

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
July 15th, 2025
6:30 P.M.
AGENDA**

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

1. 25-03...A request by Logan McAnallen, 5945 Hartford Way, for a side and rear variance and any other variances deemed necessary by the Zoning Board of Appeals, for the construction of a new single-family home.
2. 25-12...A request by David Bair of Property Services Unlimited LLC, 4433 Brighton Road, for a wetland setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to install a shared driveway to allow for property to be split.

NEW BUSINESS:

1. 25-14...A request by Zaid Abro, 3200 E. Grand River, for a sign variance and any other variances deemed necessary by the Zoning Board of Appeals, to install brick around an existing pole sign.
2. 25-15...A request by Howell Family Ventures LLC, 3599 E. Grand River, for a sign variance, and any other variances deemed necessary by the Zoning Board of Appeals, to modify an existing monument pole sign to accommodate multiple businesses.

ADMINISTRATIVE BUSINESS:

1. Approval of minutes for the June 17th, 2025 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # _____ Meeting Date: _____

☐ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Logan McAnallen Email: Logan@cardenhomes.com

Property Address: 5945 Hartford Way, Brighton Phone: 517-282-2861

Present Zoning: RPUD Tax Code: 4711-36-301-247

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. **Variance requested/intended property modifications:** Reduce the side yard setback requirements from 20' on each side to 14' on the west side of the lot, and 15' on the east side of the lot.

Reduce either the rear setback (building & deck limit) or front yard setback by 6', or reduce each by 3'.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The current setback requirements on this relatively smaller/narrow lot creates a small building envelope that significantly hinders the home that can be built on the site. The additional space we've requested will make a large impact to the layout and exterior elevation and allow us to build a home that is in-line with the surround property values.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Along with the lot being narrow, the angle of the shoreline further impedes the building envelope from the rear of the house. This is also challenged by the side entry garage requirement as it requires the house to be pushed further back on the site, consuming a significant amount of the building envelope.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The relatively small amount of additional building space we are requesting along with our plan to use only a portion of it would result in no impact to the surrounding properties. The house spacing would still be more than adequate for safety and enjoyment. The variance would be virtually un-noticable when walking/driving along Hartford way.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

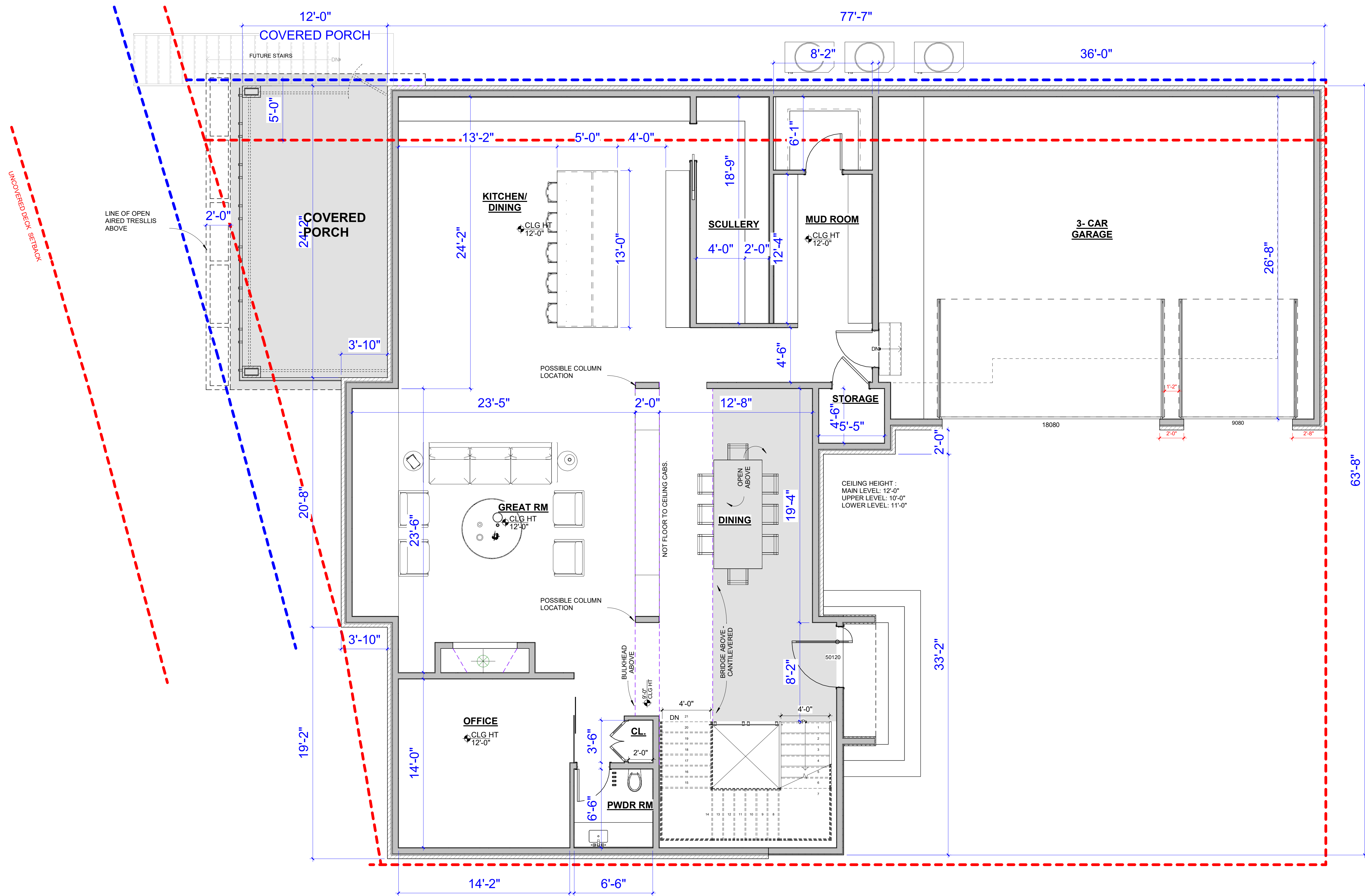
The vairance would not negatively impact the neighboring properties. The variance would allow us to build a home that is more in-line with has been built throughout Pine Creek and would further improve the values of the surrounding properties.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 2-14-2025 Signature: Logan McAnallen



MAIN LEVEL FLOOR PLAN

SQAURE FOOTAGE SUMMARY

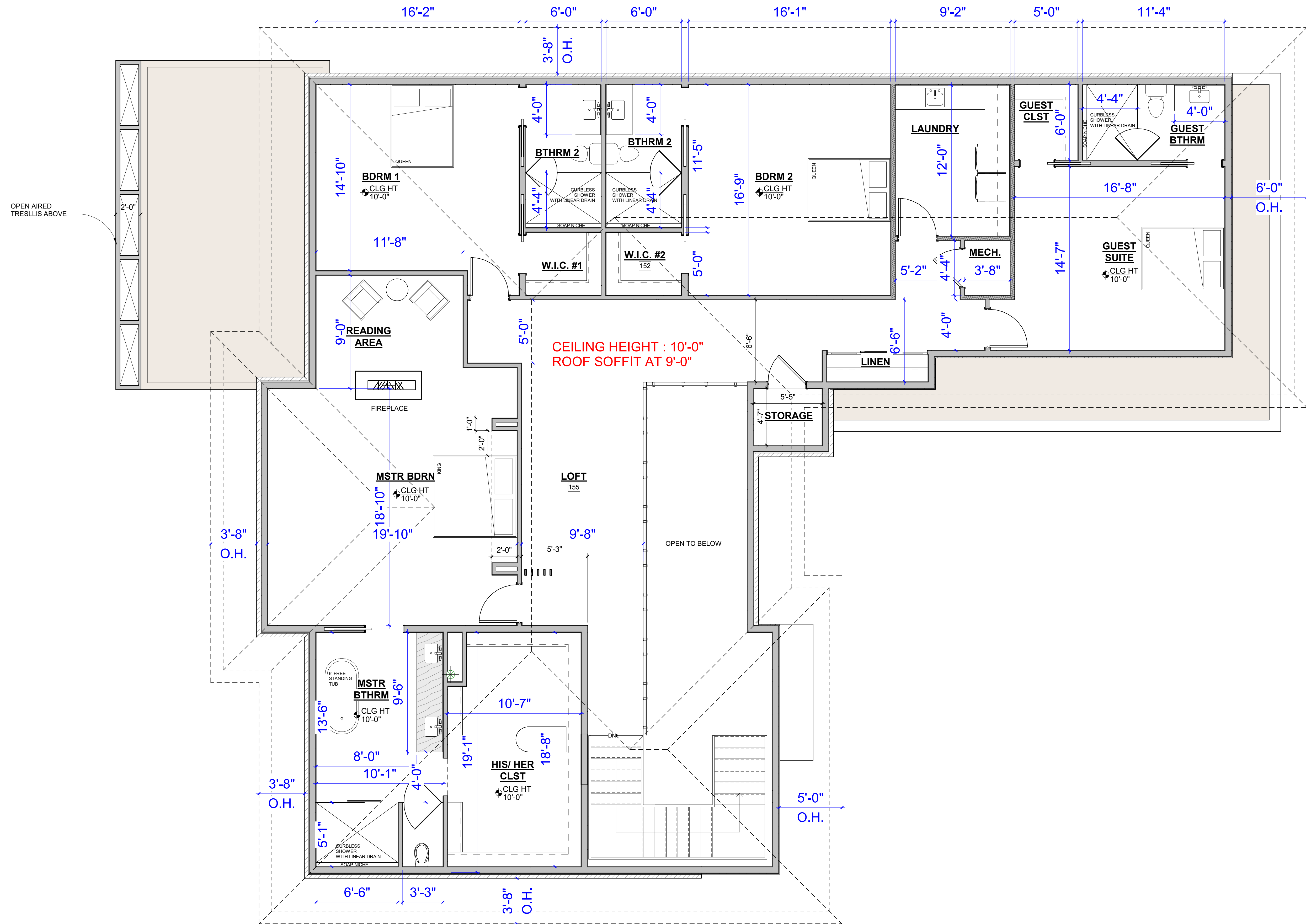
MAIN LEVEL	2445 SF	GARAGE	1010 SF
UPPER LEVEL	2801 SF	COVER'D PORCH	291 SF
	5246 SF		

AZD

2505
THE MCANALLEN
RESIDENCE

5945 HARTFORD WAY, BRIGHTON, MI 48116

D-1.1
06.17.2025



UPPER LEVEL FLOOR PLAN

SQAURE FOOTAGE SUMMARY

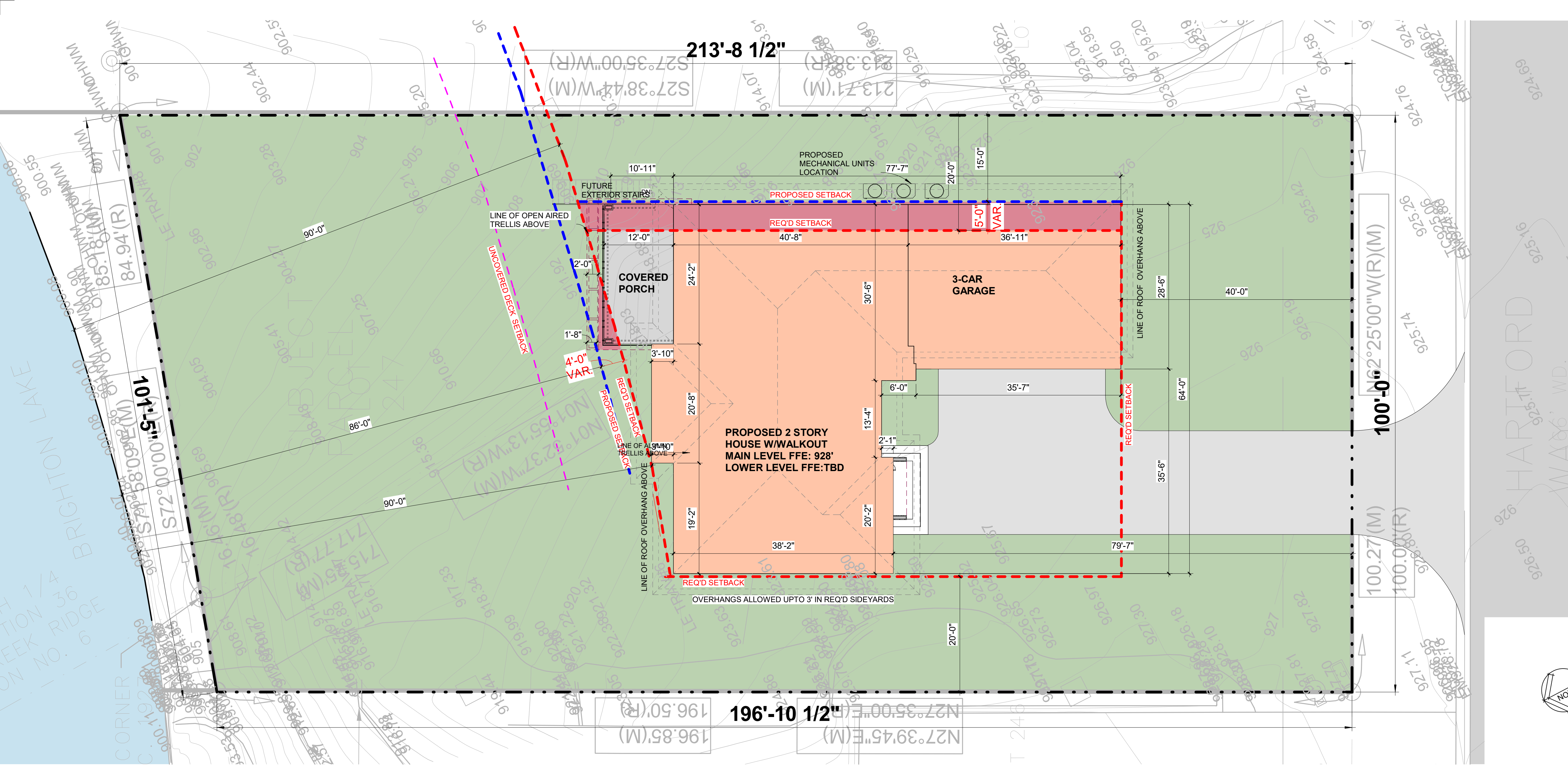
MAIN LEVEL	2445 SF	GARAGE	1010 SF
UPPER LEVEL	2801 SF	COVER'D PORCH	291 SF
	5246 SF		

AZD

THE MCANALLEN
RESIDENCE

5945 HARTFORD WAY, BRIGHTON, MI 48116

D-1.2
06.17.2025



ZONING SUMMARY :			
PROJECT DESCRIPTION : THIS PROJECT CONSISTS OF A 2-STORY SINGLE FAMILY RESIDENCE, WITH A WALK-OUT BASEMENT. THE BUILDING IS LOCATED IN BRIGHTON, MICHIGAN.			
CITY: GENOA TOWNSHIP			
ZONING: ZONE: -- RESIDENTIAL PUD (PINECREEK SUBDIVISION)			
LOT AREA: 20,530 SQ FT			
SETBACKS:	REQUIRED:	PROPOSED:	VARIANCE:
• FRONT:	40'-0" (MIN.)	40'-0"	5'-0" (EAST)
• SIDES:	20'-0" (MIN.)	15'-0" (EAST)	20'-0" (WEST)
• REAR:	90'-0" (MIN.)	86'-0"	4'-0"

MAX. BUILDING HEIGHT: (TO MID POINT)	ALLOWED: 35'-0"	PROPOSED: 34'-0"
------------------------------------------------	---------------------------	----------------------------

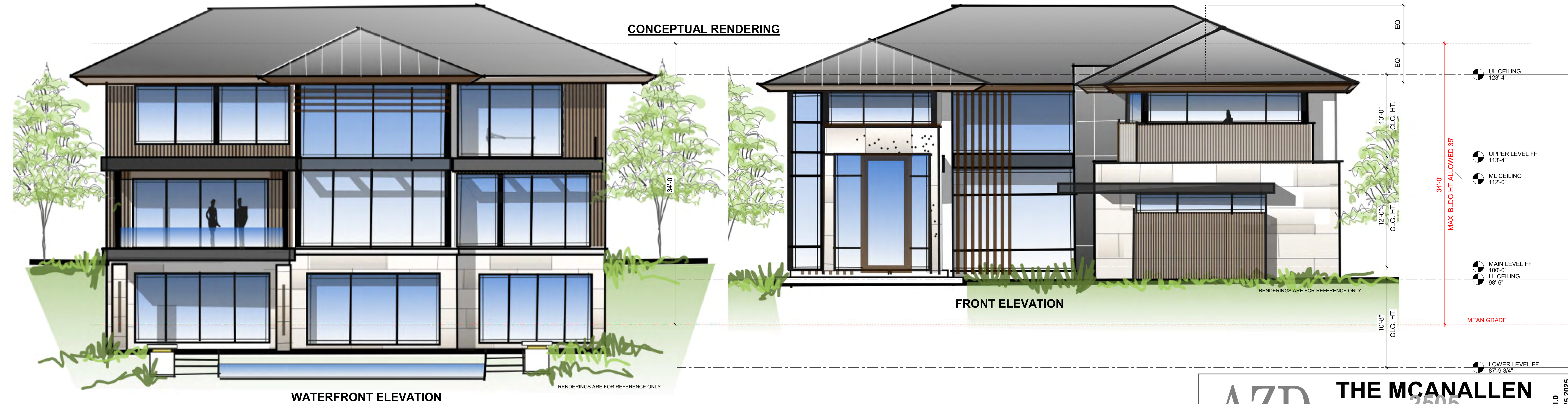
PROPOSED IMPERVIOUS AREA:	
HOUSE:	2,575 SQ FT
GARAGE:	1,048 SQ FT
DRIVE WAY :	1,638 SQ FT
COVERED PORCH:	291 SQ FT
TOTAL:	5,552 SQ FT (27%)

LEGEND :	
	LAKE
	PROPOSED BUILDING
	REQUIRED SETBACK LINE
	PROPOSED SETBACK LINE

SQ. FT. SUMMARY :	
MAIN LEVEL	2445 SF
UPPER LEVEL	2801 SF
	5246 SF
LOWER LEVEL	2575 SF
GARAGE	1010 SF
COVER'D PORCH	291 SF

GROSS SQUARE FOOTAGE IS MEASURED TO THE OUTER FACE OF EXTERIOR FOUNDATION WALLS, WHICH ALIGN WITH THE FACE OF SHEATHING OR FACE OF FULL VENEER MASONRY ABOVE. VOIDS IN FLOORS ARE NOT COUNTED IN SQUARE FOOTAGE. STRUCTURES LIKE STAIRS ARE INCLUDED IN CALCULATION FOR ALL FLOORS EXCEPT THE VERY TOP FLOOR (TYPICALLY UPPER LEVEL).

01 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"





2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

****UPDATED****

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: March 5, 2025
RE: ZBA 25-03

STAFF REPORT

File Number: ZBA# 25-03
Site Address: 5945 Hartford Way
Parcel Number: 4711-36-301-247
Parcel Size: .47 Acres
Applicant: Logan McAnallen
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a side yard, and waterfront yard setback variance to construct a new home.
Zoning and Existing Use: RPUD (Residential Planned Unit Development) Single Family Dwelling is located on the property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday March 2, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the lot is currently vacant.
- The parcel is serviced by public water and public sewer through the City of Brighton
- See Assessing Record Card

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Summary

The proposed project is to construct a new home with a rear deck and retaining wall, the proposed home would require side yard and waterfront setback variances. The applicant does not currently have the exact dimensions of the retaining wall but stated it would likely be around 6' tall. **Update* The owner has consulted with a new architect and has resubmitted with a new proposed home. He is still requesting a variance however, he is asking for less than his previous submittal. He is now only requesting (1) side yard variance and a shoreline setback variance. There is one corner of the deck that is going to encroach into the shoreline setback.**

Variance Requests

The following is the section of the Zoning Ordinance that the Size variance is being requested from:

Table 3.04.01 (RPUD District): ORIGINAL REQUEST

Required Shoreline Setback:	90'	Required Side Yard Setback:	20'
Proposed Shoreline Setback:	86.9'	Proposed Side Yard Setback:	14' West 15' East
Proposed Variance Amount:	3.1'	Proposed Variance Amount:	6' West 5' East

****NEW REQUEST****

SETBACKS	REQUIRED	PROPOSED	VARIANCE
FRONT	40'	40	---
SIDES	20'	EAST 15' WEST 20'	5' ---
SHORELINE/REAR	90'	86'	4'

Floor Area of Neighboring Waterfront Homes- *applicant is proposing 5246 SF*
Date obtained from Assessing Records

ADDRESS	FLOOR AREA
5929 Hartford	3852 SF
5953 Hartford	5495 SF
5937 Hartford	5566 SF
5961 Hartford	4518 SF
6025 Wyndam	5934 SF
6037 Wyndam	4688 SF

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the zoning ordinance and PUD Agreement would prevent the construction of the proposed home, however it does not prevent the use of the property. Staff could only find one other home in the vicinity that has requested a variance however, this lot does appear to be less wide than other (by a few feet). Other homes in the area seem to have been built within the required setbacks.
- (b) Extraordinary Circumstances** – The lot is narrower than other lots in the area. It is also noted that the shoreline is angled, creating a smaller building envelope than others on the waterfront. This neighborhood requires a side entry garage which requires the home construction to be pushed back towards the shoreline. **Staff does believe with this new submittal that the applicant requesting the least amount necessary.**
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. If the variance is granted the home would be complimentary to other homes in the vicinity.

(e) Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Retaining walls will require a land use permit, if retaining walls are over 3' tall they must be designed by a licensed engineer, must follow all guidelines set by Article 11.04.03 (j), and shall not alter the overall natural topography of the land.
2. The deck on the back of home may not extend more than 15' into the required waterfront yard.
3. Home must be guttered with downspouts.
4. Applicant should try to minimize the removal of trees outside the building envelope.



