

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
August 19th, 2025  
6:30 P.M.  
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

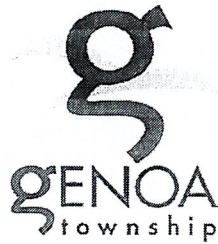
NEW BUSINESS:

1. 25-16...A request by Glass Doctor of Michigan, 2855 Fishbeck Road, for a dimensional variance and any other variances deemed necessary by the Zoning Board of Appeals, to install an aluminum framed patio cover.
2. 25-17...A request by Gary Poma, 4075 Highcrest, for a side, front and shoreline setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to demolish an existing home and construct a new home.
3. 25-18...A request by Robert Ready, 5377 Wildwood, for side, front, waterfront variances and any other variances deemed necessary by the Zoning Board of Appeals, to add a second story to an existing home and an overhang to the front entrance.
4. 25-19...A request by Chris Duperon, 3101 Beck Road, for a dimensional variance and any other variances deemed necessary by the Zoning Board of Appeals, to construct a detached accessory structure.

ADMINISTRATIVE BUSINESS:

1. Approval of minutes for the July 15<sup>th</sup>, 2025 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p>
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**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 25-16

Meeting Date: 8-19-25 @ 6:30pm

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Glass Doctor of Michigan Email: MPH6DE@hotmail.com

Property Address: 2855 Fishbeck Road Phone: 586-634-7098

Present Zoning: Residential 11.04.03 Tax Code: 11-15-300-035

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: \_\_\_\_\_

Adding 224 sq. ft. aluminum framed patio cover (not enclosed). We are requesting a variance of 74 sq. ft. to allow this accessory structure in accordance with code 11.04.03.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

**Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

We are in compliance with property setbacks. Granting of the square footage variance will allow homeowner to cover portion of second story deck.

**Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

This property is larger in proportion to other properties in township. Granting of variance will not impede on view of any neighbors and is substantially far from roadways.

**Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

This patio is not enclosed and to be constructed on second story deck. This will not impede on streets or endanger any inhabitants of the Township of Genoa.

**Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This structure will not interfere with or discourage the development of surrounding neighborhood.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 6/16/25 Signature: Kirk Reel

## Jeff Oslin

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**From:** Carrie Aulette <carrie@genoa.org>  
**Sent:** Thursday, June 5, 2025 10:40 AM  
**To:** Jeff Oslin  
**Subject:** [EXTERNAL]2855 Fishbeck Article 11

You don't often get email from carrie@genoa.org. [Learn why this is important](#)

**CAUTION:** This email originated from outside of BrightCovers. Do not click links or open attachments unless you recognize the sender and know the content is safe.

### 11.04.03 Accessory Structures

- (a) **Decks, Balconies, Porches, and Similar Structures.** Decks, balconies, porches or similar structures are permitted only when they are attached to or abutting buildings that are occupied by a use permitted in the particular zoning district.
- (1) Attached or abutting covered or enclosed decks, balconies, porches or similar structures with an open or enclosed roof and/or walls or enclosure shall be considered to be part of the building for purposes of determining setbacks with the exception of one (1) pergola or gazebo as regulated in Section 11.04.03(a)(3) below.
- (2) **Required Setbacks:** When attached or abutting the building uncovered decks and similar structures without a roof, walls or other form of enclosure shall be permitted within all principal structure non-required yards. Within the principal structure required yard, attached or abutting uncovered decks, balconies and similar structures without a roof, walls of other form of enclosure shall be permitted as follows:
- a. **Front Yard:** Attached or abutting uncovered decks, balconies and similar structures without a roof, walls or other form of enclosure may extend twelve (12) feet from the front building line provided they shall be at least twenty (20) feet from the front lot line.
- b. **Side Yard:** Attached or abutting uncovered decks, balconies and similar structures without a roof, walls or other form of enclosure may extend into the required side yard provided they shall be at least at least four (4) feet from any side lot line.
- c. **Rear Yard:** Attached or abutting uncovered decks, balconies and similar structures without a roof, walls or other form of enclosure may extend into the required rear yard provided they shall be at least at least ten (10) feet from any rear lot line.
- d. **Waterfront Yard:** Attached or abutting uncovered decks, balconies and similar structures without a roof, walls or other form of enclosure may extend a maximum fifteen (15) feet into the required waterfront yard provided that a minimum fifteen (15) foot wide open space greenbelt shall be provided between the deck and the closest edge of the shoreline.
- (3) **Gazebos/Pergolas:** When attached or abutting a principal building and not within the principal structure required waterfront yard, uncovered decks, balconies and similar structures may include a covered or enclosed pergola or gazebo with a maximum size of one hundred fifty (150) square feet and a maximum height of fourteen (14) feet (see Article 25 for calculation of

building height). Detached, freestanding gazebos or pergolas shall meet accessory building setbacks of Section 11.04.02.

- (4) For condominiums, the placement of decks shall be stipulated in the Condominium Master Deed and Exhibit B Site Plan, in conformance with the regulations of this section. Where there are no property lines between the two condominium units, decks shall be setback a minimum of four (4) feet from the halfway point between the two units, provided the decks are separated a minimum of eight (8) feet (combined four (4) foot setback of both decks).
- (5) Detached, freestanding, or non-abutting decks, balconies, porches, and similar structures shall comply with the requirements of Section 11.04.02 for Accessory Buildings.



BrightCovers  
3453 W. 140th Street  
Cleveland, OH 44111  
855-412-7444  
info@BrightCovers.com

#### Customer Information

Laura McDaniel & Sampson Spry  
2855 Fishbeck Road  
Howell, MI 48843  
517-545-0890  
spryplace@att.net

#### General Information

Open Date: 4/23/2025  
Number: 514046  
Active: Curt Kassigkeit

#### Contract Information

Sales Order:	04/05/2025	Remeasured:	Installed:
Consultant:	Jonathan Koloff	Remeasurer:	Installer:
Quote:		Change Order:	Reference: CO
Consultant:		Consultant:	

#### Product Information

##### TODAY CHECK

Description	Amount
Residential Patio Cover	
TODAY CHECK	
Width: 14'	
Length: 16'	
Desert Sand Aluminum Frame Up To 224 SqFt	
Attachment: Roof Mount (<16' Width) ^ X13BegBeamQty:1	
Ground Attachment: Deck Joists	
Intermediate Beam: None	
Intermediate Posts: None	
End Beam (Width <16'): X13 w/ Two (2) End Posts ^ X13EndBeamQty:1	
End Posts: (2) Two End Posts @ <120" ^ 120EndPostQty:2	
Gutter: 14'	
(1) Outlet w/ (1) One 3" Downspout @ 10' ^ SDOutQty:1 SDSQty:1	
(3) 3" 'A' Elbows ^ SAEQty:3	
Permit Prep	
\$500 Off Promotion	
Grey Panels Up To 224 SqFt	
Custom gable filler over door and back side of unit	
Drip flashing for over door per Curt	
	\$15,000.00

#### Summary

Contract Amount	\$15,000.00
Deposit Amount	\$7,500.00



Due at Completion

\$7,500.00

### Notes

BrightCovers to obtain any permitting necessary.

Homeowner is responsible for any HOA approval necessary, BrightCovers can assist.

Estimated installation of 8-10 weeks is weather and permit dependent.

### Acknowledgements

50% Deposit is required unless remaining balance is approved and authorized through BrightCovers financing options. Estimated installation target date is twenty weeks from receipt of 50% Deposit unless otherwise specified herein, weather permitting.

Unless noted above, Customer agrees to obtain any Homeowners Association (HOA) approval (if necessary) and BrightCovers shall obtain any Permitting required with Customer assistance. If Customer elects to waive permit requirements, any potential violations or penalties are the responsibility of Customer.

### Terms and Conditions

These terms and conditions are made by and between TRANSLUCENT LLC, an Ohio limited liability company dba BrightCovers ("Contractor"), and Customer ("Owner") identified on the order form.

Owner acknowledges that Owner: (i) has read this entire Contract before signing; (ii) understands all discounts have been applied at the point of sale; (iii) executed this Contract with an electronic signature, which has the same effect as a written ink signature; (iv) consents to receive copies of any and all Contracts/disclosures/statements (including this Contract) from Contractor sent by email; and (v) can request any and all Contracts/disclosures/statements (including this Contract) in paper form upon request by emailing [orders@brightcovers.com](mailto:orders@brightcovers.com) or calling 855-412-7444 and requesting same. No fees will be charged for paper copies.

You, the residential buyer when this solicitation and your agreement occur in person at your residence, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. See the Notice of Cancellation for an explanation of this right.



Signature

1. GENERAL: These Terms and Conditions set forth the entire agreement between the parties for the sale of products and/or services (collectively and severally, the "BrightCovers® System") as described on the order form (such order form and these Terms and Conditions, collectively, the "Contract"). Owner's acknowledgement, execution of this Contract, taking possession of the BrightCovers® System, or any other conduct of Owner which recognizes the existence of a contract pertaining to the subject matter hereof shall constitute acceptance by Owner of the Contract. Additional or different terms provided in Owner's request for quotation, bid documents, purchase order, acceptance of Contractor's offer or other communications which vary in any degree from any of the terms of the Contract shall be deemed material and are hereby objected to and rejected. If the Contract shall be deemed an acceptance by Contractor in response to an offer by Owner and if any terms herein are additional to or different from any terms of such offer, then the issuance of the Contract by Contractor shall constitute an acceptance expressly conditioned upon Owner's assent to all of the terms and conditions of the Contract and any additional or different terms from Owner's offer are rejected. No other agreements or understandings, written or oral, express or implied, shall be binding on Contractor and Owner. This Contract may be amended or modified from time to time in writing, signed by Contractor and Owner and effective as of the date of such amendment or modification.

2. ACCEPTANCE AND INSTALLATION: Owner hereby represents that it is the owner of or has the legal right to occupy the real property identified on the order form upon which the BrightCovers® System is to be installed, and if it is not the owner of such real property, Owner represents that it has the consent or authorization of the real property owner for the installation of the BrightCovers® System. The installation process may be provided by Contractor's employees or subcontractors authorized by Contractor, as the case may be. The identity of any designated subcontractor will be made available to Owner upon request at the time the Contract is assigned for installation. Owner shall be deemed to have inspected and accepted the BrightCovers® System upon either receipt by Owner, if Owner is not engaging the services of Contractor or its designated subcontractor for installation, or the completion of installation, if installation is completed by Contractor or one of its subcontractors. Any notice of non-conformance or defect must be made in writing to Contractor within three days after either receipt by Owner, if the Owner is not engaging the services of Contractor or its designated subcontractor for installation, or the completion of installation, if installation is completed by Contractor or one of its subcontractors. All notices of non-conformance or defect must state with particularity the defect or damage complained of.

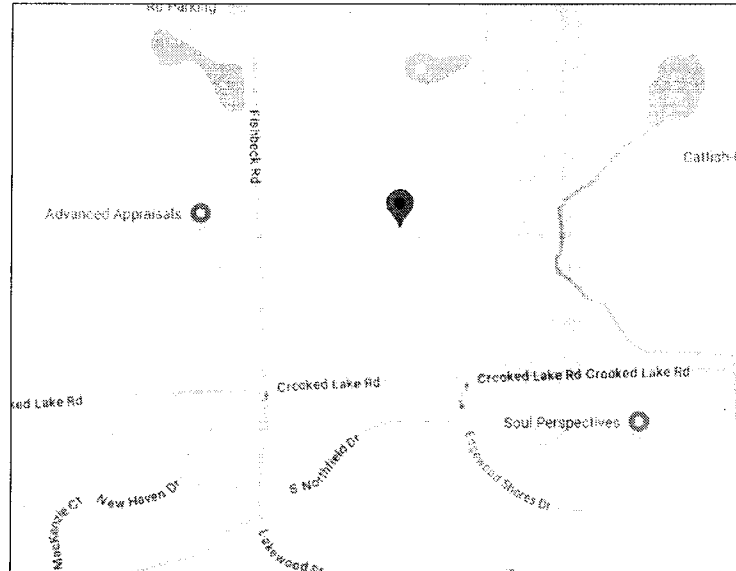
3. PAYMENT TERMS: The Contract Amount and Deposit Amount are set forth on the order form. The Deposit Amount corresponds to the



PROPOSED LOCATION



EXAMPLE ONLY



VICINITY MAP

DRAWING INDEX	
SHEET #	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	CONSTRUCTION PLAN
4	SECTION PLAN
5A	WALL & ROOF ATTACHMENT DETAILS
5B	BEAM ATTACHMENT DETAILS
5C	POST TO GROUND ATTACHMENT DETAILS
5D	PANEL, RAFTERS & GUTTER DETAILS
6	SNOW LOAD TABLES

## SPRY RESIDENCE BRIGHTCOVERS ADDITION

AUTO GLASS OF MICHIGAN  
dba  
GLASS DOCTOR OF MICHIGAN  
31625 EIGHT MILE ROAD  
LIVONIA, MICHIGAN 48152

LICENSE # 2102184255 EXP. 5/31/2026  
FID# 61-1468379



3453 West 140th Street  
Cleveland, OH 44111  
(855) 412-7444  
www.BrightCovers.com  
permits@BrightCovers.com

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### NOTES:

- ALL DIMENSIONS SHALL BE FIELD VERIFIED, (UNLESS WHERE REFERENCE (REF.) IS SHOWN)
- PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
  - 2015 MICHIGAN RESIDENTIAL CODE (MRC)
  - 2015 MICHIGAN BUILDING CODE (MBC)
  - 2020 AA ALUMINUM DESIGN MANUAL (ADM)
  - 2017 AA ALUMINUM STANDARDS AND DATA.
- STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
  - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES), REF. ATTACHED LOAD TABLES.

CUSTOMER:  
SAMPSON SPRY & LAURA MCDANIEL  
2855 FISHBECK ROAD  
HOWELL, MI 48843  
LIVINGSTON COUNTY  
PARCEL# 4711-15-300-035

DESCRIPTION:  
14' WIDTH X 16' LENGTH  
ROOF TO DECK  
DESERT SAND FRAME W/ GREY PANELS

JOB #: 514046\_2025/4/SPRY

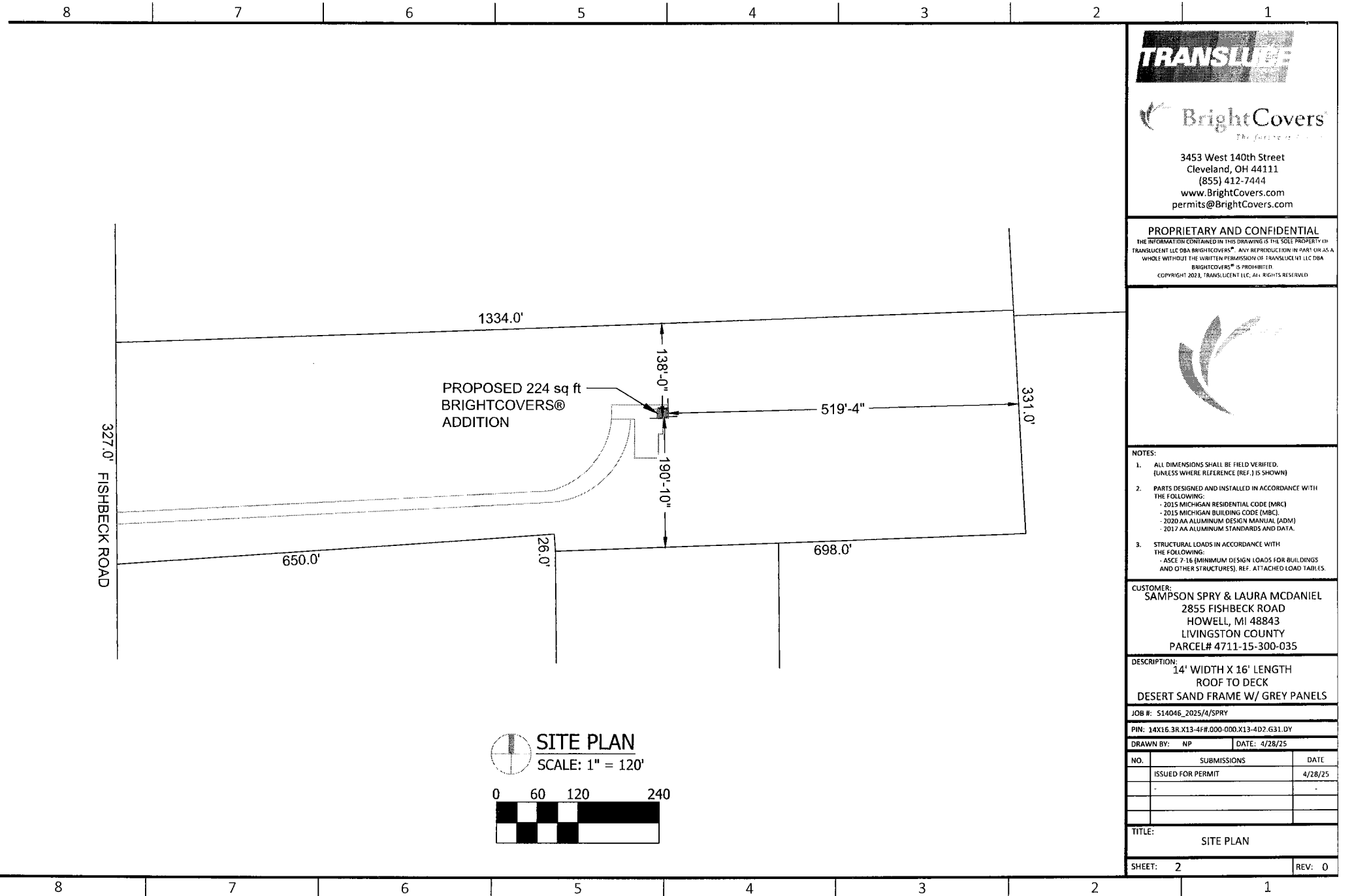
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DRAWN BY: NP DATE: 4/28/25

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	4/28/25

TITLE: COVER SHEET

SHEET: 1 REV: 0



*The future is now.*

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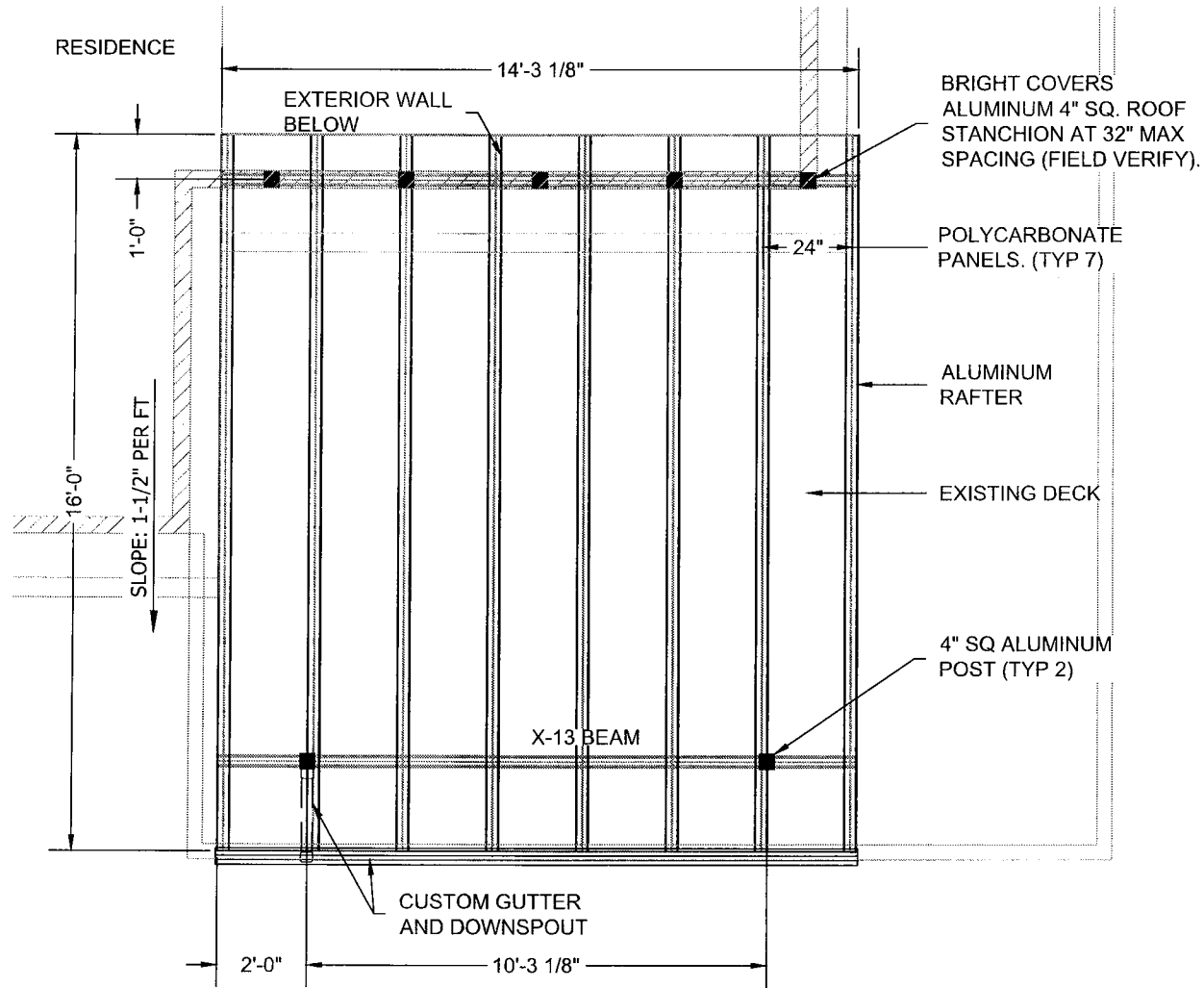
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**DRAWN BY:** NP      **DATE:** 4/28/25

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	4/28/25

**TITLE:** SITE PLAN

**SHEET:** 2      **REV:** 0



**PLAN VIEW**  
SCALE: 3/8" = 1'-0"



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PARCEL# 4711-15-300-035

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**PIN:** 14X16.3R.X13-4FR.000-000.X13-4D2.G31.DY

