to 40° C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- Standard 6kV surge protection with optional field replaceable surge protection device provides 20KA and 10KV protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3; Automatically takes fixture off-line for protection when device is consumed

CONTROLS

- Photo control, occupancy sensor and Zigbee wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- Dimming Drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than the 6
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____



CERTIFICATIONS

- Listed to UL1598 and CSA C22.2#2500-24 for wet locations and 40°C ambient temperatures
- DLC® (DesignLights Consortium Qualified), with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to <http://www.designlights.org/> for the most up-to-date list.
- 3G rated for ANSI C136.31 high vibration applications
- IP65 optical assembly
- Meets IDA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements under the Buy America Act (FAR 52.225-9) and Trade Agreements Act (FAR 52.225-11). See Buy America(n) Solutions (link to <https://www.currentlighting.com/resources/america-solutions>)

WARRANTY

- 5 Year warranty



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EXO_EXO_SLING MicroStrike V2_R11



SLING Micro Strike
AREA/SITE/ROAD LIGHTER

DATE: _____ LOCATION: _____
TYPE: _____ PROJECT: _____
CATALOG #: _____

Gray Shading = Service Program Limit of 15 luminaires **QS10**

ORDERING GUIDE

Example: ASL1-80L-50-3K7-2-UNV-A-BLT-7PRMD-40F

CATALOG # _____

ORDERING INFORMATION

Series	# LEDs	CCT/CRI	Distribution	Voltage	Mounting
ASL1 ASL Microstrike Series	80L-25 3,000 lm 80L-39 4,500 lm 80L-50 6,000 lm 160L-70 9,000 lm 160L-100 12,000 lm 160L-115 15,000 lm 160L-135 18,000 lm	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	2 Type II 3 Type III 4F Type 4F 4W Type 4W 5QW Type 5QW	UNV Universal 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	A Arm for Square poles with S2 drill pattern A3 Square Arm with 3.25"-3.75" OD RPA3 Adapter A4 Square Arm with 3.875"-4.5" OD RPA4 Adapter A5 Square Arm with 5" OD RPA5 Adapter MAF Mast Arm Fitter for 2-3/8" OD
ASL2 ASL Microstrike Series	320L-145 21,000 lm 320L-170 24,000 lm 320L-185 27,000 lm 320L-210 30,000 lm 320L-235 33,000 lm 320L-255 35,000 lm				

Network Control Options	Options	Color
NXWS16F NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}	F ¹ Fusing	BLT Black Matte Textured
NXWS40F NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming ^{1,3,4}	BC Backlight Control	BLS Black Gloss Smooth
NXW NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor ^{3,4}	SP 20kA & 10kV Surge Protector	DBT Dark Bronze Matte Textured
Stand Alone Sensors		DBS Dark Bronze Gloss Smooth
7PR 7 Pin Receptacle		GTT Graphite Matte Textured
7PR-SC 7 Pin Receptacle with shorting cap		LGS Light Grey Gloss Smooth
7PR-MD8F 7 pin receptacle with low voltage sensor at 8' mounting for external control accessory		LGT Light Grey Matte Textured
7PR-MD40F 7 pin receptacle with low voltage sensor at 40' mounting for external control accessory		PSS Platinum Silver Smooth
7PR-TL 7 Pin Receptacle with Photocontrol		WHT White Matte Textured
Sensors		WHS White Gloss Smooth
BTS_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens ^{2,4}		VGT Verde Green Textured
BTSO_F Bluetooth Programmable, PIR Occupancy/Daylight Sensor, 360° lens, up to 12' mounting height ^{3,4}		Color Option
		CC Custom Color

Notes:
1 Must specify Voltage
2 Replace "_" with "14" for up to 14' mounting height, "40F" for 15-40' mounting height
3 Replace "_" with "12" for up to 12' mounting height
4 Available at 50W or higher only