Lakeside Dr

Hartford Way



Sat Apr 6 2024

Imagery © 2025 Nearmap, HERE

50 ft

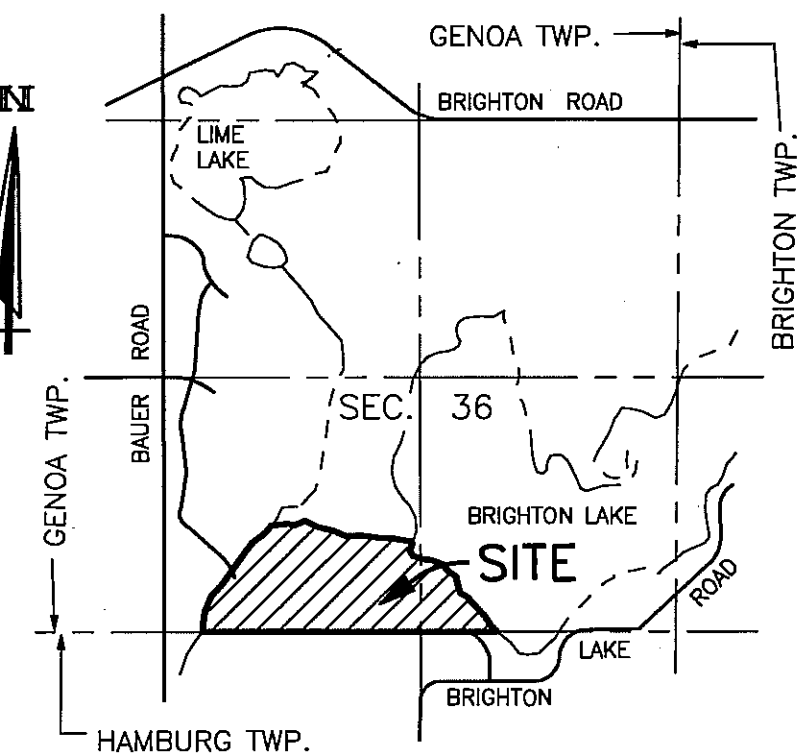
Nearmap

PINE CREEK RIDGE SUBDIVISION NO. 6

A PART OF THE SE. 1/4 AND SW. 1/4 OF SECTION 36, T-2-N, R-5-E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

LIBER PAGE
SHEET 2 OF 9 SHEETS

SCALE 1" = 60'

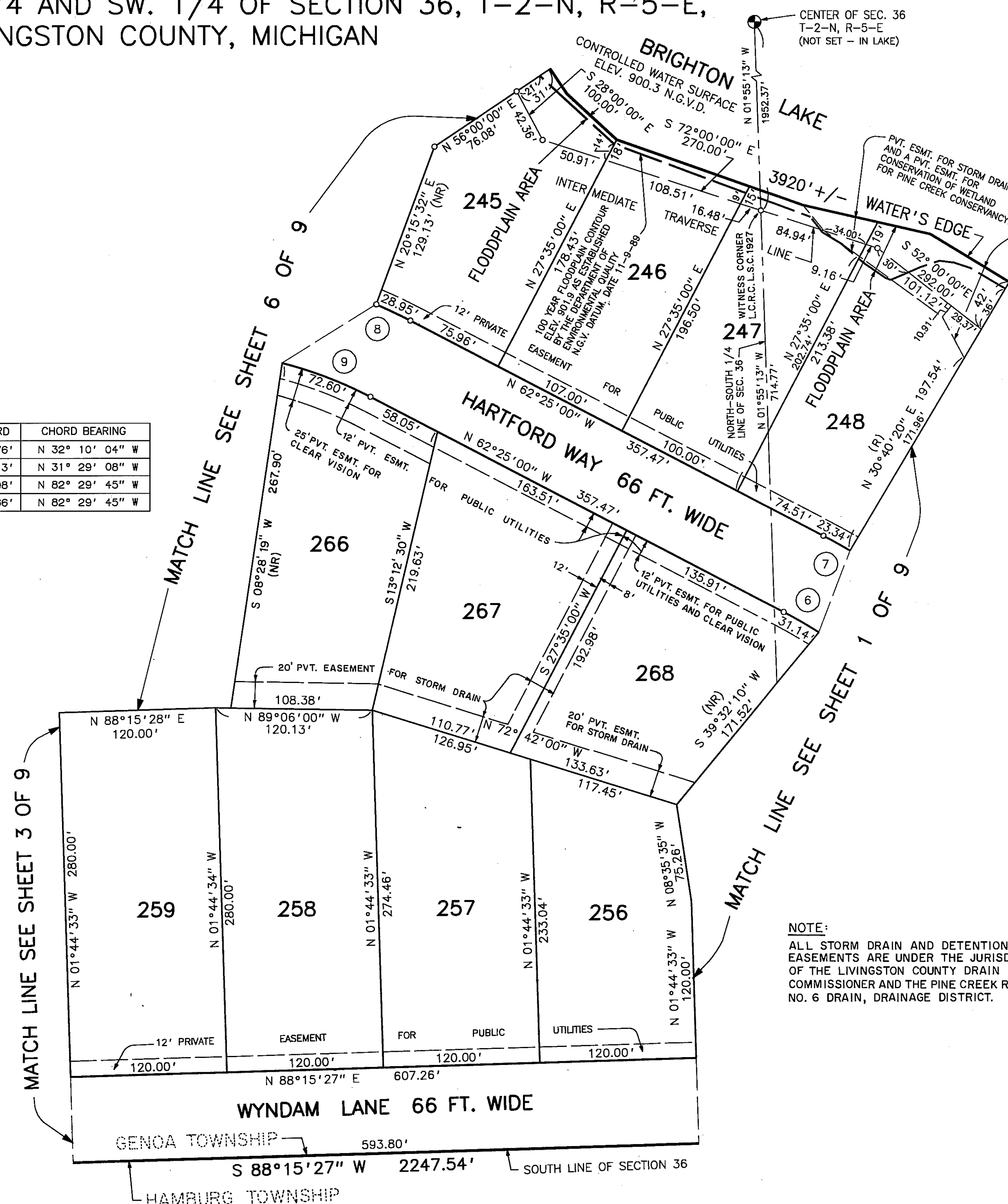


LOCATION MAP

SCALE 1" = 2000'

CURVE DATA

CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD	CHORD BEARING
6	387.51'	367.00'	60° 29' 51"	369.76'	N 32° 10' 04" W
7	467.51'	433.00'	61° 51' 44"	445.13'	N 31° 29' 08" W
8	268.44'	383.00'	40° 09' 30"	262.98'	N 82° 29' 45" W
9	222.18'	317.00'	40° 09' 30"	217.66'	N 82° 29' 45" W

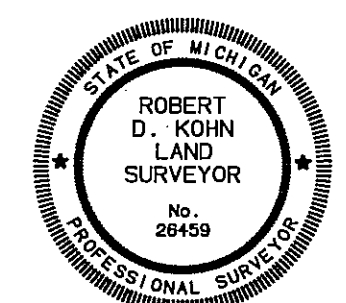


LEGEND

- ALL DIMENSIONS ARE GIVEN IN FEET.
- CURVILINEAR MEASUREMENTS ARE ARC DISTANCES.
- THE SYMBOL "o" INDICATES A SET MONUMENT WHICH IS A ONE-HALF (1/2) INCH DIAMETER STEEL BAR THIRTY SIX (36) INCHES LONG, ENCASED IN CONCRETE FOUR (4) INCHES IN DIAMETER.
- LOT CORNERS HAVE BEEN MARKED WITH STEEL BARS ONE-HALF (1/2) INCH IN DIAMETER, AND EIGHTEEN (18) INCHES IN LENGTH.
- (R) INDICATES A RADIAL LINE.
- (NR) INDICATES A NON RADIAL LINE.
- L INDICATES A RIGHT ANGLE.
- BEARINGS ARE IN RELATION TO THE TRUE MERIDIAN, AS DETERMINED BY POLARIS OBSERVATION, DATE 11/13/1984.
- DENOTES FOUND MONUMENT 1/2 INCH STEEL BAR ENCASED IN CONCRETE 4 INCHES IN DIAMETER.

THIS PLAT IS SUBJECT TO RESTRICTIONS AS REQUIRED BY ACT 288 OF 1967 AS AMENDED ON CERTAIN LOTS WITH RESPECT TO THE REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY WHICH ARE RECORDED IN LIBER 2493, PAGES 0050 OF RECORDS OF THIS COUNTY.

NOTE:
ALL STORM DRAIN AND DETENTION EASEMENTS ARE UNDER THE JURISDICTION OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER AND THE PINE CREEK RIDGE NO. 6 DRAIN, DRAINAGE DISTRICT.



Robert D. Kohn

Giffels-Webster Engineers Inc.
ENGINEERS - SURVEYORS - PLANNERS
2871 BOND STREET ROCHESTER HILLS MICHIGAN
(248) 852-3100

Grantor	Grantee	Sale Price		Sale Date	Inst. Type	Terms of Sale		Liber & Page	Verified By	Prcnt. Trans.				
BLACK WING LLC	KENNEDY DAVID	1		10/08/2024	QC	21-NOT USED/OTHER		2024R-018228	BUYER/SELLER	0.0				
KENNEDY DAVID	MCANALLEN LOGAN	475,000		10/08/2024	WD	03-ARM'S LENGTH		2024R-018889	BUYER/SELLER	100.0				
RH FINANCIAL LLC	BLACK WING LLC	1		03/06/2014	QC	21-NOT USED/OTHER		2014R-005951	BUYER/SELLER	100.0				
MAGDEVSKI, SONJA & DOBRILA	RH FINANCIAL LLC	385,000		02/28/2014	WD	03-ARM'S LENGTH		2014R-005950	BUYER/SELLER	100.0				
Property Address		Class: RESIDENTIAL-VACANT			Zoning: RPUD		Building Permit(s)		Date	Number	Status			
5945 HARTFORD WAY		School: BRIGHTON AREA SCHOOLS												
		P.R.E. 0%												
Owner's Name/Address		MAP #: V25-03												
MCANALLEN LOGAN 1044 LONG LEAF CT BRIGHTON MI 48116		2025 Est TCV 400,000												
		Improved	X	Vacant	Land Value Estimates for Land Table 4022.4022 PINE CREEK/ALJOANN									
		Public Improvements			* Factors *									
Tax Description		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.			Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value	
SEC 36 T2N R5E PINE CREEK RIDGE #6 LOT 247					<Site Value C> C LAKE FRONT 400000 100 400,000									
Comments/Influences					108 Actual Front Feet, 0.00 Total Acres Total Est. Land Value = 400,000									
		Topography of Site												
		Level Rolling Low High Landscaped Swamp Wooded Pond X Waterfront Ravine Wetland Flood Plain			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value			
					Who	When	What	2025	200,000	0	200,000			200,000S
								2024	175,000	0	175,000			161,860C
								2023	175,000	0	175,000		175,000A	154,153C
								2022	160,000	0	160,000		160,000A	146,813C
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan														



**GENOA CHARTER TOWNSHIP
WETLAND VARIANCE APPLICATION**

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-12 Meeting Date: June 17, 2025 @ 6:30pm
in the Boardroom
☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: DAVE BAIR - MEMBER
PROPERTY SERVICES LLC Email: DBAIR58@GMAIL.COM
Property Address: 4433 BRIGHTON RD Howell, MI 48843 Phone: 810-333-1268
Present Zoning: SR Tax Code: 11-28-300-006

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: SHARED DRIVEWAY
PARCEL 'A' & 'B'

The following is per Article 13.02.05 of the Genoa Township Ordinance:

Criteria Applicable to Wetland Setback Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under **each** please indicate how the proposed project meets each criteria.

13.02.05 Variances from the Wetland Setback Requirements

The setback is not necessary to preserve the wetland's ecological and aesthetic value;

EXISTING FARMERS LANE, ANY NEW WORK
OUTSIDE OF SET BACK IS OUR INTENT

The natural drainage pattern to the wetland will not be significantly affected;

FT WILL NOT

The variance will not increase the potential for erosion, either during or after construction;

FT WILL NOT

No feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed;

ALL OPTIONS WERE LOOKED AT
IMPROVING EXISTING FARMERS LANE IS
LEAST INTRUSIVE

MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.

~~NO MDEQ PERMIT REQUIRED~~

REQUEST HAS BEEN MADE TO MDEQ TO VERIFY IF
needed

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

Date: 5-13-25

Signature:


DAVE BAIR - MEMBER

Key:

○ = Existing Pole

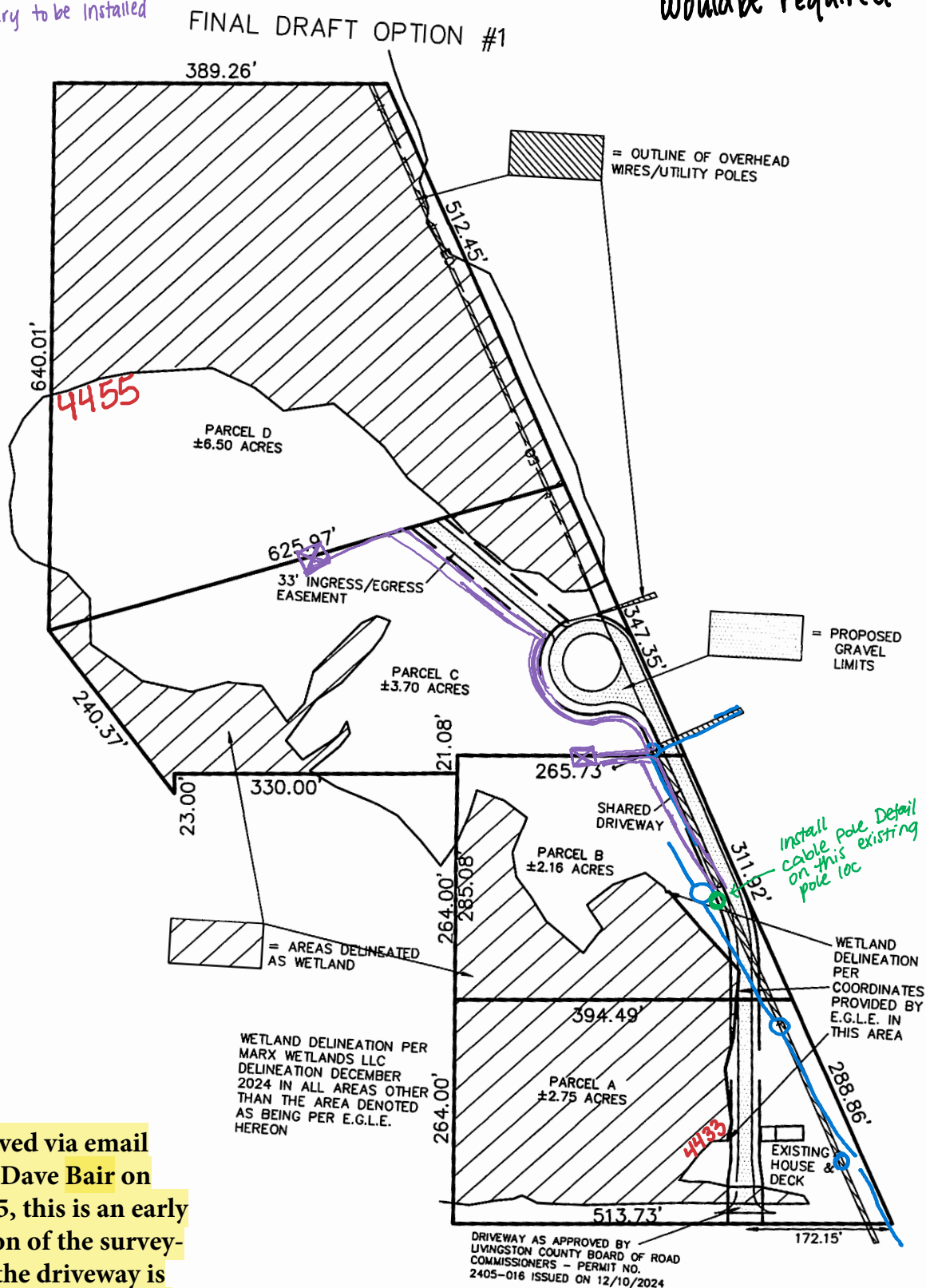
— = Existing DTE Primary

○ = Pole that is feasible to become the Cable pole

⊠ = Transformers to Install

— = UG primary to be installed

★ please note the equipment locations
below are approximate locations,
★ Trees would need to be cleared
+ 10' wide easement for DTE
would be required.



Received via email
from Dave Bair on
7/4/25, this is an early
version of the survey-
note the driveway is
on the incorrect side
from his ZBA request

CERTIFIED BOUNDARY SURVEY

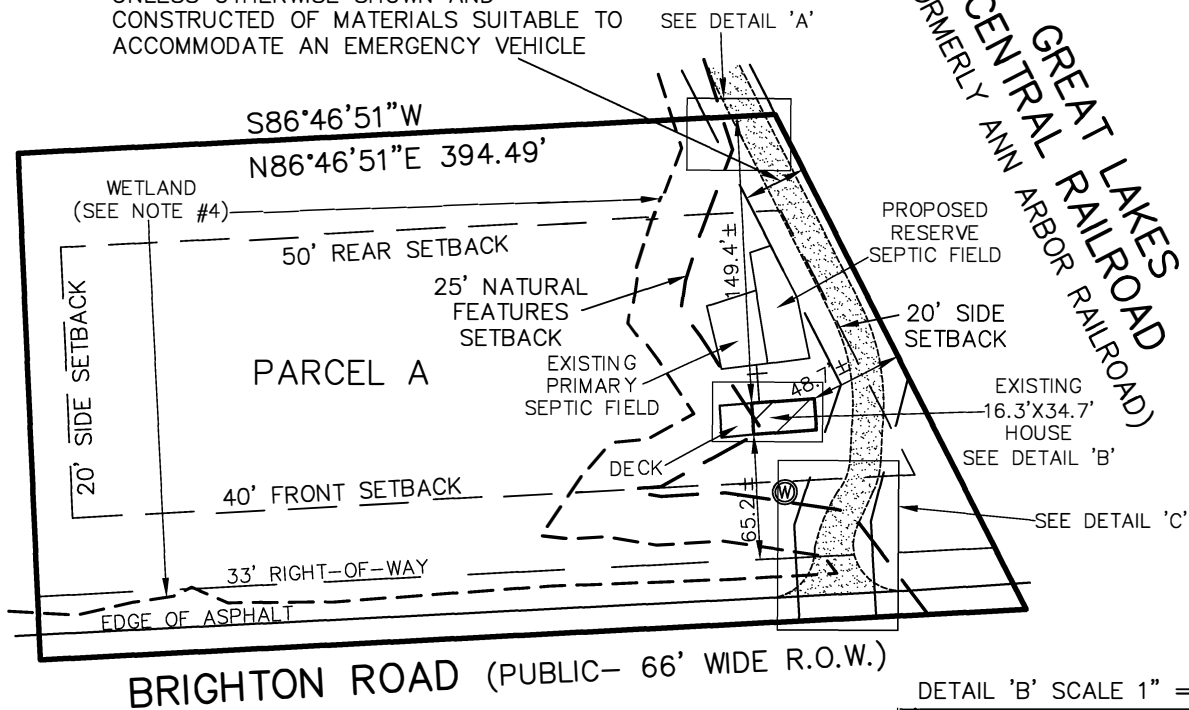
PARCEL A BUILDING ENVELOPE DETAILS

FOR: **PROPERTY SERVICES UNLIMITED, LLC**

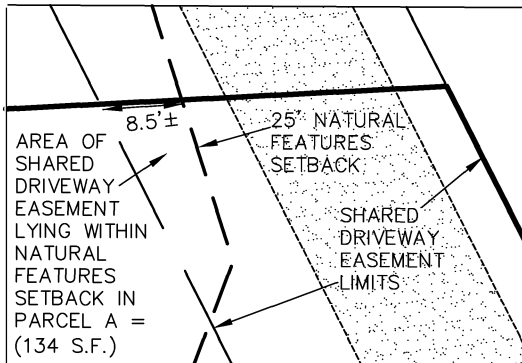
RECEIVED 7/4/25

SHARED DRIVEWAY EASEMENT
(SEE SHEET 4 FOR DETAIL)
DRIVEWAY WILL BE A UNIFORM 16' WIDTH
UNLESS OTHERWISE SHOWN AND
CONSTRUCTED OF MATERIALS SUITABLE TO
ACCOMMODATE AN EMERGENCY VEHICLE

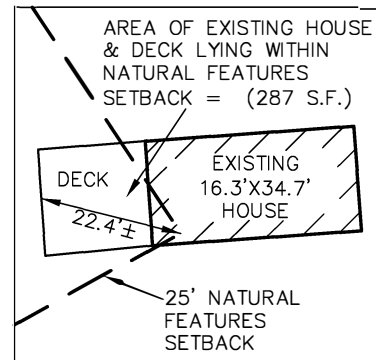
GREAT LAKES
CENTRAL RAILROAD
(FORMERLY ANN ARBOR RAILROAD)



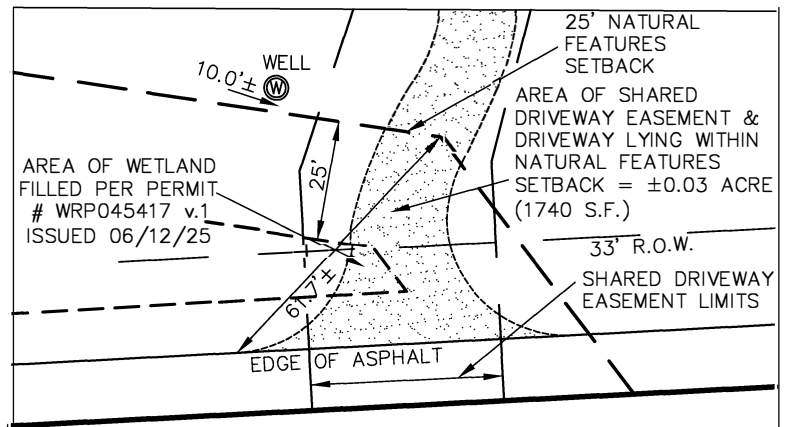
DETAIL 'A' SCALE 1" = 20'



DETAIL 'B' SCALE 1" = 30'



DETAIL 'C' SCALE 1" = 30'



SCALE 1" = 100'



LEGEND

- = Proposed Gravel Driveway Surface
- = Set 1/2" Bar with Cap
- = Found Iron as Noted
- = Survey Boundary Line
- = Distance Not to Scale
- = Soil Boring Location
- = Existing Well Location

All Dimensions are in Feet and
Decimals Thereof.



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY **AN**

SECTION **28, T2N, R5E**

FIELD WORK BY **NW/HS**

JOB NUMBER:

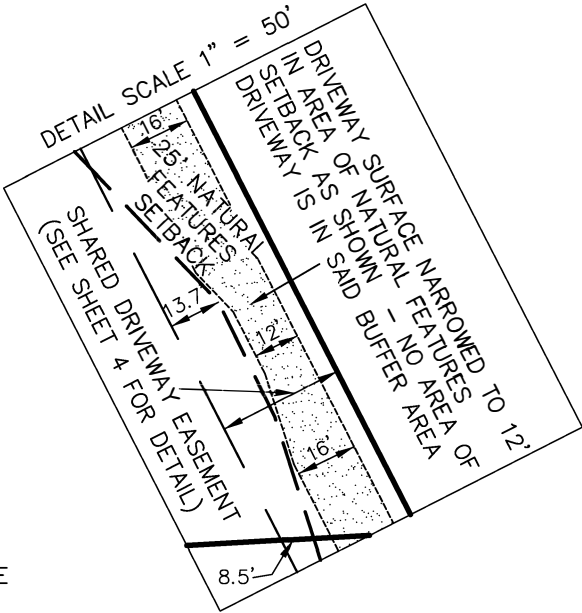
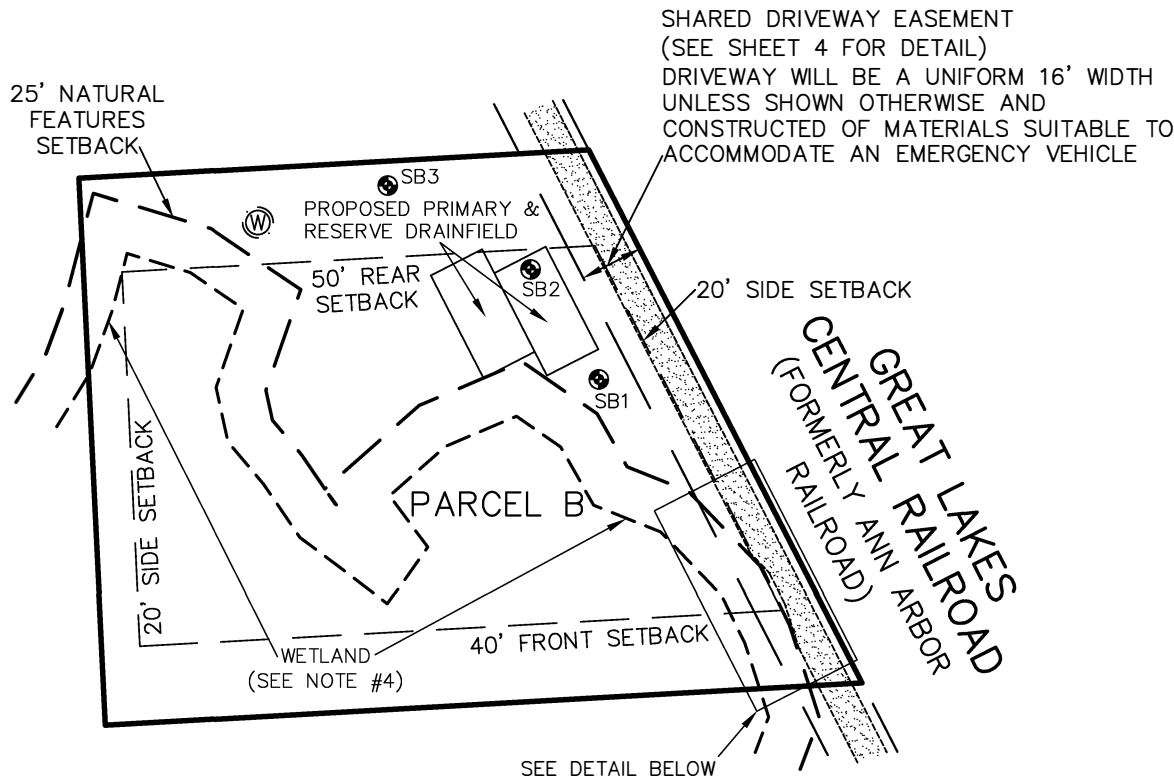
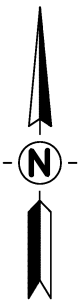
SHEET **5** OF **13**

103586.BND-5

CERTIFIED BOUNDARY SURVEY
PARCEL B BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC

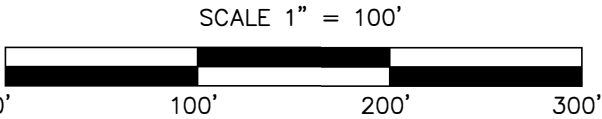
RECEIVED 7/4/25



- NOTES:
1. ALL EASEMENTS MAY NOT BE SHOWN
 2. ALL DIMENSIONS ARE AS MEASURED UNLESS NOTED OTHERWISE
 3. SOIL BORING LOCATIONS SHOWN HEREON BASED ON LATITUDE/LONGITUDE AS PROVIDED BY CLIENT
 4. WETLAND DELINEATION SHOWN PER MARX WETLANDS, LLC DELINEATION COMPLETED AND FLAGGING LOCATED BY KEBS, INC. IN DECEMBER 2024

LEGEND

- = Proposed Gravel Driveway Surface
 - = Set 1/2" Bar with Cap
 - = Found Iron as Noted
 - = Survey Boundary Line
 - = Distance Not to Scale
 - = Soil Boring Location
 - = Existing Well Location
- All Dimensions are in Feet and Decimals Thereof.