**DRAWN BY:** NP **DATE:** 4/28/25

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	4/28/25

**TITLE:**  
CONSTRUCTION PLAN

**SHEET:** 3 **REV:** 0



8

7

6

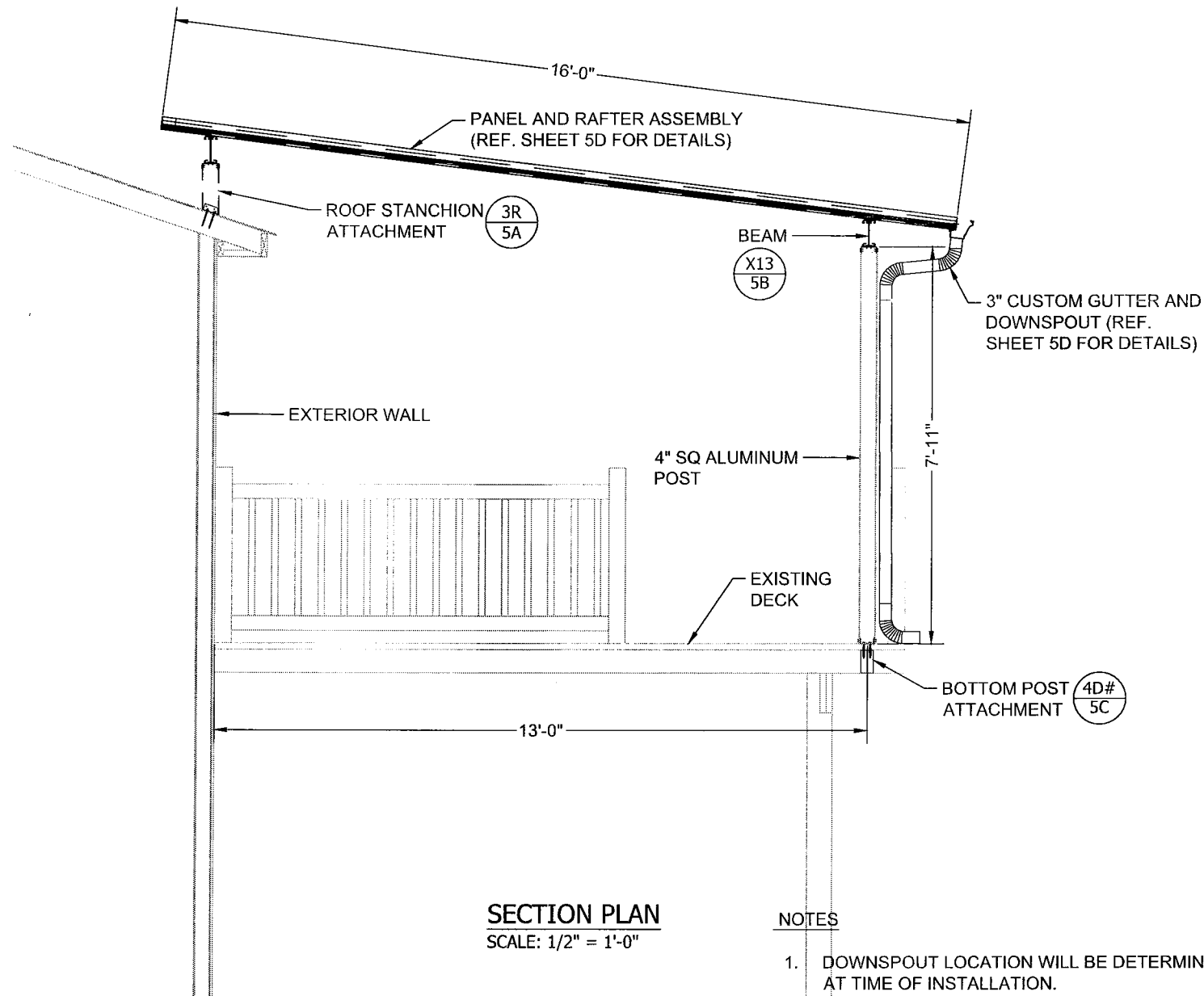
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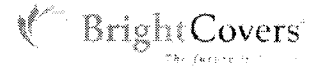
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**SECTION PLAN**  
SCALE: 1/2" = 1'-0"

**NOTES**

1. DOWNSPOUT LOCATION WILL BE DETERMINED AT TIME OF INSTALLATION.



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**TITLE:**  
SECTION PLAN

**SHEET:** 4 **REV:** 0

8

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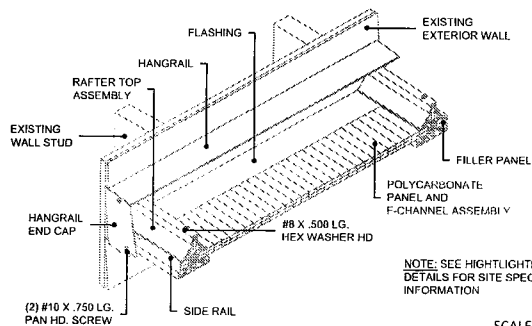
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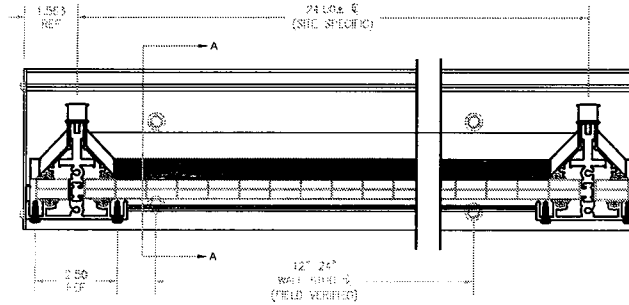
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(TYP) ASSEMBLY PARTS DIAGRAM

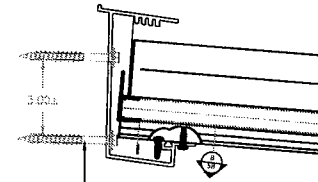


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FRONT SECTION VIEW

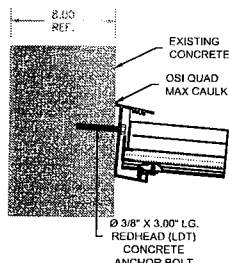


SIDE SECTION VIEW  
SECTION A-A



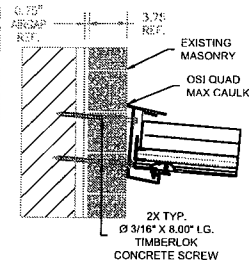
SEE HIGHLIGHTED WALL ATTACHMENT DETAIL FOR FASTENER TYPE

1C: WALL - CONCRETE



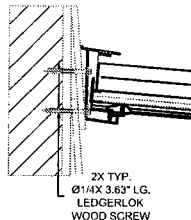
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1M: WALL - MASONRY



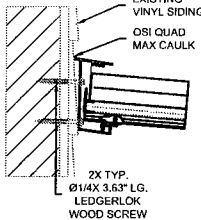
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1P: WALL - LAP SIDING



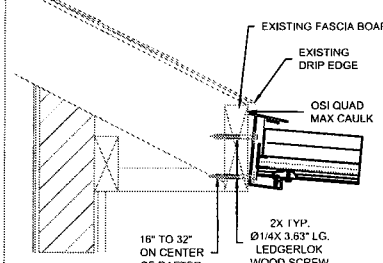
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1V: WALL - VINYL SIDING



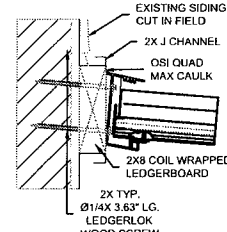
SCALE: N.T.S.

2F: RAFTERS - FASCIA



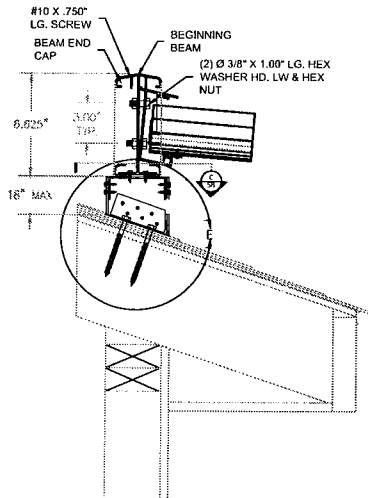
SCALE: N.T.S.

2L: WALL - LEDGERBOARD



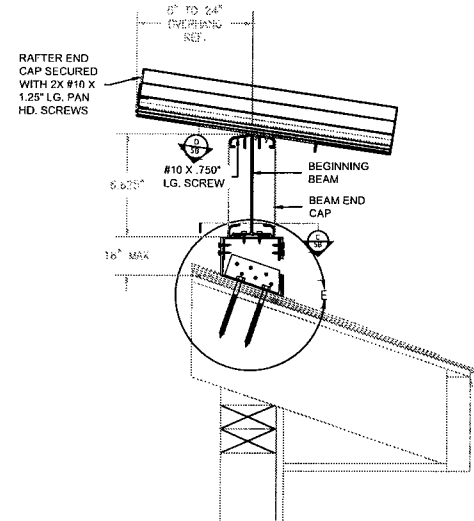
SCALE: N.T.S.

3H: ROOF MOUNT - HANGRAIL



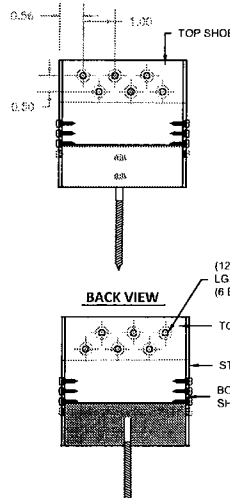
SCALE: N.T.S.

3R: ROOF MOUNT - RAFTER OVER BEGINNING BEAM



SCALE: N.T.S.

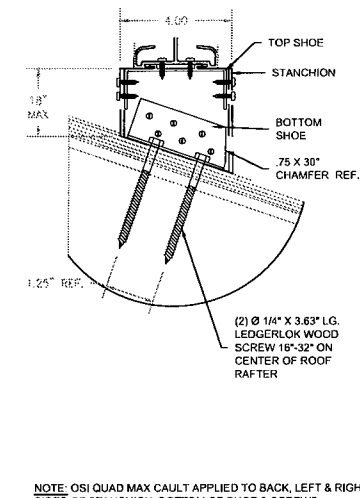
FRONT VIEW



SCALE: N.T.S.

DETAIL E  
ROOF STANCHION TO ROOF

SIDE VIEW



NOTE: OSI QUAD MAX CAULK APPLIED TO BACK, LEFT & RIGHT SIDES OF STANCHION, BOTTOM OF SHOE & SCREWS

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- STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
  - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER:  
**SAMPSON SPRY & LAURA MCDANIEL**  
2855 FISHBECK ROAD  
HOWELL, MI 48843  
LIVINGSTON COUNTY  
PARCEL# 4711-15-300-035

DESCRIPTION:  
**14' WIDTH X 16' LENGTH  
ROOF TO DECK  
DESERT SAND FRAME W/ GREY PANELS**

JOB #: 514046\_2023/4/SPRY

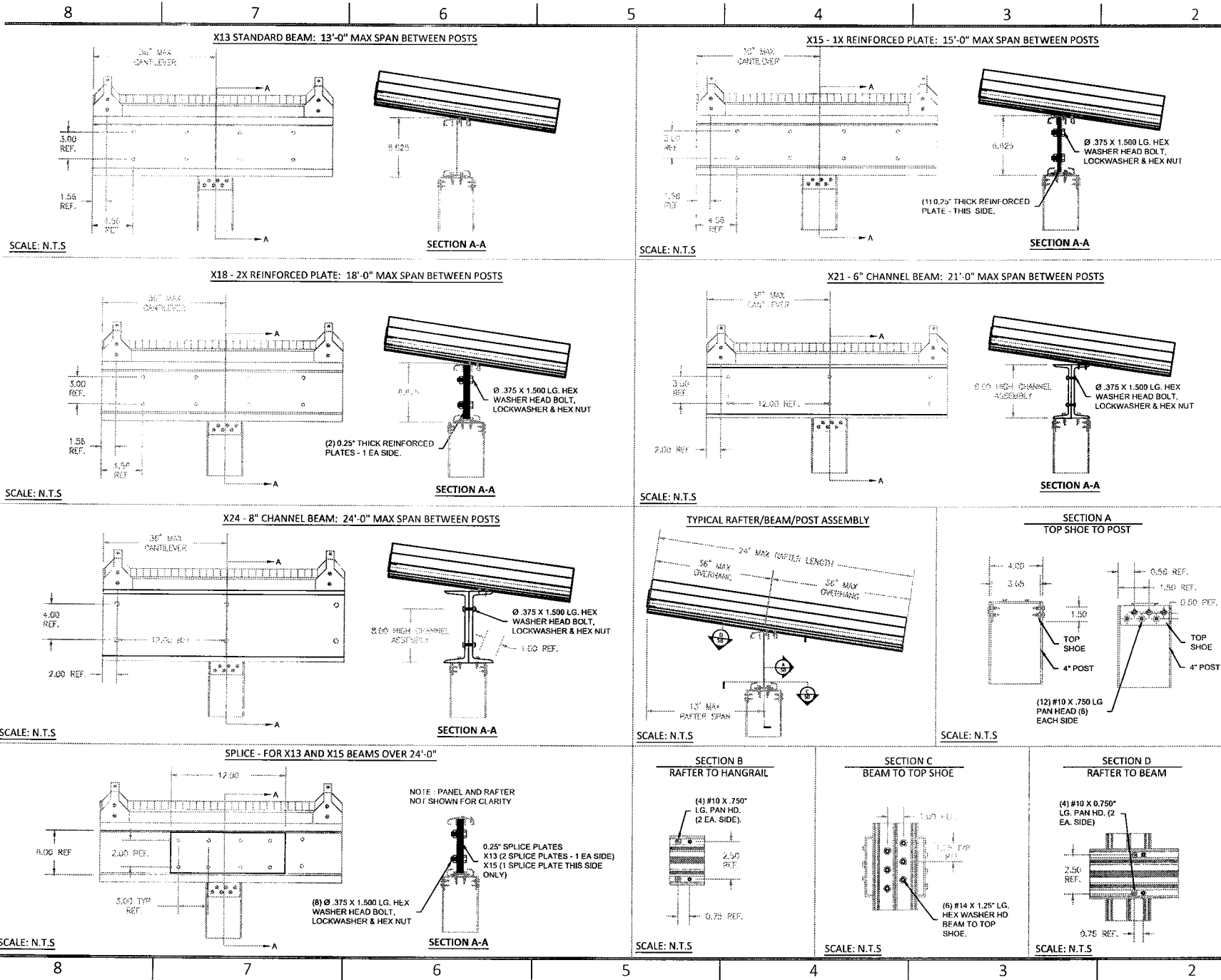
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DRAWN BY: NP DATE: 4/28/25

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	4/28/25

TITLE:  
**WALL & ROOF ATTACHMENT DETAILS**

SHEET: 5A REV: 0



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**DESCRIPTION:**  
 14' WIDTH X 16' LENGTH  
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 DESERT SAND FRAME W/ GREY PANELS

JOB #: 514046_2025/4/SPRY		
PIN: 14X16.3R.X13-4F.000-000.X13-4D2.G31.DY		
DRAWN BY: NP	DATE: 4/28/25	
NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	4/28/25
<b>TITLE:</b> BEAM ATTACHMENT DETAILS		
SHEET: 5B	REV: 0	

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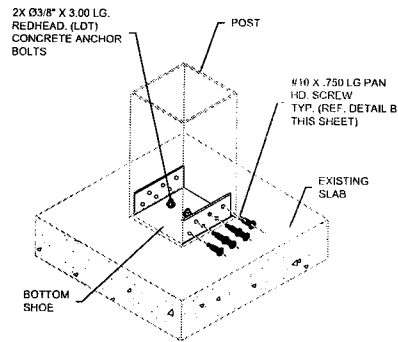
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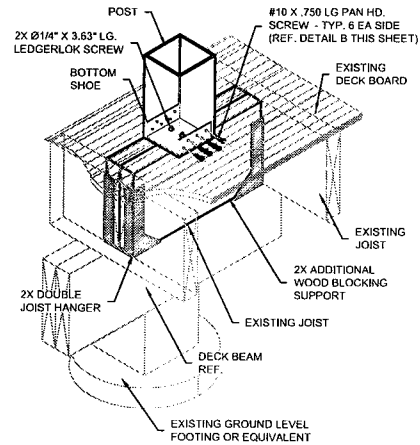
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#### 4S#: - 4" POST TO EXISTING CONCRETE SLAB



SCALE: N.T.S.

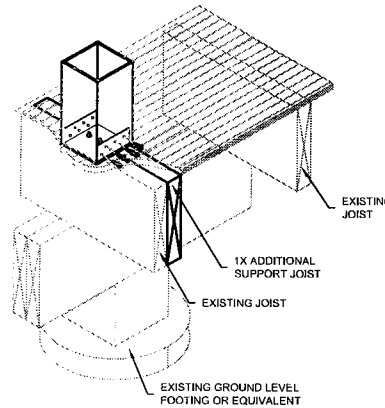
#### ADDITIONAL BLOCKING SUPPORT BETWEEN JOISTS (DECKING VIEWS TYPICAL UNLESS OTHERWISE SPECIFIED)



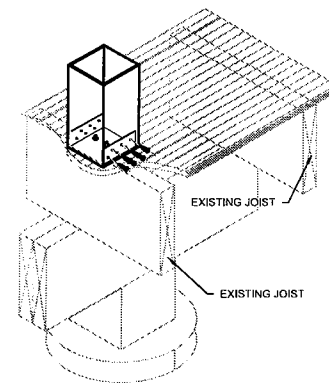
SCALE: N.T.S.

#### 4D#: - 4" POST TO DECK OPTIONS SHOWN BELOW SHALL BE DETERMINED ON-SITE & AS REQUIRED.

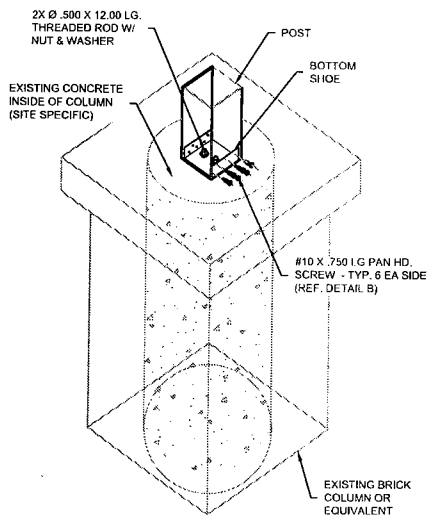
#### ADDITIONAL 1X SUPPORT JOIST



#### EXISTING JOIST

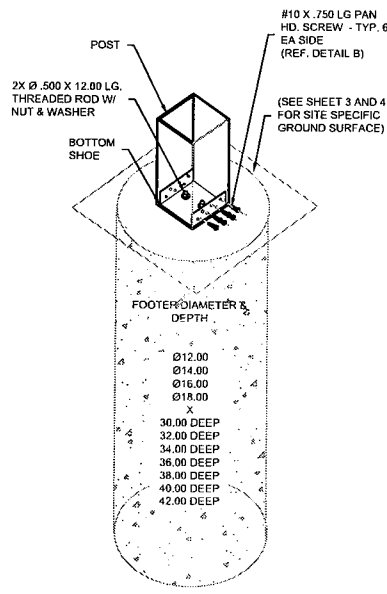


#### 4C#: 4" POST FLUSH MOUNTED TO CONCRETE COLUMN



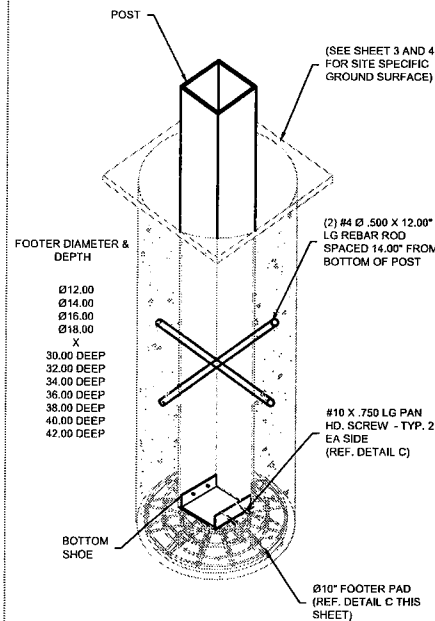
SCALE: N.T.S.

#### 4M#: 4" POST FLUSH MOUNTED TO FOOTER



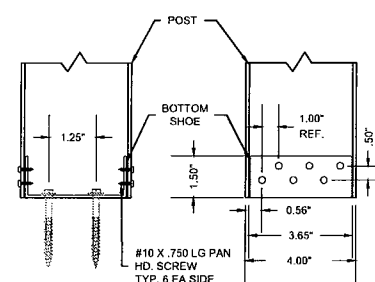
SCALE: N.T.S.

#### 4F#: POST IN FOOTER



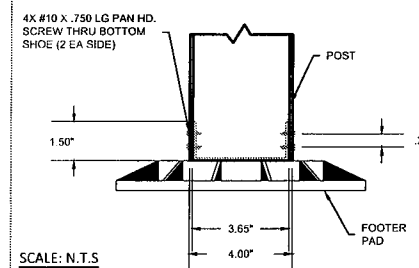
SCALE: N.T.S.

#### DETAIL "B" (TYPICAL) BOTTOM SHOE TO POST



SCALE: N.T.S.

#### DETAIL "C" BOTTOM SHOE TO POST & FOOTER PAD



SCALE: N.T.S.

# TRANSLUCE

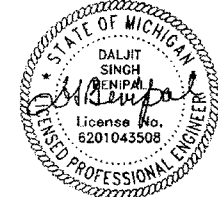
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DESCRIPTION:  
14' WIDTH X 16' LENGTH  
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JOB #: 514046\_2025/4/SPRY

PIN: 14X16.3R.X13-4F#000-000.X13-4D2.G31.DY

DRAWN BY: NP DATE: 4/28/25

NO.	SUBMISSIONS	DATE
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2		
3		
4		

TITLE: POST TO GROUND ATTACHMENT  
DETAIL

SHEET: 5C REV: 0

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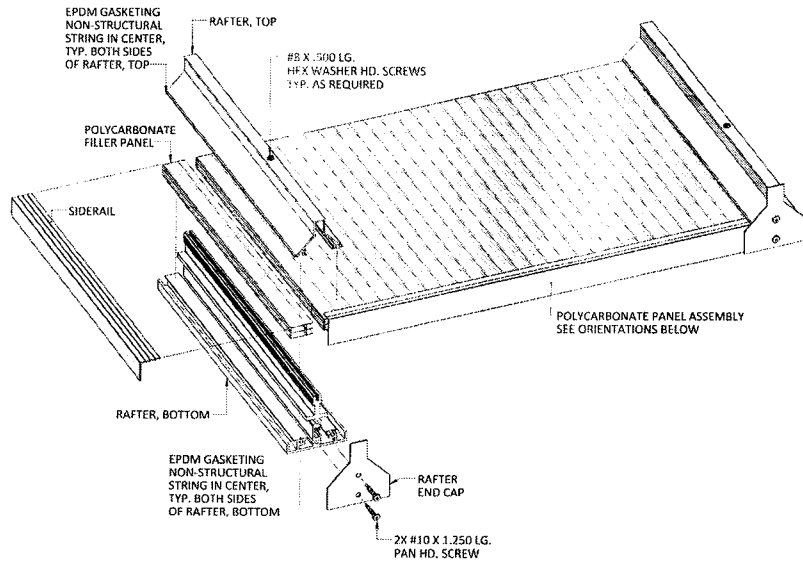
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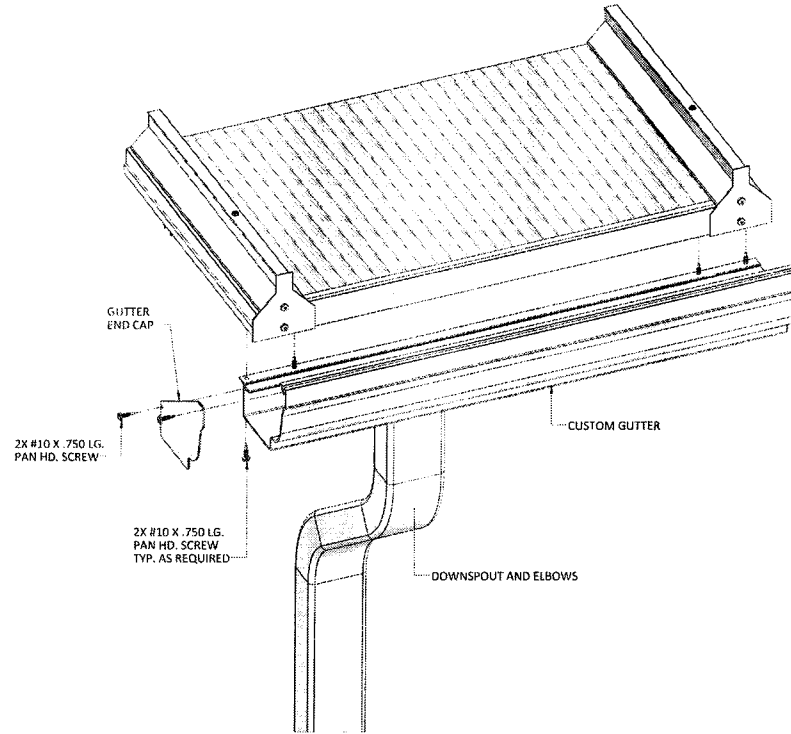
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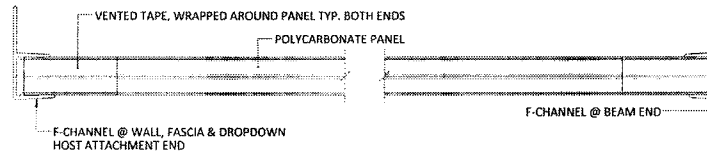
# PR: POLYCARBONATE PANELS & RAFTERS



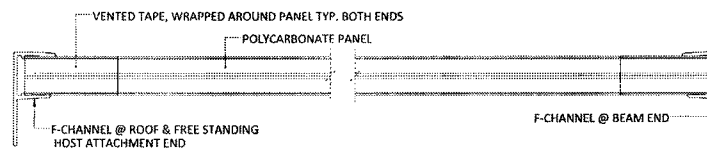
# G##: POLYCARBONATE PANELS & RAFTERS WITH GUTTER



# PAHR: PANEL ASSEMBLY FOR WALL MOUNT UNITS & ROOF W/HANGRAIL IN BEAM



# PARF: PANEL ASSEMBLY FOR FREESTANDING UNITS & ROOF W/PANEL OVER BEAM



## Lexan® International Building Code (IBC) Compliance

LEXAN Thermoclear and Corrugated Sheet products meet the International Code Council (ICC) requirements for light transmitting plastics as outlined in chapter 26 of the IBC. These requirements include standards for self-ignition, burn rate, smoke density, flame spread and smoke development. The IBC limits the use of approved plastic materials. Limitations include the size of each panel, distance between panels, as well as building type, height, and location. Consult the prevailing code to ensure compliance.