SLING Micro Strike

AREA/SITE/ROAD LIGHTER

OUTDOOR LIGHTING CONTROLS OPTIONS

CONTROLS FUNCTIONALITY



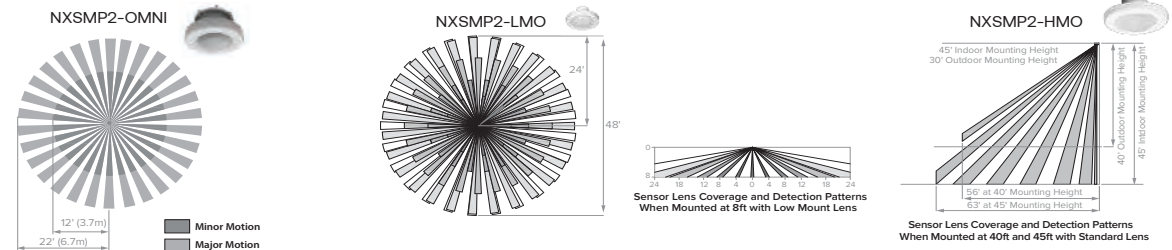
Control Option Ordering Logic & Description		Control Option Functionality									Control Option Components	
		Networkable	Grouping	Scheduling	Occupancy/Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming	Sensor Height		
NX Wireless	NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓	-	NXRM2-H
	NXWS12F	NX Networked Wireless Enabled Integral NXSMP2-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	12ft	NXSMP2-OMNI-O
	NXWS16F	NX Networked Wireless Enabled Integral NXSMP2-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	16ft	NXSMP2-LMO
	NXWS40F	NX Networked Wireless Enabled Integral NXSMP2-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and Bluetooth Programming	✓	✓	✓	✓	✓	✓	✓	✓	40ft	NXSMP2-HMO
Independent	BTSO-12F	Bluetooth® Programmable, BTSMP-OMNI-O PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	12ft	BTSMP-OMNI-O
	BTS-14F	Bluetooth® Programmable, BTSMP-LMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	14ft	BTSMP-LMO
	BTS-40F	Bluetooth® Programmable, BTSMP-HMO PIR Occupancy Sensor with Automatic Dimming Photocell and 360° Lens	-	-	-	✓	✓	✓	✓	✓	40ft	BTSMP-HMO

DEFAULT SETTINGS

NX Wireless	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	15 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	0%
	Daylight Sensor	Disabled
	Bluetooth	Enabled
	2.4GHz Wireless Mesh	On
"Passcode Factory Passcode: HubbN3T!"		Enabled

Stand Alone	Occupancy Sensor	Enabled
	Occupancy Sensor Sensitivity	7
	Occupancy Sensor Timeout	8 Minutes
	Occupied Dim Level	100%
	Unoccupied Dim Level	50%
	Daylight Sensor	Disabled

NX WIRELESS COVERAGE PATTERNS



NX LIGHTING CONTROLS FREE APP



The NX Lighting Controls App is free to use mobile application for programming both NX Lighting Controls System or Standalone Bluetooth Sensors. The mobile app allows you to configure devices, discover and setup wireless enable luminaires and program NX system settings.

Apple App: <https://apps.apple.com/us/app/nx-lighting-controls/id962112904>

Google Play: https://play.google.com/store/apps/details?id=io.cordova.NXBTR&hl=en_US&q=US

CONTROLS TECH SUPPORT 800-888-8006 (7:00 AM - 7:00 PM)



Apple App



Google Play



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EXO_EXO_SLING MicroStrike V2_R11



SLING Micro Strike
AREA/SITE/ROAD LIGHTER

DATE: | LOCATION:

TYPE: | PROJECT:

CATALOG #:

PERFORMANCE DATA

Description	Nominal Wattage	System Watts	Dist. Type	5K (5000K NOMINAL 70 CRI)					4K (4000K NOMINAL 70 CRI)					3K (3000K NOMINAL 70 CRI)				
				Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G	Lumens	LPW ¹	B	U	G
ASL1	25	25.4	2	3430	135	2	0	2	3413	134	2	0	2	3225	127	2	0	2
			3	3465	136	2	0	2	3448	136	2	0	2	3259	128	2	0	2
			4F	3204	126	1	0	1	3201	126	1	0	1	3127	123	1	0	1
			4W	3401	134	2	0	3	3384	133	2	0	3	3198	126	2	0	3
			5QW	3483	137	4	0	2	3466	136	4	0	2	3274	129	4	0	2
	39	38.0	4F	5005	132	1	0	1	5000	132	1	0	1	4885	129	1	0	1
			2	5232	138	3	0	3	5206	137	3	0	3	4919	129	3	0	3
			3	5287	139	2	0	2	5260	138	2	0	2	4971	131	2	0	2
			4W	5188	137	2	0	3	5163	136	2	0	3	4879	128	2	0	3
			5QW	5319	140	4	0	2	5292	139	4	0	2	4975	131	4	0	2
	50	49.7	2	6295	127	2	0	2	6263	126	2	0	2	5918	119	2	0	2
			3	6361	128	2	0	2	6329	127	2	0	2	5981	120	2	0	2
			4F	6407	129	1	0	2	6401	129	1	0	2	6254	126	1	0	2
			4W	6243	126	2	0	3	6212	125	2	0	3	5870	118	2	0	3
			5QW	6392	129	4	0	2	6360	128	4	0	2	6009	121	4	0	2
	70	68.4	2	9460	138	3	0	3	9413	138	3	0	3	8895	130	3	0	3
			3	9559	140	2	0	2	9512	139	2	0	2	8989	131	2	0	2
			4F	8988	131	2	0	2	8979	131	2	0	2	8772	128	2	0	2
			4W	9382	137	2	0	3	9335	136	2	0	3	8822	129	2	0	3
			5QW	9610	140	4	0	2	9562	140	4	0	2	9034	132	4	0	2
	100	88.0	2	11939	136	2	0	2	11885	135	2	0	2	11232	128	2	0	2
			3	12064	138	2	0	2	12010	136	2	0	2	11349	129	2	0	2
			4F	12832	146	2	0	2	12819	146	2	0	2	12524	142	2	0	2
			4W	11840	135	2	0	3	11787	135	2	0	3	11138	127	2	0	3
			5QW	12132	138	4	0	2	12071	138	4	0	2	11404	130	4	0	2
	115	109.7	2	15651	143	2	0	2	15577	142	2	0	2	14977	137	2	0	2
			3	15487	141	2	0	2	15413	140	2	0	2	14820	135	2	0	2
			4F	14754	134	2	0	2	14740	134	2	0	2	14401	131	2	0	2
			4W	15305	140	2	0	3	15232	139	2	0	3	14646	134	2	0	3
			5QW	15731	143	4	0	2	15632	143	4	0	2	15031	137	4	0	2
	135	133.3	2	18089	136	3	0	3	17999	135	3	0	3	17275	130	3	0	3
			3	17863	134	2	0	2	17777	133	2	0	2	17094	128	2	0	2
			4F	17317	130	3	0	3	17300	130	3	0	3	16902	127	2	0	3
			4W	17653	133	2	0	3	17568	132	2	0	3	16893	127	2	0	3
			5QW	18155	136	4	0	2	18030	135	4	0	2	17338	130	4	0	2
ASL2 Performance Data on next page																		

¹ VAC input Lumen values are from photometric test performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations. Actual performance may differ as a result of end-user environment and application.





MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: August 11, 2026
RE: Peddlers and Solicitors Ordinance No. 260908

A final draft of the revised Peddlers and Solicitors Ordinance, incorporating the changes discussed at the August 3 Township Board meeting, was presented to and introduced by the Township Board at its August 17, 2026 meeting. Following introduction, the ordinance was posted on August 20, 2026, in the Office of the Township Clerk and on the Township's website. Notice of the posting was published in the Livingston Daily on August 21, 2026, as required.

The ordinance is now being presented to the Township Board for adoption at its September 8, 2026 meeting. Adoption of the ordinance requires a roll call vote.

If adopted, the ordinance will be published as required and will take effect upon publication. Following adoption, however, publication will be delayed as necessary to allow Township staff sufficient time to complete the administrative implementation of the ordinance, including establishing the procedures and systems necessary to administer the licensing requirements and No-Knock Registry. The Township will not proceed with publication and the resulting effective date until staff are prepared to properly administer and enforce the ordinance.

This approach is intended to ensure that the ordinance does not become effective before the Township is operationally prepared to carry out its requirements.

Sincerely,

Kelly VanMarter
Township Manager

SUPERVISOR

Kevin Spicher

CLERK

Rick Soucy

TREASURER

Robin L. Hunt

TRUSTEES

Jodie Valenti

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

ORDINANCE NO. 260908

PEDDLERS AND SOLICITORS ORDINANCE

(Replaces Ordinance No. 070716-A)

GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

THE CHARTER TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN HEREBY ORDAINS:

ARTICLE I — PURPOSE AND DEFINITIONS

Sec. 1. Purpose. This ordinance is intended to protect the privacy, peace, and safety of Township residents and protect the public from fraud, theft, and harm, while respecting the right to engage in expression.

Sec. 2. Definitions.

“Peddler” and “solicitor” mean any person who, for a commercial purpose, travels from house to house or place to place to sell, take orders for, or offer goods, wares, merchandise, or services. The terms “peddler” and “solicitor” do not include a person invited to a social gathering within a home by the occupant, or a person selling the products of their own farm, orchard, or garden.

“Commercial solicitation” means solicitation that proposes a commercial transaction.