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	103586.BND-5
SHEET	6 OF 13		

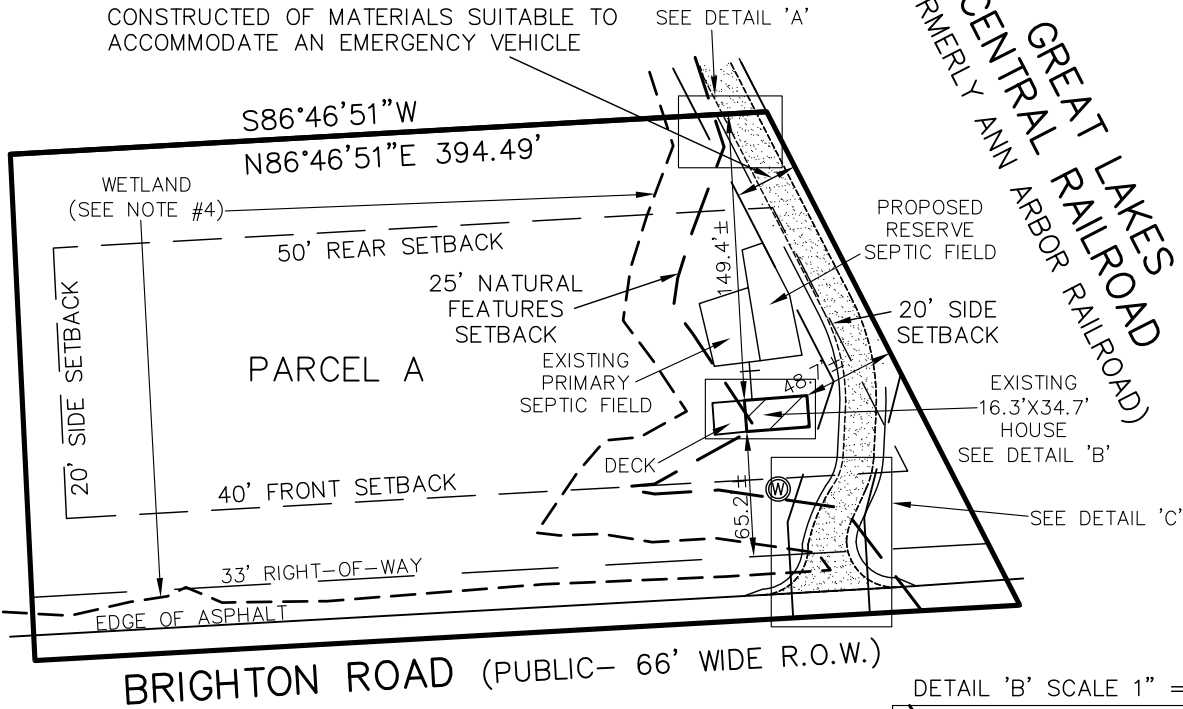
CERTIFIED BOUNDARY SURVEY
PARCEL A BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC

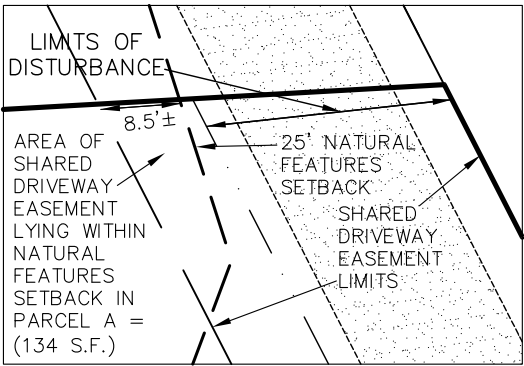
RECEIVED 7/4/25

SHARED DRIVEWAY EASEMENT
(SEE SHEET 4 FOR DETAIL)
DRIVEWAY WILL BE A UNIFORM 16' WIDTH
UNLESS OTHERWISE SHOWN AND
CONSTRUCTED OF MATERIALS SUITABLE TO
ACCOMMODATE AN EMERGENCY VEHICLE

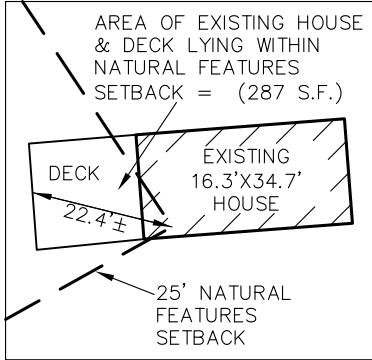
GREAT LAKES
CENTRAL RAILROAD
(FORMERLY ANN ARBOR RAILROAD)



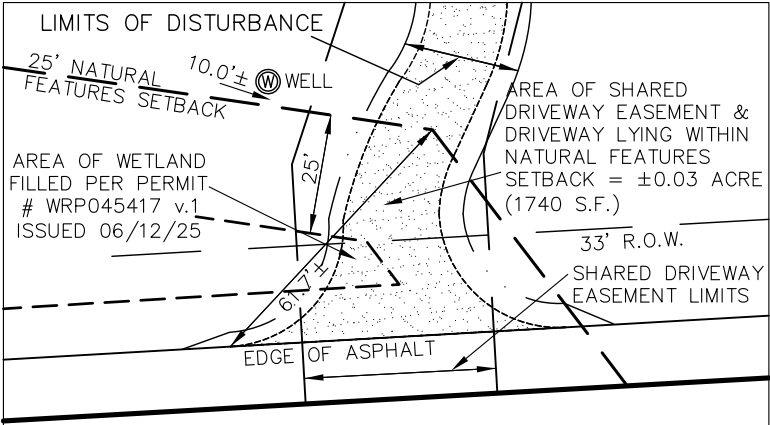
DETAIL 'A' SCALE 1" = 20'



DETAIL 'B' SCALE 1" = 30'



DETAIL 'C' SCALE 1" = 30'



SCALE 1" = 100'



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SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

JOB NUMBER:

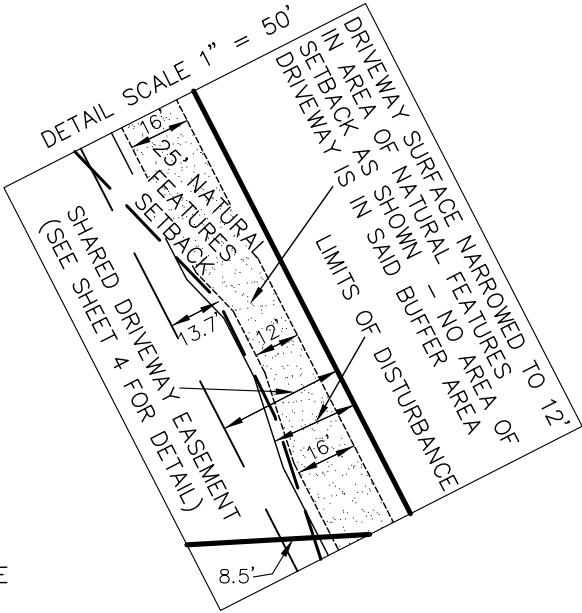
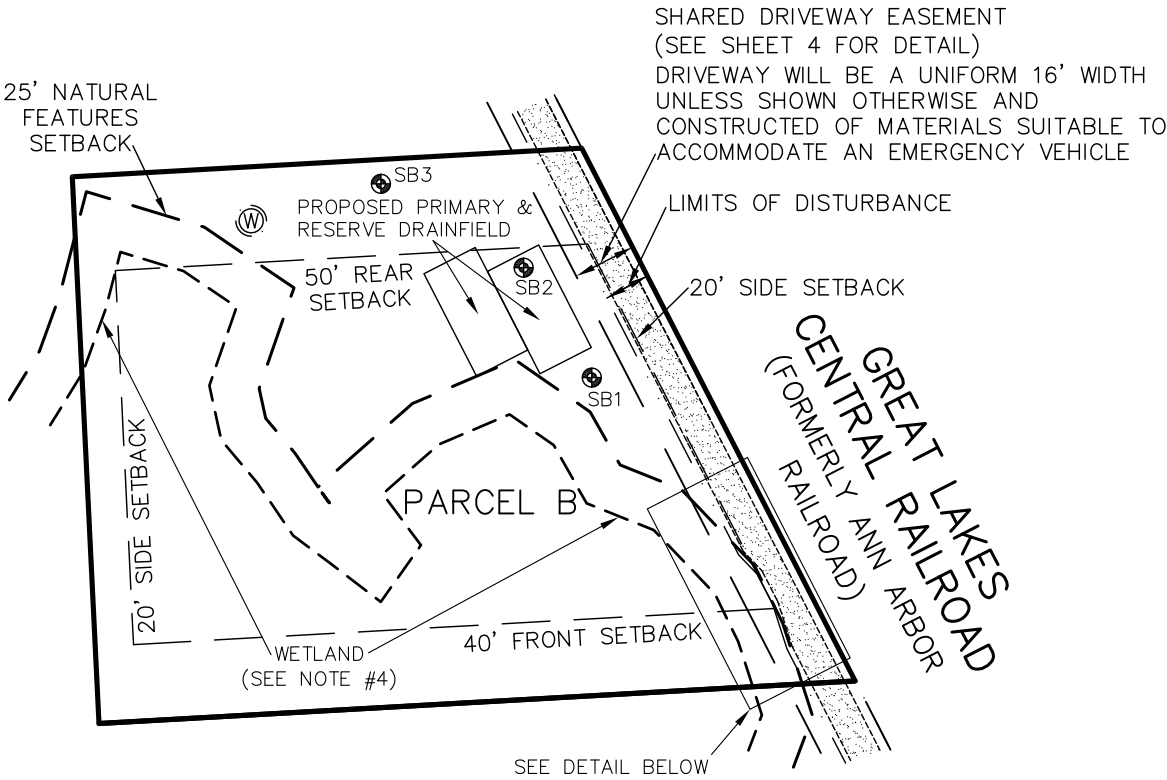
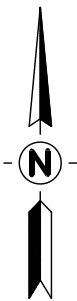
SHEET 5 OF 13

103586.BND-5

CERTIFIED BOUNDARY SURVEY
PARCEL B BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC

RECEIVED 7/4/25



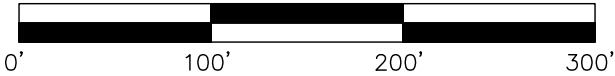
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SCALE 1" = 100'



KEBS, INC.

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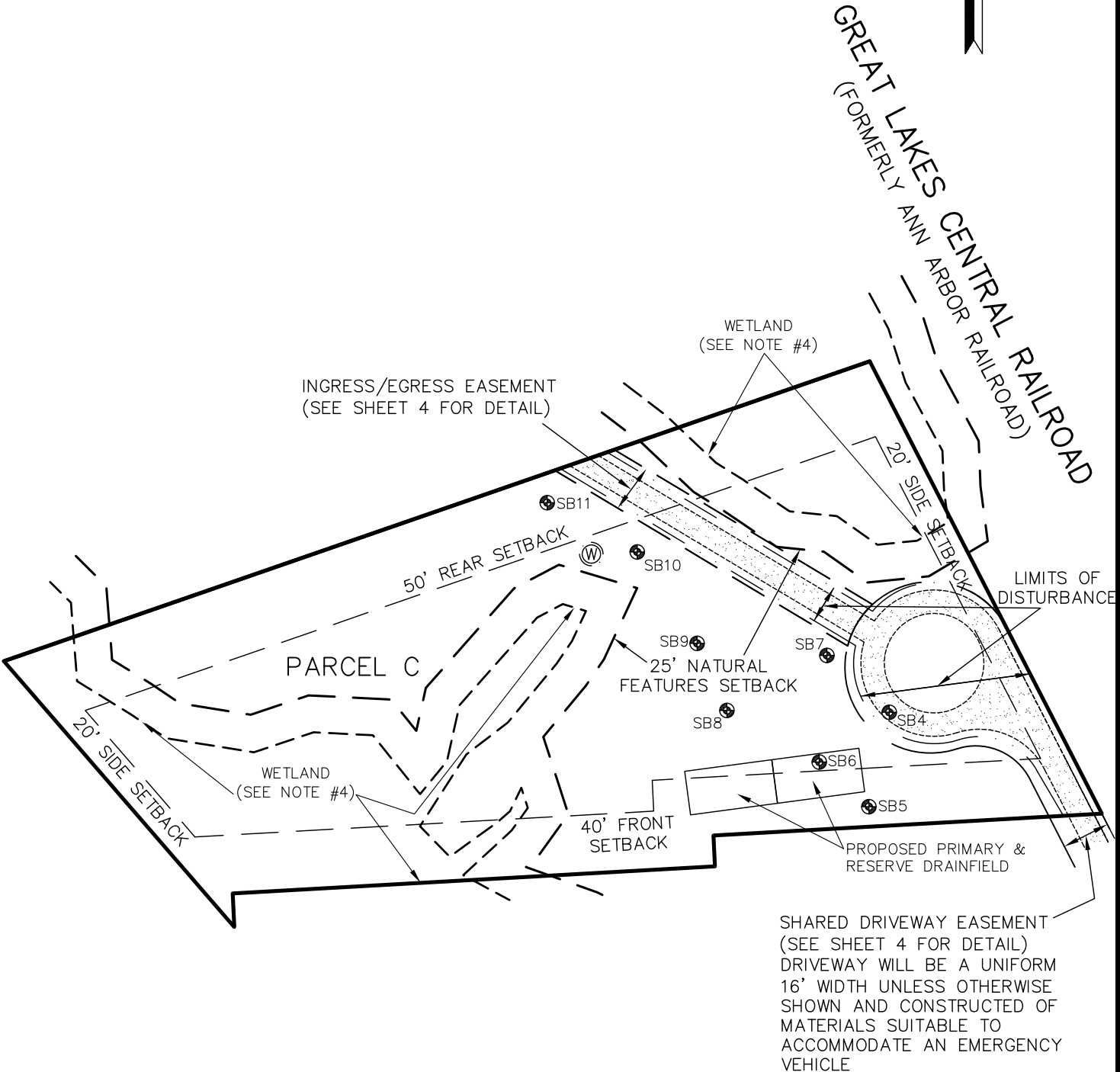
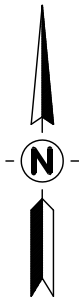
KYES ENGINEERING
BRYAN LAND SURVEYS

DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	103586.BND-5
SHEET	6 OF 13		

CERTIFIED BOUNDARY SURVEY
PARCEL C BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC

RECEIVED 7/4/25



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- = Distance Not to Scale
- = Soil Boring Location
- = Existing Well Location

All Dimensions are in Feet and Decimals Thereof.

SCALE 1" = 100'



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

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PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY AN

SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

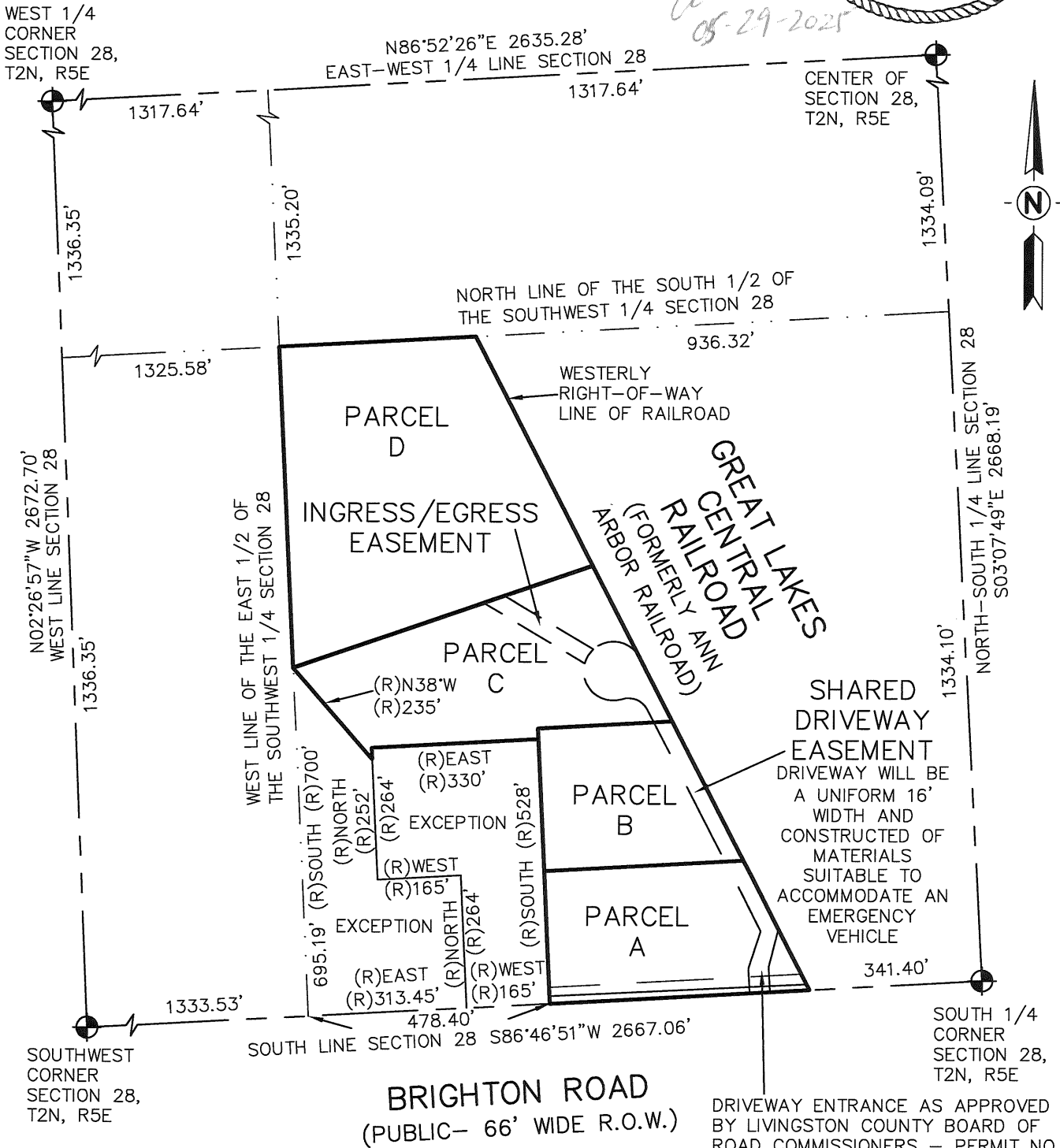
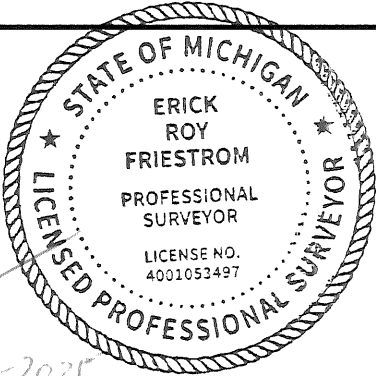
JOB NUMBER:

SHEET 7 OF 13

103586.BND-5

CERTIFIED BOUNDARY SURVEY
OVERALL CONFIGURATION

FOR: PROPERTY SERVICES UNLIMITED, LLC



- NOTES:
- EASEMENTS, IF ANY, NOT SHOWN
 - ALL DIMENSIONS ARE AS MEASURED UNLESS NOTED OTHERWISE
 - SEE SHEET 2 FOR DETAILS OF PARCEL A AND PARCEL B
 - SEE SHEET 3 FOR DETAILS OF PARCEL C AND PARCEL D
 - SEE SHEET 4 FOR DETAILS OF SHARED DRIVEWAY EASEMENT AND INGRESS/EGRESS EASEMENT
 - ACREAGE OF WETLAND WITHIN PARENT PARCEL (OUTSIDE OF PUBLIC R.O.W.) = 337,824 SQ. FT (± 7.75 ACRES)
 - ACREAGE OF UPLAND WITHIN PARENT PARCEL (OUTSIDE OF PUBLIC R.O.W.) = 304,209 SQ FT (± 6.98 ACRES)

LEGEND

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- = Survey Boundary Line
- = Distance Not to Scale
- (M) = Measured Dimension
- (R) = Recorded Dimension

All Dimensions are in Feet and Decimals Thereof.
All Improvements Not Shown.