## Self-Ignition Temperature (ASTM D 1929)

Plastic material must have a self-ignition temperature of 650 F or greater. LEXAN® Thermoclear and Corrugated Sheet have a self-ignition temperature of about 1000 F.

## Horizontal Burn Rate (ASTM D 635)

Plastic material that has a burning extent of 1 inch or less have a CC1 classification. Plastic materials that have a burning rate of 2.5 inches per minute or less have a CC2 classification. LEXAN® Thermoclear and corrugated sheet have a CC1 classification since they self extinguish between 0.4 and 1 inch.

## Smoke Density (ASTM D 2843)

Plastic material must have a smoke density rating no greater than 75 were tested in the thickness intended for use. LEXAN® Thermoclear, Thermoclick, and Corrugated sheet typically generate a smoke density value between 40-73.

## Flame Spread and Smoke Development (ASTM E84)

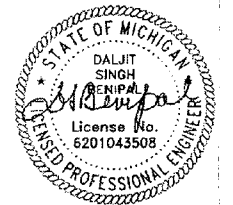
In order to obtain the Flame, Spread Classification, results must fall into a range between 0 and 25 to be Class A, 26-75 for Class B, and 76-200 for Class C. In all cases, Smoke Development must be less than 450. LEXAN® Thermoclear, Thermoclick, and Corrugated sheet products have a class A classification.



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2855 FISHBECK ROAD  
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LIVINGSTON COUNTY  
PARCEL# 4711-15-300-035

## DESCRIPTION:

14' WIDTH X 16' LENGTH  
ROOF TO DECK  
DESERT SAND FRAME W/ GREY PANELS

JOB #: 514046\_2025/4/SPRY

PIN: 14X16.3R.X13-4FH 000-000.X13-4D2.G31.DY

DRAWN BY: NP DATE: 4/28/25

NO.	SUBMISSIONS	DATE
1	ISSUED FOR PERMIT	4/28/25

TITLE: PANELS, RAFTER, AND GUTTER ATTACHMENT DETAILS

SHEET: 5D REV: 0

## SPECIFICATIONS

### A. DESIGN CRITERIA

1. THE BRIGHTCOVERS CANOPY SYSTEM IS A PRE-MANUFACTURED PRODUCT AND SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CHAPTER 16 (STRUCTURAL REQUIREMENTS) SET FORTH IN THE 2015 MICHIGAN BUILDING CODE (MBC).
2. BUILDING TYPE: TYPE IIIB
4. FIRE SUPPRESSION REQUIREMENTS
  - a. BASED OFF THE 2016 EDITION OF THE NFPA 13, THE PROPOSED BRIGHTCOVERS CANOPY SYSTEM MEETS THE DEFINITION OF EXCEPTION 18.15.7.2 OF BEING CONSTRUCTED WITH MATERIALS THAT ARE NON-COMBUSTIBLE, LIMITED COMBUSTIBLE, OR FIRE RETARDANT TREATED WOOD, AND THEREFORE DOES NOT REQUIRE THE INSTALLATION OF A FIRE SPRINKLER SYSTEM.
5. CONSTRUCTION MATERIALS
  - a. FRAMING: WROUGHT ALUMINUM ALLOY - NONCOMBUSTIBLE
    - ALL ALUMINUM COMPONENTS CONFORM TO THE REQUIREMENT OF THE AA ALUMINUM DESIGN MANUAL (ADM) 2020 AND THE AA ALUMINUM STANDARDS AND DATA 2017.
  - b. LIGHT TRANSMITTING PLASTIC PANELS - CLASS CC1
    - BRIGHTCOVERS POLYCARBONATE PANELS COMPLY WITH THE SPECIFICATION REQUIREMENTS SET FORTH IN SECTION 2806 (LIGHT TRANSMITTING PLASTICS) AND 2809 (LIGHT TRANSMITTING PLASTIC ROOF PANELS) AND DOES NOT REQUIRE TO HAVE A FIRE RESISTANCE RATING.

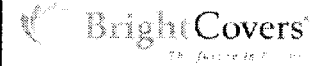
### RAFTER SPANS

LIVE/SNOW LOAD (PSF)	PANEL SPAN 24"		PANEL SPAN 48"	
	OVERHANG (FT)	MAX SPAN (FT)	OVERHANG (FT)	MAX SPAN (FT)
25	0	14.50	0	10.25
	1	14.50	1	10.25
	2	14.75	2	10.50
	3	15.00	3	10.75
30	0	14.00	0	10.00
	1	14.25	1	10.00
	2	14.25	2	10.25
	3	15.00	3	10.00

### X13 BEAM SPANS

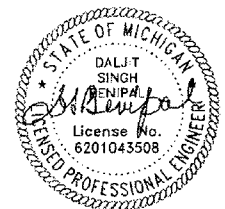
LIVE/SNOW LOAD (PSF)	T-BAR SPAN (FT)	ALLOWABLE BEAM SPAN W/ 0' OH						ALLOWABLE BEAM SPAN W/ 1' OH						ALLOWABLE BEAM SPAN W/ 2' OH						ALLOWABLE BEAM SPAN W/ 3' OH					
		POST HEIGHT (FT)						POST HEIGHT (FT)						POST HEIGHT (FT)						POST HEIGHT (FT)					
		7	8	9	10	11	12	7	8	9	10	11	12	7	8	9	10	11	12	7	8	9	10	11	12
25	8.0	20.0'	20.0'	19.5'	17.5'	15.5'	13.0'	18.0'	17.5'	16.0'	14.5'	13.0'	11.0'	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'
	9.0	19.0'	18.5'	17.0'	16.5'	14.0'	12.0'	17.5'	17.0'	15.0'	14.0'	12.0'	10.5'	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'
	10.0	18.0	17.5'	16.0'	14.5'	13.0'	11.0'	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'	
	11.0	17.5'	17.0'	15.0'	14.0'	12.0'	10.5'	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.0'	12.0'	10.5'	8.5'	
	12.0	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'		13.0'	12.5'	11.5'	10.0'	8.0'	
	13.0	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.0'	12.0'	10.5'	8.5'		12.5'	12.0'	11.0'	9.5'		
	14.0	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'		13.0'	12.5'	11.5'	10.0'	8.0'		12.0'	11.5'	10.5'	9.0'		
30	15.0	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.0'	12.0'	10.5'	8.5'		12.5'	12.0'	11.0'	9.5'			11.5'	11.0'	10.0'	8.5'		
	8.0	20.0'	19.5'	18.0'	16.0'	14.5'	13.0'	17.5'	17.5'	15.5'	14.5'	13.0'	11.0'	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'
	9.0	18.5'	18.5'	16.5'	15.5'	13.5'	12.0'	17.0'	16.5'	14.5'	13.5'	12.0'	10.0'	15.5'	15.0'	13.5'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'
	10.0	17.5'	17.5'	15.5'	14.5'	13.0'	11.0'	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'	14.0'	13.0'	12.0'	10.5'	9.0'	
	11.0	17.0'	16.5'	14.5'	13.5'	12.0'	10.0'	15.5'	15.0'	13.5'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'	13.5'	12.5'	11.5'	10.0'	8.5'	
	12.0	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'	14.0'	13.0'	12.0'	10.5'	9.0'		13.0'	12.0'	11.0'	9.5'	8.0'	
	13.0	15.5'	15.0'	13.0'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'	13.5'	12.5'	11.5'	10.0'	8.5'		12.5'	11.5'	10.5'	9.0'		
	14.0	15.0'	14.5'	13.0'	11.5'	10.0'	8.5'	14.0'	13.0'	12.0'	10.5'	9.0'		13.0'	12.0'	11.0'	9.5'	8.0'		12.0'	11.0'	10.0'	8.5'		
	15.0	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'	13.5'	12.5'	11.5'	10.0'	8.5'		12.5'	11.5'	10.5'	9.0'			11.5'	10.5'	9.5'	8.0'		

NOTE: UNLESS OTHERWISE NOTED, TABLE CALCULATIONS ARE BASED ON WIND SPEEDS UP TO 115 MPH.



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  - 2020 AA ALUMINUM DESIGN MANUAL (ADM)
  - 2017 AA ALUMINUM STANDARDS AND DATA
3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
  - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES). REF. ATTACHED LOAD TABLES.

CUSTOMER:  
**SAMPSON SPRY & LAURA MCDANIEL**  
2855 FISHBECK ROAD  
HOWELL, MI 48843  
LIVINGSTON COUNTY  
PARCEL# 4711-15-300-035

DESCRIPTION:  
14' WIDTH X 16' LENGTH  
ROOF TO DECK  
DESERT SAND FRAME W/ GREY PANELS

JOB #: 514046\_2025/4/SPRY

PIN: 14X16.3R.X13-4FR.000-000.X13-4D2.G31.DY

DRAWN BY: NP DATE: 4/28/25

NO.	SUBMISSIONS	DATE
	ISSUED FOR PERMIT	4/28/25

TITLE:  
SPECIFICATIONS AND TABLES

SHEET: 6 REV: 0

LIMITED POWER OF ATTORNEY

To Whom it May Concern:

Please be advised that I, Kirk A. Rasch  
Of Glassdoctor of Michigan  
Address: 3458 Pine St. City: Hale State: MI  
Zip code: 48739 Telephone: 989 305 5995 do hereby appoint

Michael Scorzo, Daniel Scorzo, Ron Schueneman as  
my attorney in fact for the explicit purpose of executing documents in my stead, specifically  
builders/contractors registration with Governmental Units, and executing permit applications with said  
Governmental units.

This limited power of attorney, hereinafter LPA, would be authorized for other associated documents  
that may be required to be executed by myself by said Governmental units in connection with the  
registration of permit applications.

Michael Scorzo, Daniel Scorzo, Ron Schueneman will sign  
my name and also sign their name as Attorney-in-fact and attach a true copy of this document and it will  
have the same effect as if I had executed the document in person. If multiple persons are  
listed only one person is required to execute the LPA.

This LPA will expire on 5/31/2026

If this LPA is revoked or modified prior to expiry date, grantor agrees to immediately notify, in  
Writing, all entities given the LPA of said revocation or modification, without said notice the  
LPA will continue until expiry date.

End of LPA.

Signed: Kirk Rasch Dated: 5/9/2023

Statement of Notary

TCSCD/Ogemaw County, Michigan  
On this 9th day of May, 2023

WENDY ANN WASKE, Notary Public  
State of Michigan, County of Ogemaw  
Acting in the county of TCSCD  
My commission expires 05/05/24

KIRK RASCH known to me personally appeared before me and signed and  
Executed this instrument of his/her free will.

My commission expires 5/5/24

Notary signature: Wendy Ann Waske Ogemaw County, Michigan

Printed Name: Wendy Ann Waske



2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Carrie Aulette, Zoning Official  
**DATE:** August 4, 2025  
**RE:** ZBA 25-16

---

### STAFF REPORT

**File Number:** ZBA# 25-16  
**Site Address:** 2855 Fishbeck  
**Parcel Number:** 4711-15-300-035  
**Parcel Size:** 10.02 Acres  
**Applicant:** Glass Doctor  
**Property Owner:** Sampson Spry & Laura McDaniel, 2855 Fishbeck Howell  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variance  
**Project Description:** Applicant is requesting a size variance to construct an aluminum framed roof over an existing deck.  
**Zoning and Existing Use:** CE (Country Estates) Single Family Dwelling located on property.  
**Other:**  
Public hearing was published in the Livingston County Press and Argus on Sunday August 3, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

#### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1991.
- The parcel is serviced by well and septic.
- See Assessing Record Card.

The proposed project is to add an aluminum roof structure to an existing deck. In order to construct the roof as proposed, the applicant is required to obtain a size (max sq footage) variance. The applicant is not proposing to encroach any into the side yard or rear yard. Per the application, the structure is not going to be enclosed. Staff believes applicant is asking for the least amount necessary.

#### **SUPERVISOR**

Kevin Spicher

#### **CLERK**

Janene Deaton

#### **TREASURER**

Robin L. Hunt

#### **TRUSTEES**

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

#### **MANAGER**

Kelly VanMarter

#### Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

**11.04.03 Accessory Structures (a) (3)**

**Maximum Square Footage: 150 SF**

**Proposed Square Footage: 224 SF**

**Proposed Variance Amount: 74 SF**

**Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

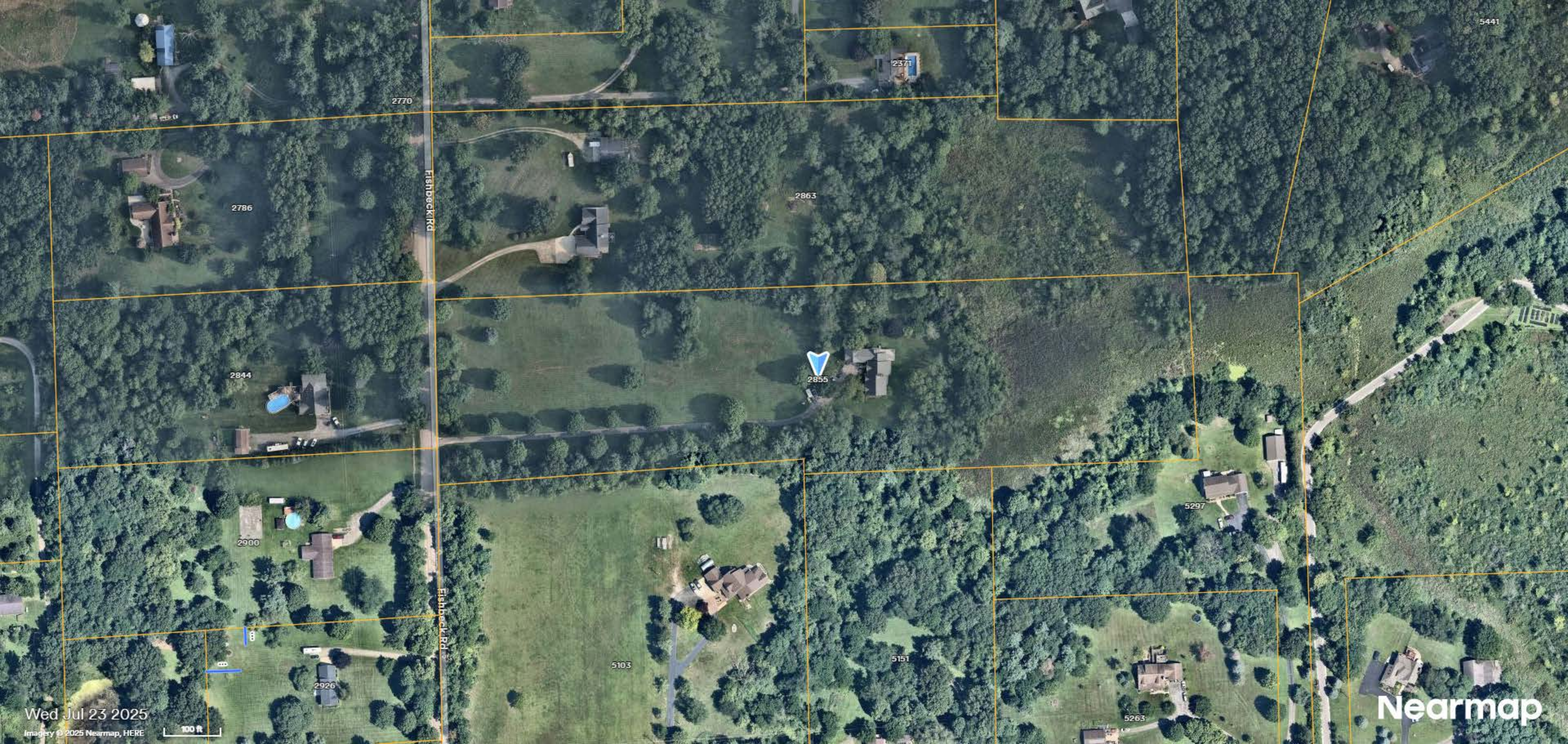
- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the maximum square footage requirement would prevent the applicant from constructing the roof structure over an existing deck proposed to provide shade for the owners. The applicant is not encroaching any further into side yard or rear yard setbacks. The additional square footage beyond what the Ordinance limits is minor and does not impact neighboring properties or block views. The variance requested is minimal and granting it will not change the essential character of the locality.
- (b) Extraordinary Circumstances** – It is unknown if any extraordinary circumstances exist for the property.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** - The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Structure must be guttered with downspouts.
2. A Building Permit must be obtained from the Livingston County Building Department.





Wed Jul 23 2025

Imagery © 2025 Nearmap, HERE

100 ft

Nearmap



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.							
VAN ALSTINE, MARY & WALLAC	SAMPSON SPRY III & MCDANIEL	432,500	06/17/2005	WD	03-ARM'S LENGTH	4848/0679	BUYER/SELLER	100.0							
		297,100	06/28/1993	WD	03-ARM'S LENGTH	17170190	BUYER/SELLER	0.0							
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: CE		Building Permit(s)		Date	Number	Status					
2855 FISHBECK RD		School: HOWELL PUBLIC SCHOOLS													
		P.R.E. 100% 05/04/2007													
Owner's Name/Address		MAP #: V25-16													
SPRY SAMPSON III & MCDANIEL LA 2855 FISHBECK RD HOWELL MI 48843-7886		2026 Est TCV 724,103 TCV/TFA: 264.46													
		X	Improved		Vacant	Land Value Estimates for Land Table 4500.4500 (47070) HOWELL M & B									
		Public Improvements			* Factors *										
Tax Description		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.			Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value		
SEC 15 T2N R5E COM SW COR, TH N1*W 664.1 FT TO POB, TH N1*W 331.91 FT, TH N88*E 1332.9 FT, TH S3*E 330.67 FT, TH S88*W 697.74 FT, TH N1*W 26.12 FT, TH S86*W 647.32 FT TO POB 10.02 AC M/L SPLIT 5/90 FROM 005 PAR B					LAND TABLE A				7.020 Acres		19,972		100		140,204
					WETLANDS				3.000 Acres		10,196		100		30,587
Comments/Influences					10.02 Total Acres		Total Est. Land Value =								170,791
		Topography of Site													
		Level													
		Rolling													
		Low													
		High													
		Landscaped													
		Swamp													
		Wooded													
		Pond													
		Waterfront													
		Ravine													
		Wetland													
		Flood Plain													
		X	REFUSE			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value			
4711-15-300-035		Who	When	What	2026	85,400	276,700	362,100				277,054C			
04/22/2025		JB	04/22/2025	INSPECTED	2025	76,700	276,600	353,300				277,054C			
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan		LM	05/22/2018	REVIEWED R	2024	76,700	267,100	343,800				268,724C			
					2023	60,900	241,600	302,500				255,928C			

Building Type				(3) Roof (cont.)				(11) Heating/Cooling				(15) Built-ins				(15) Fireplaces				(16) Porches/Decks				(17) Garage																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
X	Single Family Mobile Home Town Home Duplex A-Frame			0	Eavestrough Insulation Front Overhang Other Overhang			X	Gas Wood		Oil Coal	Elec. Steam	Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System				Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas				Area 76 372	CCP (1 Story) Treated Wood		Year Built: Car Capacity: Class: BC Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1/2 Wal Foundation: 42 Inch Finished ?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 700 % Good: 0 Storage Area: 0 No Conc. Floor: 0																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
X	Wood Frame			(4) Interior				Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling				1 Prefab 1 Story				Class: BC Effec. Age: 25 Floor Area: 2,738 Total Base New : 544,534 Total Depr Cost: 408,397 Estimated T.C.V: 428,817				E.C.F. X 1.050		Bsmnt Garage: Carport Area: Roof:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
Building Style: BC				Trim & Decoration				Central Air Wood Furnace (12) Electric 0 Amps Service No./Qual. of Fixtures Ex. X Ord. Min				Cost Est. for Res. Bldg: 1 Single Family BC (11) Heating System: Forced Heat & Cool Ground Area = 2705 SF Floor Area = 2738 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=75/100/100/100/75 Building Areas Stories Exterior Foundation Size Cost New Depr. Cost 1 Story Siding Basement 828 1 Story Siding Basement 680 1 Story Siding Basement 1,197 1 Story Siding Overhang 33 Total: 372,373 279,276 Other Additions/Adjustments Basement Living Area 1750 96,513 72,385 Basement, Outside Entrance, Below Grade 1 2,701 2,026 Plumbing 3 Fixture Bath 2 10,272 7,704 2 Fixture Bath 1 3,441 2,581 Water/Sewer 1000 Gal Septic 1 4,237 3,178 Water Well, 200 Feet 1 12,529 9,397 Porches CCP (1 Story) 76 2,112 1,584 Deck Treated Wood 372 4,959 3,719 Garages Class: BC Exterior: Siding Foundation: 42 Inch (Finished) Base Cost 700 32,795 24,596 Common Wall:1/2 Wall 1 -1,172 -879 Fireplaces Prefab 1 Story 1 3,774 2,830 <<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
Yr Built 1991		Remodeled 0		Ex	X	Ord		Min	Size of Closets Lg X Ord Small				Doors: Solid X H.C.				(5) Floors Kitchen: Other: Other:				(6) Ceilings				Insulation				(7) Excavation Basement: 2705 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0 (8) Basement Conc. Block Poured Conc. Stone Treated Wood Concrete Floor (9) Basement Finish 1750 Recreation SF Living SF 1 Walkout Doors (B) No Floor SF Walkout Doors (A)				1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan (14) Water/Sewer Public Water Public Sewer 1 Water Well 1 1000 Gal Septic 2000 Gal Septic Lump Sum Items:																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											





GENOA CHARTER TOWNSHIP VARIANCE APPLICATION  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 25-17

Meeting Date: Aug 19, 2025 @ 6:30 pm  
in Boardroom

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Gary Allen Poma Email: gary.poma1@gmail.com

Property Address: 4075 Higherest Drive Phone: 248-867-1449  
Brighton, MI 48116

Present Zoning: LRR Tax Code: 4711-22-302-130

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Demo existing house  
because it is not salvageable. Build new house  
that is more consistent with the houses in the area

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

①



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

**Practical Difficulty/Substantial Justice.** Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

New house would be consistent with existing neighboring houses and increase value of all homes in area by not having a house that is empty, in terrible repair and dangerous

**Extraordinary Circumstances.** There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The variance is consistent with the variances that have been granted in the past and would not have a negative impact in the area.