“Noncommercial solicitation” means a request for support, including a money donation, for a charitable, religious, patriotic, civic, educational, political, or philanthropic purpose.

“Charitable or civic organization” means a nonprofit qualified under Section 501(c)(3) or 501(c)(4) or a tax-exempt veterans’ organization.

A “minor” means any person under the age of 18.

ARTICLE II — LICENSING OF COMMERCIAL PEDDLERS AND SOLICITORS

Sec. 3. License required. No person shall act as a commercial peddler or solicitor within the Township without first obtaining a license from the Township Clerk. This Article applies only to commercial activity.

Sec. 4. Application. An applicant shall file with the Clerk a signed application stating:

- the applicant’s name,
- address,
- telephone number,
- the nature of the goods or services,
- name, address, and telephone number of the business they work for,
- whether they have ever been convicted of, are serving a sentence, including probation or parole, or are currently being charged with any of the following:
 - A violation related to their peddling or solicitation activities;
 - A fraud crime;

- o A theft crime;
- o A crime involving violence against a person;
- o A crime of breaking and entering any dwelling;
- o A crime of manufacturing and distributing illegal materials.
- and provide a current photo identification.

By submitting an application, the applicant acknowledges that the Township will perform a background check. This information is gathered for purposes of enforcement of this Article only.

By providing an address, the applicant agrees to accept service of any citations at that address via regular mail.

Sec. 5. Issuance is ministerial. The Clerk shall issue the license to any applicant who completes the application, pays the fee, and has not listed a crime or charge as described in Section 4. The Clerk has no discretion to grant or deny a license based on the viewpoint or cause of the applicant.

Sec. 6. Fee. The license fee shall be set by resolution of the Board in an amount that does not exceed the Township's actual cost of administering this Article. No fee shall be required of any person exempt under state or federal law.

Sec. 7. License to be carried; registry list to be obtained. Each licensee shall carry the license at all times while soliciting and shall produce it on request. Each licensee shall obtain the current No-Knock Registry list from the Clerk and shall not call at any address on that list.

Sec. 8. Term; suspension; revocation. Licenses expire after 90 days of issuance. The Clerk may suspend, and the Board may, after notice and an opportunity to be heard as defined in Sec. 22, revoke a license for violation of this ordinance.

Sec. 9. Noncommercial. No License required. Neither this Article nor any other part of this ordinance applies to noncommercial solicitation.

ARTICLE III — NO-KNOCK REGISTRY

Sec. 10. Registry established. The Township Clerk shall establish and maintain a No-Knock Registry of residential addresses whose lawful occupants do not wish to receive commercial peddlers and solicitors.

Sec. 11. Resident opt-in; term. A lawful occupant may register their residential address with the Clerk at no cost or at a cost-based fee set by the Board. A registration remains in effect for five (5) years. The occupant must re-register to remain on the list. The occupant may remove the address at any time by written request. The Township has no duty to remind a registrant to re-register.

Sec. 12. Effect of registration. No commercial peddler or solicitor shall knock, ring the doorbell, or otherwise physically call at any address on the Registry. This section applies regardless of whether the solicitor holds a Township license.

Sec. 13. List furnished to licensees. The Clerk shall make the current Registry available to every licensee. A licensee is responsible for obtaining the current list before soliciting each day.

Sec. 14. Window cling. The Township will issue a window cling identifying a registered residence upon registration. The absence of a window cling does not excuse a violation of Section 12.

Sec. 15. Posted signs honored. Independent of the Registry, no commercial peddler or solicitor shall call at any residence that displays a “No Soliciting,” “No Trespassing,” “No Peddlers,” or equivalent sign in a conspicuous location.

Sec. 16. No liability. The Township assumes no liability for any error or omission in the Registry, and no claim shall lie against the Township arising from the maintenance or distribution of the Registry.

ARTICLE IV — ANTI-FRAUD AND CONDUCT

Sec. 17. No misrepresentation. No person shall, in connection with any commercial solicitation or peddling, misrepresent their name, occupation, affiliation, or purpose, or any other information. This section shall also apply to the application process, such that no person shall make any misrepresentations in their application submitted for any license under this ordinance.

Sec. 18. Conduct. No licensed peddler or solicitor shall obstruct traffic, refuse to leave private property when asked, or engage in threatening or harassing conduct. A person shall leave a residence immediately upon request.

ARTICLE V — HOURS

Sec. 19. Hours of solicitation. No commercial peddler or solicitor shall call at any residence before 9:00 a.m., or after 10:00 p.m. or dusk, whichever is earlier.