SCALE 1" = 300'



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

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PH. 517-339-1014 FAX. 517-339-8047

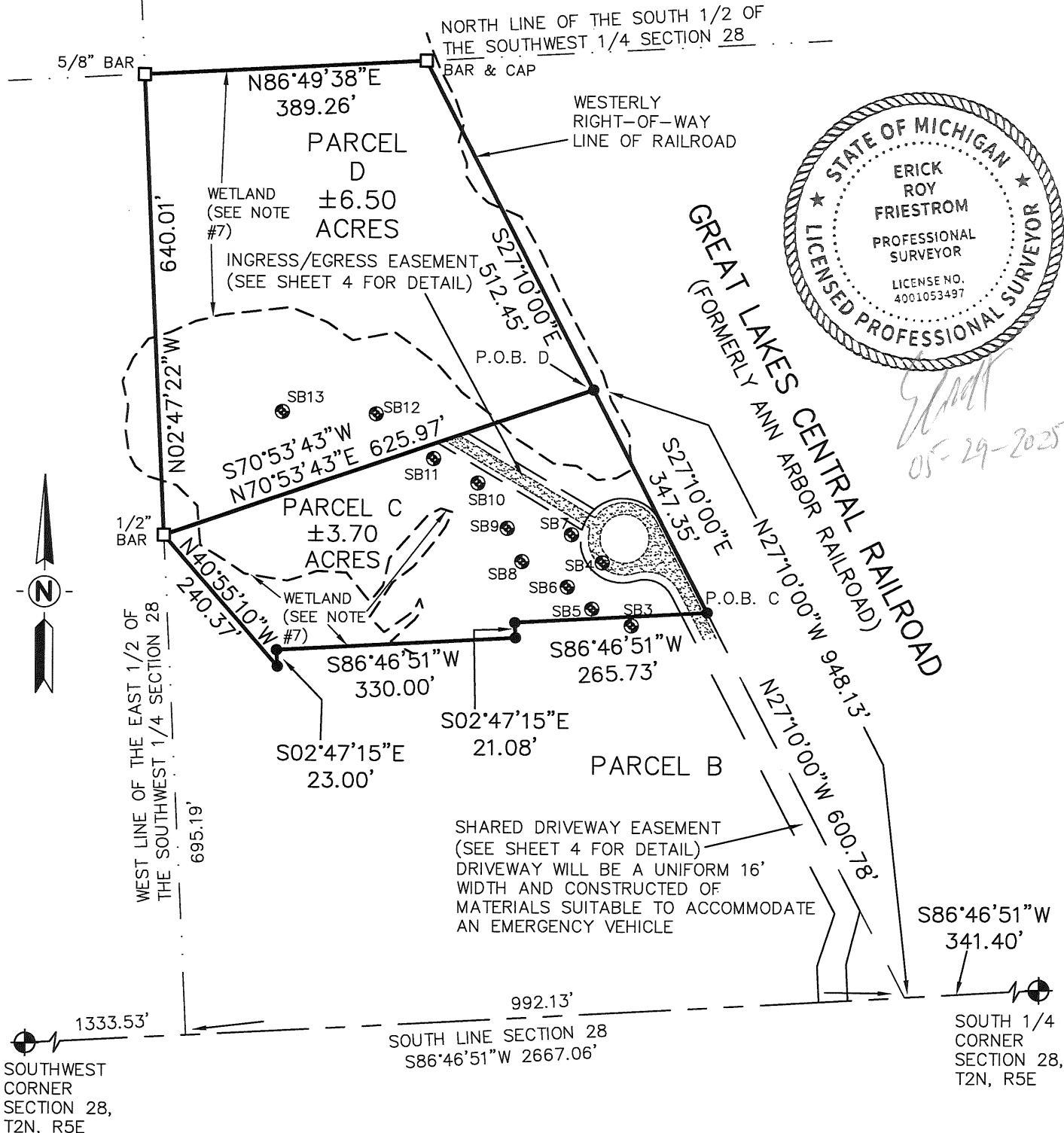
13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	103586.BND-4
SHEET	1 OF 13		

CERTIFIED BOUNDARY SURVEY
PARCEL C AND PARCEL D

FOR: PROPERTY SERVICES UNLIMITED, LLC

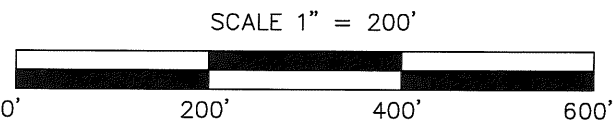
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 - 3. SEE SHEET 1 FOR OVERALL CONFIGURATION
 - 4. SEE SHEET 2 FOR DETAILS OF PARCEL A AND PARCEL B
 - 5. SEE SHEET 4 FOR DETAILS OF SHARED DRIVEWAY EASEMENT AND INGRESS/EGRESS EASEMENT
 - 6. SOIL BORING LOCATIONS SHOWN HEREON BASED ON LATITUDE/LONGITUDE AS PROVIDED BY CLIENT
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LEGEND

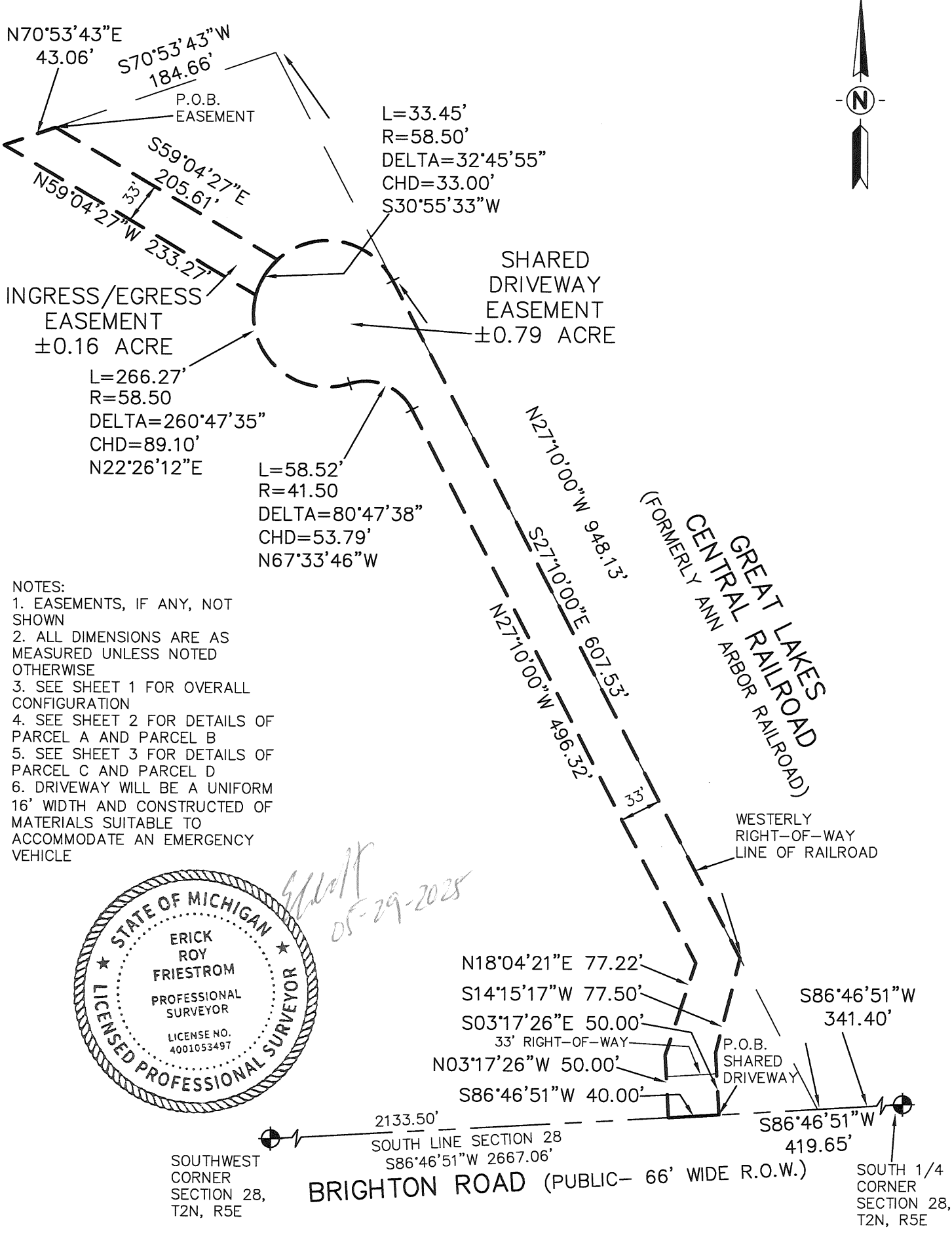
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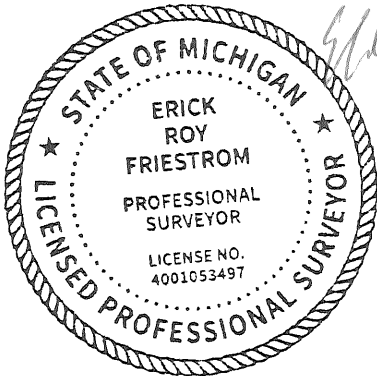


	KEBS, INC.	KYES ENGINEERING BRYAN LAND SURVEYS
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	13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805	
DRAWN BY AN		SECTION 28, T2N, R5E
FIELD WORK BY NW/HS		JOB NUMBER:
SHEET 3 OF 13		103586.BND-4

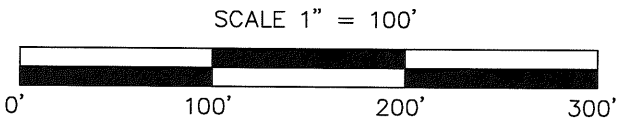
CERTIFIED BOUNDARY SURVEY
SHARED DRIVEWAY EASEMENT AND INGRESS/EGRESS EASEMENT
FOR: PROPERTY SERVICES UNLIMITED, LLC



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 6. DRIVEWAY WILL BE A UNIFORM 16' WIDTH AND CONSTRUCTED OF MATERIALS SUITABLE TO ACCOMMODATE AN EMERGENCY VEHICLE




5/16/17
05-29-2025



LEGEND

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DRAWN BY AN	SECTION 28, T2N, R5E
FIELD WORK BY NW/HS	JOB NUMBER:
SHEET 4 OF 13	103586.BND-4



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

****UPDATED****
MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: May 23, 2025
RE: ZBA 25-12

File Number: ZBA#25-12

Site Address: 4433 Brighton Road Howell MI, 48843

Parcel Number: 4711-28-300-006

Parcel Size: 13.5 Acres

Applicant: Dave Bair

Property Owner: Property Services Unlimited LLC, 9552 E Highland Howell

Information Submitted: Application and site plan

Request: Wetland Setback Variance to install a shared driveway to allow for property to be split.

Zoning and Existing Use: Suburban Residential (SR), single family home

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 1, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Assessing Records, the property currently has 1 single family home.
- The property will be serviced by a well and a septic system.
- Applicant is proposing to have the property split into 4 parcels.
- See Record Card

Summary

The applicant is requesting a variance from the required 25-foot undisturbed natural features setback to install a 16' wide shared driveway to allow for the property to be split into 4 new parcels. Part of Parcel A, Parcel B, & Parcel C encroach into the 25' buffer. ***Update*** Applicant has provided an updated plan showing the location of the utility poles, he is also proposing to reduce the width

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

of the driveway from 16' to 12' in areas to lessen the amount of disturbance at the buffer zone. His surveyor has added limits of disturbance, noting in an email to the applicant that limits of disturbance are ***“usually is about 10' off the edge of driveway but did 3'-5' off edge to limits the disturbance area.”*** **The new request will be for the area directly off of Brighton Road on Parcel A (after the fact) and an area between parcel A & B.**

Variance Requests

The following is the section of the zoning ordinance that the variance is being requested from as well as the criteria applicable for your review of the variance in this regard.

13.02.04 Genoa Township Wetland Protection Standards

(d) Required 25-foot setback: An undisturbed natural setback shall be maintained twenty-five (25) feet from a MDEQ determined/regulated wetland. Trails and recreational areas may be allowed in the wetland setback. Any site grading or storage within the wetland protection setback area shall require a Special Land Use Permit according to Article 19; provided that no such activity shall be allowed within ten (10) feet of a regulated wetland unless specifically approved by the Planning Commission.

13.02.05 Variances from the Wetland Setback Requirement

In considering a variance for the wetland setback, the applicant must demonstrate to the Board of Appeals:

- (a) the setback is not necessary to preserve the wetland's ecological and aesthetic value.
- (b) the natural drainage pattern to the wetland will not be significantly affected;
- (c) the variance will not increase the potential for erosion, either during or after construction;
- (d) no feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed; or
- (e) MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 13.02.05.

- (a) Evidence should be provided that the setback is not necessary to preserve the wetland's ecological and aesthetic value. The application indicates that a wetland specialist has determined that the wetlands have low ecological and aesthetic value.
- (b) The natural drainage pattern could be affected due to the proposed driveway being located in an area that has only been a path. Additional information should be provided in regards to the need for culverts which would have a greater impact to the wetland buffer.

- (c) Applicant has stated that proper soil erosion control measures will be followed during construction. Wetland buffer could be permanently demarcated with signage to indicate the edge of the undisturbed natural area and could remain in perpetuity to ensure future owners do not further encroach.
- (d) The Township ordinance requirement is 16 feet with the ability to be reduced down to 12 feet in order to preserve wetlands. The driveway should be reduced to an approved width to the minimum amount necessary.
- (e) An EGLE permit is not needed for a work inside in the 25-foot natural features setback from the wetland. However, EGLE did issue an after the fact permit for an area of the approach that did encroach into a wetland.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. The applicant shall permanently demarcate and install signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.
2. The entire remaining setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
3. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
4. No other encroachments on the entire property are allowed

CERTIFIED BOUNDARY SURVEY
PARCEL A BUILDING ENVELOPE DETAILS

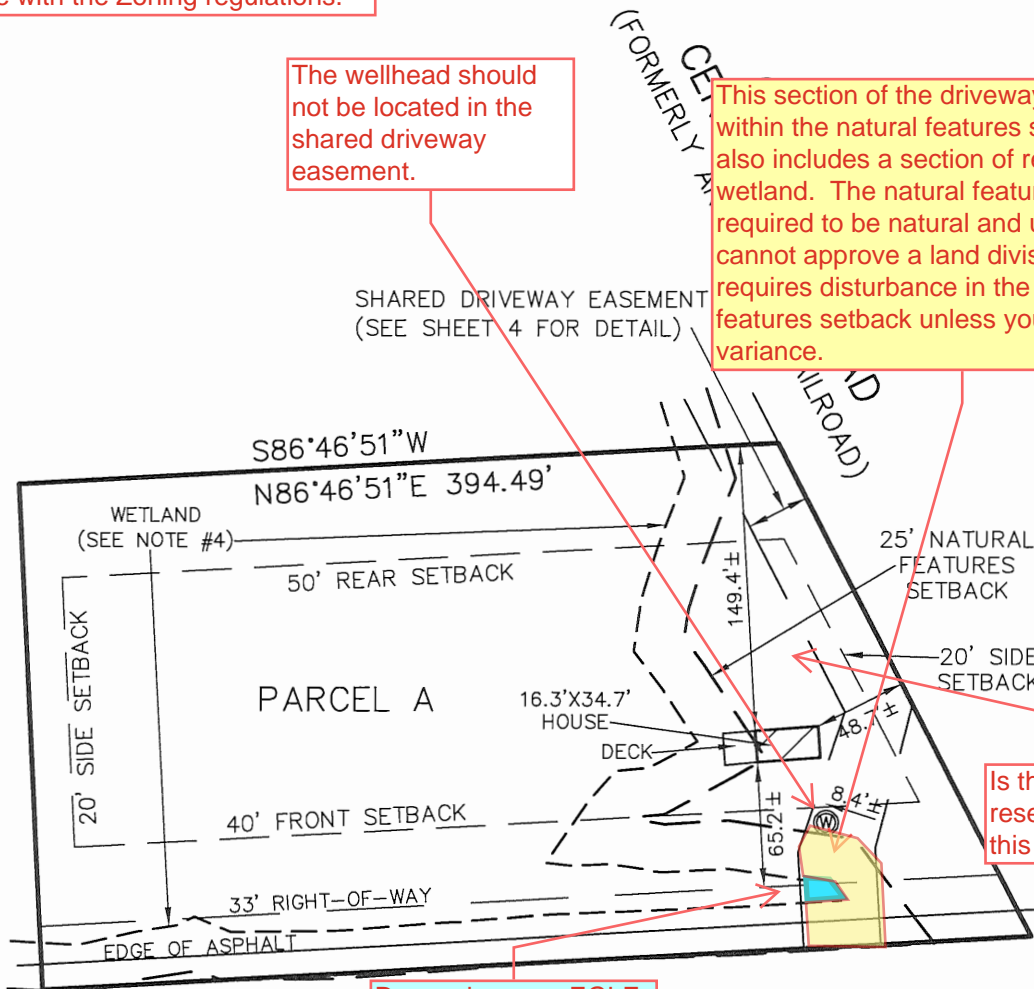
FOR: PROPERTY SERVICES UNLIMITED, LLC

The building envelope on this lot is extremely small. Can you provide a detail area of the building envelope at a smaller scale showing the driveway easement and space for a reserve septic? We need to make sure that this new parcel can be used in accordance with the Zoning regulations.



The wellhead should not be located in the shared driveway easement.

This section of the driveway easement is within the natural features setback and also includes a section of regulated wetland. The natural features setback is required to be natural and undisturbed. I cannot approve a land division that requires disturbance in the natural features setback unless you obtain a variance.



Is there room for a reserve septic field on this lot?

Do you have an EGLE permit to install the driveway within the wetland? This should be provided prior to any land divisions.



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SCALE 1" = 100'



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BRYAN LAND SURVEYS

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13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY AN

SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

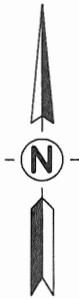
JOB NUMBER:

SHEET 10 OF 13

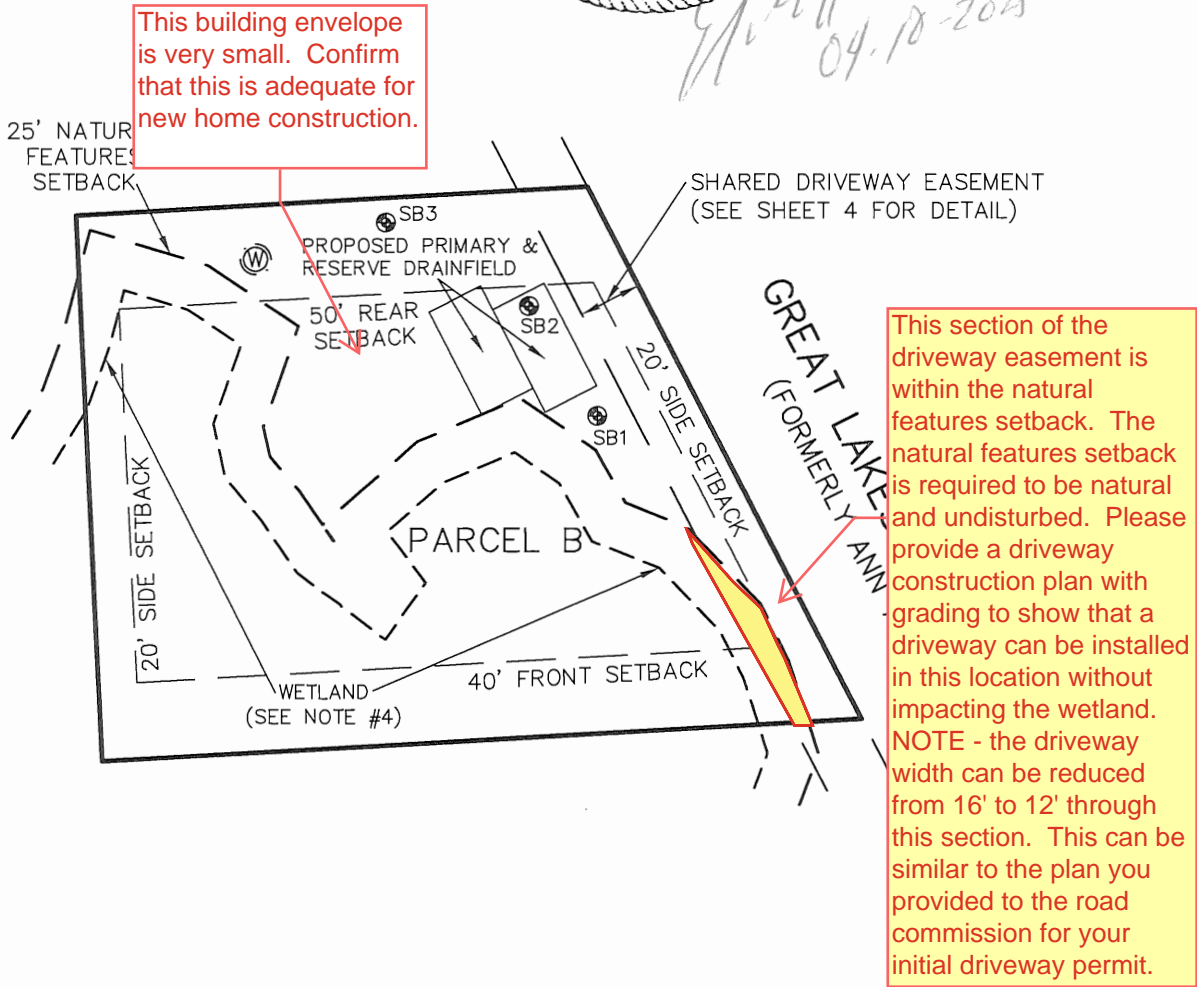
103586.BND-3

CERTIFIED BOUNDARY SURVEY
PARCEL B BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



Handwritten signature and date: 04-18-2025

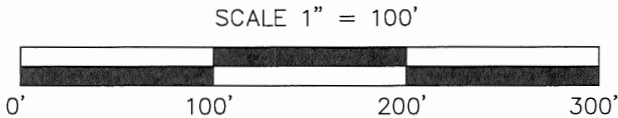


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DRAWN BY AN		SECTION 28, T2N, R5E
FIELD WORK BY NW/HS		JOB NUMBER:
SHEET 11 OF 13		103586.BND-3

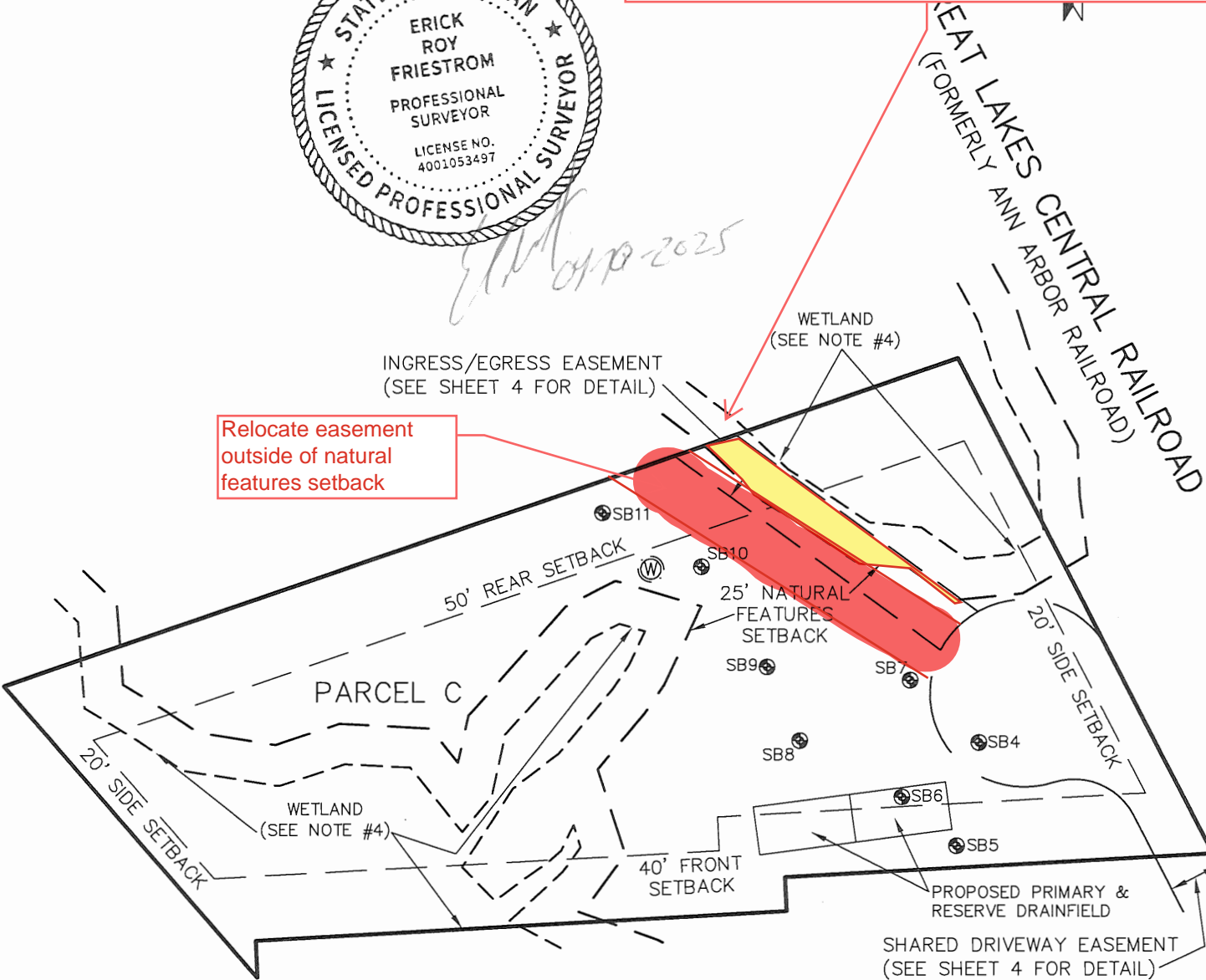
CERTIFIED BOUNDARY SURVEY
PARCEL C BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



E. Friestrom
01/10/2025

This section of the driveway easement is within the natural features setback. The natural features setback is required to be natural and undisturbed. You have room to shift this easement west to avoid the natural features setback.