**Public Safety and Welfare.** The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

House would not increase congestion in the street or increase the danger of fire or endanger the public

**Impact on Surrounding Neighborhood.** The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The new home would increase the value of homes in the neighborhood and decrease danger of someone getting hurt in existing structure

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: July 9/2025 Signature: Gary Poma



APPLICANT: GARY ALLEN POMA

INDEX FOR VARIANCE  
APPLICATION

PAGES 1-2 VARIANCE APPLICATION

PAGES 3 PLOT PLAN WITH EXISTING HOUSE

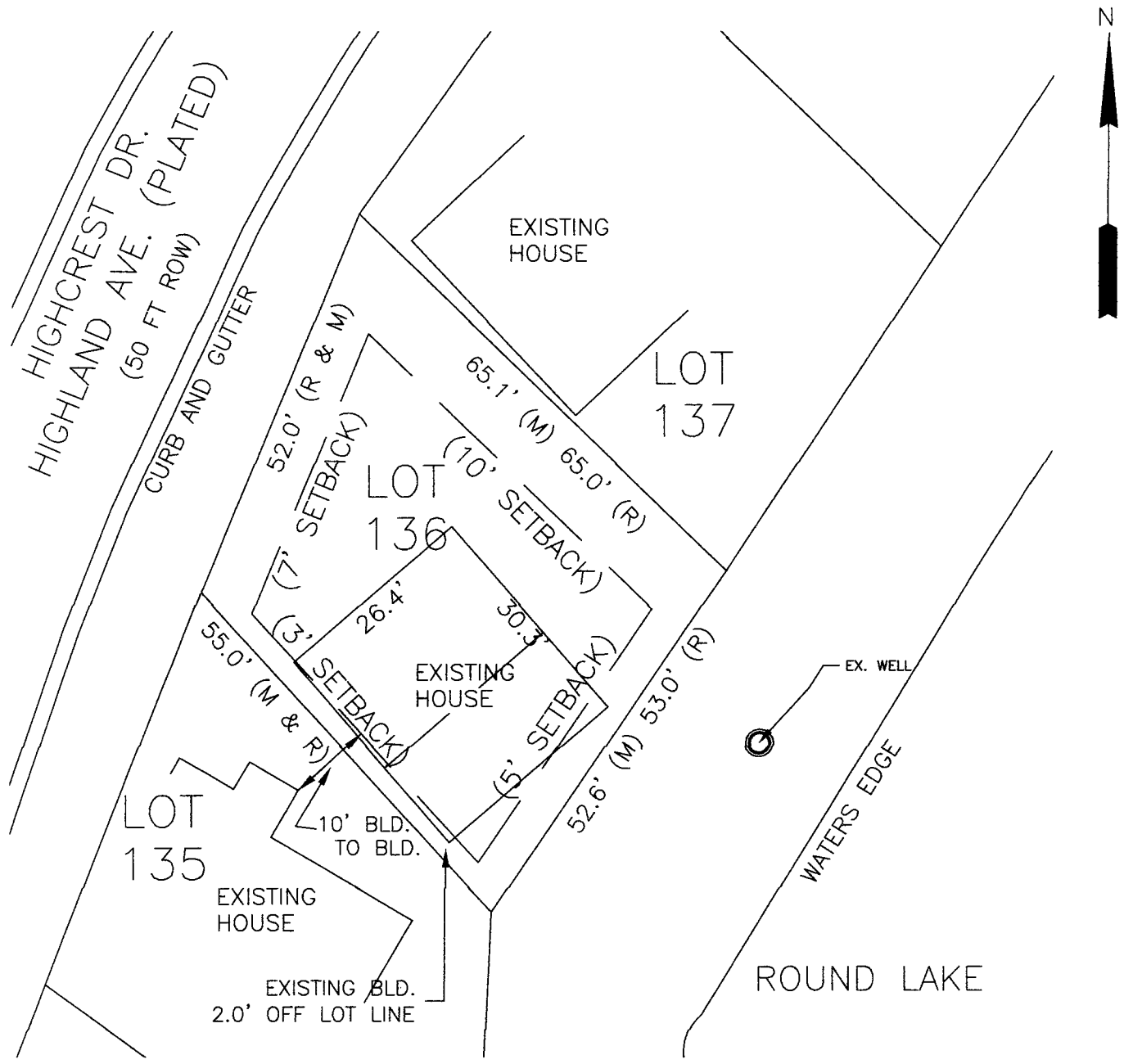
PAGES 4 PLOT PLAN WITH NEW HOUSE

PAGES 5-12 PICTURES OF EXISTING HOUSE

PAGES 13-20 PICTURES OF HOMES TO THE SOUTH  
AND NORTH OF EXISTING HOUSE AT  
4075 WITH DIMENSIONS FROM  
ROAD AND SIDE LOT LINES AND  
LAKE SIDE



# PLOT PLAN

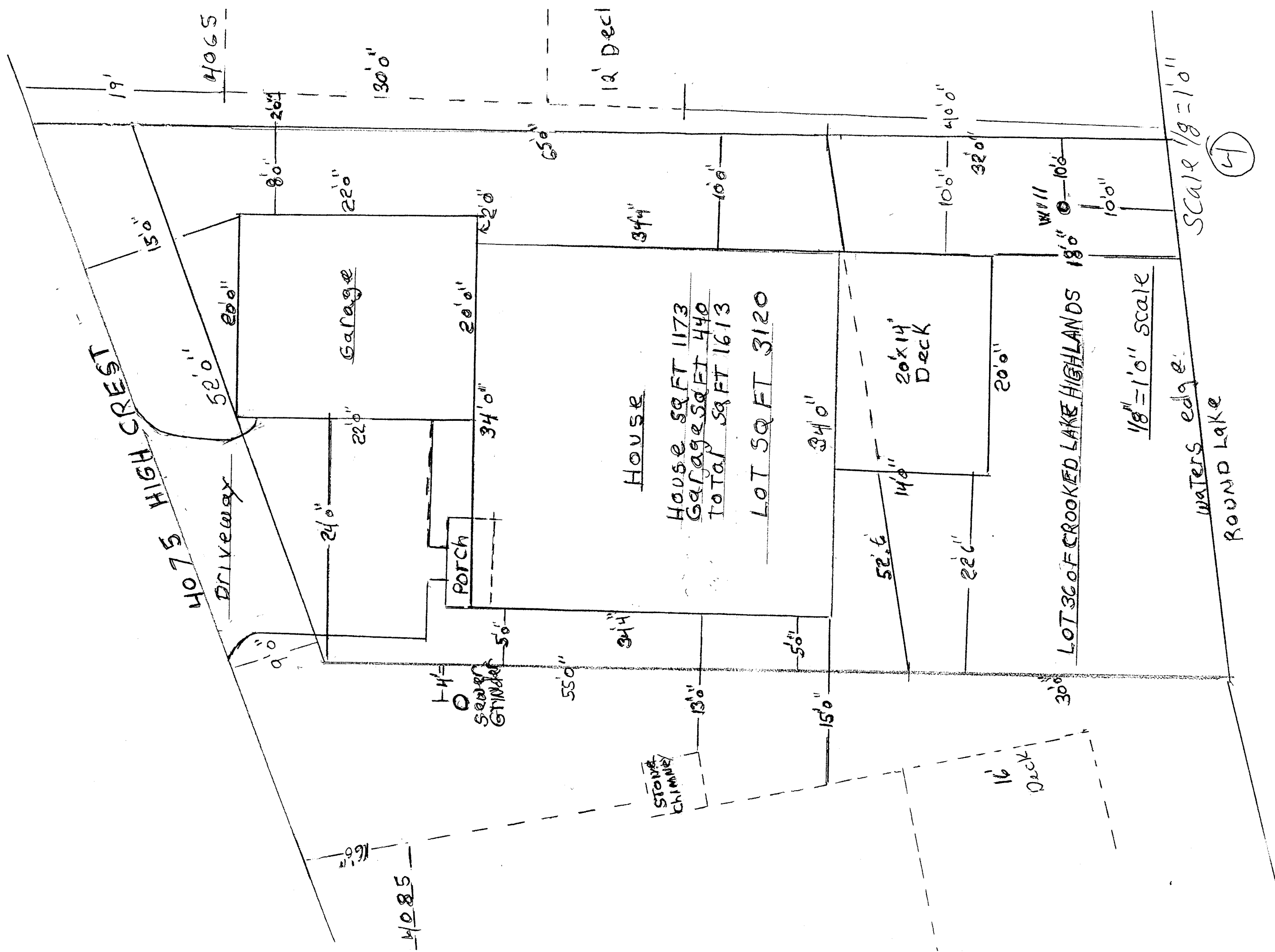


CURRENT ZONING: LRR  
(LAKERESORT RESIDENTIAL)

MIN. SETBACK REQUIREMENT  
FRONT = 35 FEET  
SIDES = 10 FEET \*SEE NOTES  
REAR = 40 FEET

## LEGAL DESCRIPTION SUBJECT PARCEL

Lots 136 of "CROOKED LAKE HIGHLANDS SUBDIVISION" as recorded in Liber 1 of Plats, on Page 40 , Livingston County Records.  
Tax Id #4711-22-302-130  
4075 HIGH CREST

























10















House on South side (4085) of existing house  
(4075) is 9' off Road





Distance between existing house (4075)  
and house to the south side (4085) will be  
improved by 3' with variance on road side





Distance between existing house (4075) and house  
on Southside (4085) will be improved by 3' LAKE Side





House to North (4065) new garage on 4075 will be  
8' off property line 10' from 4065





House to North (4065) is 18' from road  
2<sup>nd</sup> house to the North (4057) is 4' off  
the road





2 Houses to the south (4091) of existing  
house (4075) their deck is 13' off waters edge





House on opposite side of road (~~4075~~<sup>?</sup>) 3 houses  
to the North of existing house (4075) is 7' off road

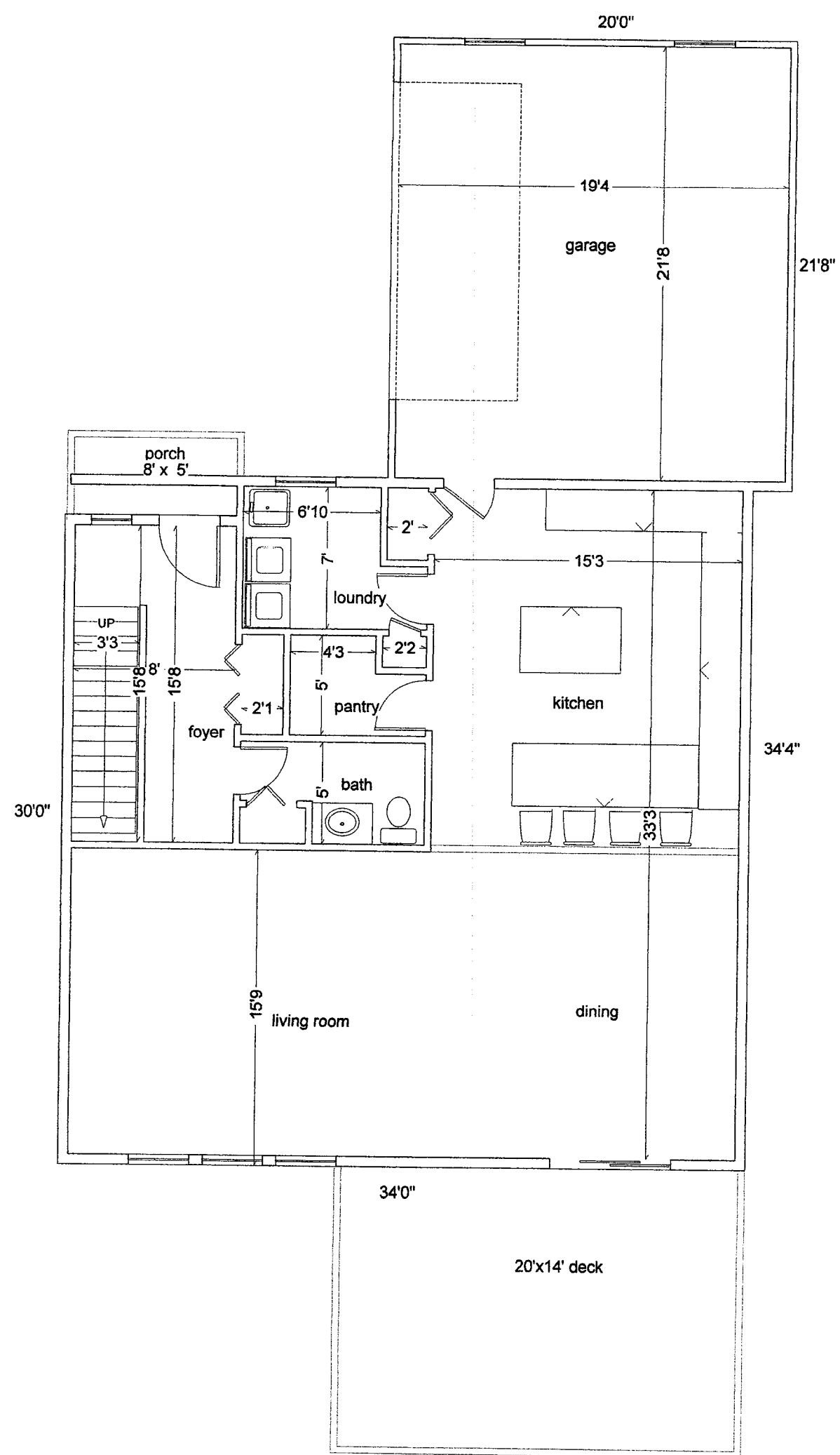


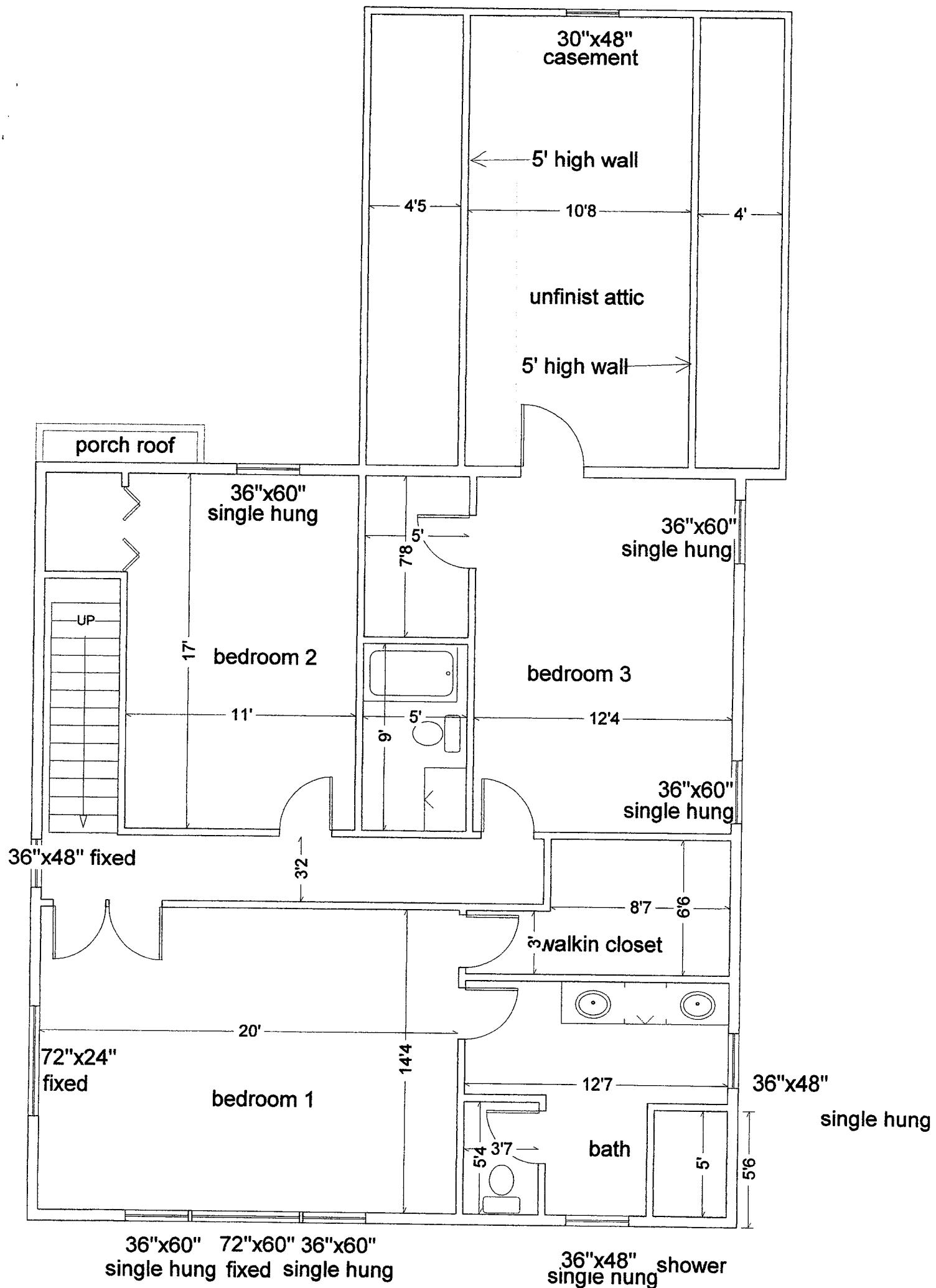


Opposite side of street one house to the North of existing house (4015) is 12' off road













2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Carrie Aulette, Zoning Official  
**DATE:** August 4, 2025  
**RE:** ZBA 25-17

---

### STAFF REPORT

**File Number:** ZBA#25-17  
**Site Address:** 4075 Highcrest Drive, Brighton  
**Parcel Number:** 4711-22-302-130  
**Parcel Size:** .102 Acres  
**Applicant:** Gary Poma  
**Property Owner:** Gary Poma, 3412 Beck Road, Howell  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variances  
**Project Description:** Applicant is requesting a waterfront, front (street side), and side yard setback variance to demolish an existing home and construct a new single-family home.

**Zoning and Existing Use:** LRR (Lakeshore Resort Residential)

### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1930, the applicant intends on demolishing the current home and building new.
- The parcel is serviced by well and grinder pump. The grinder is located on the neighboring parcel, the Utility Department agrees that it should stay in its current location.
- See Assessing Record Card.

### **SUPERVISOR**

Kevin Spicher

### **CLERK**

Janene Deaton

### **TREASURER**

Robin L. Hunt

### **TRUSTEES**

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

### **MANAGER**

Kelly VanMarter

**Summary:** The applicant is proposing to demolish an existing home and build a new one. The current home does not meet any setbacks and is in disrepair. Staff strongly recommends an official survey be completed to verify distances to road and neighboring properties.

**Variance Request:** The following is the section of the Zoning Ordinance that the variance is being requested from:

**Section 03.04.01**

SINGLE FAMILY STRUCTURE	Front Setback	Side Setback North	Side Setback South	Waterfront Setback	Max Lot Coverage (Building)
Required Setbacks	35'	10'	5'	40'	35%
Requested Setback	9'	8' (at garage)	5'	32'	61.8%
Variance Requested	26'	2'	■	8'	26.8%

**Summary of Findings of Fact-** After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** –Strict compliance with the front, waterfront, and side yard setbacks would prohibit the applicant from constructing the proposed home. The granting of the variance would support substantial justice and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity. There are other homes in the vicinity that have reduced setbacks.
- (b) **Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is it is a non-conforming lot within the LRR zoning and the property contains a very small building envelope. The need for the front and side yard variances is not self-created.
- (c) **Public Safety and Welfare** – The granting of the front and side yard variances should not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa as long as there is ample parking being provided on the lot.
- (d) **Impact on Surrounding Neighborhood** – The proposed front and side yard variances would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. In fact, replacing what is currently there will be of value to the neighboring properties.

**Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Survey must be provided prior to Land Use Issuance for new build with confirmed setbacks.
2. Structure must be guttered with downspouts.
3. Attic space in home may never be finished.
4. No other structures are allowed on the lot.
5. Height of home may not exceed 25'.





Wed Jul 23 2025

Imagery © 2025 Nearmap, HERE

20 ft

Nearmap



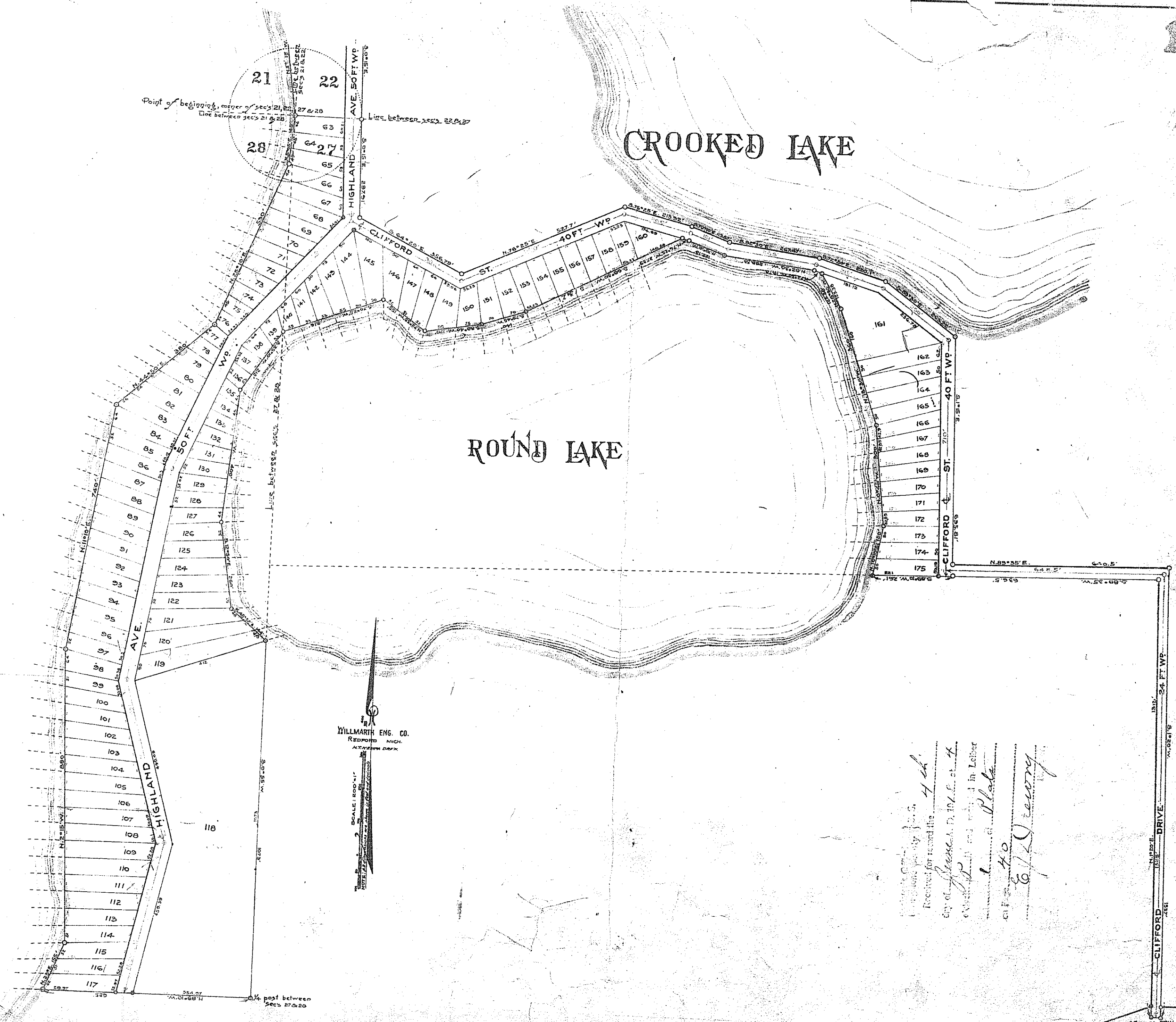
# CROOKED LAKE HIGHLANDS SUB.