ARTICLE VI — PENALTIES AND GENERAL PROVISIONS

Sec. 20. Civil infraction. A violation of any provision of this ordinance is a municipal civil infraction punishable by a fine of not more than \$500.00. Each occurrence is a separate offense.

Sec. 21. Revocation in addition to fine. In addition to a fine, the Board may revoke the license of a violator as described under Sections 8 and 22.

Sec. 22. Due Process. Upon issuance, the Clerk will forward any notice of suspension to the Supervisor and Township Manager. The matter will be an agenda item at the next Board meeting which is at least 7 days after the issuance of the suspension. The applicant or her/his employer has the right to contest the suspension at this meeting. Notice of the meeting shall be mailed to the address on the applicant's application. At the meeting, after providing an opportunity to be heard, the Board may revoke the license.

Any person who contests their denial of an application may also submit a letter to the Clerk outlining their complaint. The Clerk shall then forward that letter to Supervisor and Township Manager. The matter will be an agenda item at the next Board meeting which is at least three days after the receipt of the letter by the Clerk. The applicant or her/his employer has the right to contest the denial at this meeting. Notice of the meeting shall be mailed to the address on the applicant's application. At the meeting, after providing an opportunity to be heard, the Board may, upon finding the conditions of the application met, issue a license.

Any person contesting the denial of a license based on a past conviction may submit the above contest to the Clerk. Such an applicant bears the burden of demonstrating to the Board that an exception should be granted to them because of good cause shown.

Sec. 23. Severability. If any provision of this ordinance is held invalid, the remaining provisions remain in full effect. In particular, the No-Knock Registry (Article III), and the Anti-fraud and Conduct rules

(Article IV) are intended to operate independently of the licensing provisions of Article II, and the invalidity of any licensing provision shall not affect them.

Sec. 24. Effective date; repeal of conflicting ordinances. This ordinance repeals and replaces Ordinance No. 070716-A and all ordinances in conflict, and takes effect upon publication as required by law.

The above Ordinance was offered for adoption by _____ and supported by _____.

Ayes:

Nays:

Absent:

I hereby approve the adoption of the foregoing Ordinance this 8th day of September, 2026.

Rick Soucy

Kevin Spicher

Certification

I hereby declare that the above is a true copy of an ordinance adopted by the Genoa Charter Township Board at a regular meeting held on Tuesday, September 8, 2026 at 6:30 p.m. at the Genoa Township Hall, pursuant to required statutory procedures

Signed: _____ Date _____

*Rick Soucy, Clerk
Genoa Charter Township*

Peddlers and Solicitors Ordinance – Ordinance No 260908

*Township Board Introduction: 08/17/26
Date of Posting: 08/20/26
Date of Publication: 08/21/26
Township Board Adoption: 09/08/26
Date of Posting:
Date of Publication:
Effective Date:*



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Board of Trustees
FROM: Kevin Spicher, Supervisor
DATE: 9/02/2026
RE: Patriot Week Resolution

It is time for Genoa Township to officially recognize Patriot Week via Resolution. Bi-partisan Patriot Week resolutions and proclamations have been issued by the United States Senate, 17 Governors and State Legislatures, and many counites and municipalities.

Patriot Week is an educational and civic initiative celebrated annually from September 11 to September 17. It was created in 2009 by Oakland County Circuit Court Judge Michael Warren, and his then 10-year-old daughter, Leah.

The founders felt that modern civic holidays had become overly commercialized and lost their deeper educational meaning. They sought to create a structured timeframe to celebrate American civic education and address what they believed was a growing lack of historical and constitutional literacy among the American public.

Unlike single-day observances, Patriot Week utilizes a structured, daily thematic approach anchored by two historic anniversaries:

September 11: Patriot Week kicks off by remembering the tragedy of the 2001 terrorist attacks and honoring modern sacrifice and national unity.

September 17: The week concludes on Constitution Day, marking the anniversary of the signing of the U.S. Constitution in 1787.

The event aims to deepen public understanding of America's First Principles; Founding Fathers and key patriots; vital historical documents and speeches and historical flags. Throughout the week, participants are encouraged to reflect on a core American First Principle from the Declaration of Independence: revolution, the rule of law, the social compact, unalienable rights, racial & gender equality and limited government.