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DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	
SHEET	12 OF 13		103586.BND-3

From: [Bryana Guevara](#)
To: [Carrie Aulette](#)
Cc: [dave bair](#); [Kelly VanMarter](#)
Subject: Re: 4433 brighton rd
Date: Wednesday, July 9, 2025 2:13:11 PM
Attachments: [image003.png](#)

Hi,

I wanted to confirm that the proposed new shared driveway is located within an upland area. While a portion of the driveway appears to fall within the 25-foot wetland setback, it is not anticipated to significantly impact the adjacent wetland—provided that site grading and hydrology are managed in a way that does not alter the existing hydrologic regime.

Please note that the 25-foot wetland setback is a Township-specific requirement, and the Township is responsible for determining whether an encroachment within that buffer is permissible. Without detailed plans for the proposed driveway, I cannot determine with certainty what impacts, if any, are proposed since it is in the upland (non regulated area)

Additionally, the Michigan Department of Environment, Great Lakes, and Energy (EGLE) only requires a permit for direct impacts to regulated wetlands/streams, including activities such as filling, grading, excavation, or the discharge of stormwater into a wetland or stream. Based on current information, no such direct impacts are likely proposed, but I would like to see the grading or site plan for the proposed driveway to be sure.

Please let me know if you need anything further or if additional information.

Best regards,

Bryana J. Guevara, PWS, CE
Marx Wetlands LLC

On Wed, Jul 9, 2025 at 9:50 AM Carrie Aulette <carrie@genoa.org> wrote:

Hi Bryana,

We were hoping Dave could submit something that states whether or not this driveway construction will have an impact on the surrounding wetlands. We do have a 25' buffer. I have attached a copy of Article 13 for you to review. Please let me know if you have any further questions.

[Carrie Aulette](#)

[Zoning Official](#)



**MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION
PERMIT**

Issued To:

**Dave Bair
9552 E. Highland Road
Howell, Michigan 488439098**

**Permit No: WRP045417 v.1
Submission No.: HQC-RG7N-Q5VAC
Site Name: 47-4433 Brighton Rd-Brighton
Issued: June 12, 2025
Revised:
Expires: June 12, 2030**

This permit is being issued by the Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); specifically:

- | | |
|-------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------|
| <input type="checkbox"/> Part 301, Inland Lakes and Streams | <input type="checkbox"/> Part 323, Shorelands Protection and Management |
| <input checked="" type="checkbox"/> Part 303, Wetlands Protection | <input type="checkbox"/> Part 325, Great Lakes Submerged Lands |
| <input type="checkbox"/> Part 315, Dam Safety | <input type="checkbox"/> Part 353, Sand Dunes Protection and Management |
| <input type="checkbox"/> Part 31, Water Resources Protection (Floodplain Regulatory Authority) | |

EGLE certifies that the activities authorized under this permit are in compliance with the State Coastal Zone Management Program and certifies without conditions under the Federal Clean Water Act, Section 401 that the discharge from the activities authorized under this permit will comply with Michigan's water quality requirements in Part 31, Water Resources Protection, of the NREPA and associated administrative rules, where applicable.

Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:

Authorized Activity:

Place approximately seven (7) cubic yards of fill material in 0.01 acre of wetland to construct a driveway through 18 feet of wetland.

All work shall be completed in accordance with the attached plans and specifications of this permit.

This permit is issued after-the-fact and authorizes only the construction as specified above.

**EGLE
WRP045417 v.1.0
Approved
Issued On:06/12/2025
Expires On:06/12/2030**

Waterbody Affected: Emergent Wetland
Property Location: Livingston County, Genoa Charter Township, Town/Range/Section
02N05E28, Property Tax No. 11-28-300-006

Authority granted by this permit is subject to the following limitations:

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31 of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with 2013 PA 174 (Act 174) and comply with each of the requirements of Act 174.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.
- I. Permittee shall notify EGLE within one week after the completion of the activity authorized by this permit by completing and forwarding the attached preaddressed postcard to the office addressed thereon.
- J. This permit shall not be assigned or transferred without the written approval of EGLE.
- K. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- L. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31 of the NREPA, and wetlands).
- M. In issuing this permit, EGLE has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, EGLE may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- N. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the state: (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the state, and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act, 1969 PA 306, as amended, challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.
- O. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this permit, in whole or in part. Further, EGLE may initiate criminal and/or civil proceedings as may be

deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.

- P. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from EGLE. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by EGLE prior to being implemented.
- Q. This permit may be transferred to another person upon written approval of EGLE. The permittee must submit a written request to EGLE to transfer the permit to the new owner. The new owner must also submit a written request to EGLE to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties that includes all the above information may be provided to EGLE. EGLE will review the request and, if approved, will provide written notification to the new owner.
- R. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit are held responsible to ensure that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.
- S. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- T. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA).
- U. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- V. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property is subject to civil damage litigation.
- W. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the water body are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- X. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the Michigan Department of Natural Resources, Fisheries Division.
- Y. Work to be done under authority of this permit is further subject to the following special instructions and specifications:
 - 1. All raw areas in uplands resulting from the permitted construction activity shall be effectively stabilized with sod and/or seed and mulch (or other technology specified by this permit or project plans) in a sufficient quantity and manner to prevent erosion and any potential siltation to surface waters or wetlands. Temporary stabilization measures shall be installed before or upon commencement of the permitted activity, and shall be maintained until permanent measures are in place. Permanent measures shall be in place within five (5) days of achieving final grade.
 - 2. All raw earth within 100 feet of a lake, stream, or wetland that is not brought to final stabilization by the end of the active growing season shall be temporarily stabilized with mulch.

blankets in accordance with the following dates: September 20th for the Upper Peninsula, October 1st for the Lower Peninsula north of US-10, and October 10th for the Lower Peninsula south of US-10.

3. All equipment and vehicles shall be thoroughly cleaned and washed prior to entering the work site to prevent contamination by invasive plant and animal species. The permittee and contractors shall take steps to minimize the risk of spreading terrestrial and aquatic invasive species during this project and will take measures to prevent spread, where feasible. Specific prevention measures include the following:
 - a. Visually inspecting and removing any plants or mud from footwear (boots, hip-boots, and waders).
 - b. Visually inspecting and removing and properly disposing of any plants and mud from field equipment (nets, shovels, rakes, etc.) and vehicles.
 - c. Draining all water from vehicles and equipment, prior to leaving the site and before entering a new waterbody.
 - d. Thoroughly drying equipment (5-7 days, if possible) between sites, when possible.
 - e. Disinfecting vehicles and equipment between sites (e.g., diluted bleach solution, heated pressure washer), when possible. Disinfection should be conducted away from surface waters, where the disinfecting solution will not enter any storm sewers and/or surface waters.
 - f. Typical diluted bleach solution treatment is 1/2 cup (four fluid ounces) bleach to five gallons of water, applied by spraying or sponge so surface is thoroughly exposed to bleach solution for 10 minutes.
 - g. Typical heated pressure wash is 1400 water temperature, sprayed for 5-10 seconds.
 - h. Thoroughly washing vehicles and boats between sites (e.g., drive-through car wash).
 - i. Using only native plants and seed for restorations and best management practices.
 - j. If invasive aquatic or terrestrial plants are removed from a site, the permittee will take steps to minimize the spread of these species. Dispose of invasive plant material by bagging and transporting to a landfill, composting, or burning, as appropriate and in compliance with local and state laws.
 - k. A "Watch List" of Michigan's high priority aquatic invasive species along with how to report sightings can be found at <https://www.michigan.gov/invasives>.
4. All fill/backfill shall consist of clean inert material that will not cause siltation nor contain soluble chemicals, organic matter, pollutants, or contaminants. All fill shall be contained in such a manner so as not to erode into any surface water, floodplain, or wetland. All raw areas associated with the permitted activity shall be stabilized with sod and/or seed and mulch, riprap, or other technically effective methods as necessary to prevent erosion.
5. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
6. Authority granted by this permit does not waive permit or program requirements under Part 91 of the NREPA or the need to acquire applicable permits from the CEA. To locate the Soil Erosion Program Administrator for your county, visit <https://www.michigan.gov/egle/about/organization/water-resources/soil-erosion/sesc-overview> and select "Soil Erosion and Sedimentation Control Agencies".

7. The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive the permittee's obligation to acquire any local, county, state, or federal approval or authorization necessary to conduct the activity.
8. No fill, excess soil, or other material shall be placed in any wetland, floodplain, or surface water area not specifically authorized by this permit, its plans, and specifications.
9. This permit does not authorize or sanction work that has been completed in violation of applicable federal, state, or local statutes.
10. The permit placard shall be kept posted at the work site in a prominent location at all times for the duration of the project or until permit expiration.
11. This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by EGLE, will be for a five-year period beginning on the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.

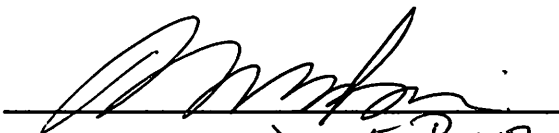


Issued By: _____

Matthew Rogers
Lansing District Office
Water Resources Division
517-388-6869

THIS PERMIT MUST BE SIGNED BY THE PERMITTEE TO BE VALID.

I hereby assure that I have read, am familiar with, and agree to adhere to the terms and conditions of this permit.

Permittee Signature DAVE BAIR-member6-17-2025
Date

cc: Genoa Charter Township Clerk
Livingston County Drain Commissioner
Livingston County CEA

EGLE
WRP045417 v1.0
Approved
Issued On: 06/12/2025
Expires On: 06/12/2030

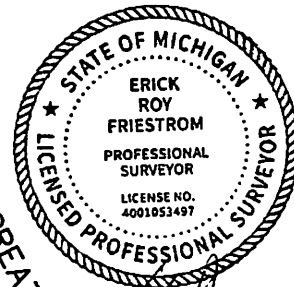
CERTIFIED BOUNDARY SURVEY PARCEL A BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC

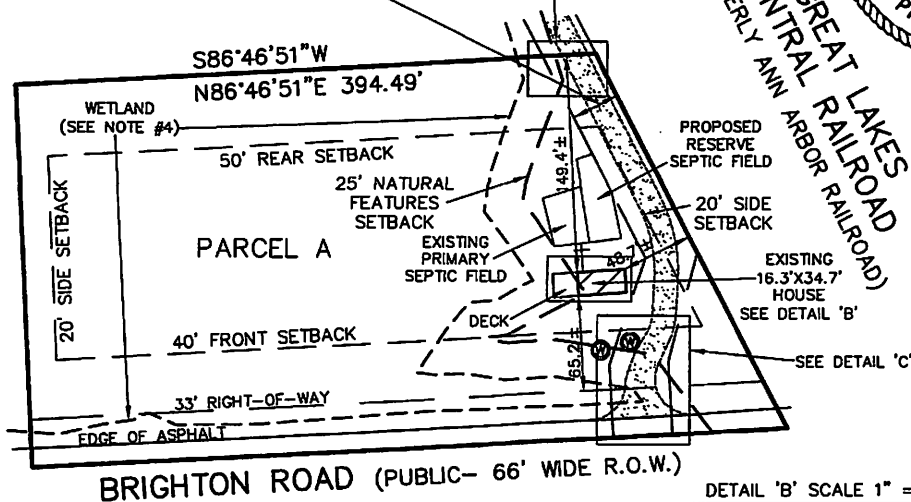
SHARED DRIVEWAY EASEMENT
(SEE SHEET 4 FOR DETAIL)
DRIVEWAY WILL BE A UNIFORM 16' WIDTH
AND CONSTRUCTED OF MATERIALS SUITABLE
TO ACCOMMODATE AN EMERGENCY VEHICLE

SEE DETAIL 'A'

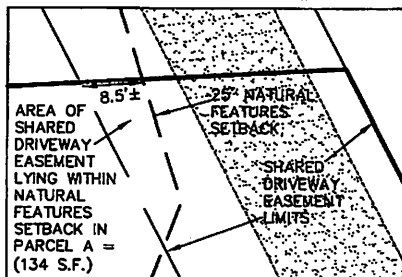
GREAT LAKES
CENTRAL RAILROAD
(FORMERLY ANN ARBOR RAILROAD)



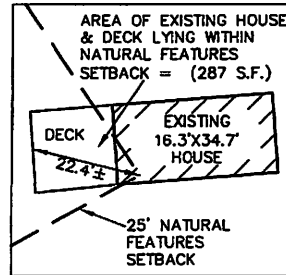
05-29-2025



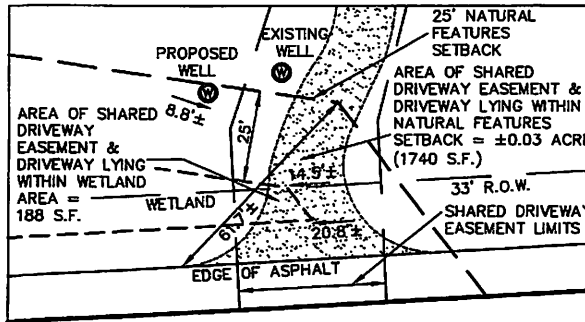
DETAIL 'A' SCALE 1" = 20'



DETAIL 'B' SCALE 1" = 30'



DETAIL 'C' SCALE 1" = 30'



NOTES:

1. ALL EASEMENTS MAY NOT BE SHOWN
2. ALL DIMENSIONS ARE AS MEASURED UNLESS NOTED OTHERWISE
3. SOIL BORING LOCATIONS SHOWN HEREON BASED ON LATITUDE/LONGITUDE AS PROVIDED BY CLIENT
4. WETLAND DELINEATION SHOWN PER MARX WETLANDS, LLC
DELINEATION COMPLETED AND FLAGGING LOCATED BY KEBS, INC. IN DECEMBER 2024

LEGEND

- = Proposed Gravel Driveway Surface
- = Set 1/2" Bar with Cap
- = Found Iron as Noted
- = Survey Boundary Line
- = Distance Not to Scale
- = Soil Boring Location
- = Existing Well Location

All Dimensions are in Feet and Decimals Thereof.

SCALE 1" = 100'



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 48068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY AN

SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

JOB NUMBER:

SHEET 5 OF 13

103586.BND+4

Approved
Issued On: 06-12-2025
Expires On: 06-12-2030

From: [C. Gray](#)
To: [Carrie Aulette](#)
Subject: Comment: Proposed Variance 4433 Brighton Road
Date: Tuesday, June 3, 2025 7:40:28 PM

Thank you for the opportunity to share my concerns on the proposed variance at 4433 Brighton Road. Per your letter the request is for a wetland setback variance and any other variances deemed necessary by the Zoning Board of Appeals to install a shared driveway to allow for property to be split.

We request that the Zoning Board of Appeals **reject** the requested wetland setback variance. The request would negatively impact the wetlands in the proposed area. We purchased our home in 2017 feeling certain that the natural environment provided from the wetland area, which is directly behind our home, would not be disrupted. It is very disappointing that the wetland could be severely disrupted or even destroyed by allowing the driveway to be installed. Has the Zoning Board of Appeals asked for an environmental impact study to be conducted?

We are sure the Huron Rivershed would also be interested in this information. In southeastern Michigan, the Huron River watershed spans a land area of more than 900 square miles and drains water to the Huron River through hundreds of tributary creeks and streams. The river itself flows more than 125 miles from its headwaters at Big Lake, near Pontiac, to its mouth at Lake Erie. About 1200 miles of creeks and streams flow into the Huron's main branch. The river's drainage area includes seven Michigan counties (Oakland, Livingston, Ingham, Jackson, Washtenaw, Wayne, Monroe) and 68 municipal governments, serving six hundred and fifty thousand residents. The spectrum of land use and water environments ranges across remote natural preserves, cultivated farmland, urban and industrial centers, suburban sprawl, and an equal diversity of lakes, ponds, wetlands, creeks, and streams.

Our home is located in the Chilson Creekshed (3915 Honors Bluff Dr). The bottom line is that the wetland setback variance is going to disrupt, if not destroy the ecosystem that is vital to our water system and environment. If the creekshed loses this natural wetland area, it will lose the ecosystem services it currently provides.

Here are some additional facts:

Creekshed Ecological Health Score: 58/100 (Slightly Impacted)

History

Chilson Creek flows through land enriched by glaciers with deep deposits of sand and gravel, and is part of the lake belt that stretches through Livingston and Oakland Counties.

What was once oak-hickory forests and oak barrens on higher ground and inland wet prairie in low lying areas was first converted to farm fields and today is mostly single family homes spread out throughout the landscape and clustered around the lakes.

Two dams were built in Brighton Recreation Area in 1961, creating Lower and Upper Chilson

Pond. These dams are earthen embankments roughly 8 feet tall and 120 feet long and were installed to create shallow lake habitat suitable for waterfowl hunting.

Creekshed Facts

The Chilson creekshed is one of the smaller major drainages in the Huron River, draining only 17 square miles. The creek's slope (averaging 14 feet per mile) is average for the Huron watershed.

There are 13 lakes in the creekshed, including the residential East and West Crooked Lake, the dammed Lower and Upper Chilson Ponds, and the forested Bishop Lake which is located in Brighton Recreation Area. The creekshed also contains 22 ponds.

Chilson Creek eventually empties into Zukey Lake, which opens into Strawberry Lake, part of the Chain of Lakes of the Huron River.

Land Use

Grade: B

Impervious surfaces, such as paved roads or parking lots, prevent rainwater from soaking into the ground as it naturally would.

Numerous studies have shown that fish and insect communities are less diverse when the watershed is over 10-12% impervious surface. Only 7% of the creekshed is currently impervious, so the creek enjoys the benefits of the natural water cycle.

Natural Areas

Grade: B

About 22% of the creekshed remains as intact natural areas, about half of which is in the Brighton State Recreation Area. Without designated protection, the rest of these natural areas face an uncertain future.

Challenges

- The five dams on Chilson Creek are the primary cause of poor habitat, high fine sediment levels, and low summer flows. The dams' only purpose is to create imoundments for recreations, and must be removed before conditions on Chilson Creek can improve.
- It is important for the creekshed's three golf courses to reduce nutrient runoff, maintain buffers, and use organic turf management. The Michigan Turfgrass Environmental Stewardship Program offer certification programs for golf courses.
- Except for Brighton State Recreation Area, nearly all of the natural areas in the creekshed are under private ownership and designated for development. If the creekshed loses these natural areas, it will lose the ecosystem services they currently provide.

What you can do

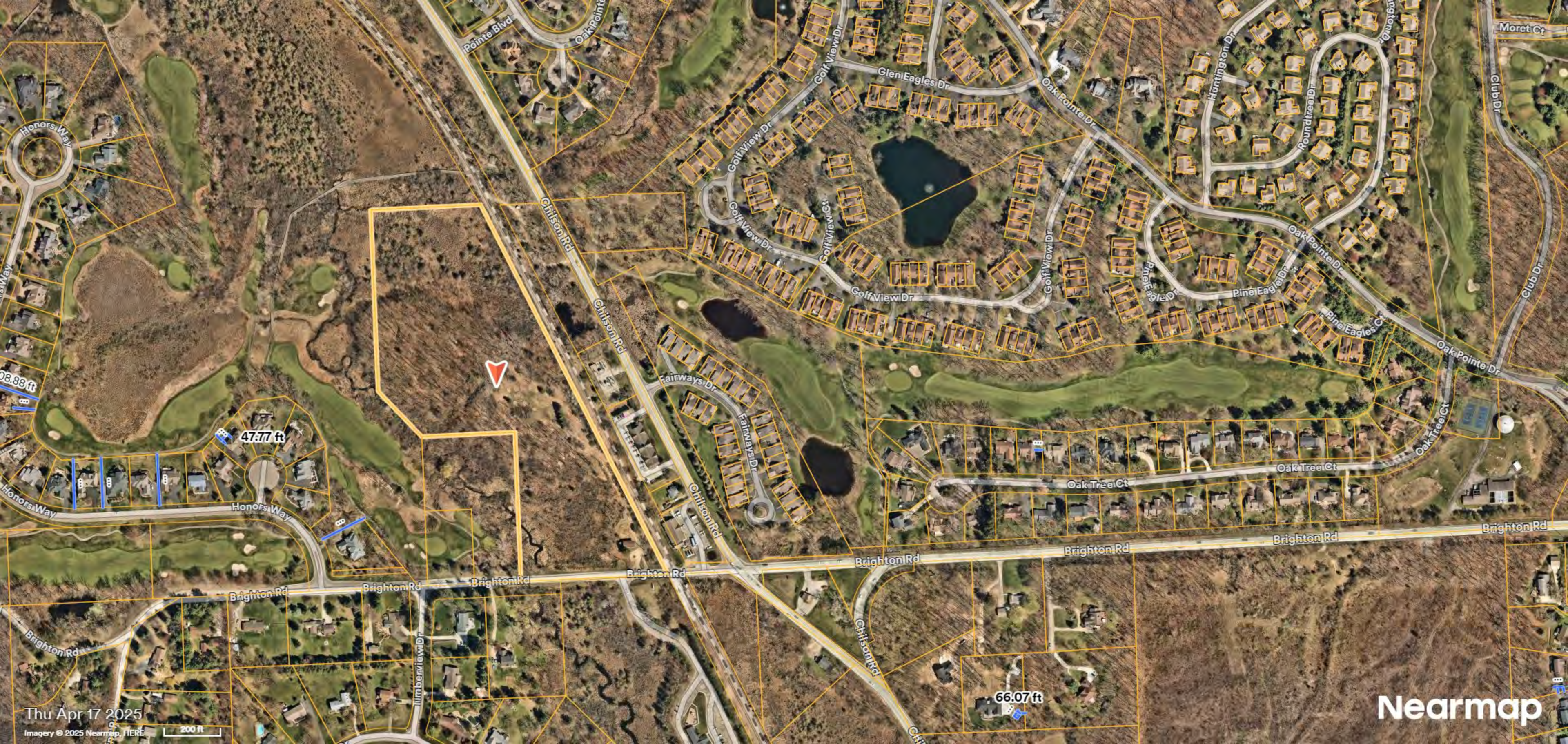
- Have your septic system checked regularly. Leaking septic systems can be a large source of phosphorus and E. coli

- Maintain a 25 foot vegetated buffer, ideally made of native plants, from all waterways: ditches, creeks, lakes, and wetlands
- If you own property with a natural area, work with a land conservancy to establish an easement to protect it from future development
- Advocate for ordinances related to stormwater, natural lands, and land preservation
- Volunteer with HRWC and come learn about the river and land that drains to the Huron River.