PLATE 2.

of part of sections 21, 22, 27 and 28, T.2 N. R. 5 E.

GENOA TWP.  
LIVINGSTON CO.  
MICH.

## LITTLE CROOKED LAKE



Received for record the 4th day of June A.D. 1912 at 4 o'clock P.M. by J. J. Leiber  
City of Genoa, Mich.  
J. J. Leiber  
City of Genoa, Mich.  
6/12/12 Leiber

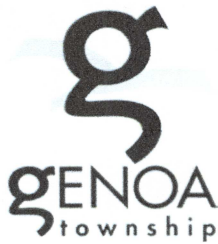
08/12/2025

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcent. Trans.			
HUGHES MARK	POMA GARY	200,000	05/16/2022	WD	03-ARM'S LENGTH	2022R-014755	BUYER/SELLER	100.0			
HUGHES, ROBERT	HUGHES MARK	1	09/28/2021	QC	09-FAMILY	2021R-040171	BUYER/SELLER	0.0			
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status	
4075 HIGHCREST DR		School: BRIGHTON AREA SCHOOLS									
		P.R.E. 0%									
Owner's Name/Address		MAP #: V25-17									
POMA GARY 3412 BECK RD HOWELL MI 48843		2026 Est TCV 363,827 TCV/TFA: 269.70									
		X	Improved		Vacant	Land Value Estimates for Land Table 4310.4310 ROUND LAKE					
		Public Improvements			* Factors *						
					Description	Frontage	Depth	Front	Depth	Rate %Adj. Reason	Value
Tax Description					A ROUND LAKE LF	50.00	79.00	1.0000	1.0000	4200 100	210,000
SEC. 27 T2N, R5E, CROOKED LAKE HIGHLANDS SUB. LOT 136					B SURP ROUND LF	6.00	79.00	1.0000	1.0000	2900 100	17,400
Comments/Influences					56 Actual Front Feet, 0.10 Total Acres Total Est. Land Value = 227,400						
					Land Improvement Cost Estimates						
					Description				Rate	Size % Good	Cash Value
					Wood Frame				28.29	144 49	1,996
					Total Estimated Land Improvements True Cash Value = 1,996						
		Topography of Site									
					Level						
					Rolling						
					Low						
					High						
					Landscaped						
					Swamp						
					Wooded						
					Pond						
		X	Waterfront								
			Ravine								
			Wetland								
			Flood Plain								
		X	REFUSE			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other Taxable Value
		Who	When	What	2026	113,700	68,200	181,900			134,236C
		JB	08/10/2023	REVIEWED R	2025	105,600	65,400	171,000			134,236C
		TJL	10/26/2011	DATA ENTER	2024	81,300	57,000	138,300			130,200C
					2023	73,200	50,800	124,000			124,000S
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan											

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 25-18

Meeting Date: 8-19-2025 @ 6:30pm  
in Boardroom

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Robert Ready Email: rready21@gmail.com

Property Address: 5377 Hill Wood Dr. Phone: 561-884-5594

Present Zoning: 401-Res: Tax Code: 4711-10-102-024

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Involved extending the second-story exterior wall. We intend building a second story deck above the existing footprint. Also adding a floating overhang to the front entry way.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

*Extending the second-story wall to match the first-story foot print provides structural consistency & without increasing non-conformity.*

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

*The proposed modification aligns with the existing foot print.*

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

*The proposed changes do not affect visibility, sight, light or airflow.  
Does Not increase congestion or pose a safety risk.*

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

*The improvement is in-line with the character of nearby homes. This will not negatively affect property values or disrupt neighborhood use or aesthetics.*

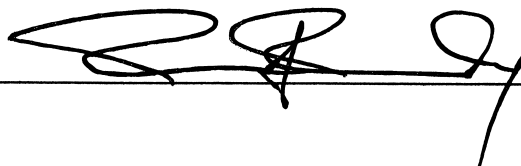
Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

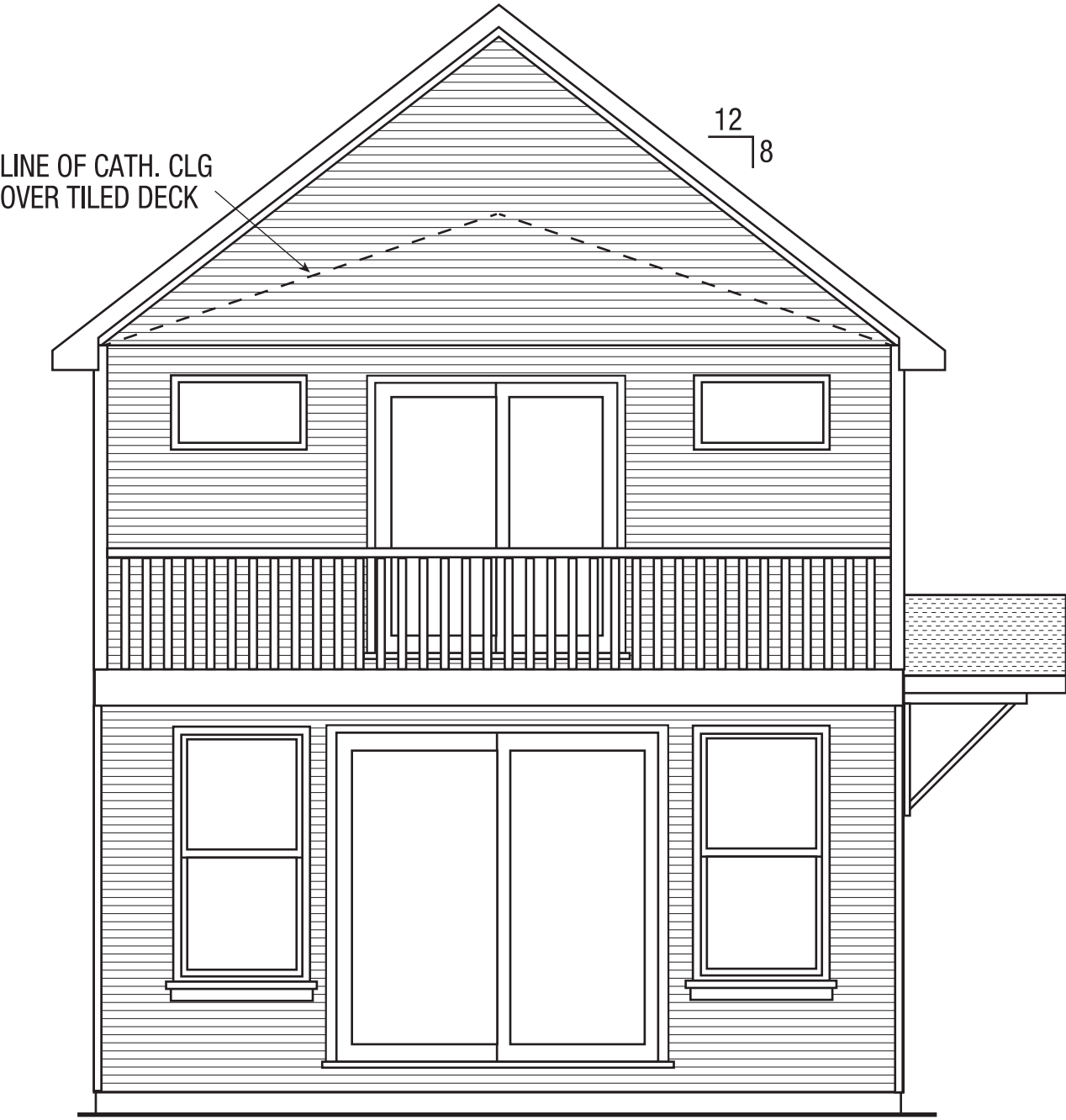
After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 07.10.25

Signature: \_\_\_\_\_







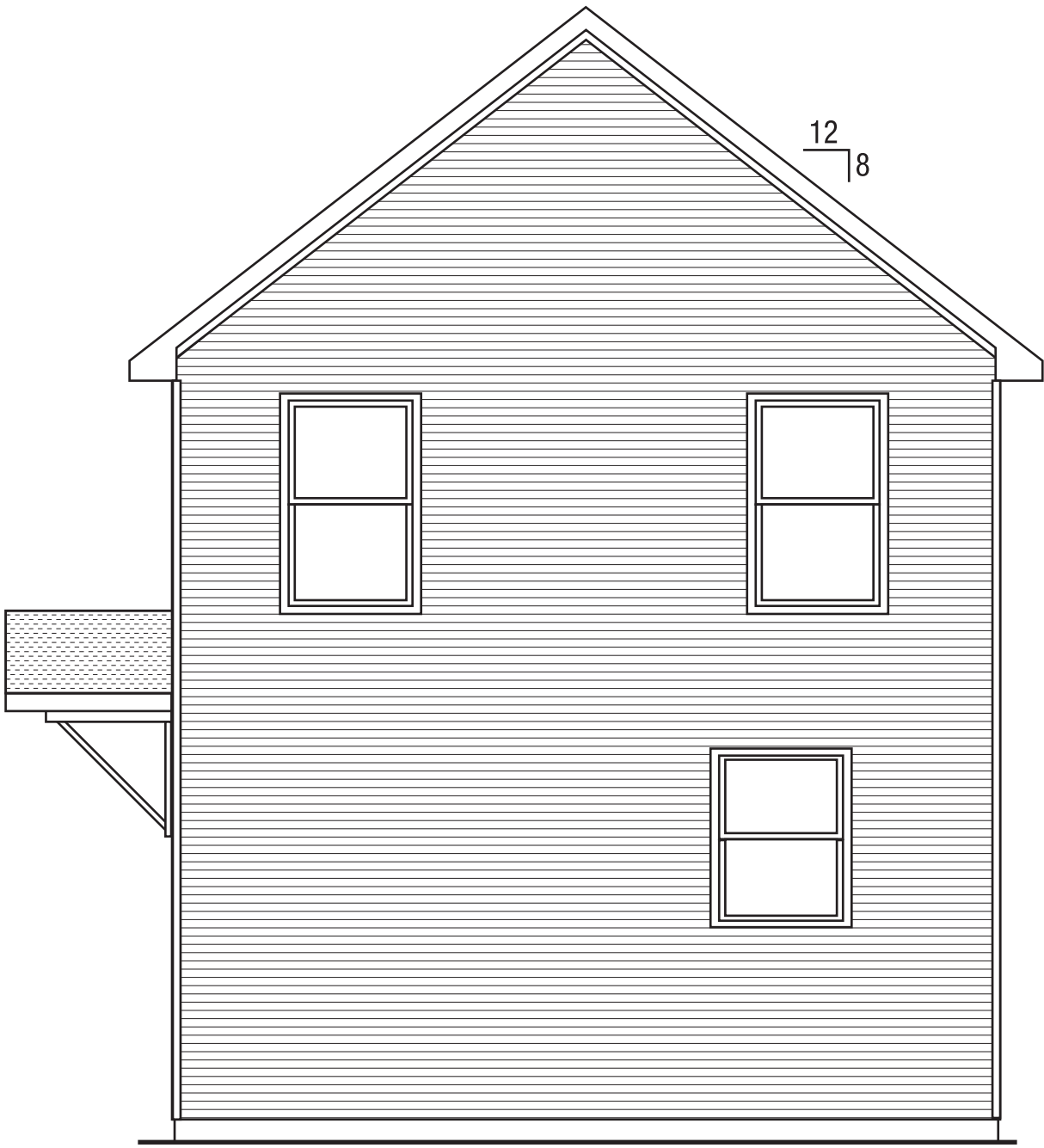
**FRONT ELEVATION**  
SCALE: 1/4" = 1' 0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1' 0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1' 0"

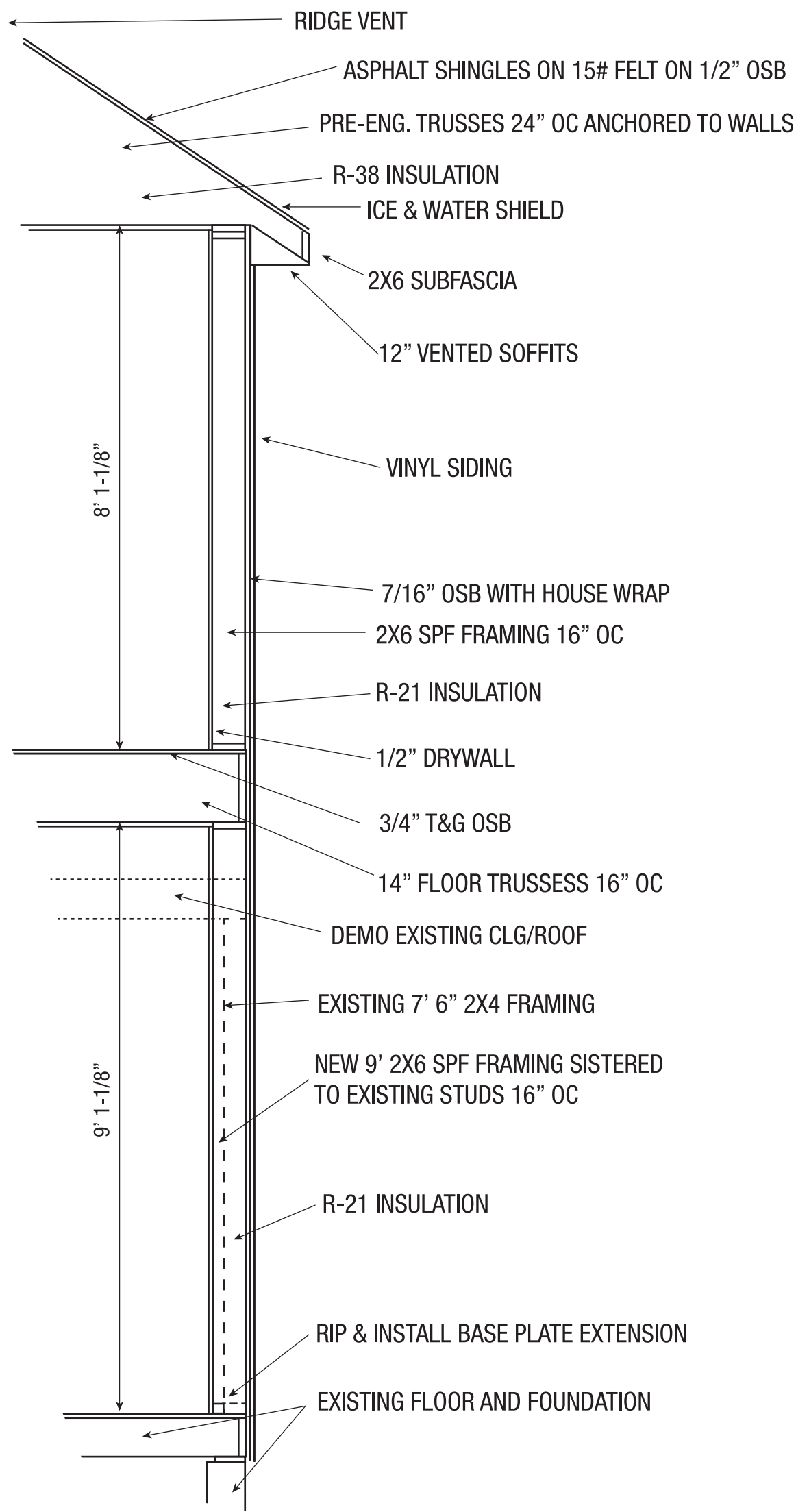


**REAR ELEVATION**  
SCALE: 1/4" = 1' 0"



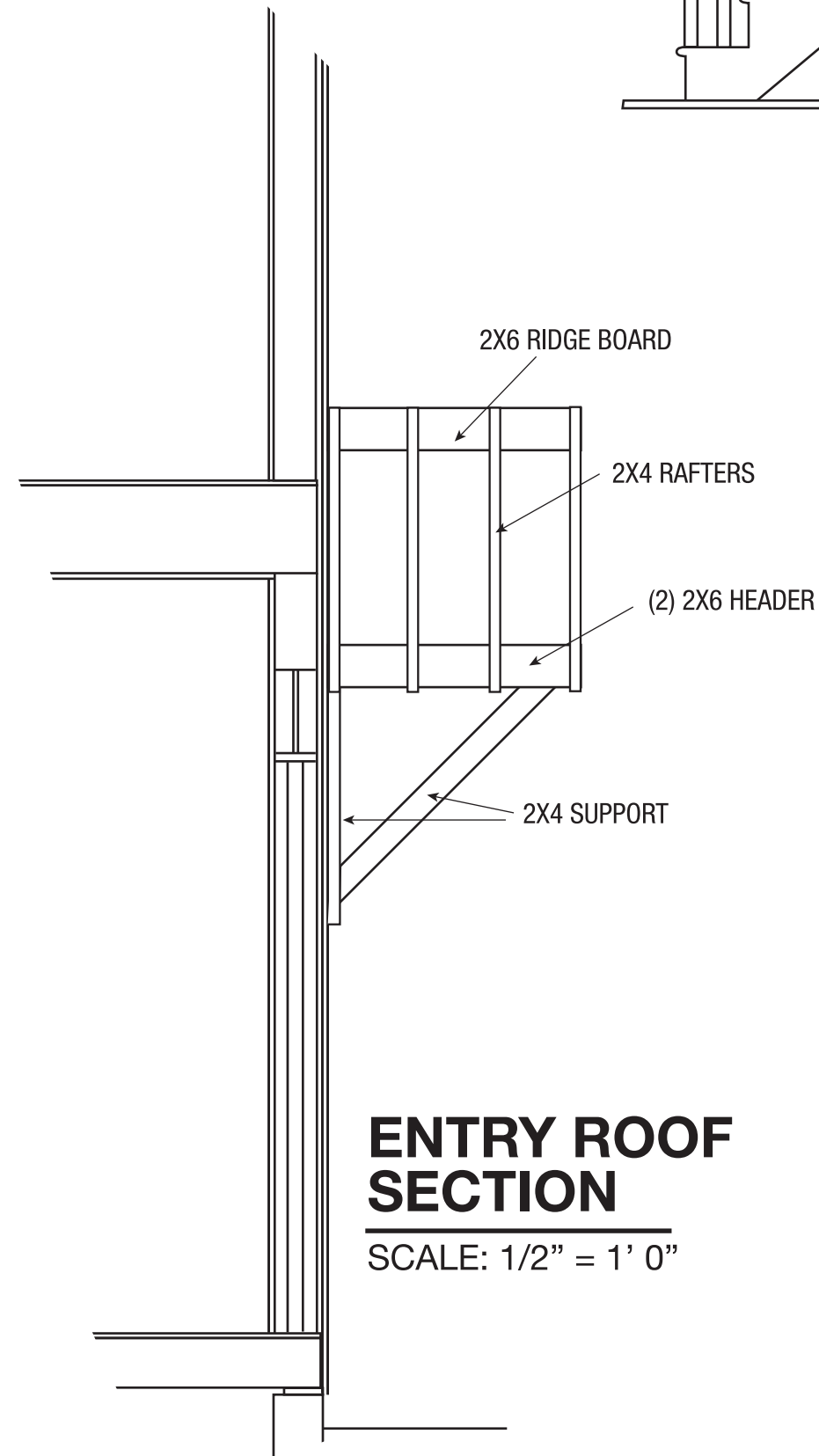






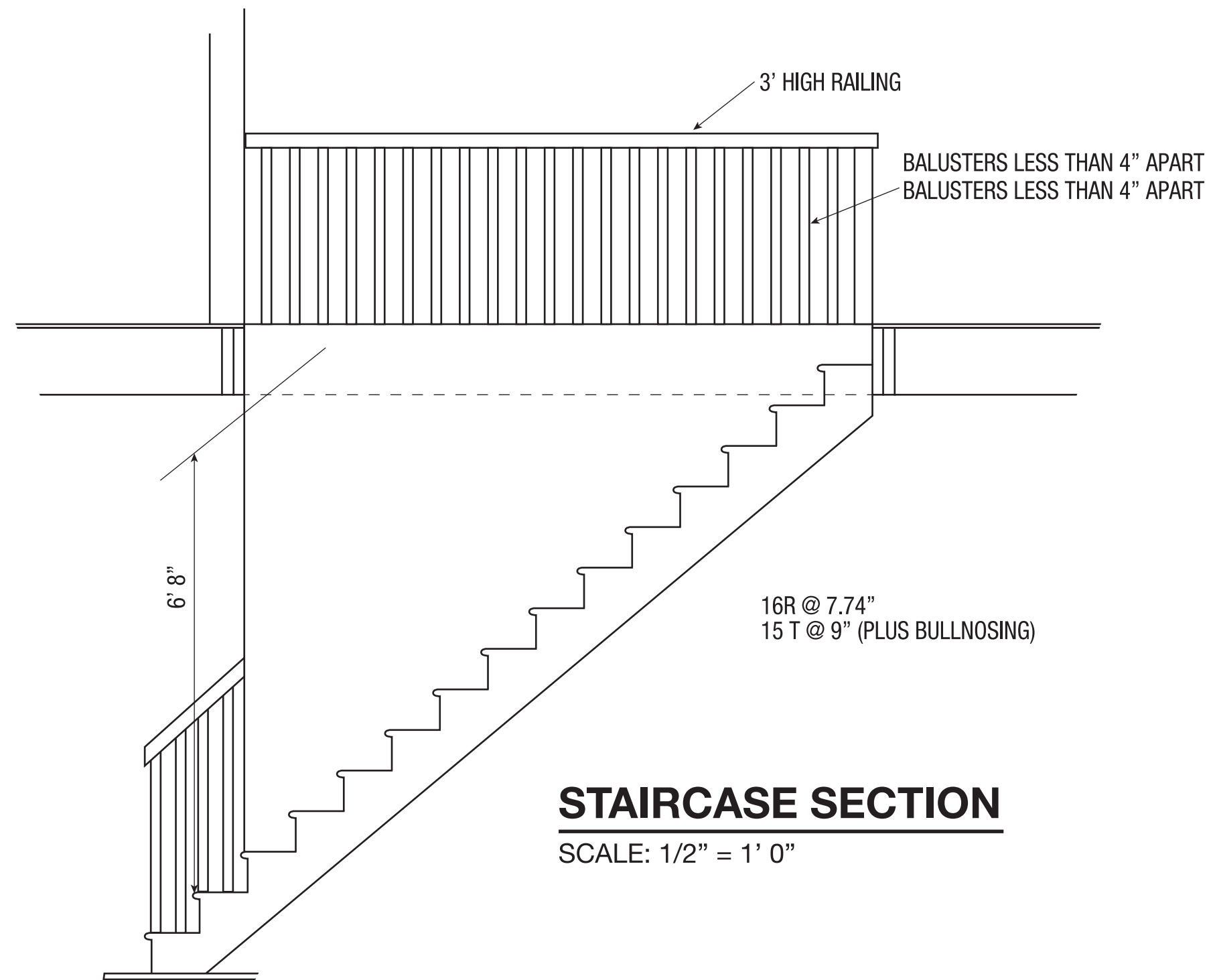
## TYPICAL WALL SECTION

SCALE: 1/2" = 1' 0"