SUPERVISOR

Kevin Spicher

CLERK

Rick Soucy

TREASURER

Robin L. Hunt

TRUSTEES

Jodie Valenti

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

**GENOA CHARTER TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN**

RESOLUTION NO. 260908

**A RESOLUTION RECOGNIZING SEPTEMBER 11–17 ANNUALLY
AS PATRIOT WEEK IN GENOA CHARTER TOWNSHIP**

WHEREAS, Patriot Week, observed annually from September 11 through September 17, provides an opportunity for Americans to remember significant events in our nation's history, honor those who have served and sacrificed for our country, and reflect upon the founding fathers and the documents they created; as well as reconnecting with the principles, faith, and traditions that have shaped these United States; and

WHEREAS, September 11, 2001, remains a solemn and significant day in American history, when our nation suffered devastating terrorist attacks that resulted in the loss of nearly 3,000 innocent lives; and

WHEREAS, 2026 marks the 25th anniversary of the September 11, 2001, terrorist attacks, providing a significant opportunity to remember those who lost their lives and to honor the extraordinary courage and sacrifice demonstrated by first responders, members of the military, and countless Americans in the aftermath of those attacks; and

WHEREAS, 2026 also marks the 250th anniversary of the Declaration of Independence, providing an important opportunity for Americans to reflect upon the history, ideals, sacrifices, and enduring principles that have shaped our nation throughout 250 years of independence; and

WHEREAS, the Declaration of Independence affirmed that all people are endowed by their Creator with certain unalienable Rights, including Life, Liberty, and the pursuit of Happiness, and recognized that legitimate government exists to secure those rights; and

WHEREAS, the Constitution of the United States established a framework for self-governance founded upon the rule of law and designed to preserve liberty for generations to come; and

WHEREAS, September 17 is Constitution Day, commemorating the signing of the Constitution of the United States in 1787 and providing an opportunity to recognize the importance of the Constitution, self-government, individual rights, and the rule of law; and

WHEREAS, throughout the history of the United States, generations of Americans have served, sacrificed, prayed, and worked to preserve the freedoms and principles upon which our nation was founded; and

WHEREAS, the American flag serves as a powerful symbol of our nation's unity, liberty, sacrifice, and perseverance, and the Genoa Charter Township Board is proud to display a 15-foot by 25-foot American flag at the Township Hall property as a visible expression of love of country and appreciation for those who have served and sacrificed in its defense; and

WHEREAS, the Genoa Charter Township Board recognizes the importance of remembering those who have made the ultimate sacrifice, honoring our nation's veterans and active members of the armed forces, recognizing the courage of our first responders, and giving thanks to Almighty God for the freedoms and blessings enjoyed by our nation; and

WHEREAS, each generation has a responsibility to learn from our nation's history, honor those who have contributed to the preservation of our freedoms, and pass an understanding and appreciation of our nation's founding principles, heritage, and faith traditions to future generations; and

WHEREAS, the Genoa Charter Township Board believes that remembering our history, honoring those who have sacrificed for our country, and recognizing the blessings of liberty are important responsibilities of citizenship;

NOW, THEREFORE, BE IT RESOLVED, that the Genoa Charter Township Board hereby recognizes September 11 through September 17 of each year as Patriot Week in Genoa Charter Township, beginning in 2026.

BE IT FURTHER RESOLVED, that the Genoa Charter Township Board encourages residents, families, schools, civic organizations, and community groups to observe Patriot Week by remembering the victims of September 11, honoring our nation's veterans, military personnel, first responders, and their families, and reflecting upon the history, founding principles, faith, and sacrifices that have shaped the United States.

BE IT FURTHER RESOLVED, that during 2026, the Township particularly encourages the community to commemorate the 250th anniversary of the Declaration of Independence and the 25th anniversary of September 11, 2001, reflecting upon the freedoms established at our nation's founding and the generations of Americans who have worked, served, prayed, and sacrificed to preserve them.

BE IT FURTHER RESOLVED, that the Genoa Charter Township Board encourages all members of our community to respect and honor the American flag, learn from our shared history, give thanks for the freedoms we enjoy, and help ensure that the principles of liberty, faith, service, and responsible citizenship are remembered and carried forward to future generations.

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

The resolution was declared adopted this 8th day of September, 2026.

CERTIFICATION OF CLERK

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Rick Soucy, Genoa Charter Township Clerk

Date



MEMORANDUM

2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Board of Trustees
FROM: Kevin Spicher, Supervisor
DATE: 9/02/2026
RE: Roundabout Beautification Discussion

Several residents have approached the Township about improving the appearance of the Challis / Bauer roundabout near Mt. Brighton. They feel it is an unofficial "Welcome to Genoa Township" and its' appearance is less than welcoming.