Thank you for your consideration,
Chris and Greg Gray
3915 Honors Bluff
Howell, MI
810-844-6142

From: rw88@comcast.net
To: [Carrie Aulette](#)
Subject: proposed variance -4433 Brighton Road
Date: Thursday, June 12, 2025 8:46:20 AM

We are property owners at 4404 Braeburn Ct Brighton MI- We received your letter dated May 30th regarding a proposed variance for a wetland setback. As property owners we want to state we oppose the wetland setback variance to install a shared driveway in order for the property to be split. We encourage the board to consider all the wetland that is on or near this property and how developing those areas may affect other properties such as ours. The wetlands behind our home are changing and our backyard is becoming increasingly wetter-the wetlands are expanding. We do not believe allowing this variance to go forward provides any benefit to the residents of Genoa county or the properties that are located within 300 feet of this property in question. We encourage the board members to deny the request. Richard and Sharon Wilkins-property owners



Thu Apr 17 2025

Imagery © 2025 Nearmap, HERE

200 ft

Nearmap

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
SHAKARIAN & POSER LIFE EST	PROPERTY SERVICES UNLIMITED	300,000	01/15/2025	WD	03-ARM'S LENGTH	2025R-001108	BUYER/SELLER	100.0				
SHAKARIAN, CAROL & POSER,	SHAKARIAN & POSER LIFE EST	0	11/04/2013	WD	21-NOT USED/OTHER	2013R-044493	BUYER/SELLER	0.0				
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: SR		Building Permit(s)		Date	Number	Status		
4433 BRIGHTON RD		School: BRIGHTON AREA SCHOOLS		HOME		09/13/1995		95-367	75%			
Owner's Name/Address		P.R.E. 0%										
PROPERTY SERVICES UNLIMITED LLC		MAP #: V25-12										
9552 E HIGHLAND RD		2026 Est TCV 245,820 TCV/TFA: 237.28										
HOWELL MI 48843		X	Improved	Vacant	Land Value Estimates for Land Table 4501.4501 (47010) BRIGHTON M & B							
Tax Description		Public Improvements			* Factors *							
SEC. 28 T2N, R5E ALL OF SE 1/4 OF SW 1/4 LYING W OF A. A. R. R R/W, EXC BEG SW COR OF SE 1/4 OF SW 1/4, N 700 FT, TH S 38*E 235 FT, TH E 330 FT, TH S 528 FT, TH W 478.5 FT TO POB		Dirt Road			Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
Comments/Influences		Gravel Road			TABLE A			1.590 Acres	15,296	85	RR/COMMERCIAL INFLUENCE	2
		Paved Road			WETLANDS			11.910 Acres	9,630	85	RR/COMMERCIAL INFLUENCE	9
		Storm Sewer			13.50 Total Acres Total Est. Land Value = 118,159							
		Sidewalk										
		Water										
		Sewer										
		Electric										
		Gas										
		Curb										
		Street Lights										
		Standard Utilities										
		Underground Utils.										
		Topography of Site										
		Level										
		Rolling										
		Low										
		High										
		Landscaped										
		Swamp										
		Wooded										
		Pond										
		Waterfront										
		Ravine										
		Wetland										
		Flood Plain										
		X	REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value	
		Who	When	What	2026	59,100	63,800	122,900			122,900S	
		JB	08/27/2024	REVIEWED R	2025	59,100	63,800	122,900			85,141C	
					2024	59,100	62,300	121,400			82,254C	
					2023	55,500	58,800	114,300			78,338C	

The Equalizer. Copyright (c) 1999 - 2009.
Licensed To: Township of Genoa, County of Livingston, Michigan

Building Type		(3) Roof (cont.)		(11) Heating/Cooling		(15) Built-ins		(15) Fireplaces		(16) Porches/Decks		(17) Garage	
X Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang		X Gas Wood Oil Coal Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas		Area Type 240 Treated Wood		Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:	
X Wood Frame		(4) Interior		X Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling									
Building Style: D		Drywall Paneled		Plaster Wood T&G									
Yr Built 2003		Remodeled 0		Ex X Ord Min									
Condition: Good		Size of Closets		Lg X Ord Small									
Room List		Doors: Solid X H.C.		Central Air Wood Furnace									
Basement 1st Floor 2nd Floor 2 Bedrooms		(5) Floors		(12) Electric									
(1) Exterior		Kitchen: Other: Other:		0 Amps Service									
X Wood/Shingle Aluminum/Vinyl Brick		(6) Ceilings		No./Qual. of Fixtures									
Insulation				Ex. X Ord. Min									
(2) Windows		(7) Excavation		No. of Elec. Outlets									
Many Avg. X Avg. Large Small		Basement: 512 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0		Many X Ave. Few									
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement		(13) Plumbing									
		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan									
(3) Roof		(9) Basement Finish		(14) Water/Sewer									
X Gable Hip Flat		Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)		Public Water Public Sewer Water Well 1 1000 Gal Septic 1 2000 Gal Septic									
X Asphalt Shingle		(10) Floor Support		Lump Sum Items:									
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:											

Cost Est. for Res. Bldg: 1 Single Family D

(11) Heating System: Forced Air w/ Ducts

Ground Area = 512 SF Floor Area = 1036 SF.

Phy/Ab.Phy/Func/Econ/Comb. % Good=86/100/100/100/86

Building Areas

Stories	Exterior	Foundation	Size	Cost New	Depr. Cost
2 Story	Siding	Basement	512		
1 Story	Siding	Overhang	12		
Total:				118,619	102,014

Other Additions/Adjustments

Plumbing					
3 Fixture Bath	1	3,360		2,890	
Water/Sewer					
1000 Gal Septic	1	4,414		3,796	
Water Well, 200 Feet	1	10,359		8,909	
Deck					
Treated Wood	240	4,620		3,973	
Totals:		141,372		121,582	

Notes:

ECF (4501 (47010) BRIGHTON M & B) 1.050 => TCv:

127,661



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-14

Meeting Date: July 15, 2025 @ 6:30 pm
in Boardroom

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Zaid Abro Email: Zaid.Abro44@yahoo.com

Property Address: 3200 E Grand river Phone: 248-872-9818

Present Zoning: _____ Tax Code: 4711-05-303-031

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: ~~Added~~ I have
added brick around my Pole Sign

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The variance does not face practical difficulties/hardships that prevent compliance with existing zoning regulations. It adheres to current dimensional requirements and does not require special consideration.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

There are no extraordinary or exceptional circumstances unique to the property that differentiate it from neighboring parcels. The use/conditions of property are consistent with other properties.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The variance will not negatively impact public safety, welfare, or comfort. It does not obstruct air or light, create fire hazards, or contribute to increased traffic or congestion.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

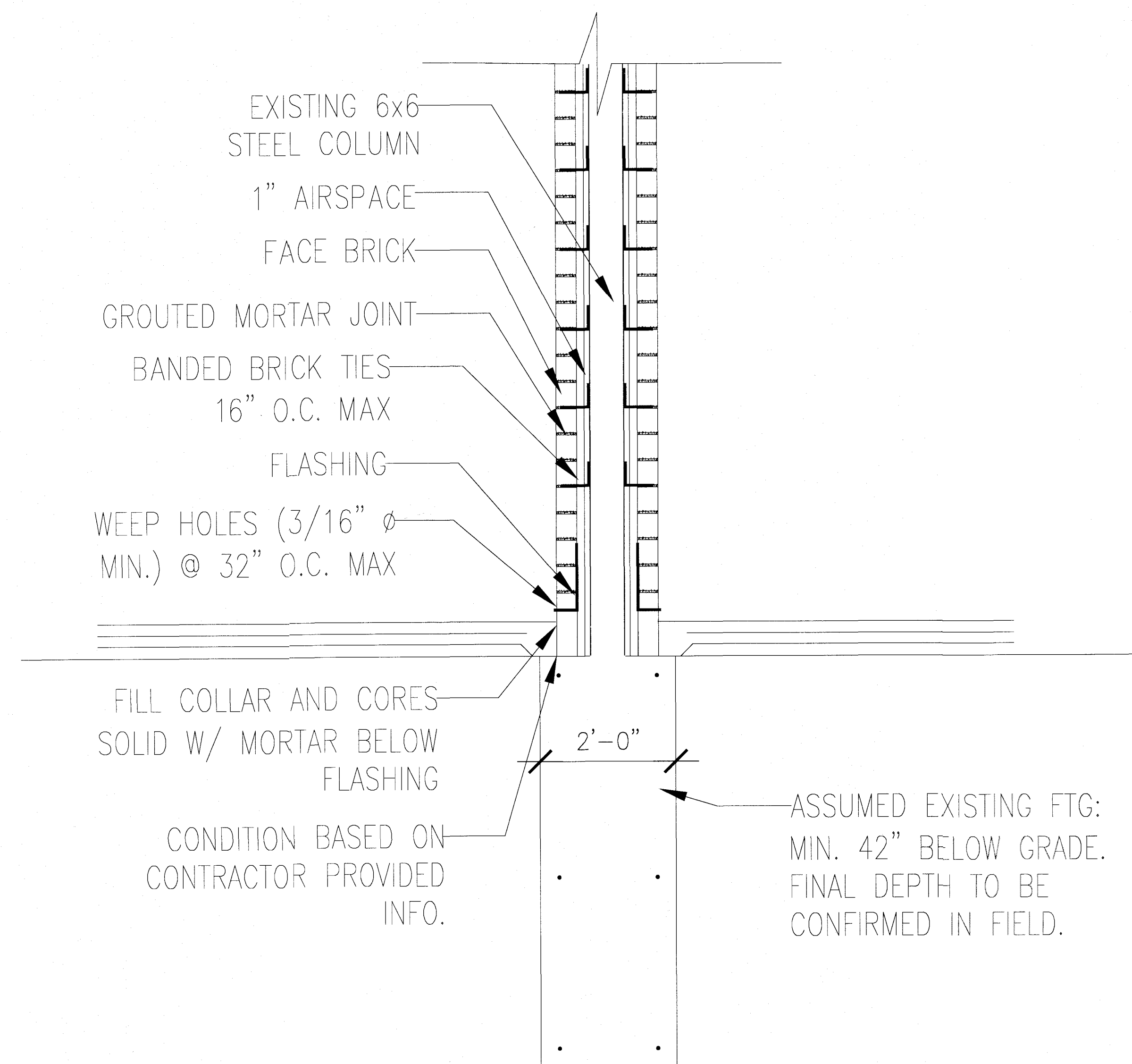
The variance will not interfere with/discourage the appropriate development or use of nearby properties. It will maintain the value, appearance, and character of surrounding neighborhood.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

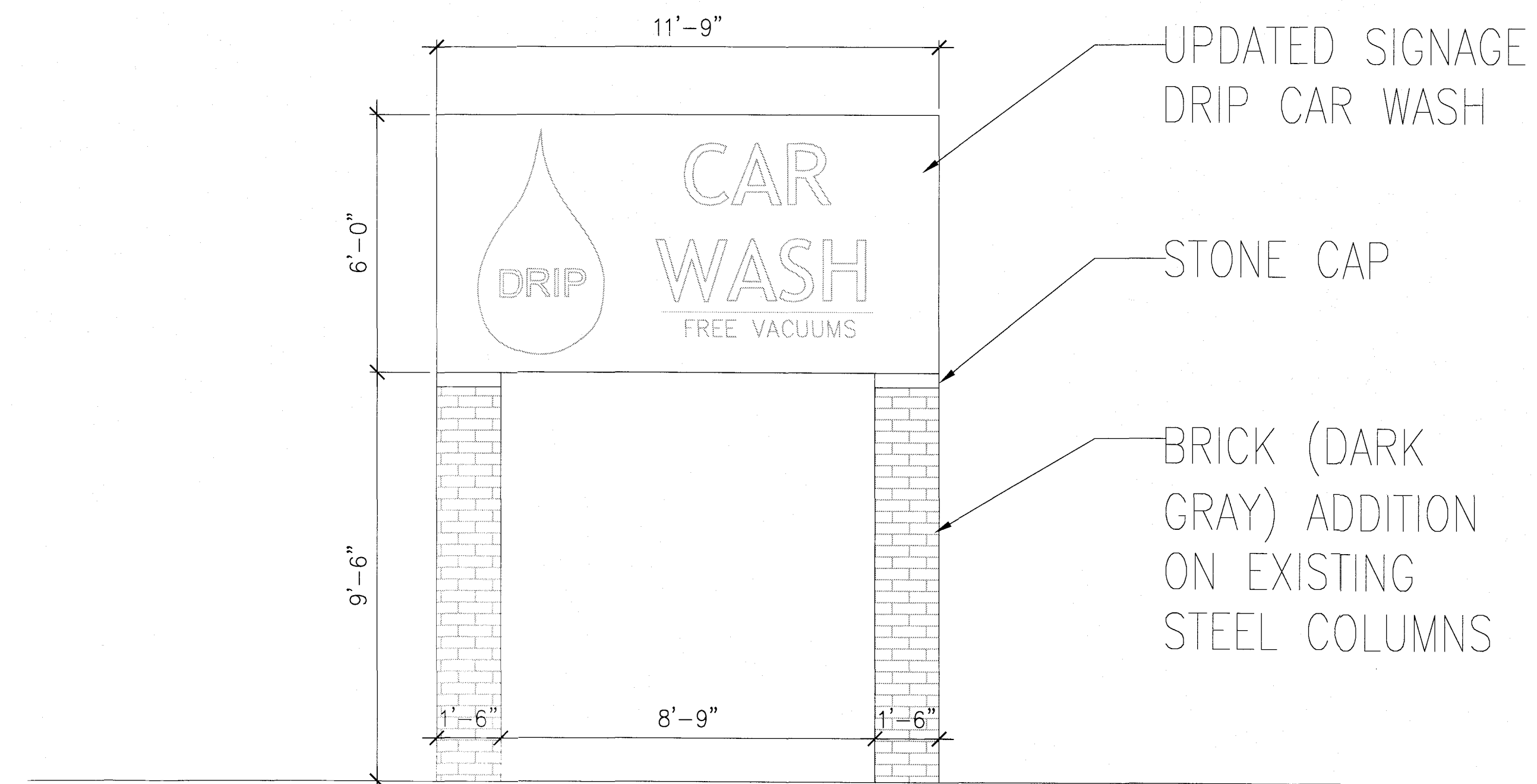
Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

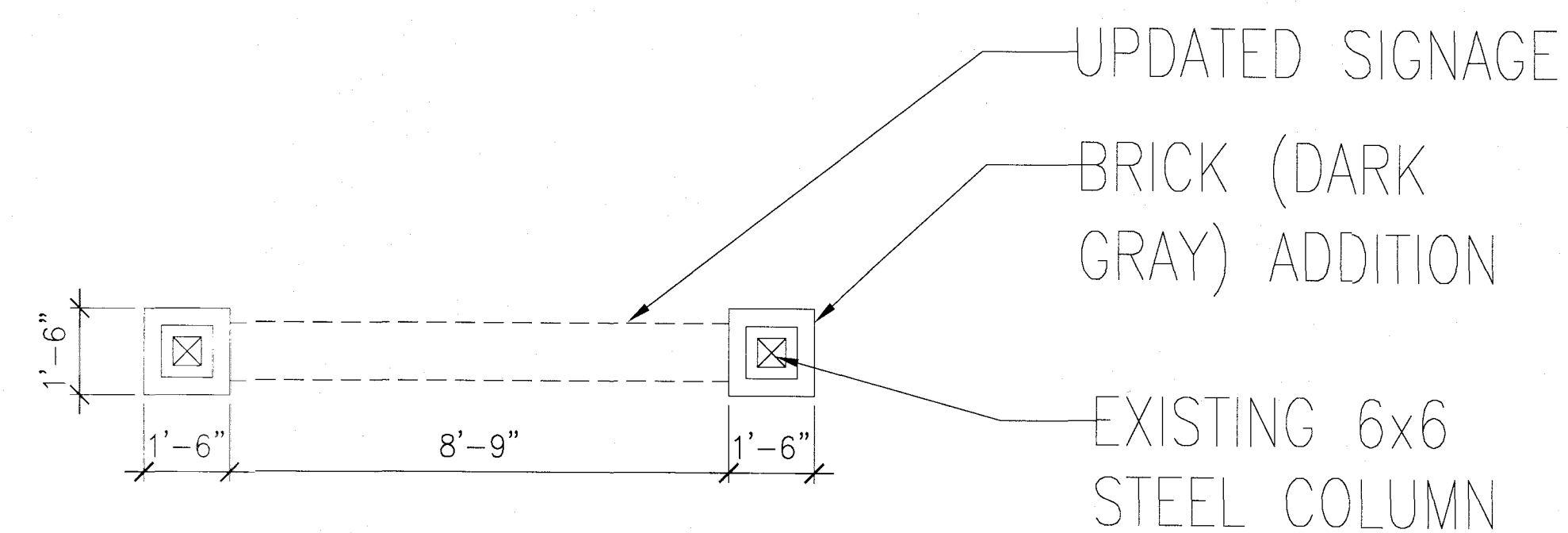
Date: 6/16/2023 Signature: [Signature]



AS-BUILT SIGNAGE SECTION
SCALE: 3/4" = 1'-0"



AS-BUILT SIGNAGE ELEVATION
SCALE: 3/8" = 1'-0"



AS-BUILT SIGNAGE PLAN
SCALE: 3/8" = 1'-0"

NOTE: AS-BUILT DRAWING PREPARED BASED ON
OWNER/CONTRACTOR PROVIDED INFORMATION
NOT VERIFIED IN FIELD BY ARCHITECT



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: July 9, 2025
RE: ZBA 25-14

STAFF REPORT

File Number: ZBA#25-14
Site Address: 3200 East Grand River-Drip Carwash
Parcel Number: 4711-05-303-031
Parcel Size: 1.007 acres
Applicant: Zaid Abro
Property Owner: Howell Holding 2 LLC
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a front yard setback variance and a size variance to allow for an after the fact modification of an existing pole signs.
Zoning and Existing Use: GCD (General Commercial District)
Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 29, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Township Records, the carwash was built in 1999 and remodeled in 2024.
- The parcel is serviced by municipal sewer & water
- See Assessing Record Card.

Summary: The applicant is requesting an *after the fact* front yard & size variance for alterations made to an existing pole sign. Staff would like to point out that the Ordinance was amended 9-29-24 to allow for pole signs, the highlighted section below is what the variance is being requested from.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

- 16.07.10 **Pole signs.** Pole signs are permitted subject to the sign standards contained herein provided that the signs are subject to the setbacks applicable to principal buildings for the zoning district in which they are located and shall not exceed four (4) square feet in size with a maximum height of six (6) feet. (as amended 09/29/24)
- 24.04.06 **Repairs, Improvements and Modernization:** Repairs, improvements, or modernization of non-conforming buildings or structures shall be permitted provided such repairs or improvements do not exceed one-half (1/2) of the value of the building or structure during any period of twelve (12) consecutive months. *It is believed that repairs would have exceeded ½ the value of the sign.*

Pole Sign Requirements	ROW Setback	Sign Height	Sign Sq Feet
Required	35'	6'	4 sf
Amount Requested	15'	15'6"	70.5 sf
Variance Amount	20'	9'6"	66.5 sf



Figure 2 Prior to Alteration, image is a distorted Google Earth image



Figure 1 After Alteration

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –As indicated by the applicant, there does not appear to be practical difficulty or hardships that exists. There are a number of existing poles signs in the area, allowing this sign to remain would not have a huge impact.
- (b) Extraordinary Circumstances** – As indicated by the applicant, this particular property does not appear to have an extraordinary circumstance that differentiates it from other properties.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire. The location of the sign will not interfere with traffic on Grand River or vehicles entering or existing the property.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Signs must meet the lighting requirements of Article 16.06.05.
2. No additional pole signs may be erected, any future signage would be required to meet the Ordinance. Any current signage that is non-compliant on the property must be removed.

If the Zoning Board of Appeals denies the variance requests, staff recommends the following conditions be placed on the denial.

1. The sign shall be brought into compliance with the Ordinance within 45 days.
2. Nearby pole signs are legally non-conforming but have not been granted variances to expand or be replaced, and thus do not establish a precedent for approval.
3. Adequate space exists elsewhere on the parcel to accommodate a conforming monument sign, even if not in the exact location of the existing pole sign

E Grand River Ave

E Grand River Ave

Pole Sign
Location

3200

3150

3160

3170

3180

3220

3224

Victory Dr

Thu Apr 17 2025

Imagery © 2025 Nearmap, HERE

20 ft

Nearmap

07/09/2025

*** Information herein deemed reliable but not guaranteed***

Desc. of Bldg/Section: CAR WASH										Unit in Place Items										Rate		Quantity Arch		%Good		Depr.Cost																																	
Calculator Occupancy: Automotive Centers										DRIVE THRU CAR WASH										132.83		4620 1.00		70		429,572																																	
Class: C				Construction Cost						Local Cost Items										Rate		Quantity/Area		%Good		Depr.Cost																																	
Floor Area				High		Above Ave.		Ave.		X		Low		WELL/WATER										4500.00		1		80		3,600																													
Gross Bldg Area: 1,100				*** ** Calculator Cost Data ** **										SEPTIC/SEWER										4500.00		1		80		3,600																													
Stories Above Grd: 1				Quality: Average										ECF (2015 SERVICE)										0.900 => TCV of Bldg:		1 =		393,095																															
Average Sty Hght				Heat#1: Space Heaters, Gas with Fan 100%																																																							
Bsmnt Wall Hght				Heat#2: Space Heaters, Gas with Fan 0%																																																							
Depr. Table : 1.5%				Ave. SqFt/Story																																																							
Effective Age : 24				Ave. Perimeter																																																							
Physical %Good: 70				Has Elevators:																																																							
Func. %Good : 100																																																											
Economic %Good: 100				*** Basement Info ***																																																							
1999 Year Built				Area:																																																							
2024 Remodeled				Perimeter:																																																							
				Type:																																																							
Overall Bldg Height				Heat: Hot Water, Radiant Floor																																																							
Comments:				* Mezzanine Info *																																																							
				Area #1:																																																							
				Type #1:																																																							
				Area #2:																																																							
				Type #2:																																																							
				* Sprinkler Info *																																																							
				Area:																																																							
				Type: Average																																																							
(1) Excavation/Site Prep:										(7) Interior:										(11) Electric and Lighting:										(39) Miscellaneous:																													
(2) Foundation:										(8) Plumbing:										Outlets:										Fixtures:																													
X Poured Conc.										Footings										Many Above Ave.										Average Typical										Few None																			
(3) Frame:										Total Fixtures										Urinals										Few Average										Few Average																			
										3-Piece Baths										Wash Bowls										Many Average										Many Average																			
										2-Piece Baths										Water Heaters										Many Unfinished										Many Unfinished																			
										Shower Stalls										Wash Fountains										Typical										Typical																			
										Toilets										Water Softeners																																							
(4) Floor Structure:										(9) Sprinklers:										Flex Conduit										Incandescent																													
																				Rigid Conduit										Fluorescent																													
																				Armored Cable										Mercury																													
																				Non-Metalic										Sodium Vapor																													
																				Bus Duct										Transformer																													
(5) Floor Cover:										(10) Heating and Cooling:										(13) Roof Structure: Slope=0										(40) Exterior Wall:																													
										Gas Oil										Coal Stoker										Hand Fired Boiler										Thickness										Bsmnt Insul.									
(6) Ceiling:																				(14) Roof Cover:																																							

Desc. of Bldg/Section: Calculator Occupancy: Warehouses - Storage										<<<<<< Calculator Cost Computations >>>>>>									
Class: D,Pole Floor Area: 1,100 Gross Bldg Area: 1,100 Stories Above Grd: 1 Average Sty Hght : 14 Bsmnt Wall Hght										Class: D,Pole Quality: Low Cost Stories: 1 Story Height: 14 Perimeter: 144									
Depr. Table : 1.5% Effective Age : 46 Physical %Good: 50 Func. %Good : 100 Economic %Good: 100										Base Rate for Upper Floors = 41.99									
Year Built Remodeled										(10) Heating system: No Heating or Cooling Cost/SqFt: 0.00 100% Adjusted Square Foot Cost for Upper Floors = 41.99									
Overall Bldg Height										Total Floor Area: 1,100 Base Cost New of Upper Floors = 46,189									
Comments:										Reproduction/Replacement Cost = 46,189 Eff.Age:46 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 50 /100/100/100/50.0 Total Depreciated Cost = 23,095									
Area: Perimeter: Type: Heat: Hot Water, Radiant Floor										ECF (2015 SERVICE) 0.900 => TCV of Bldg: 2 = 20,785 Replacement Cost/Floor Area= 41.99 Est. TCV/Floor Area= 18.90									
* Mezzanine Info *																			
Area #1: Type #1: Area #2: Type #2:																			
* Sprinkler Info *																			
Area: Type: Low																			
(1) Excavation/Site Prep:					(7) Interior:					(11) Electric and Lighting:					(39) Miscellaneous:				
(2) Foundation:					(8) Plumbing:					Outlets:					Fixtures:				
X Poured Conc.					Many Above Ave.					Average Typical					Few None				
(3) Frame:					Total Fixtures 3-Piece Baths 2-Piece Baths Shower Stalls Toilets					Urinals Wash Bowls Water Heaters Wash Fountains Water Softeners					Few Average Many Unfinished Typical				
(4) Floor Structure:					(9) Sprinklers:					Flex Conduit Rigid Conduit Armored Cable Non-Metalic Bus Duct					Incandescent Fluorescent Mercury Sodium Vapor Transformer				
(5) Floor Cover:					(10) Heating and Cooling:					(13) Roof Structure: Slope=0					(40) Exterior Wall:				
(6) Ceiling:					Gas Oil					Coal Stoker					Hand Fired Boiler				



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-15 Meeting Date: July 15, 2025 @ 6:30pm
in the Boardroom

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Howell family Ventures, LLC Email: manager@symmetrymgmt.com

Property Address: 3599 E. Grandriver ave. Howell Phone: 248 794 3411

Present Zoning: R.C.D. Tax Code: 11-05-400-031

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Sign Variance requested.
Intent - To modify two existing monument pole signs to
accommodate the multiple businesses in the existing plaza & to
provide a name for the plaza.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

With a 25,000 SqFT addition to the already 220,000 SqFT facility, A multi tenant Pylon sign is necessary to provide exposure to the businesses in the building. Plus, 2 outlets are being developed - signage will be necessary to identify the businesses. Currently Arco's & Taco Bell are blocking existing businesses.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Consistent with our neighbors at discount tire, birch wood office center, Carpet Floors & more - A Pylon sign to ensure proper visibility w/multi tenants.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

No, in fact it should alleviate any confusion when visiting any of the businesses. The public would be less in danger after the two old margins are re worked!!

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

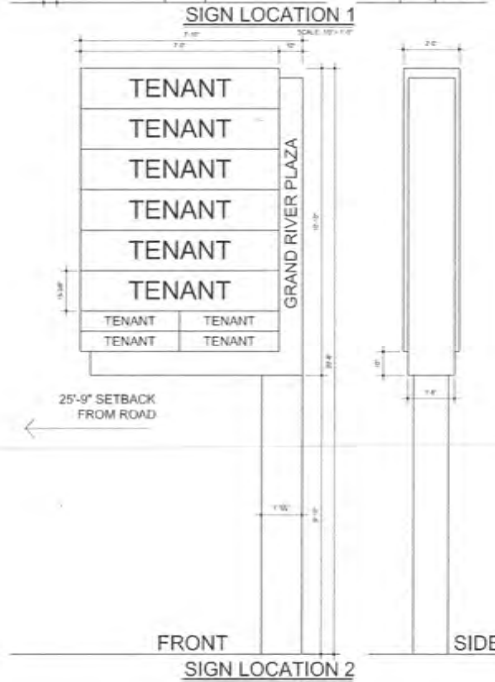
No, we've got a few developments underway in Genoa and the national brands to the main! Pops all want signage.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 5/29/25 Signature: [Signature]



NCS TEAM
One Towne Square
Suite 150
Southfield, MI 48076
Tel: 989-992-6179
www.ncs-team.com
Josh@NCS-Team.com

NEW SIGN PROPOSAL

1135 E GRAND RIVER AVE
HOWELL, MI 48843

ISSUED FOR:
SITE PLAN APPROVAL
06-01-25

DEAN



SHEET#
DATE:
JOB#

25

SIGN RENDERING



Location #1:

Current Sign View



New Sign - Day View



New Sign - Night View



ACCEPTANCE OF ARTWORK

The drawing above is an artistic representation ONLY. Elements may vary based on field measurements.

This color proof is intended for verification of spelling, layout, color and composition.

PLEASE HELP AVOID UNNECESSARY COSTS BY CHECKING THIS PROOF CAREFULLY.)

Signature constitutes authorization to proceed with specifications and conditions of this document as specified.

All artwork and designs are property of WerkzDirect and may not be used without expressed written permission of WerkzDirect.

Approval: _____

Date: _____

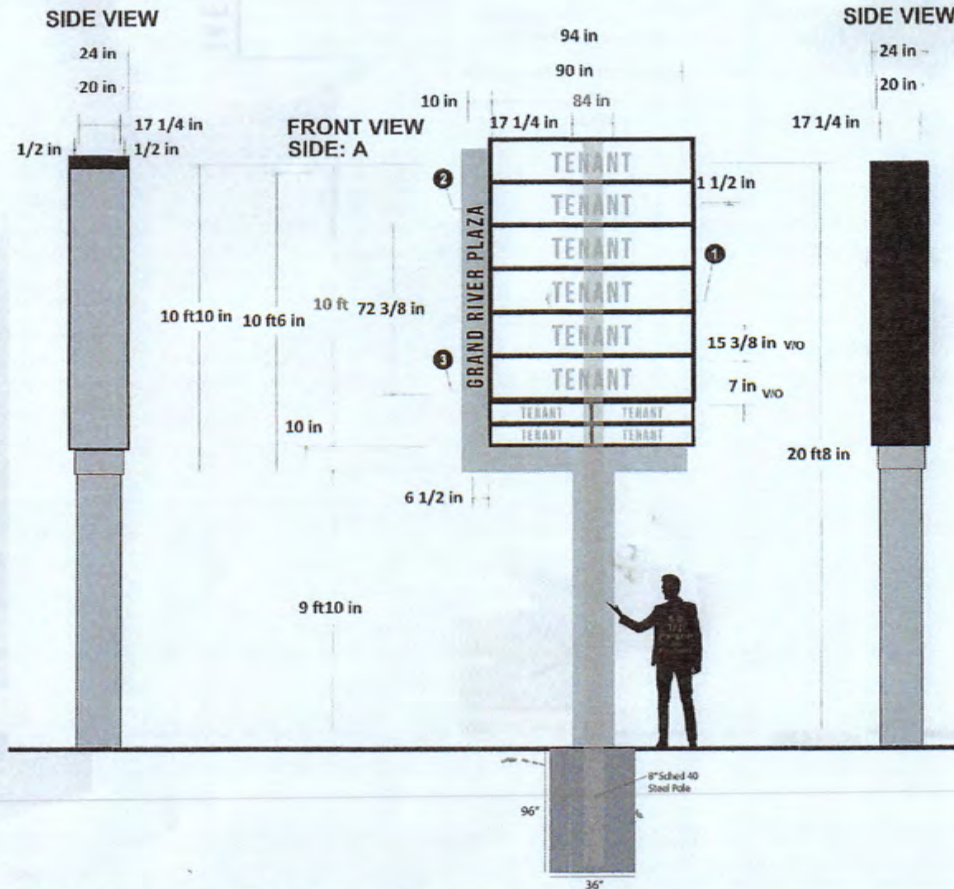
CUSTOMER DETAILS

**Grand River Plaza
/ Howell - Pylon Sign**
3599 E Grand River Ave
Howell, MI 48843

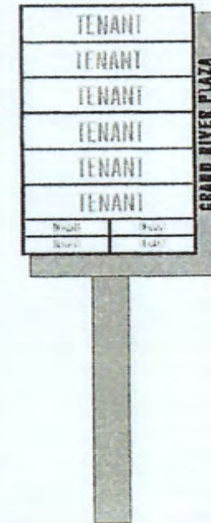
SIGN RENDERING



Location #1:



SIDE: B



SIGN DETAILS

NOTES:
SIGN SUPPORTING STEEL POLE AND CONCRETE FOUNDATION IS DESIGNED FOR 115 MPH, 3 SEC. GUST ULTIMATE WIND SPEED FOR EXPOSURE B, RISK CATEGORY II AS PER 2015-MBC AND ASCE 7.

ALL MOUNTING HARDWARE TO BE NON-CORROSIVE.

ALL STRUCTURAL STEEL POLE SHALL BE ASTM A53 GRADE B.

FOUNDATION IS DESIGNED FOR: ALLOWABLE SOIL PRESSURE OF: BRG. 2000 PSF, LAT 150 PSF/FT AS PER 2015-MBC TABLE 1806.2

- 1 DOUBLE SIDED ILLUMINATED SIGN CABINET WITH INDIVIDUAL TENANT SECTIONS.
- ALUMINUM CONSTRUCTION, PAINTED PER CLIENT APPROVED COLOR.
- POLYCARBONATE FACES
- L.E.D.s
- 2 FABRICATED ALUMINUM ACCENT PAINTED PER CLIENT APPROVED COLOR
- 3 1/2" FLAT CUT DIMENSIONAL ACRYLIC LETTERS. FLUSH MOUNT.
- 4 EXISTING POLE COVER: PAINT PER CLIENT APPROVED COLOR.

ACCEPTANCE OF ARTWORK

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Approval: _____ Date: _____

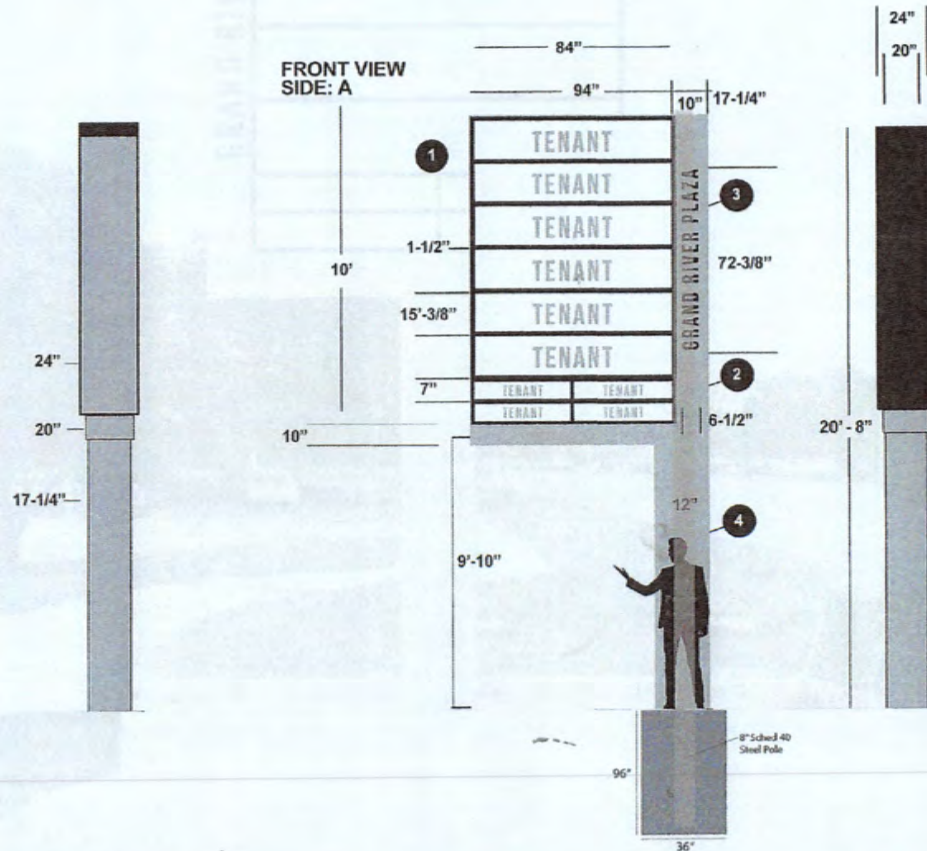
CUSTOMER DETAILS

Grand River Plaza / Howell - Pylon Sign
3599 E Grand River Ave
Howell, MI 48843

SIGN RENDERING



Location #2:



NOTES:
SIGN SUPPORTING STEEL POLE AND CONCRETE FOUNDATION IS DESIGNED FOR 115 MPH, 3 SEC. GUST ULTIMATE WIND SPEED FOR EXPOSURE B, RISK CATEGORY II AS PER 2015-MBC AND ASCE 7.

ALL MOUNTING HARDWARE TO BE NON-CORROSIVE.

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SIDE: B



SIGN DETAILS

- 1 DOUBLE SIDED ILLUMINATED SIGN CABINET WITH INDIVIDUAL TENANT SECTIONS.
- ALUMINUM CONSTRUCTION, PAINTED PER CLIENT APPROVED COLOR.
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ACCEPTANCE OF ARTWORK

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Approval: _____ Date: _____

CUSTOMER DETAILS

**Grand River Plaza
/ Howell - Pylon Sign**
3599 E Grand River Ave
Howell, MI 48843

SIGN RENDERING



Location #1:

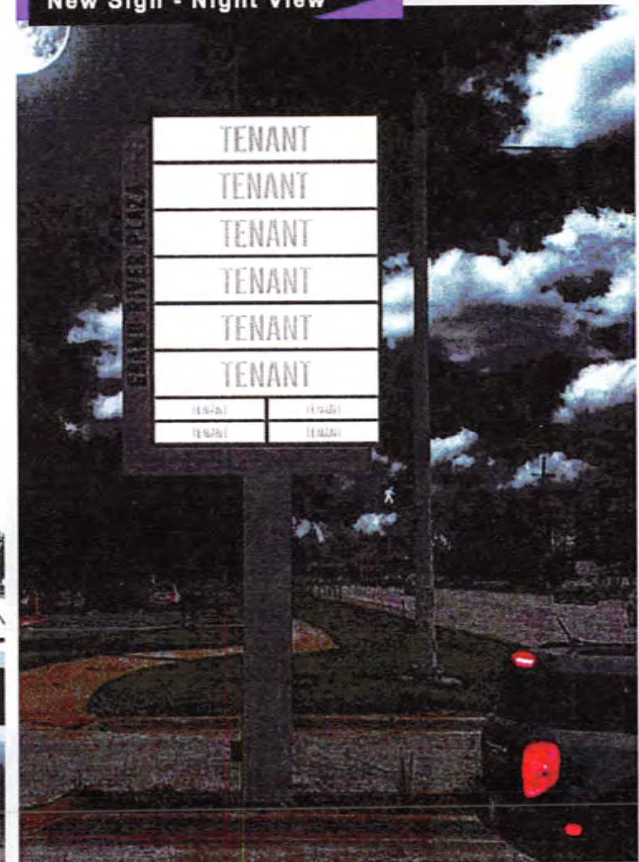
Current Sign View



New Sign - Day View



New Sign - Night View



ACCEPTANCE OF ARTWORK

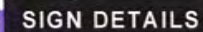
The drawing above is an artistic representation ONLY. Elements may vary based on field measurements. This color proof is intended for verification of spelling, layout, color and composition. PLEASE HELP AVOID UNNECESSARY COSTS BY CHECKING THIS PROOF CAREFULLY.) Signature constitutes authorization to proceed with specifications and conditions of this document as specified. All artwork and designs are property of WerkzDirect and may not be used without expressed written permission of WerkzDirect.

Approval: _____ Date: _____

CUSTOMER DETAILS

**Grand River Plaza
/ Howell - Pylon Sign**
3599 E Grand River Ave
Howell, MI 48843

TENANT	
TENANT	
TENANT	
TENANI	
TENANI	
TENANI	
Upram	Upram



- DOUBLE SIDED ILLUMINATED SIGN CABINET WITH INDIVIDUAL TENANT SECTIONS.
 - ALUMINUM CONSTRUCTION, PAINTED PER CLIENT APPROVED COLOR.
 - POLYCARBONATE FACES
 - L.E.D.s
- Q FABRICATED ALUMINUM ACCENT PAINTED PER CLIENT APPROVED COLOR
- Q 1 1/2" FLAT CUT DIMENSIONAL ACRYLIC LETTERS. FLUSH MOUNT.
- © EXISTING POLE COVER: PAINT PER CLIENT APPROVED COLOR.

**Grand River Plaza
/ Howell - Pylon Sign**
3599 E Grand River Ave
Howell, MI 48843

SIGN RENDERING

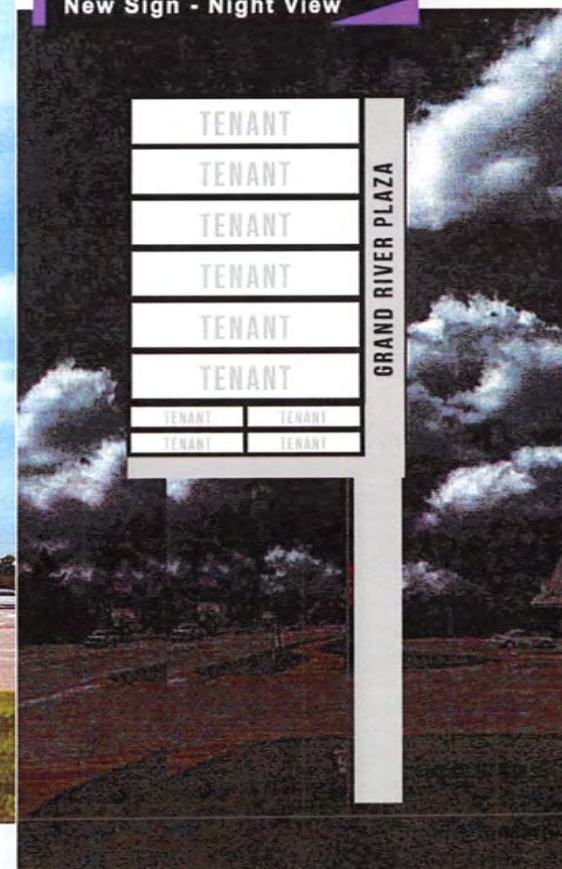


Location #2:

New Sign - Day View



New Sign - Night View



ACCEPTANCE OF ARTWORK

The drawing above is an artistic representation ONLY. Elements may vary based on field measurements.
This color proof is intended for verification of spelling, layout, color and composition.
PLEASE HELP AVOID UNNECESSARY COSTS BY CHECKING THIS PROOF CAREFULLY.)
Signature constitutes authorization to proceed with specifications and conditions of this document as specified.
All artwork and designs are property of WerkzDirect and may not be used without expressed written permission of WerkzDirect.

Approval: _____ Date: _____

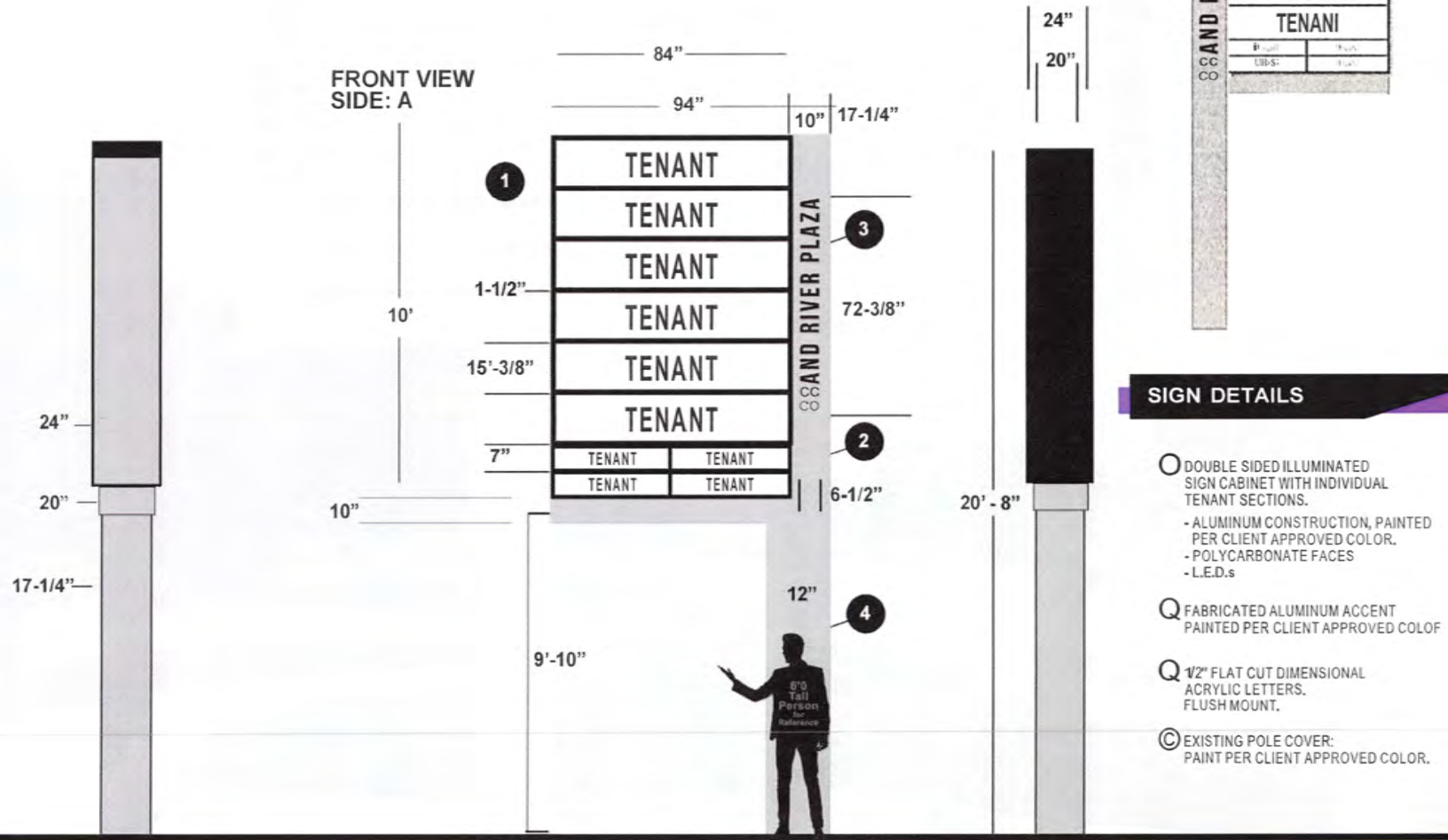
CUSTOMER DETAILS

**Grand River Plaza
/ Howell - Pylon Sign**
3599 E Grand River Ave
Howell, MI 48843

SIGN RENDERING



Location #2: 80 SQFT



ACCEPTANCE OF ARTWORK

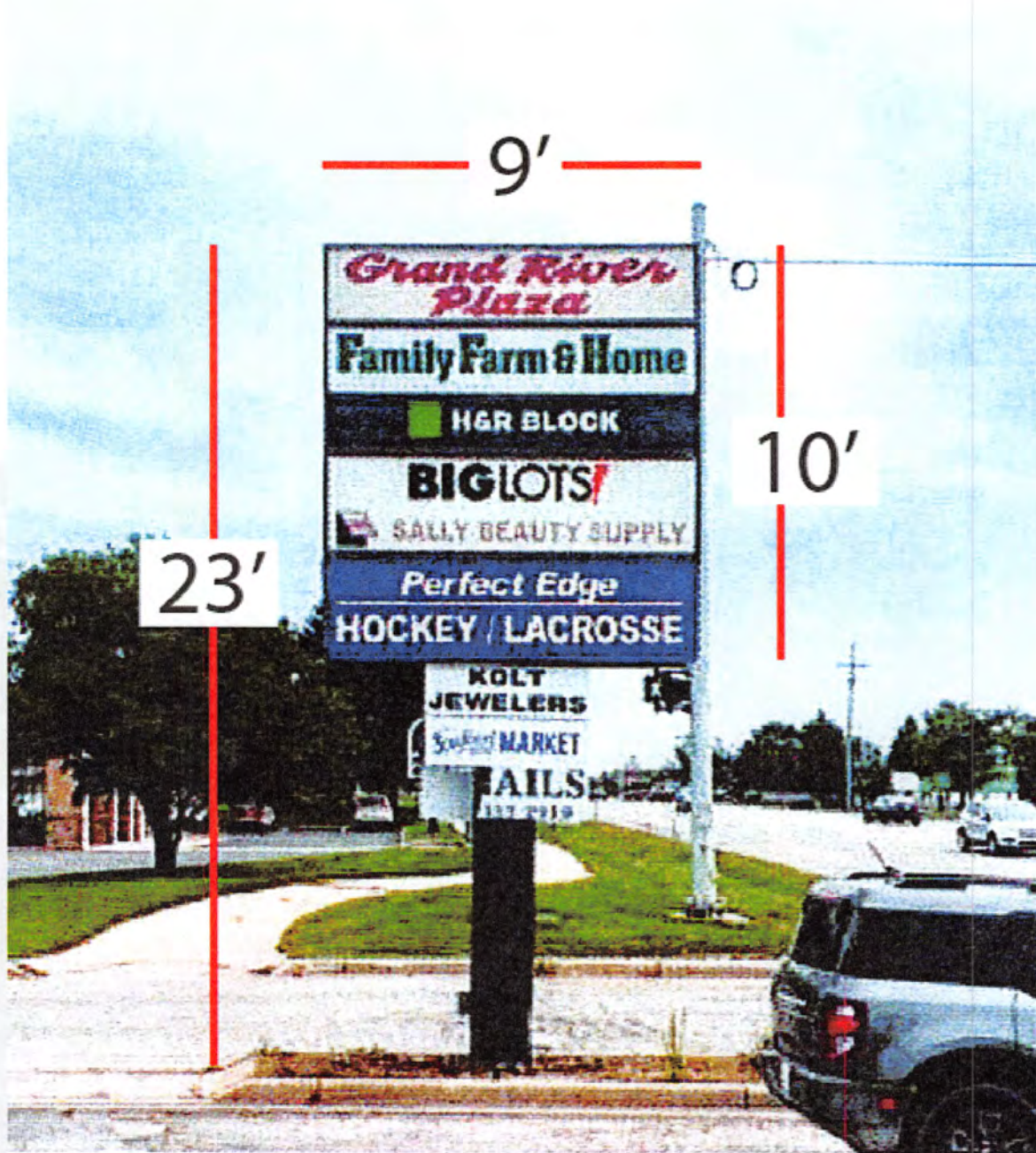
The drawing above is an artistic representation ONLY. Elements may vary based on field measurements. This color proof is intended for verification of spelling, layout, color and composition. PLEASE HELP AVOID UNNECESSARY COSTS BY CHECKING THIS PROOF CAREFULLY.) Signature constitutes authorization to proceed with specifications and conditions of this document as specified. All artwork and designs are property of WerkzDirect and may not be used without expressed written permission of WerkzDirect.