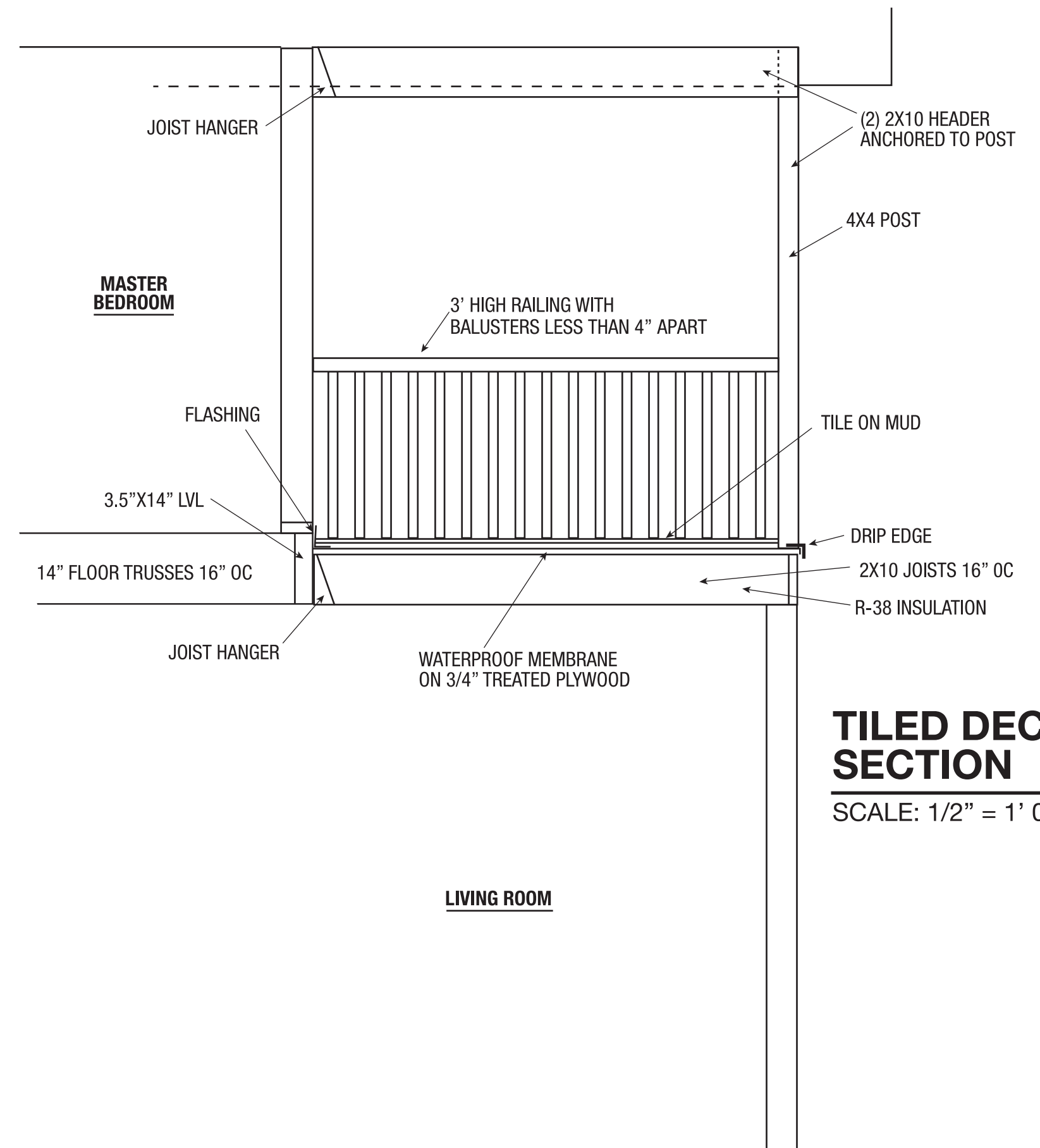
## ENTRY ROOF SECTION

SCALE: 1/2" = 1' 0"



## STAIRCASE SECTION

SCALE: 1/2" = 1' 0"



## TILED DECK SECTION

SCALE: 1/2" = 1' 0"

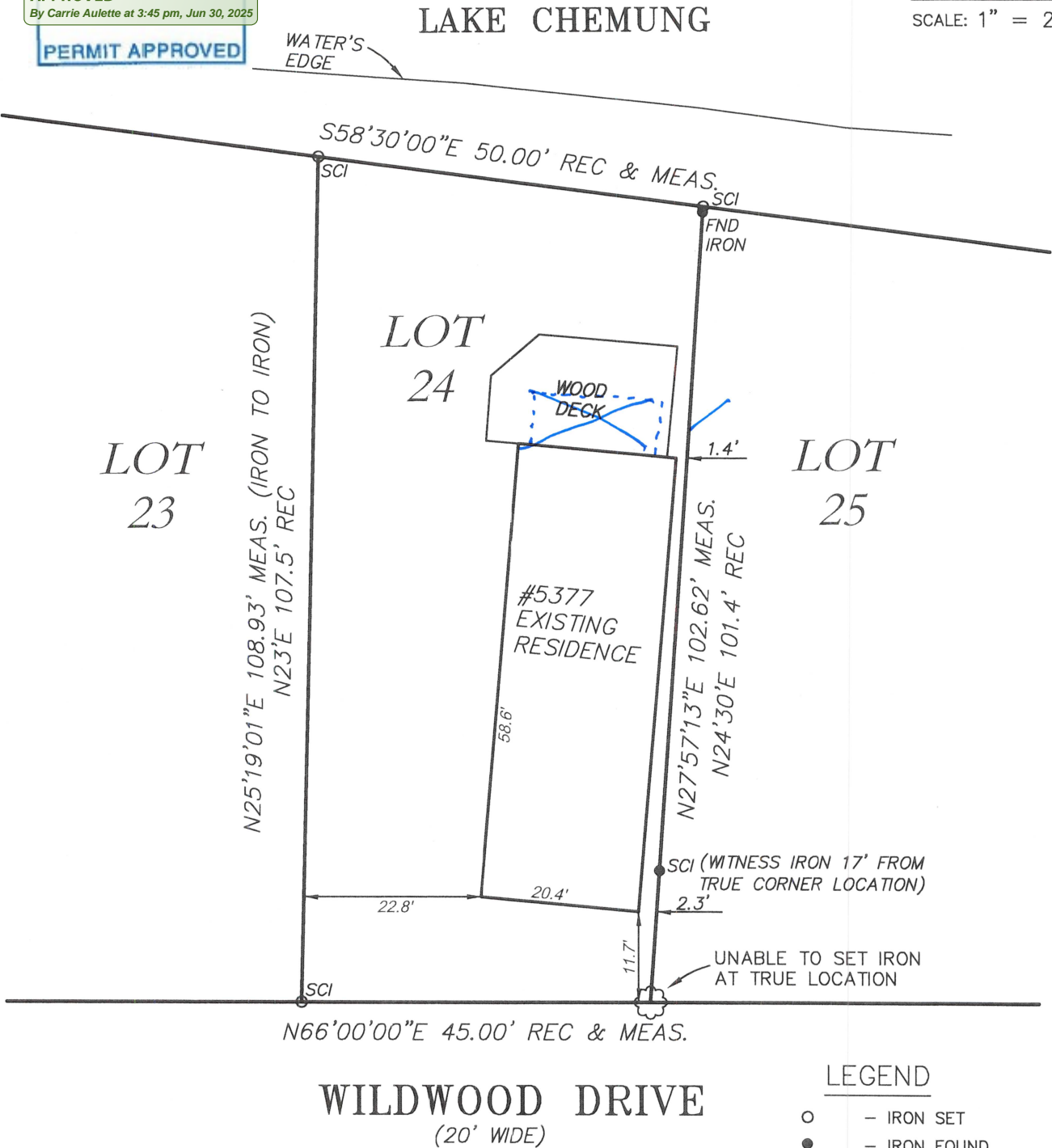
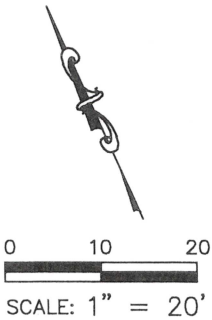


SKETCH OF SURVEY

Prepared For: ERIC MOORE

Legal Description:

Lot 24, Kirk's Landing Long Lake, Genoa Township, Livingston County, Michigan as recorded in Document No. 160890 in Liber 1, Page 41, Livingston County Records.



LEGEND

- - IRON SET
- - IRON FOUND
- MEAS. - MEASURED
- REC. - RECORDED
- FCI - FOUND CAPPED IRON
- FIR - FOUND IRON ROD
- SCI - SET CAPPED IRON
- 🌳 - TREE

NOTE:  
NO TITLEWORK WAS SUPPLIED  
BY CLIENT, THEREFORE ALL  
EASEMENTS OF RECORD  
MAY NOT BE SHOWN.

BEARING BASIS:  
HELD BEARING OF NORTH LINE OF  
WILDWOOD DR. BEING, N 66°00'00" W

I hereby certify only to the parties hereon, that we have surveyed, at the direction of said parties, the above described lot, and that we have found or set as noted hereon, permanent markers at the exterior corners of said lot and that all visible encroachments of a permanent nature upon said lot, are as shown on this survey. Said lot subject to all easements and restrictions of record.



LICENSED PROFESSIONAL SURVEYOR #39075

ALPINE

Land Surveying, Inc.

11590 HIGHLAND ROAD, SUITE #100

HARTLAND, MICHIGAN, 48353

PHONE: 810-207-8050, FAX: 810-632-0200

FIELD:	KG	DATE:	AUGUST 14, 2020
DRAWN:	DS	JOB NO:	20-4709
CHECKED:	KG	SHEET:	1 OF 1
REVISED:			





2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

#### SUPERVISOR

Kevin Spicher

#### CLERK

Janene Deaton

#### TREASURER

Robin L. Hunt

#### TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

#### MANAGER

Kelly VanMarter

### MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Carrie Aulette, Zoning Official  
**DATE:** August 4, 2025  
**RE:** ZBA 25-18

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### **STAFF REPORT**

**File Number:** ZBA# 25-18  
**Site Address:** 5377 Wildwood Drive Howell  
**Parcel Number:** 4711-10-102-024  
**Parcel Size:** .321 Acres  
**Applicant:** Robert Ready  
**Property Owner:** Same as Applicant  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variances  
**Project Description:** Applicant is requesting a waterfront, side yard, & front yard variance to construct a 2<sup>nd</sup> story covered deck on the lakeside of the home and an overhang above the entry door on the side of home.  
**Zoning and Existing Use:** LRR (Lakeshore Resort Residential) Single Family Dwelling located on property.  
**Other:**  
Public hearing was published in the Livingston County Press and Argus on Sunday August 3, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 1974.
- Land use permit was issued in 2025 for a complete interior remodel.
- The parcel is serviced by public sewer and private well.
- Assessing Record Card. (See attached)

**Summary:** The applicant is requesting a waterfront variance to allow for a 2<sup>nd</sup> story covered deck to be constructed over and existing portion of the home. One side of the home does not meet the minimum required side yard setback of 5' so he is also requesting a side yard setback variance. The current home also does not meet the required front yard setback so the applicant is requesting a variance to add an overhang over the entry door.





Figure 1 Location of Covered Deck

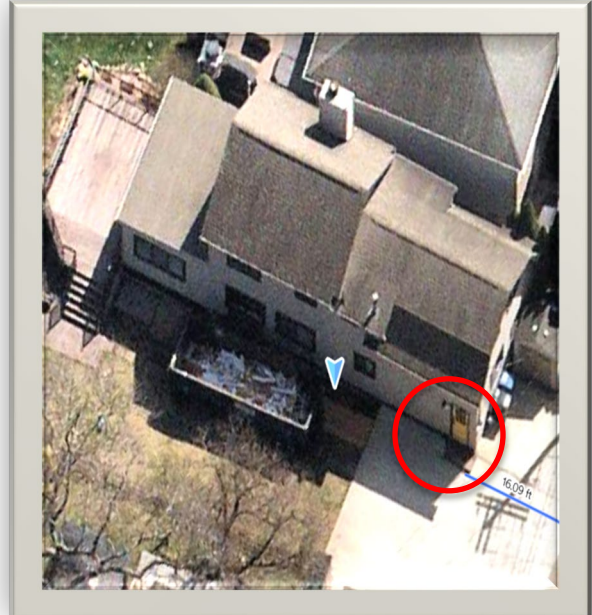


Figure 2 Location of Overhang

### **Variance Requests**

The following is the section of the Zoning Ordinance that the variance is being requested from:  
**Section 3.04.01 Residential Schedule of Area and Bulk Requirements**

**Required Waterfront Yard Setback: 61.5' (average of neighboring lots)**

**Proposed Waterfront Yard Setback: 48'**

**Proposed Variance Amount: 13.5'**

**Required Side Yard Setback: 5'**

**Proposed Side Yard Setback: 1.4' (staff has asked the applicant to verify the distance to the neighboring properties deck)**

**Proposed Variance Amount: 3.6'**

**Required Front Yard Setback: (with allowed 3' projection): 32'**

**Proposed Front Yard Setback: 16'**

**Proposed Variance Amount: 16'**

**Summary of Findings of Fact-** After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the waterfront yard, side yard, & front yard setbacks would not allow the applicant to construct the 2<sup>nd</sup> story deck and the overhang over the entry door. It doesn't however restrict them from using the property as a single-family home. The variance may provide substantial justice to the property as there are many homes in the area with reduced setbacks. While the applicant is asking for multiple variances his requests are keeping the home within its current envelope.



**(b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is it is a narrow lot and the location of the existing home.

**(c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**(d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

#### **Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Applicants land use permit must be amended to include the approved work within 10 days of variance approval.
2. Applicant must amend his permits from the Livingston County Building Department.





Wed Jul 23 2025

Imagery © 2025 Nearmap, HERE

20 ft

5316

Nearmap



Aug 2-1918  
A. L. Wainwright

Original

PLAT  
of  
**"KIRK'S LANDING  
LONG LAKE"**

Genoa Twp. Livingston Co. Mich.

Dedication

KNOW ALL MEN BY THESE PRESENTS, That we, John Kirk as proprietor, and Eva B. Kirk, his wife, have caused the land embraced in the annexed plat to be surveyed, laid out and platted, to be known as "Kirk's Landing" Long Lake, Genoa Twp. Liv. Co. Mich. and that the streets and alleys as shown on said plat are hereby dedicated to the use of the public.

Signed and sealed in the presence of

John Kirk [L.S.]  
Eva B. Kirk [L.S.]

STATE of MICHIGAN } ss.  
County of Livingston }

On this 20 day of July 1918, before me a Notary Public in and for said county, personally came the above named John Kirk and Eva B. Kirk, his wife, known to me to be the persons who executed the above dedication, and acknowledged the same to their free act and deed.

John A. Hagman  
Notary Public Livingston Co. Mich.

My commission expires March 14, 1918.

Description

Beginning on the E&W 1/4 line 156.7 E. of the SW corner of the S.E. 1/4 of the N.W. 1/4 of Sec. 10, T.2 N. R.5 E. Mich, thence N. 20° thence N. 62° 30' E. 337'; thence N. 52° 30' E. 458'; thence S. 81° 30' E. 151'; thence S. 58° 30' E. 255'; thence S. 14° W. 12.8'; thence S. 10° 30' W. 140'; thence S. 23° 30' E. 72.10 to the E&W 1/4 line at a point 151' W. of the center of Sec. 10; thence N. 89° 30' W. 1012.3 on said 1/4 line to beginning.

Office of the County Treasurer Liv. County.  
Howell Mich July 26, 1918.

I hereby Certify that there are no tax liens or titles held by the State on the lands described above and that there are no tax liens or titles held by individuals on said lands for the five years preceding the day of July 1918, and that the taxes for said period are paid, as shown by the records of this office.

Edmund H. Bradley  
County Treasurer.

Certificate of Surveyor  
I hereby certify that the plat hereon delineated is a correct one, and that permanent monuments, consisting of 3/4"x18" gas pipe have been planted at points marked thus o as thereon shown at all angles in the boundaries of the land platted, and at all intersections of streets, drives and alleys. All drives are 20 wide. Grant H. Dunning  
Surveyor.

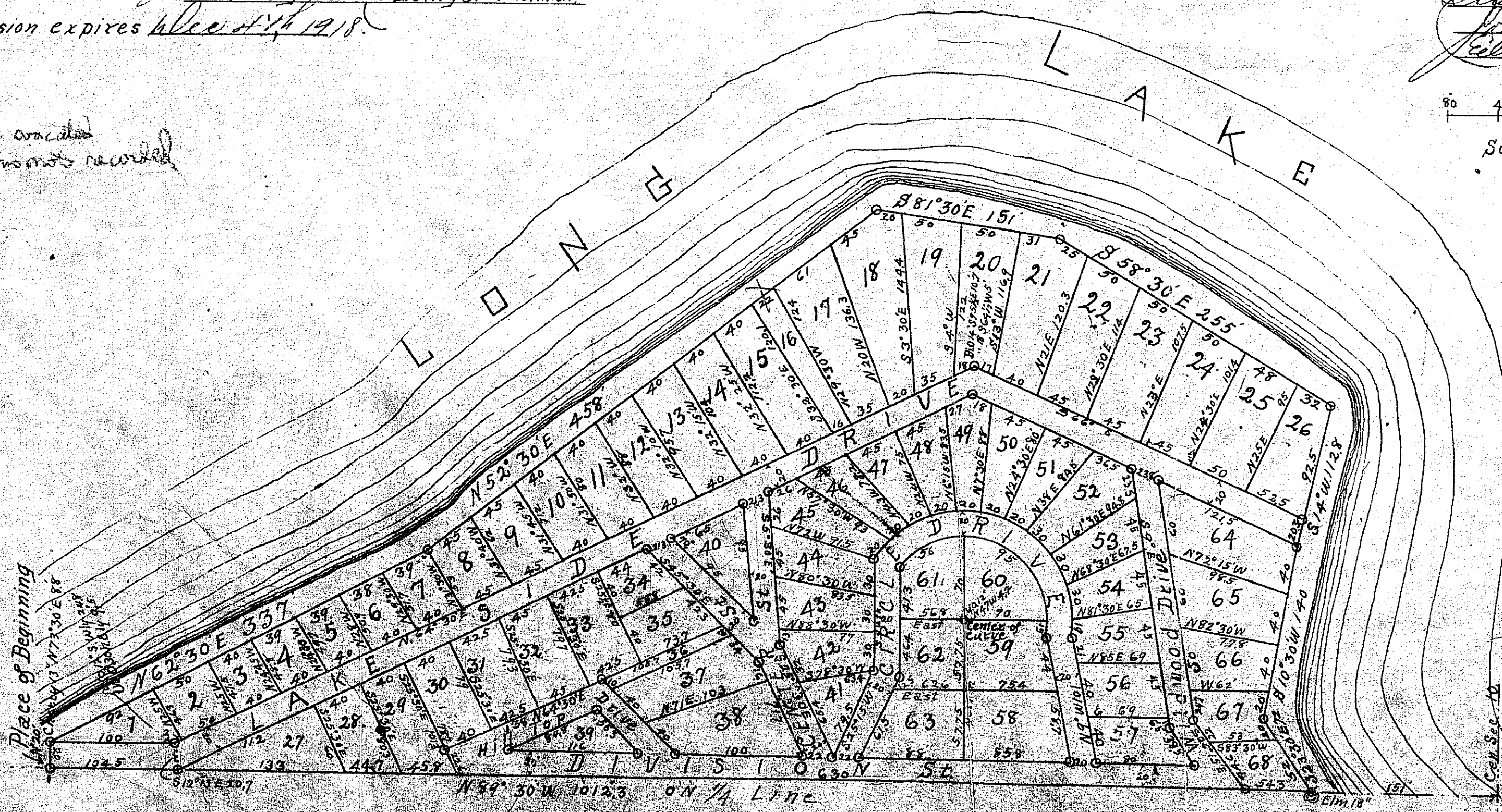
This plat was approved by the Genoa Township Board at a meeting held July-23 1918.

Carl Herbst  
Township Clerk.

This plat was approved by the County Board on the 27 day of July 1918.

Edgar A. Stowe Judge of Probate.  
John A. Hagman County Clerk.  
Edmund H. Bradley County Treasurer.

Scale of Feet, 1" = 80'




Received for record the 3rd day of Aug A. D. 1918 at 10 o'clock A.M. recorded in Leifer one Plat on Page 41 E. J. Dunning

2-1 road is omitted  
m 12 22 1/2 m 12 22 1/2

Post  
1/4 SW corner of S.E. 1/4 of NW 1/4 Sec. 10  
T.2 N. R.5 E. Mich.



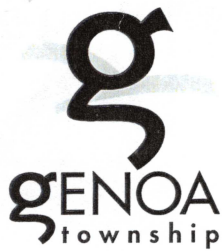
Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.							
READY REALTY & INVESTMENTS	READY ROBERT	100	07/02/2025	QC	21-NOT USED/OTHER	2025R-012761	BUYER/SELLER	0.0							
MOORE ERIC	READY REALTY & INVESTMENTS	100	03/03/2025	QC	21-NOT USED/OTHER	2025R-003991	BUYER/SELLER	100.0							
NICHOLSON, FORD III & LIND	MOORE ERIC	322,000	08/03/2015	WD	03-ARM'S LENGTH	2015R-028103	BUYER/SELLER	100.0							
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR	Building Permit(s)		Date	Number	Status						
5377 WILDWOOD DR		School: HOWELL PUBLIC SCHOOLS			Residential Addition - Liv		07/01/2025	P25-100							
		P.R.E. 0%													
Owner's Name/Address		MAP #: V25-18													
READY ROBERT 2557 E ALLEN ROAD HOWELL MI 48855		2026 Est TCV 474,172 TCV/TFA: 232.44													
		X	Improved	Vacant	Land Value Estimates for Land Table 4300.4300 LAKE CHEMUNG LAKE FRONT										
		Public Improvements			* Factors *										
Tax Description		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.			Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value		
SEC 10 T2N R5E KIRKS LANDING LONG LAKE SUB, LOT 24					A LAKEFRONT	40.00	350.00	1.0000	1.0000	4000	100		160,000		
Comments/Influences					40 Actual Front Feet, 0.32 Total Acres Total Est. Land Value = 160,000										
		Topography of Site													
		Level Rolling Low High Landscaped Swamp Wooded Pond X Waterfront Ravine Wetland Flood Plain X REFUSE			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value				
					2026	80,000	157,100	237,100			237,100S				
					2025	68,000	149,000	217,000			203,308C				
					2024	60,000	152,200	212,200			199,736C				
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan		JB 01/10/2025 REVIEWED R			2023	60,000	141,900	201,900			190,225C				



Building Type		(3) Roof (cont.)		(11) Heating/Cooling		(15) Built-ins		(15) Fireplaces		(16) Porches/Decks		(17) Garage																														
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 40 318	Type WPP Treated Wood	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:																										
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling																																					
Building Style: C			Drywall Paneled			Plaster Wood T&G																																				
Yr Built 1976		Remodeled 0			Ex	X	Ord		Min																																	
Condition: Good		Trim & Decoration			Size of Closets																																					
Room List			Lg	X	Ord		Small																																			
	Basement 1st Floor 2nd Floor 3 Bedrooms	Doors:		Solid	X	H.C.																																				
(1) Exterior		(5) Floors			Kitchen: Other: Other:																																					
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings			No./Qual. of Fixtures																																					
(2) Windows		(7) Excavation			Ex.	X	Ord.		Min																																	
X	Many Avg. Few	X	Large Avg. Small	Basement: 0 S.F. Crawl: 1160 S.F. Slab: 0 S.F. Height to Joists: 0.0		No. of Elec. Outlets																																				
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement			Many	X	Ave.		Few																																	
(3) Roof		(9) Basement Finish			(13) Plumbing																																					
X	Gable Hip Flat		Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)	Average Fixture(s) 2 3 Fixture Bath 1 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan		(14) Water/Sewer																																				
X	Asphalt Shingle	(10) Floor Support			Public Water Public Sewer Water Well 1000 Gal Septic 2000 Gal Septic																																					
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:		Lump Sum Items:																																						
Cost Est. for Res. Bldg: 1 Single Family C (11) Heating System: Forced Air w/ Ducts Ground Area = 1160 SF Floor Area = 2040 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=77/100/100/100/77 Building Areas <table border="1"> <thead> <tr> <th>Stories</th> <th>Exterior</th> <th>Foundation</th> <th>Size</th> <th>Cost New</th> <th>Depr. Cost</th> </tr> </thead> <tbody> <tr> <td>2 Story</td> <td>Siding</td> <td>Crawl Space</td> <td>880</td> <td></td> <td></td> </tr> <tr> <td>1 Story</td> <td>Siding</td> <td>Crawl Space</td> <td>280</td> <td></td> <td></td> </tr> <tr> <td colspan="3">Total:</td> <td></td> <td>253,437</td> <td>195,146</td> </tr> </tbody> </table>													Stories	Exterior	Foundation	Size	Cost New	Depr. Cost	2 Story	Siding	Crawl Space	880			1 Story	Siding	Crawl Space	280			Total:				253,437	195,146	Class: C Effec. Age: 23 Floor Area: 2,040 Total Base New : 284,331 Total Depr Cost: 218,935 Estimated T.C.V: 314,172		E.C.F. X 1.435		Bsmnt Garage: Carport Area: Roof:	
Stories	Exterior	Foundation	Size	Cost New	Depr. Cost																																					
2 Story	Siding	Crawl Space	880																																							
1 Story	Siding	Crawl Space	280																																							
Total:				253,437	195,146																																					
Notes: ECF (4307 W. LK CHEMUNG LK FRONT) 1.435 => TCV: 314,172																																										

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 25-19

Meeting Date: August 19, 2025 @ 6:30pm in Boardroom

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Chris Duperon Email: sassexcavating@gmail.com

Property Address: 3101 Beck Rd Phone: 9489869982

Present Zoning: \_\_\_\_\_ Tax Code: 4711-08-100-015

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Requesting a dimensional  
variance for square foot.
- \_\_\_\_\_
- \_\_\_\_\_

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.



The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

proposed building location is within all setback, and there are other property in the area that have larger square footage

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

There are various homes with outbuilding, or barns to store blight and personal items. It zoned LDR, but it is in a more residential location

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

unaffected

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

unaffected

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 07-08-2025 Signature: chris Aduperon



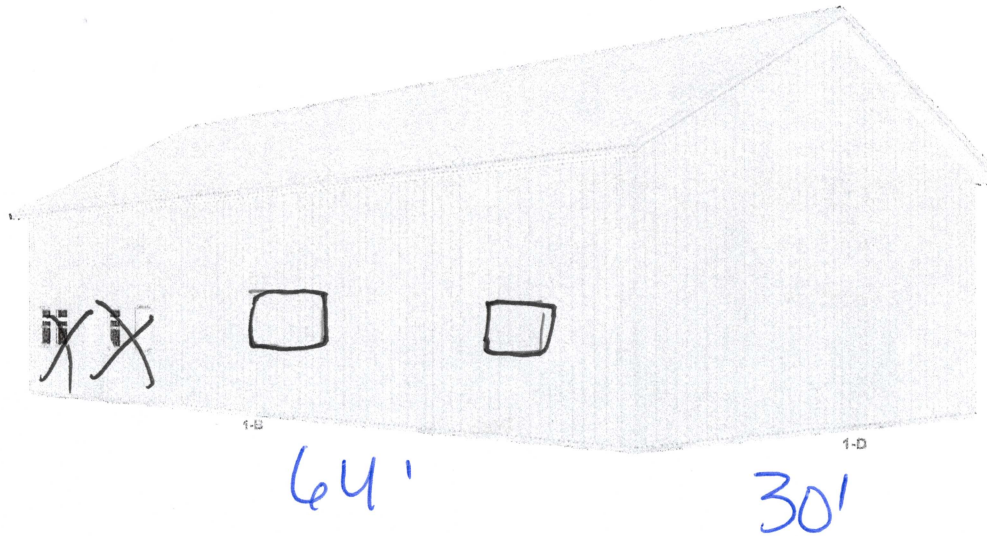
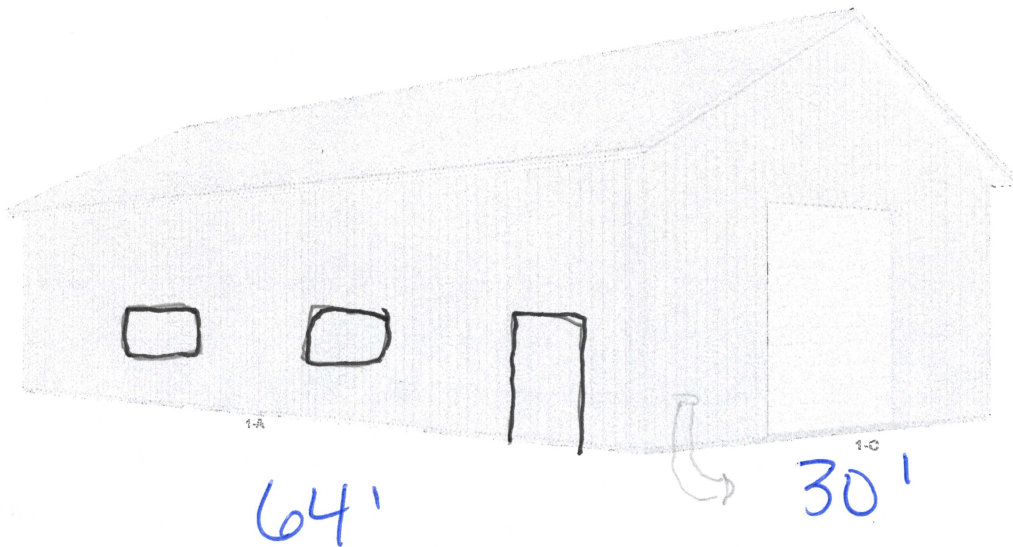
# Genoa Charter Township





# SASS EXCIVATING HOWELL, MI

COPY



Service doors and windows shown for representation only. Please confirm exact locations at time of construction.

**MIDWEST**  
MINI PRINT

#### DIMENSIONS

Material views, steel views, and floor plan are not to scale.

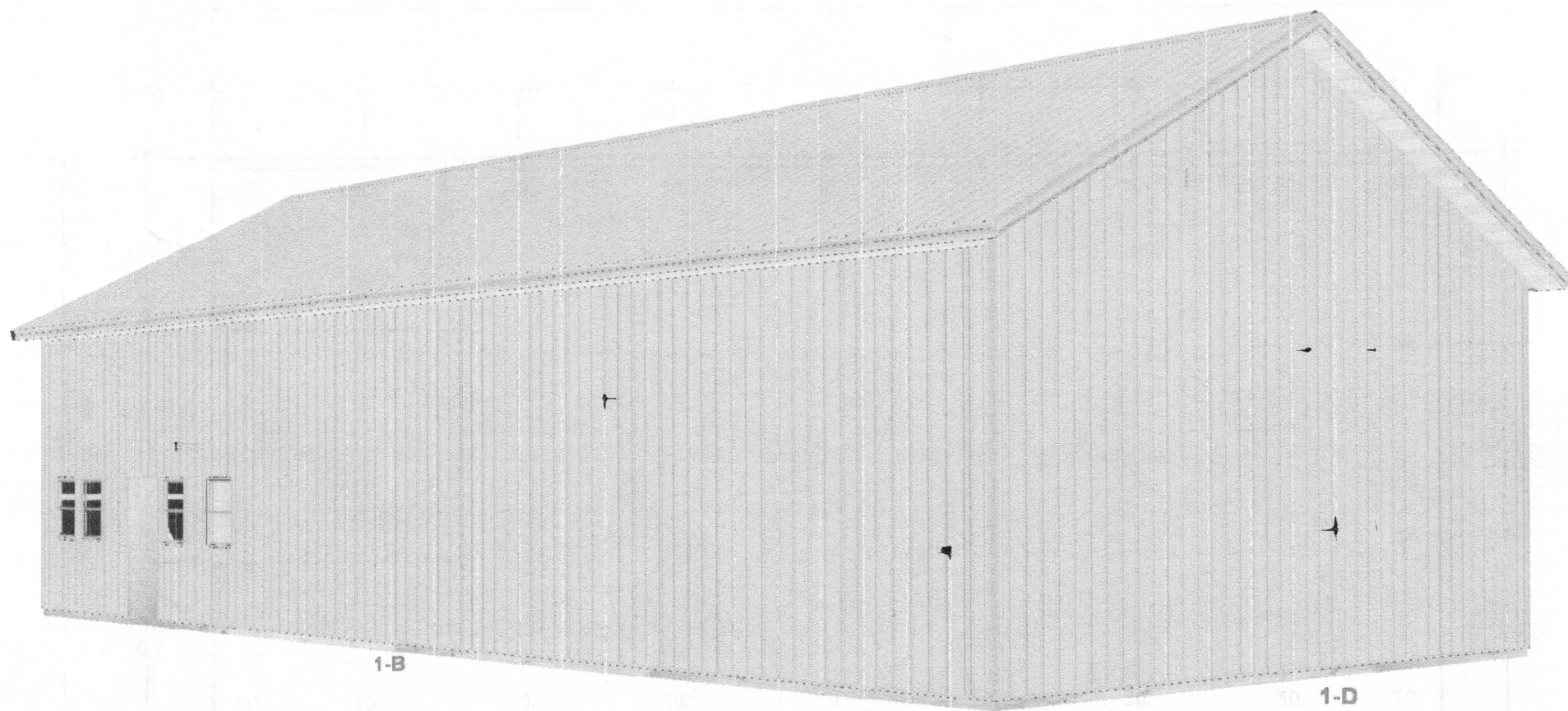
#### ERRORS AND OMISSIONS

MENARD INC. is unable to accept liability for any errors or omissions in excess of the original purchase price for these plans. Consequently, builders must carefully check all details and information in these drawings including dimensioning, material quantities and availability of the products specified. Any errors or omissions found should be reported immediately to Midwest Manufacturing, 5311 Kane Road, Eau Claire, WI 54703.

#### ADAPTATION AND UTILIZATION OF THIS PLAN

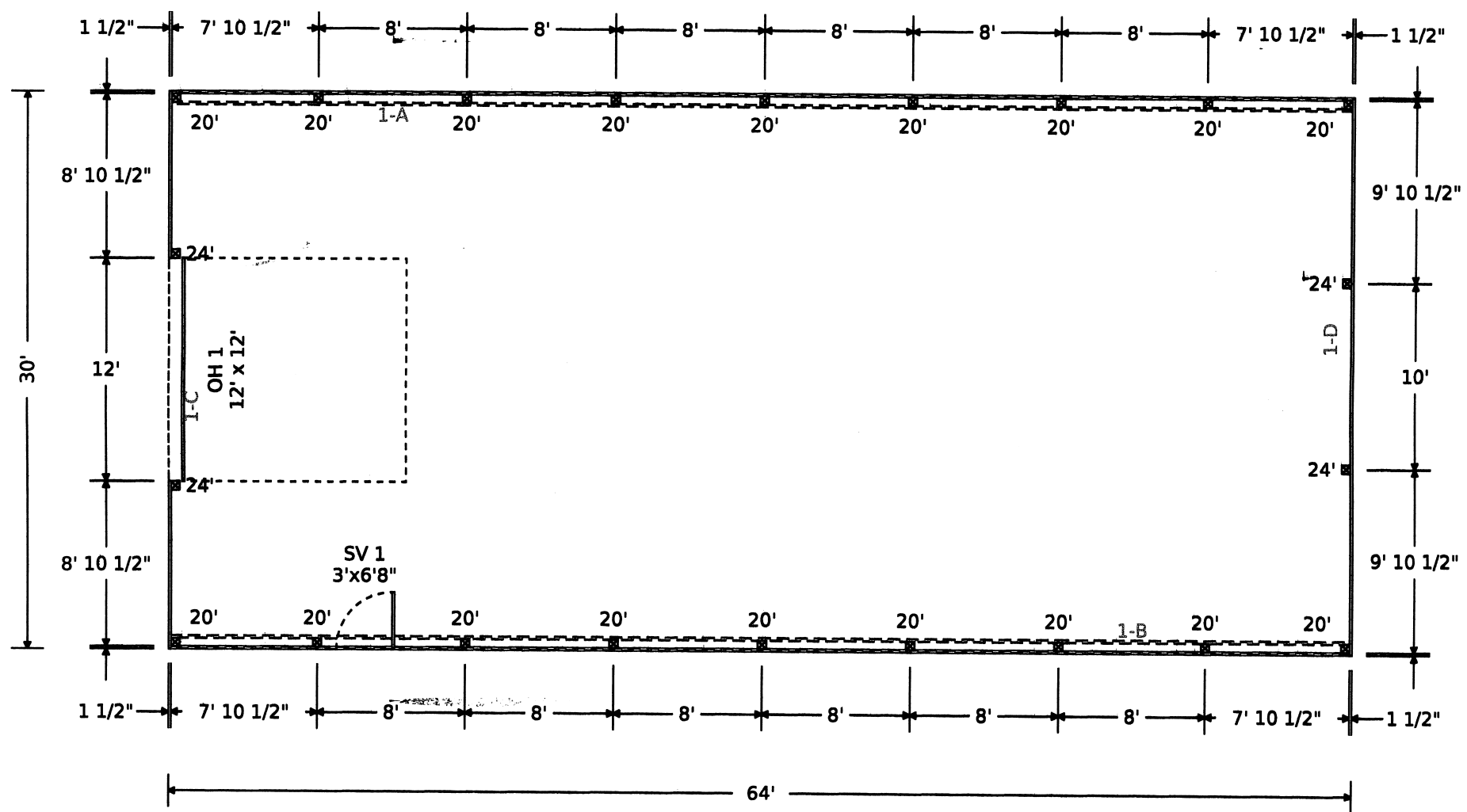
These plans have been professionally prepared to conform to most generally accepted construction requirements throughout North America, however due to codes, regulations, and building practices and or because of specific site conditions these drawings may not be suitable or legal for use in the construction of this in all localities. Consequently, these drawings are not to be used as a guide for construction unless the builder has confirmed their suitability or until the drawings have been brought into conformity with all local requirements.





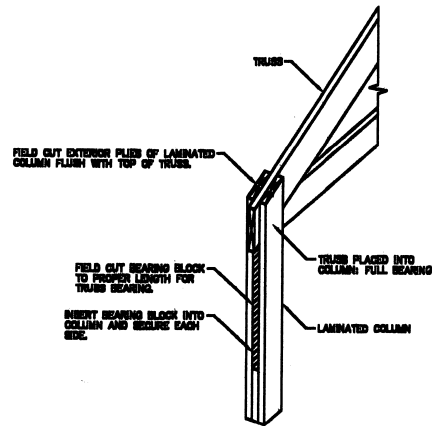


FLOOR PLAN

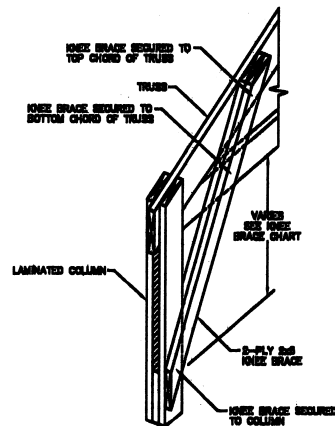




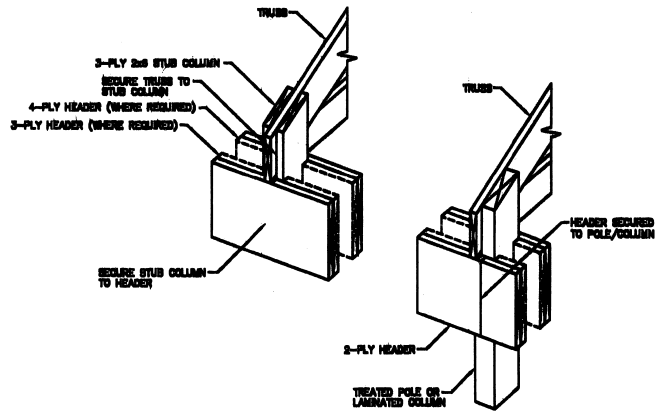
# TRUSS, HEADER, AND KNEE BRACE DETAILS



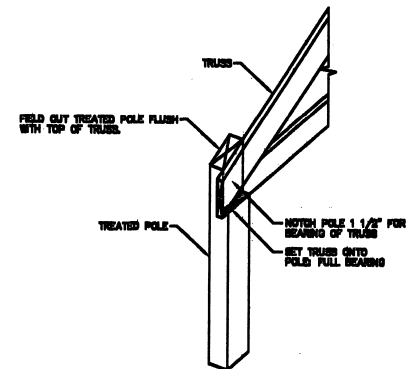
**TRUSS INSTALLATION FOR LAMINATED COLUMN**  
NOT TO SCALE



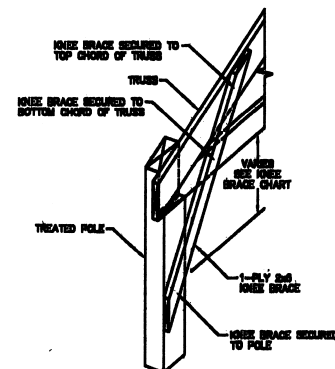
**KNEE BRACE INSTALLATION FOR LAMINATED COLUMNS**  
NOT TO SCALE



**HEADER FRAMING DETAIL**  
NOT TO SCALE



**TRUSS INSTALLATION FOR TREATED POLE**  
NOT TO SCALE



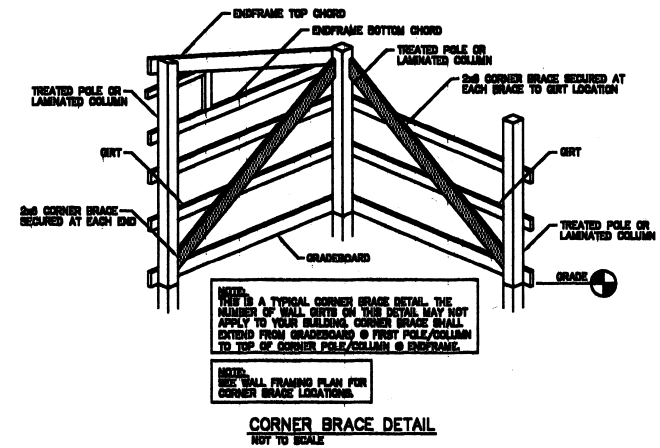
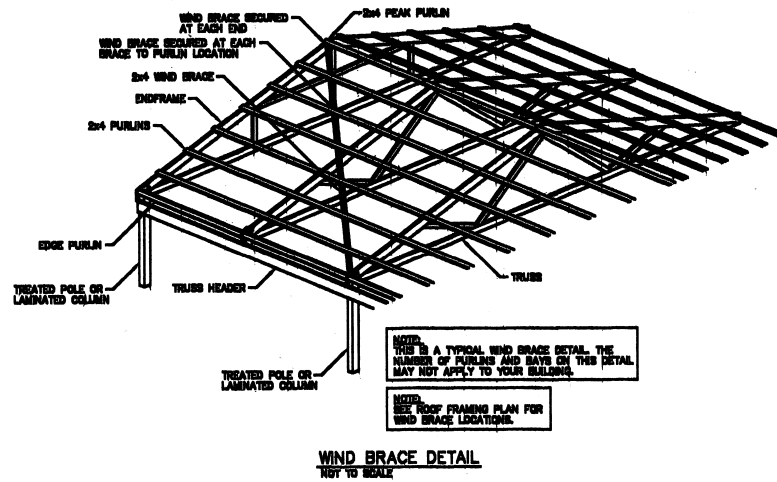
**KNEE BRACE INSTALLATION FOR TREATED POLE**  
NOT TO SCALE

HEADER NOTCH SCHEDULE			
DIMENSIONAL LUMBER			
1-PLY HEADER	1-PLY PAK NAILED TO 1-1/2" AT EXTERIOR & 1-PLY PAK NAILED TO POLE AT INTERIOR		
2-PLY HEADER	2-PLY NOTCHED 1 1/2" INTO POLE AT EXTERIOR & 1-PLY PAK NAILED TO POLE AT INTERIOR		
2-PLY HEADER	2-PLY NOTCHED 1 1/2" INTO POLE AT EXTERIOR & 2-PLY NOTCHED 1 1/2" INTO POLE AT INTERIOR		
LVL LUMBER			
1-PLY HEADER	1-PLY NOTCHED 1 1/2" INTO POLE AT EXTERIOR & 1-PLY NOTCHED 1 1/2" INTO POLE AT INTERIOR		
2-PLY HEADER	2-PLY NOTCHED 2" INTO POLE AT EXTERIOR & 1-PLY NOTCHED 1 1/2" INTO POLE AT INTERIOR		
2-PLY HEADER	2-PLY NOTCHED 2" INTO POLE AT EXTERIOR & 2-PLY NOTCHED 2" INTO POLE AT INTERIOR		

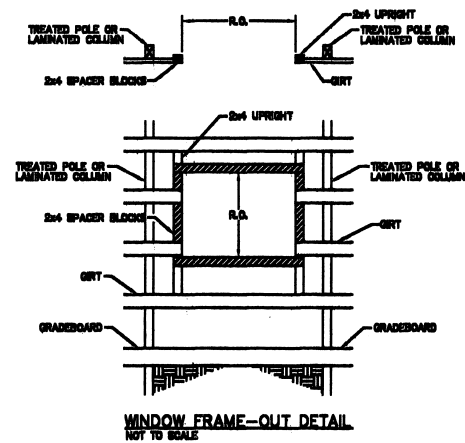
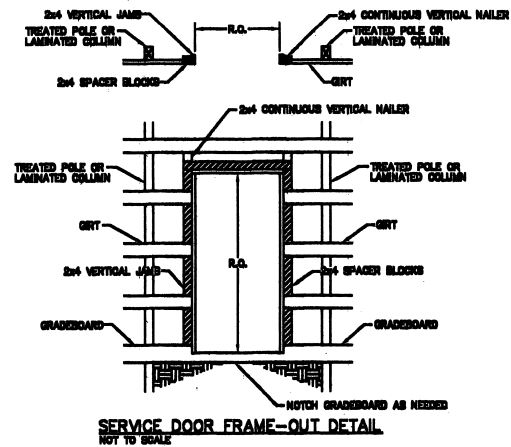
KNEE BRACE CHART		
WALL HEIGHT	DIMENSION	
8'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
9'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
10'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
11'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
12'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
13'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
14'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
15'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
16'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
17'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
18'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
19'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
20'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
21'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE
22'-0"	1'-8"	TRUSS TO BOTTOM OF BRACE



## WIND AND CORNER BRACE DETAILS



## SERVICE DOOR AND WINDOW DETAILS





max 1500 SF

Sides - 30

Rear - 60





2911 Dorr Road  
Brighton, MI 48116  
810.227.5225  
810.227.3420 fax  
genoa.org

## MEMORANDUM

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Carrie Aulette, Zoning Official  
**DATE:** August 11, 2025  
**RE:** ZBA 25-19

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### STAFF REPORT

**File Number:** ZBA# 25-19  
**Site Address:** 3101 Beck Road Howell, Michigan  
**Parcel Number:** 4711-08-100-015  
**Parcel Size:** 1.803 Acres  
**Applicant:** Christopher Duperon LTS 9.3, 3101 Beck Road  
**Property Owner:** Same as Applicant  
**Information Submitted:** Application, site plan, conceptual drawings  
**Request:** Dimensional Variance  
**Project Description:** Applicant is requesting a size variance for maximum square footage to construct an accessory building.  
**Zoning and Existing Use:** LDR (Low Density Residential) Single Family Dwelling located on property.  
**Other:**  
Public hearing was published in the Livingston County Press and Argus on Sunday August 3, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

### Background

The following is a brief summary of the background information we have on file:

- Per assessing records the existing home on the parcel was constructed in 2006.
- The parcel is serviced by well and septic.
- See Assessing Record Card.

### SUPERVISOR

Kevin Spicher

### CLERK

Janene Deaton

### TREASURER

Robin L. Hunt

### TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

### MANAGER

Kelly VanMarter



### Summary

The proposed project is to construct a detached accessory building. In order to construct the accessory building as proposed, the applicant is required to obtain size variance. The property is zoned Low Density Residential and is on 1.803 acres. Per Article 11.04.02 (3)(e) Maximum Size: The combined total of all accessory buildings in any residential district shall be a maximum of nine hundred (900) square feet in area for lots less than one (1) acre, one thousand five hundred (1500) square feet in area for lots equal to or greater than one (1) acre but less than three (3) acres.

### Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

**Article 11.04.02 (3)(e) Maximum Size:** The combined total of all accessory buildings in any residential district shall be a maximum of nine hundred (900) square feet in area for lots less than one (1) acre, one thousand five hundred (1500) square feet in area for lots equal to or greater than one (1) acre but less than three (3) acres.

	Building Square Footage
Allowed SF	1500SF
Proposed SF	1920SF
Variance Requested	420SF

**Summary of Findings of Fact-** After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** –Strict compliance with the maximum size requirement would prevent the applicant from constructing the accessory building as proposed but would not prevent the use of the property. Staff does note that there are other properties near to this property that have larger accessory buildings however, they are on more acreage and zoned Rural Residential.
- (b) **Extraordinary Circumstances** – Staff is unable to note any extraordinary circumstances pertaining to the property.



**(c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

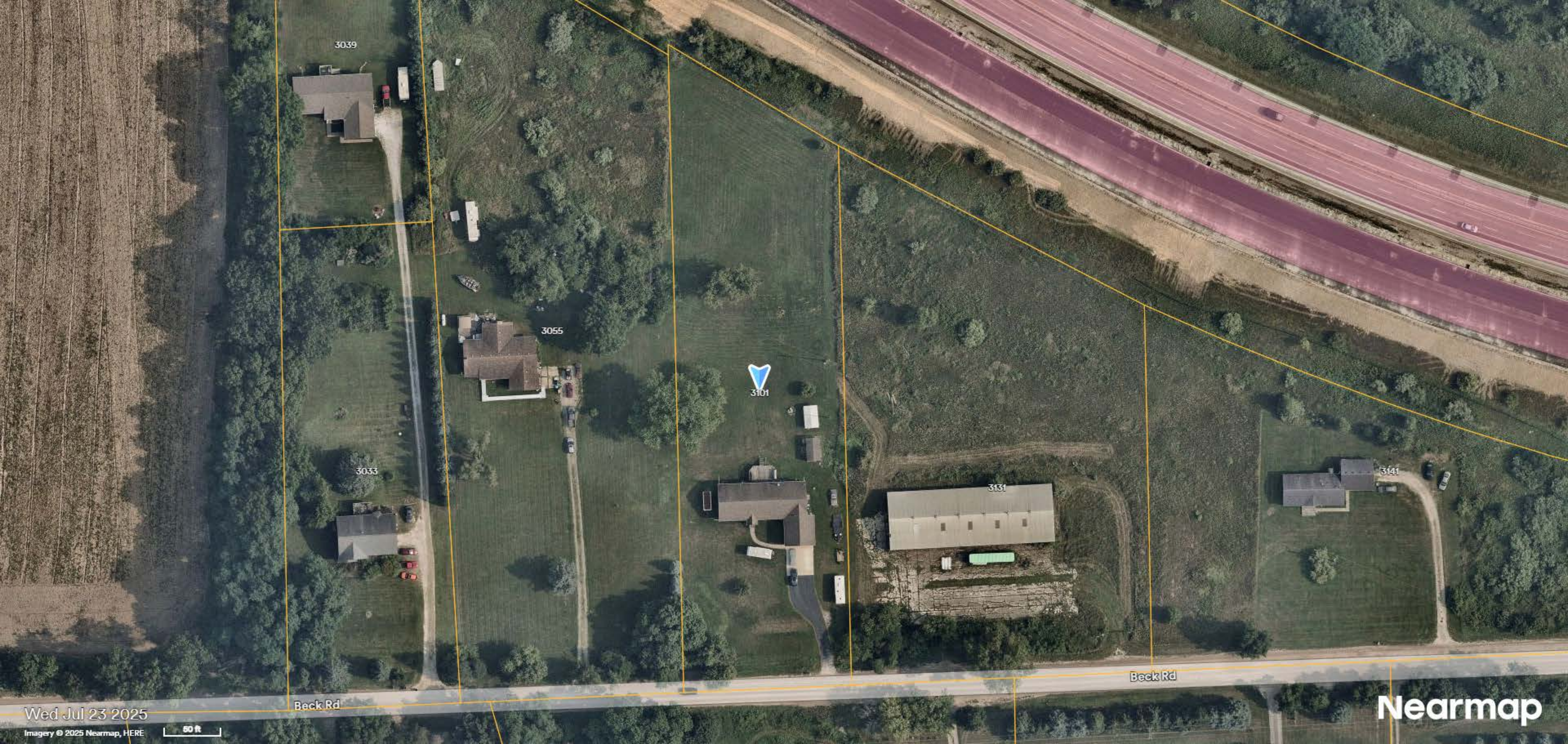
**(d) Impact on Surrounding Neighborhood** The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. The structure should be guttered with downspouts.
2. The building may not be used to run business or for living space.
3. Any other accessory buildings on property will need to be removed.





3039

3055

3033

3101

3131

3141

Beck Rd

Beck Rd


Wed Jul 23 2025

Imagery © 2025 Nearmap, HERE

50 ft

Nearmap



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.					
DUPERON CHRISTOPHER A	DUPERON CHRISTOPHER LTS 9.3	1	09/12/2023	QC	15-LADY BIRD	2023R-017080	BUYER/SELLER	0.00					
PRUDENTIAL RELOCATION INC	DUPERON CHRISTOPHER A	145,000	08/14/2008	WD	10-FORECLOSURE	2008R-025317	BUYER/SELLER	100.00					
NAATH DARREN & MAYANNE	PRUDENTIAL RELOCATION INC	222,500	06/27/2007	WD	21-NOT USED/OTHER	2007R-030876	BUYER/SELLER	100.00					
VAN ZWEDEN, GREGORY	NAATH DARREN & MAYANNE	35,000	11/02/2005	OTH	03-ARM'S LENGTH	4984/0534	BUYER/SELLER	100.00					
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LDR	Building Permit(s)		Date	Number	Status				
3101 BECK RD		School: HOWELL PUBLIC SCHOOLS			GARAGE		08/09/2006	W06-171	NO START				
		P.R.E. 100% 08/14/2008			HOME		11/28/2005	05-372	NO START				
Owner's Name/Address		MAP #: V25-19											
DUPERON CHRISTOPHER LTS 9.3		2026 Est TCV 413,144 TCV/TFA: 181.20											
3101 BECK RD		X Improved		Vacant	Land Value Estimates for Land Table 4500.4500 (47070) HOWELL M & B								
HOWELL MI 48843-6445		Public Improvements			* Factors *								
					Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
					LAND TABLE A			1.803 Acres			43,278	100	78,030
					1.80 Total Acres			Total Est. Land Value =			78,030		
Tax Description					Land Improvement Cost Estimates								
SEC 8 T2N R5E COMM W 1/4 COR TH S89°E 350					Description	Rate			Size	% Good	Cash Value		
FT TO POB TH N02°E 570.51 FT TH S56°E					Wood Frame	25.41			240	42	2,561		
174.94 FT TH S02°W 476.87 FT TH N89°W 150					Total Estimated Land Improvements True Cash Value =								
FT TO POB CONT. 1.803 AC SPLIT FR 005													
12/92													
Comments/Influences		Electric											
		Gas											
		Curb											
		Street Lights											
		Standard Utilities											
		Underground Utils.											
		Topography of Site											
		Level											
		Rolling											
		Low											
		High											
4711-08-100-015		08/09/2022			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value		
The Equalizer. Copyright (c) 1999 - 2009.		LG 08/09/2022 INSPECTED			2026	39,000	167,600	206,600			109,845C		
Licensed To: Township of Genoa, County of Livingston, Michigan		LLG 07/13/2022 REVIEWED R			2025	36,500	167,400	203,900			109,845C		
					2024	35,500	161,700	197,200			106,543C		
					2023	30,900	146,200	177,100			101,470C		



\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
July 15 2024 - 6:30 PM**

**MINUTES**

**Call to Order:** Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Marianne McCreary, Craig Fons, Michele Kreutzberg, Bill Rockwell, Rick Soucy, and Carrie Aulette, Zoning Official.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introductions:** The members of the Board and staff introduced themselves.

**Conflict of Interest:** None

**Approval of the Agenda:**

**Moved** by Board Member Kreutzberg, supported by Board Member Soucy, to approve the agenda as presented. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was made at 6:32 pm with no response.

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

**OLD BUSINESS:**

1. 25-03...A request by Logan McAnallen, 5945 Hartford Way, for a side and rear variance and any other variances deemed necessary by the Zoning Board of Appeals, for the construction of a new single-family home.

Mr. McAnallen stated after the March meeting, he hired a new architect. They have drastically reduced the variance requests. They have eliminated the need for the variance on the west side, and the shoreline variance request of four feet is only for a small piece of the corner of the deck. This lot is one of the most narrow lots in the Pine Creek subdivision and there is a jog in the shoreline that is causing the need for the shoreline variance.

Chairperson McCreary compared this property to other ones in the subdivision that are also on the lake. She thanked Mr. McAnallen for reducing his requests. Board Member Soucy also thanked Mr. McAnallen for his effort to reduce the requests.



Board Member Rockwell suggested moving the house closer to the west side yard, so the east side of the home is not so close to the neighbor. He still believes this is self-created because it is a vacant lot. Mr. McAnallen stated moving the house would require a larger waterfront variance. Having the home in this location will allow more room on the west side because the neighbor's driveway is close to the property line.

Board Member Fons agrees with Board Member Rockwell. It is a vacant lot with an established building envelope and required setbacks. He agrees that the variance is needed for the waterfront setback because of the uneven shoreline. He does not see the hardship.

The call to the public was made at 6:56 pm with no response.

Board Member Kreutzberg noted that the home to the east side is further from the property line than the home to the west.

Mr. McAnallen stated they have gone through many iterations of plans. They would like to build a home that fits in the neighborhood and that they will live in for decades.

**Moved** by Board Member Kreutzberg, supported by Board Member Soucy, to approve Case #25-03 for Logan McAnallen of 5945 Hartford Way for a side yard setback variance of 5 feet from the required 20 feet for a setback of 15 feet and a shoreline/rear yard variance of 4 feet from the required 90 feet for a setback of 86 feet for the construction of a new single-family home, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property. This variance will provide substantial justice, is the least necessary and would make the property and size of the home consistent with other properties and homes in the area and for this, the need for the variances is not self-created.
- The variances are necessary due to the extraordinary circumstances such as this lot at an irregular waterfront is considerably narrower than neighboring properties with extreme topography and irregular shoreline. In addition, the neighborhood requirements for garage entry dictates placement of the home on the lot.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variances would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. Retaining walls will require a land use permit. If retaining walls are over three feet tall they must be designed by a licensed engineer, must follow all guidelines set by Article 11.04.03 (j), and shall not alter the overall natural topography of the land.
2. The deck on the back of home may not extend more than 15' into the required waterfront yard.
3. The home must be guttered with downspouts.
4. The applicant should try to minimize the removal of trees outside the building envelope.



5. The property must be silt fenced to avoid erosion and drainage until at final grade.

**The motion carried (Kreutzberg - yes; Fons - no; Rockwell - no ; McCreary - yes; Soucy - yes)**

2. 25-12...A request by David Bair of Property Services Unlimited LLC, 4433 Brighton Road, for a wetland setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to install a shared driveway to allow for property to be split.

He is requesting a wetland buffer variance for the entrance. He received approval from the Livingston County Road Commission and EGLE and constructed the entrance. He was not aware he needed a variance from the Township, so now he is requesting a variance after the fact. The second request is also a wetland buffer variance for the shared drive; however, he reduced the width of this driveway, so it does not encroach into the wetland buffer; however, Ms. VanMarter and Ms. Aulette requested that he obtain a variance in case there is encroachment in the wetlands buffer during construction and for maintenance of the grass next to it. The shared driveway was approved by EGLE so he would like to withdraw this variance request.

Ms. Aulette showed the survey, which has the Limits of Disturbance on the other sides of the buffer. She does not recommend withdrawing that request. Board Member Fons stated it is standard to put in Limits of Disturbance on plans, but there is a way to build the drive without entering into the wetland buffer. Board Member Kreutzberg agrees that the variance should not be withdrawn because in the case that there is some disturbance during construction, the variance would be in place if it is approved.

The call to the public was made at 7:40 pm.

Mr. Larry Bowman of 3902 Honors Bluff stated the owner has a right to develop his property but sometimes it is not always possible. He asked if homes can be built here because there are wetlands throughout this property. He stated that they can hear the railroad from their home, which is 900 feet away, and the proposed driveway is 50 feet from the tracks. He is sensitive to the area being wetlands and is concerned with having septic field near them. These variances will negatively affect the wetland ecosystem. He stated that the setback buffer requirement is in place for a reason and asked what are the extraordinary circumstances that allow for encroachment into the wetlands.

Chairperson McCreary stated that Mr. Bowman also submitted an email to the Township with his same concerns. Mr. Jason Rickard of 3703 Honors Way sent an email that stated the typical fire access is 20 feet wide and public utilities are available to service these homes and should be extended.

The call to the public was closed at 7:46 pm.



Board Member Rockwell is more in favor of the request now that the shared driveway will not encroach into the wetland buffer. Chairperson McCreary wants signage, and possibly boulders, to delineate where the wetland buffer starts to protect the buffer as well as the residents. Board Member Fons would like the demarcations to be in place prior to the start of construction of the shared driveway and it should be inspected by Township staff.

**Moved** by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #25-12 for David Bair of Property Services Unlimited LLC of 4433 Brighton Road for a wetland setback variance to encroach into the 25 foot natural features buffer zone and EGLE permitted approach in the ROW during grading and installation of shared access driveway to potentially split the property, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably prevent the intended use of the property or cause it to be unbuildable. This variance will provide substantial justice, is the least necessary and would make the property consistent with similar properties and homes in the area.
- The variance is necessary due to the extraordinary circumstances such as no feasible alternative exists to allow for buildable property without encroaching on buffer setback area, wetlands ecological value will not be affected, drainage pattern will not negatively affect the wetland buffer, erosion control will be followed throughout construction to final grade, drive will be reduced to a minimum of 12 feet where necessary, and the EGLE permit provided adequate support of the project being non-threatening to wetlands as all guidelines are adhered to.
- Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. The driveway shall be reduced to 12 feet where necessary and possible to preserve the wetland and buffer.
  - A. the applicant shall permanently demarcate prior to issuance of the driveway permit and install signage to indicate the edge of the undisturbed natural area at a distance of 20 feet per sign. This shall remain in perpetuity to ensure future owners do not further encroach.
  - B. prior to construction, there shall be an addition of natural boulders along the portion of the drive nearest the buffer zone to eliminate future encroachment.
2. The entire remaining setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
3. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
4. No other encroachments on the entire property are allowed.

**The motion carried unanimously.**



**NEW BUSINESS:**

1. 25-14...A request by Zaid Abro, 3200 E. Grand River, for a sign variance and any other variances deemed necessary by the Zoning Board of Appeals, to install brick around an existing pole sign.

Mr. Abro remodeled his car wash and then added bricks around the existing poles sign. The inspector approved this; however, he was made aware from township staff that a variance is needed because the sign is non-conforming and the improvements were more than 50 percent of the current value of the sign.

Chairperson McCreary stated pole signs are being eliminated in the township. She read a portion of the sign ordinance that spoke about safety of signs and signs being consistent throughout the township.

Board Member Rockwell does not agree with requiring the applicant to remove the bricks, so the existing red poles remain.

The call to the public was made at 8:20 pm with no response.

**Moved** by Board Member Rockwell, supported by Board Member Soucy, to approve Case #25-14 for Zaid Abro of 3200 E Grand River for a ROW setback variance of 20 feet from the required 35 feet for a ROW setback of 15 feet, a sign height variance of 9 feet, 6 inches from the maximum 6 feet for a height of 15 feet, 6 inches, and a sign square foot variance of 66.5 square feet from the maximum 4 square feet for a sign area of 70.5 square feet, to refresh an existing pole sign, based on the following findings of fact:

- The applicant has updated an existing sign. There are a number of existing pole signs in the area, allowing this sign to remain would not have an impact
- As indicated by the applicant, this particular property does not appear to have an extraordinary circumstance that differentiates it from other properties.
- The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire. The location of the sign will not interfere with traffic on Grand River or vehicles entering or existing on the property.
- The proposed variances would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This approval is based on the following conditions:

1. Signs must meet the lighting requirements of Article 16.06.05.
2. No additional pole signs may be erected, any future signage would be required to meet the Ordinance. Any current signage that is non-compliant on the property must be removed.

**The motion carried (Kreutzberg - yes; Fons - yes; Rockwell - yes; McCreary - no; Soucy - yes).**



2. 25-15...A request by Howell Family Ventures LLC, 3599 E. Grand River, for a sign variance, and any other variances deemed necessary by the Zoning Board of Appeals, to modify an existing monument pole sign to accommodate multiple businesses.

Mr. Devon Crumb, representing Howell Family Ventures, stated they acquired the property and are investing a lot of money into this development. They would like to update the two existing pole signs to accommodate the names of all of the businesses. They always try to follow ordinances, but having a monument sign at the busy entrance of this site would inhibit vehicles exiting from the property. Additionally, there are outlots in the front of the site that potentially block the business signs of the tenants that are in the large building in the back, so these signs allow visibility for them.

Ms. Aulette stated that Location 2 could allow for a monument sign; however, a Right of Way variance may be required here.

Board Member Soucy stated this is an improvement from what is currently there. Chairperson McCreary agrees and stated these locations are appropriate.

The call to the public was made at 8:38 pm with no response.

**Moved** by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #25-15 for Howell Family Ventures LLC of 3599 E Grand River for a ROW setback variance of 58 feet from the required 70 feet for a setback of 12 feet, a height variance of 14 feet, 8 inches from the required 6 feet for a height of 20 feet, 8 inches and a square foot variance of 74.75 square feet from the required 4 square feet for a square footage of 78.75 for the sign at Location 1 and a ROW setback variance of 54 feet from the required 70 feet for a setback of 16 feet, a height variance of 14 feet, 8 inches from the required 6 feet for a height of 20 feet, 8 inches and a square foot variance of 76 square feet from the required 4 square feet for a square footage of 80 for the sign at Location 2, for the modification of existing pole signs to accommodate additional occupancy and identify the plaza name, based on the following findings of fact:

- Strict compliance with the ordinance would unreasonably prevent the intended use of the property. These variances will provide substantial justice, are the least necessary and would make the property consistent with other properties in the area as there are several businesses with similar signage, noting the ordinance was amended to allow pole signs.
- The variance is necessary due to the extraordinary circumstances, such as this is a multi-tenant property and visibility is limited due to its location off Grand River and the existence of two restaurants operating directly in front. The space for monument signs is minimal. The pole signs will provide optimal visibility at entrances, and the size increase is necessary due to the number of tenants occupying the mall. The monument sign at Location 1 would limit sight to traffic and Location 2 is the most practical due to the sidewalk and utility placement.
- The granting of these variances will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.



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- The proposed variances would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

This approval is based on the following conditions:

1. Signs must meet the lighting requirements of Article 16.06.05.
2. No additional pole signs may be erected Any future signage would be required to meet the Ordinance.
3. Provide a safety certificate for sign at Location 1. The plans provided information on the sign withstanding wind but staff did not see anything in regard to a collision with a vehicle. That should be provided.
4. Applicant needs to verify the distance from the ROW with the Township, it is not clearly shown on the survey.

**The motion carried unanimously**

**Administrative Business:**

1. Approval of minutes for the June 17, 2025 Zoning Board of Appeals meeting.

**Moved** by Board Member Soucy, supported by Board Member Kreutzberg, to approve the minutes of the June 17, 2025 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. Aulette stated there will be four cases on next month's meeting agenda.

3. Member Discussion

Ms. Aulette asked if any of the board members would like a badge made for when they are out in the field inspecting properties. She will coordinate having the members' photos taken. A lanyard was suggested.

Board Member Kreutzberg will not be at the August meeting.

Board Member Soucy asked the Board Members to provide him with any recommendations for ordinance changes while the township is updating the Master Plan. Chairperson McCreary asked Ms. Aulette to provide them with a list of what variances were requested in 2024 and 2025 to date, and if they have been granted or not. This will help to determine what changes may be needed.

Board Member Soucy stated that he spoke to the township board about the safety concerns. The work on this has already begun. It will be a substantial investment.



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4. Adjournment

**Moved** by Board Member Soucy, supported by Board Member Rockwell, to adjourn the meeting at 8:59 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary

DRAFT