I reached out to the Livingston County Road Commission and was informed they mow it with the standard roadside rotation (twice annually). They are not against island improvements, so long as they meet certain criteria, but they will not share in costs, nor maintain any improvements.

Given the proximity to recent developments (Legacy Hills, The Braxton) we may inquire as to their willingness to participate any potential improvement, as this area could reflect positively on their projects as well. Currently, there is also an unimproved roundabout at Coon Lake & Chilson Roads. It is mowed regularly by the Oak Pointe Community Association for a tidier appearance. In the interest of uniformity, we could also look to improve this island, and potentially seek participation from the neighboring community.

Future roundabout islands in Livingston County will be designed to mimic those at Silver Lake / Fieldcrest / Whitmore Lake Road, which adhere to an MDOT standard featuring a 4' center height, and a 1:4 slope to curb height. 1" to 2" Merrimac Stone is an approved surface covering.

Any improvement will require design approval and a permit to work within the county road right-of-way. The following are LCRC limitations:

- No irrigation
- No signage
- Motorist safety and vehicle maneuverability are top priority. They prefer that drivers not be able to see directly across, but must have clear sightlines to the left for both motorized vehicles and pedestrians. The LCRC is generally not supportive of trees, but will consider a design that has them.
- Low growing plants or ground cover are preferred, and they must not encroach on the "truck apron" outer ring.

SUPERVISOR

Kevin Spicher

CLERK

Rick Soucy

TREASURER

Robin L. Hunt

TRUSTEES

Jodie Valenti

Bill Reiber

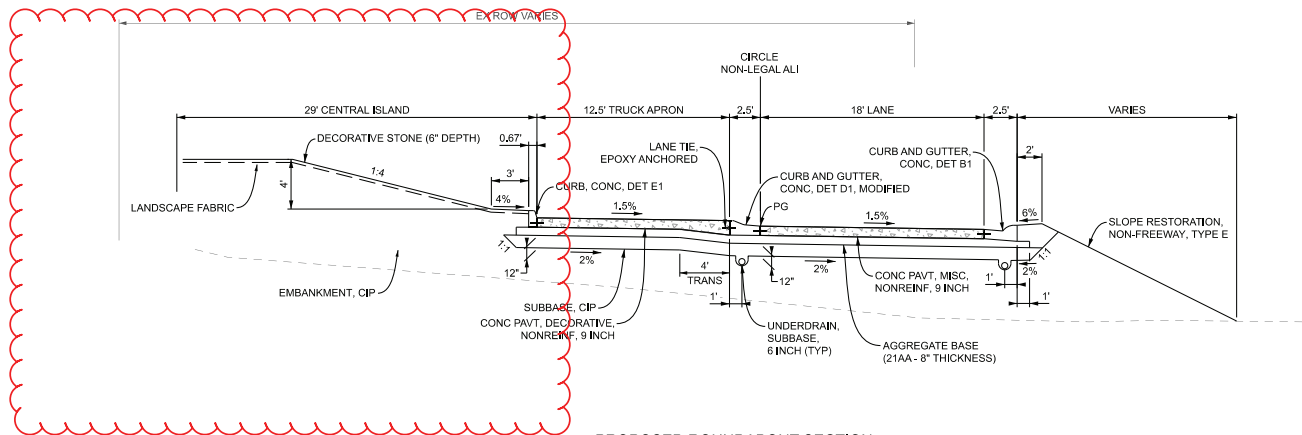
Candie Hoyarter

Todd Walker

MANAGER

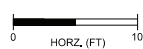
Kelly VanMarter





PROPOSED ROUNDABOUT SECTION
SECTION APPLIES TO:
STA 00+00.00 TO STA 2+95.31 (ROUNDABOUT CIRCLE)

FINAL ROW PLAN REVISIONS SUBMITTAL DATE:					
NO.	DATE	AUTH	DESCRIPTION	NO.	DATE



DATE: 05/15/26	CS:	TYPICAL CROSS SECTIONS	DRAWING	SHEET
DESIGN UNIT: TETRA TECH	JN:	GOLF CLUB RD AND EAGER RD	GOLF TYP 003	SECT 1
TSC:				10

MICHIGAN
DEPARTMENT OF TRANSPORTATION

SPECIAL PROVISION
FOR
DECORATIVE STONE, (MERAMEC)

URO:SW

1 of 1

APPR:JLB:DBP:03-18-21

a. Description. This work consists of furnishing and placing decorative stone at the locations shown on the plans, in accordance with the standard specifications, or as directed by the Engineer.