Approval: _____ Date: _____

CUSTOMER DETAILS

**Grand River Plaza
/ Howell - Pylon Sign**
3599 E Grand River Ave
Howell, MI 48843

Current Sign View



Current Sign View



46 Kensington Blvd.
Pleasant Ridge, MI 48069
(248) 797-9690
scheibleassociates.com



NCS TEAM
One Towne Square
Suite 150
Southfield, MI 48076
Tel: 989-992-6179
www.ncs-team.com
Josh@NCS-Team.com

NEW SIGN PROPOSAL

1135 E GRAND RIVER AVE
HOWELL, MI 48843

ISSUED FOR:
SITE PLAN APPROVAL
06-01-25

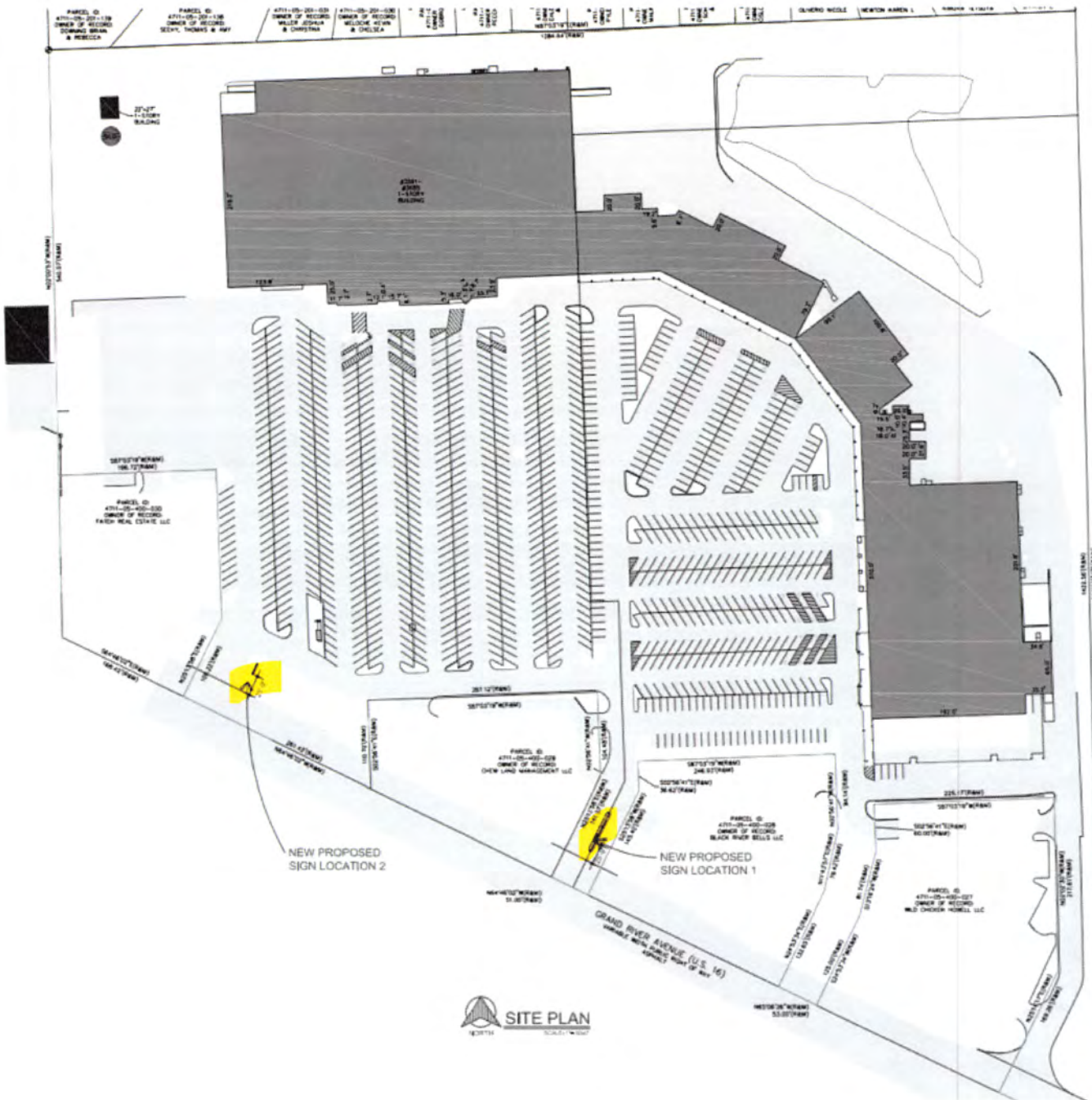
DEALS



SHEET# S-1

DATE: _____

JOB#





2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: July 8, 2025
RE: ZBA 25-15

STAFF REPORT

File Number: ZBA#25-15
Site Address: 3599 Grand River-Grand River Plaza
Parcel Number: 4711-05-031-031
Parcel Size: 13.780 acres
Applicant: Howell Family Ventures LLC
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a front yard setback variance and a size variance to allow for a modification to (2) existing pole signs.
Zoning and Existing Use: RCD (Regional Commercial District)
Other:
Public hearing was published in the Livingston County Press and Argus on Sunday June 29, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Township Records, the plaza building was built in 1994.
- The parcel is serviced by municipal sewer & water
- See Assessing Record Card.

Summary: The applicant is requesting a front yard setback and size variance to allow for modification of (2) existing pole signs to accommodate multiple business names as well as provide the plaza name. Staff would like to point out that the Ordinance was amended 9-29-24 to allow for pole signs, the highlighted section below is what the variance is being requested from.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Variance Requests

The following is the section of the Zoning Ordinance that the variance is being requested from:

- 16.07.10 **Pole signs.** Pole signs are permitted subject to the sign standards contained herein provided that the signs are subject to the setbacks applicable to principal buildings for the zoning district in which they are located and shall not exceed four (4) square feet in size with a maximum height of six (6) feet. (as amended 09/29/24)

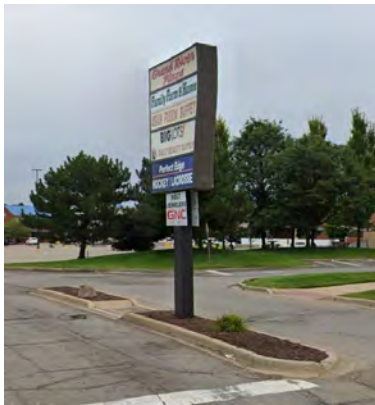


Figure 1 Location 1

Location #1

Pole Sign Requirements	ROW Setback	Sign Height	Sign Sq Feet
Required	70'	6'	4 sf
Amount Requested	12'	20'8"	78.75 sf
Variance Amount	58'	14'8"	74.75 sf

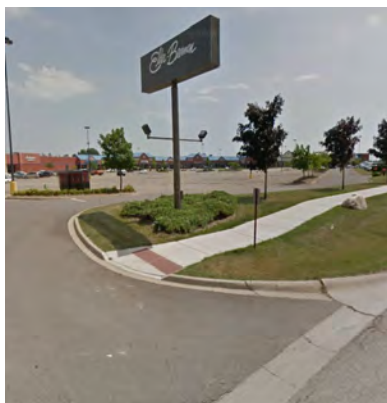


Figure 2 Location 2

Location #2

Pole Sign Requirements	ROW Setback	Sign Height	Sign Sq Feet
Required	70'	6'	4 sf
Amount Requested	16'	20'8"	80 sf
Variance Amount	54'	14'8"	76 sf

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** –Strict compliance with the ordinance would prevent the applicant from modifying the existing signs. There are other pole signs in the vicinity however, these are also non-conforming and have not been granted approvals to increase the size of their non-conformity. Allowing them to be altered would cause less disturbance to the area. Staff also noted

that the for **Location #1** there is not adequate room to install a monument sign, however there is an undeveloped area between Taco Bell & Dave's Chicken that could accommodate a monument sign should this pole sign be removed.



Figure 3 Potential Site for Monument Sign

- (b) Extraordinary Circumstances** – There are 2 businesses (Arby's & Taco Bell) that sit in front of the majority of Grand River Plaza thus limiting the visibility of some of the businesses. The sign labeled **Location #1** does not have adequate room to install a monument sign however, there are alternate locations that could accommodate one. Staff does believe the sign labeled Location #2 may be able to accommodate a monument sign.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire. The sign labeled Location 1 may impact visibility of drivers coming to and from the plaza. There is also a concern for pedestrian safety as the sidewalk runs directly behind the location.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. There are a number of existing poles signs in the area, allowing these to remain would not have a huge impact. It also could be of benefit to businesses that will now be advertised on the larger updated signs.

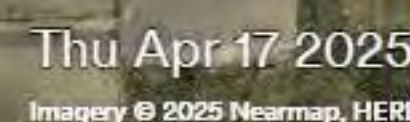
Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. Signs must meet the lighting requirements of Article 16.06.05.
2. No additional pole signs may be erected, any future signage would be required to meet the Ordinance.
3. Provide a safety certificate for sign at Location 1. The plans provided information on the sign withstanding wind but staff did not see anything in regard to a collision with a vehicle. That should be provided.
4. Applicant needs to verify the distance from the ROW with the Township, it is not clearly shown on the survey.

If the Zoning Board of Appeals denies the variance requests, staff recommends the following conditions be placed on the denial.

1. Approval would represent an expansion of a non-conforming use or structure, which the ordinance seeks to minimize over time.
2. The applicant is encouraged to consider replacing the existing pole sign with a monument sign in a location that meets setback and design standards
3. Nearby pole signs are legally non-conforming but have not been granted variances to expand or be replaced, and thus do not establish a precedent for approval.
4. Adequate space exists elsewhere on the parcel to accommodate a conforming monument sign, even if not in the exact location of the existing pole sign



Nearmap

GRANTOR	GRANTEE	SALE PRICE		SALE DATE	INST. TYPE	TERMS OF SALE		LIBER & PAGE	VERIFIED BY	PRCNT. TRANS.		
GR PLAZA LLC	HOWELL FAMILY VENTURES LLC	8,525,000		04/13/2022	WD	19-MULTI PARCEL ARM'S LENGTH		2022R-013060	BUYER/SELLER	100.0		
DEVELOPERS DIVERSIFIED REAL ESTATE	GR PLAZA LLC	10,450,000		10/21/2014	WD	03-ARM'S LENGTH		2014R-032449	BUYER/SELLER	100.0		
		0		09/24/1993	QC	21-NOT USED/OTHER		17420116	BUYER/SELLER	0.0		
PROPERTY ADDRESS		CLASS: COMMERCIAL-IMPROVE			ZONING: RCD		BUILDING PERMIT(S)		DATE	NUMBER	STATUS	
3599 E GRAND RIVER		SCHOOL: HOWELL PUBLIC SCHOOLS			WALL SIGN		07/01/2025		PS25-014			
		P.R.E. 0%			OTHER		05/14/2025		P25-076			
OWNER'S NAME/ADDRESS		MAP #: 25-15			OTHER: SEE WORK DESCRIPTION		04/09/2025		PW25-043			
HOWELL FAMILY VENTURES LLC GR HOWELL LLC 29592 BECK RD WIXOM MI 48393		2026 Est TCV 7,051,023 TCV/TFA: 60.32			ADDITION TO EXISTING BUILD		09/30/2024		P24-130			
		X	IMPROVED		VACANT	LAND VALUE ESTIMATES FOR LAND TABLE 2003.2003 COMMERCIAL LAND						
		PUBLIC IMPROVEMENTS			* FACTORS *							
					DESCRIPTION	FRONTAGE	DEPTH	FRONT	DEPTH	RATE %	ADJ. REASON	VALUE
					E/W MAIN CORR	600	257	SqFt	3.50000	100		2,100,900
					13.78 Total Acres				Total Est. Land Value =		2,100,900	
TAX DESCRIPTION												
SEC 5 T2N R5E BEG COS, TH N87*E 1284.64 FT, TH S2*E 132.27 FT, TH S87*W 632.61 FT TH S2*E 591.41 FT, TH N87*E 34 FT, TH S2*E 225 FT TH S25*W 148.6 FT, TH N64*W 30 FT, TH N25*E 141.07 FT, TH N2*W 104.48 FT, TH S87*W 287.12 FT, TH S2*E 110.7 FT, TH N64*W 261.42 FT, TH N25*E 109.22 FT, TH N2*W 187.64 FT, TH S87*W 196.72 FT, TH N2*W 540.07 FT TO POB PAR E 13.88 AC M/L SPLIT 8/91 FROM 006, 007 020 & 021		X	Dirt Road									
		X	Gravel Road									
		X	Paved Road									
		X	Storm Sewer									
		X	Sidewalk			LAND IMPROVEMENT COST ESTIMATES						
		X	Water			Description						
		X	Sewer			D/W/P: Asphalt Paving						
		X	Electric			Rate						
		X	Gas			Size % Good						
		X	Curb			Cash Value						
		X	Street Lights									
		X	Standard Utilities									
		X	Underground Utils.									
		Topography of Site										
		X	Level									
			Rolling									
			Low									
			High									
		X	Landscaped									
			Swamp									
			Wooded									
			Pond									
			Waterfront									
			Ravine									
			Wetland									
			Flood Plain			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value
		Who	When	What	2026	1,050,500	2,475,000	3,525,500			3,525,500C	
4711-05-400-031 10/30/2020		JB	10/06/2020	INSPECTED	2025	1,050,500	2,475,000	3,525,500			3,525,500S	
The Equalizer. Copyright (c) 1999 - 2009.		DLR	11/11/2010	INSPECTED	2024	1,050,500	2,753,700	3,804,200			3,804,200S	
Licensed To: Township of Genoa, County of Livingston, Michigan		DLR	12/10/2024	INSPECTED	2023	1,050,500	2,718,900	3,769,400			3,769,400S	

Desc. of Bldg/Section: Calculator Occupancy: Stores - Discount										<<<<<<Calculator Cost Computations>>>>>>									
Class: C										Class: C									
Floor Area: 116,885										Quality: Average									
Gross Bldg Area: 116,885										Stories: 1									
Stories Above Grd: 1										Story Height: 20									
Average Sty Hght : 20										Perimeter: 1451									
Bsmnt Wall Hght										Base Rate for Upper Floors = 76.78									
Depr. Table : 3%										(10) Heating system: Complete H.V.A.C. Cost/SqFt: 33.69 100%									
Effective Age : 28										Adjusted Square Foot Cost for Upper Floors = 110.47									
Physical %Good: 43										Total Floor Area: 116,885									
Func. %Good : 100										Base Cost New of Upper Floors = 12,912,287									
Economic %Good: 100										Reproduction/Replacement Cost = 12,912,287									
1994 Year Built										Eff.Age:28 Phy.%Good/Abnr.Phy./Func./Econ./Overall %Good: 43 /100/100/100/43.0									
Remodeled										Total Depreciated Cost = 5,552,283									
Overall Bldg Height										Unit in Place Items									
Comments:										/CIMS/DOC/LOAWA									
										Rate Quantity Arch %Good Depr.Cost									
										20.61 1300 1.00 43 11,521									
										Local Cost Items									
										Rate Quantity/Area %Good Depr.Cost									
										WELL/WATER 4500.00 1 70 3,150									
										SEPTIC/SEWER 4500.00 1 70 3,150									
										ECF (2014 MAIN COMMERCIAL) 0.850 => TCV of Bldg: 1 = 4,734,589									
										Replacement Cost/Floor Area= 110.75 Est. TCV/Floor Area= 40.51									
(1) Excavation/Site Prep:										(7) Interior:									
(2) Foundation:										(8) Plumbing:									
Footings										Outlets: Fixtures:									
X Poured Conc. Brick/Stone Block										Many Above Ave. Average Typical Few None									
(3) Frame:										Total Fixtures									
										3-Piece Baths									
										2-Piece Baths									
										Shower Stalls									
										Toilets									
(4) Floor Structure:										Urinals									
										Wash Bowls									
										Water Heaters									
										Wash Fountains									
										Water Softeners									
(5) Floor Cover:										(9) Sprinklers:									
										(10) Heating and Cooling:									
										Gas Oil Coal Stoker Hand Fired Boiler									
(6) Ceiling:										(11) Electric and Lighting:									
										(13) Roof Structure: Slope=0									
										(14) Roof Cover:									
										(39) Miscellaneous:									
										(40) Exterior Wall:									
										Thickness Bsmnt Insul.									

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
June 17, 2025 - 6:30 PM**

MINUTES

Call to Order: Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Marianne McCreary, Craig Fons, Matt Hurley, Michele Kreutzberg, Rick Soucy, and Carrie Aulette, Zoning Official. Absent was Bill Rockwell.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introductions: The members of the Board and staff introduced themselves.

Conflict of Interest: Chairperson McCreary stated she has spoken to Mr. Bair previously when he asked her about the process for obtaining a variance. She directed him to Ms. VanMarter.

Approval of the Agenda:

Moved by Board Member Soucy, supported by Board Member Kreutzberg, to approve the agenda as presented. **The motion carried unanimously.**

Call to the Public:

The call to the public was made at 6:32 pm with no response.

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

New Business

1. 25-12...A request by David Bair of Property Services Unlimited LLC, 4433 Brighton Road, for a wetland setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to install a shared driveway to allow for property to be split.

Mr. Bair stated he is requesting a temporary variance to allow him to install the shared driveway. The finished driveway would not be within the wetland setback, but they will need to access it while it's being installed. He would like to develop individual homes on this property. Installing the driveway will also allow safe access to the public utilities here.

Chairperson McCreary was not aware this was temporary.

Genoa Township Zoning Board of Appeals Meeting

June 17, 2025

Unapproved Minutes

Board Member Hurley stated he would like to see where the finished driveway will be located. Mr. Bair stated that he has submitted those plans to the Township Manager, and he is unsure why it was not included in the packet.

Chairperson McCreary stated the ZBA has never issued a temporary variance. She cited the EGLE letter that was included. Mr. Bair said that permit has been approved and is not relevant to what he is requesting this evening.

Ms. VanMarter entered the meeting at 6:59 pm. She stated that she has been working with Mr. Bair on the land division. She requested that he seek a variance for the two locations where the driveway easement will encroach into the natural features setback. It will not be the actual driveway, but it would be for any work or maintenance that is done around the drive. The variance would be permanent; and not temporary. She added that the construction plans are not required for this request, so they do not have drawings for the driveway. She stated that the Township Ordinance does allow for the driveway to be reduced to 12 feet in this location. It can also be shifted to the east so it would be outside the wetlands setbacks, which would minimize the impact on them.

Board Member Fons suggested to Mr. Bair that he install temporary orange fencing along the wetland to keep workers and equipment out of that area.

Board Member Hurley would like to see a drawing of the finished driveway because it will have an impact on the wetlands. Mr. Bair stated that if he changes the width of the driveway, it may be outside of the wetland setbacks and then only one variance would be needed.

The call to the public was made at 7:21 pm.

Mr. Mike Schmidt of 3905 Honors Bluff is questioning the discussion this evening. The request was for a variance. Now there is a discussion regarding installing a permanent road, disturbing more wetlands, etc. It has gone off track.

Chairperson McCreary read three letters received from residents who are opposed to the request; Richard and Sharon Wilkins of 4404 Braeburn Court; Teri and Craig Muhn of Braeburn Court; and Deb Beattie at 3109 Pineview.

The call to the public was closed at 7:25 pm.

Chairperson McCreary addressed Mr. Schmidt's comment this evening. The discussion was the Board working with the applicant to determine if changes can be made to the plan to eliminate or lessen the variances that are needed.

Genoa Township Zoning Board of Appeals Meeting

June 17, 2025

Unapproved Minutes

Board Member Fons would like to see the final plans before a decision is made. Board Member Soucy agrees and is in favor of postponing this item this evening.

Ms. VanMarter stated the location of the existing power lines should be included in any plans that are submitted.

Moved by Board Member Kreutzberg, supported by Board Member Soucy, to table Case #25-12 until the July 15 Zoning Board of Appeals Meeting. **The motion carried unanimously**

2. 25-13...A request by the Warren Construction Group and Tony McNeal, 4330 Ridge Lake Court, for a dimensional variance, and any other variances deemed necessary by the Zoning Board of Appeals, to build an addition on a detached garage.

Mr. Tony McNeal, the property owner, and Mr. Warren of Warren Construction Group were present. Mr. Warren stated they would like to add 12 feet to the existing garage, so the setback would be reduced to 49 feet instead of 60 feet. They cannot expand in any other location.

Ms. Aulette stated when the original calculations for the maximum allowable square footage were done, she used the information on the survey; however, in looking at the plans submitted for this evening, she determined there is no need for that variance.

Board Member Fons does not see the hardship or extraordinary circumstances. Mr. Warren stated that there are other homes in the same subdivision that have larger detached garages than Mr. McNeal and one resident received a variance for it last year. Board Member Fons recalls that case and the hardship there was that if the setbacks were met, it would cut off access to the rear of the property for well and septic maintenance.

The call to the public was made at 7:47 pm with no response.

Chairperson McCreary noted that the staff report shows three other homes in the area who have larger lots than the applicant with larger detached buildings.

Board Member Soucy does not think this request is unreasonable based on the other homes and properties in the area.

Moved by Board Member Soucy, supported by Board Member Kreutzberg, to approve Case #25-13 for Warren Construction Group and Tony McNeal of 4330 Ridge Lake Court for a rear yard setback variance of 11 feet from the required 60 feet for a rear yard setback of 49 feet to build a 30 x 12 addition on a detached garage, based on the following findings of fact:

- Strict compliance with the rear yard setback requirement would prevent the proposed addition from being constructed on the existing garage. However, this restriction does not deprive the applicant of reasonable use of the property. The lot remains usable, and the

Genoa Township Zoning Board of Appeals Meeting

June 17, 2025

Unapproved Minutes

primary residence is not impacted. It is also important to note that other homes in the neighborhood feature detached garages of similar or greater size. While some of those properties may benefit from larger lot sizes, allowing for increased maximum square footage, the proposed addition remains in character with the surrounding development.

- The exceptional or extraordinary condition of the property is the topography of the front of the lot. This caused the house to be set back farther into the building envelope, leaving a reduced amount of room for an accessory building to be built. The variance request is not self-created.
- The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variance would not have an impact on the surrounding neighborhood.

This approval is conditioned upon the following:

1. Structure must be guttered with downspouts.
2. No other accessory buildings may be permitted on the property.

The motion carried (Kreutzberg - yes; Fons - no; Hurley - no; McCreary - yes; Soucy - yes).

Administrative Business:

1. Approval of minutes for the May 20, 2025 Zoning Board of Appeals meeting.

Moved by Board Member Kreutzberg, supported by Board Member Fons, to approve the minutes of the May 20, 2025 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. Aulette stated there will be four cases on next month's agenda.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

Moved by Board Member Soucy, supported by Board Member Hurley, to adjourn the meeting at 8:02 pm. **The motion carried unanimously.**

Genoa Township Zoning Board of Appeals Meeting
June 17, 2025
Unapproved Minutes

Respectfully submitted:

Patty Thomas, Recording Secretary

DRAFT