b. Materials. The decorative stone must be 1 1/2 inch to 2 inch stone of the type specified. Ensure the material is clean and round in shape. Submit a sample of the stone to the Engineer for approval prior to delivery. Do not order or deliver stone prior to approval by the Engineer.

c. Construction. Grade decorative stone bed areas to required depth, install landscape fabric and place decorative stone conforming to the bed outlines shown on the plans and as directed by the Engineer. Place the decorative stone over the landscape fabric at a minimum depth of 6 inches with the finish grade being level with the concrete curb and top of the steel landscape edging.

d. Measurement and Payment. The completed work, as described, will be measured and paid for at the contract unit price using the following pay item:

Pay Item	Pay Unit
Decorative Stone, (Meramec).....	Cubic Yard



2911 Dorr Road
Brighton, MI 48116
810.227.5225
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genoa.org

MEMORANDUM

TO: Board of Trustees
FROM: Administrative Committee
DATE: September 2, 2026
RE: Discussion - Board Member Code of Conduct and Decorum Policy

The Administrative Committee would like to discuss whether the Township Board would benefit from adopting a formal Board Member Code of Conduct and Decorum Policy. The purpose of such a policy would be to establish clear expectations for ethical conduct, professionalism, civility, and the appropriate exercise of public office. A formal policy would conduct the public's business in a manner that promotes public trust and confidence in Township government.

The Township received a request from a resident approximately one year ago to consider adopting an ethics ordinance. While the policy contemplated here would be broader than an ethics ordinance alone, it would address many of the same objectives, including ethical conduct, conflicts of interest, appropriate use of position, relationships with staff and the public, and professional conduct. In considering the broader responsibilities of elected Township officials, a Code of Conduct and Decorum Policy would provide a more comprehensive framework while also addressing the substance of the prior request.

A formal policy could also help clarify expectations for Board Members and provide guidance when questions arise regarding their official responsibilities. Areas that could be addressed include:

- Professional conduct and meeting decorum, including respectful and productive discussion.
- The roles of individual Board Members and the Board as a governing body, including the distinction between individual views and official Board actions.
- The relationship between elected officials and Township staff, including appropriate communication, respect for the administrative structure, and clear boundaries between Board oversight and day-to-day administration.
- Conflicts of interest and ethical conduct, including disclosure and appropriate handling of potential conflicts.

SUPERVISOR

Kevin Spicher

CLERK

Rick Soucy

TREASURER

Robin L. Hunt

TRUSTEES

Jodie Valenti

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

- Communications with applicants, contractors, vendors, residents, and other interested parties, including appropriate boundaries for individual Board Members acting in their official capacity.
- Use of Township resources and information, including public resources and nonpublic information.
- Social media and public communications, including appropriate standards for Board Members communicating in their official capacities.
- A consistent framework for addressing questions of Board Member conduct, rather than relying on informal or inconsistent expectations.

Establishing these expectations in advance can help strengthen public trust and confidence in the Township Board and its ability to govern effectively. A clear framework for conduct can help Board Members understand and carry out their respective responsibilities while maintaining appropriate boundaries between individual Board Members and the Board as a governing body. It can also help promote compliance with applicable laws and Township policies and reduce the risk of actions that could create unnecessary liability for the Township. A formal policy would provide an established framework that can continue to serve the Township as Board membership changes over time.

If the Board supports moving forward, the Administrative Committee would prepare a draft policy for presentation and discussion at a future Board meeting. The Board would then have an opportunity to review the proposed language, provide input, and make changes before determining whether to proceed with adoption. The proposed policy would be referred to the Township Attorney for legal review before any action to adopt it is considered.

No action to adopt a Code of Conduct and Decorum Policy is being requested at this meeting. The Committee is seeking direction on whether to develop a proposed policy for future consideration.

MEMORANDUM

TO: Board Members

FROM: Rick Soucy, Clerk

DATE: September 3, 2026

RE: Eagle Scout Cemetery Project

Honorable Members,

This summer, Eagle Scout Candidate, Luke O'Brian worked on his service project at Chilson Hills Cemetery. Luke, his family and fellow troop members spent a Saturday cleaning approximately 40 tombstones in addition to repairing 3 tombstones. More than 40 hours was put into these preservation efforts.

Congratulations Luke!



SUPERVISOR

Kevin Spicher

CLERK

Rick Soucy

TREASURER

Robin L. Hunt

TRUSTEES

Jodie Valenti

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter