

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS**

June 17th, 2025

6:30 P.M.

AGENDA

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

NEW BUSINESS:

1. 25-12...A request by David Bair of Property Services Unlimited LLC, 4433 Brighton Road, for a wetland setback variance and any other variances deemed necessary by the Zoning Board of Appeals, to install a shared driveway to allow for property to be split.
2. 25-13...A request by the Warren Construction Group and Tony McNeal, 4330 Ridge Lake Court, for a dimensional variance, and any other variances deemed necessary by the Zoning Board of Appeals, to build an addition on a detached garage.

ADMINISTRATIVE BUSINESS:

1. Approval of minutes for the May 20th, 2025 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p>



**GENOA CHARTER TOWNSHIP
WETLAND VARIANCE APPLICATION**

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-12 Meeting Date: June 17, 2025 @ 6:30pm
in the Boardroom
☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: DAVE BAIR - MEMBER
PROPERTY SERVICES LLC Email: DBAIR58@GMAIL.COM
Property Address: 4433 BRIGHTON RD Howell, MI 48843 Phone: 810-333-1268
Present Zoning: SR Tax Code: 11-28-300-006

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: SHARED DRIVEWAY
PARCEL 'A' & 'B'

The following is per Article 13.02.05 of the Genoa Township Ordinance:

Criteria Applicable to Wetland Setback Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under **each** please indicate how the proposed project meets each criteria.

13.02.05 Variances from the Wetland Setback Requirements

The setback is not necessary to preserve the wetland's ecological and aesthetic value;

EXISTING FARMERS LANE, ANY NEW WORK
OUTSIDE OF SET BACK IS OUR INTENT

The natural drainage pattern to the wetland will not be significantly affected;

FT WILL NOT

The variance will not increase the potential for erosion, either during or after construction;

FT WILL NOT

No feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed;

ALL OPTIONS WERE LOOKED AT
IMPROVING EXISTING FARMERS LANE IS
LEAST INTRUSIVE

MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.

~~NO MDEQ PERMIT REQUIRED~~

REQUEST HAS BEEN MADE TO MDEQ TO VERIFY IF
needed

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plan and construction plans.

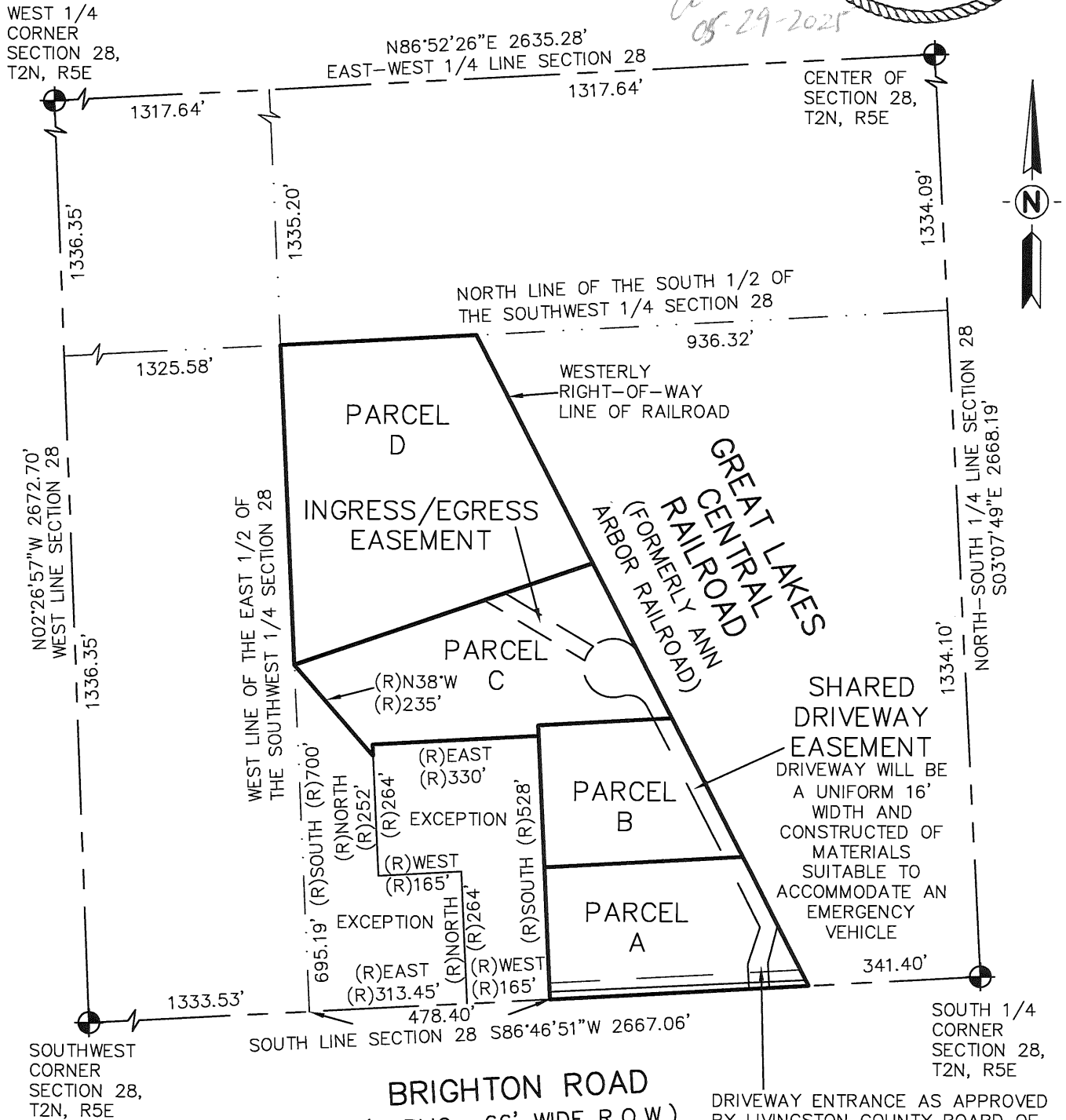
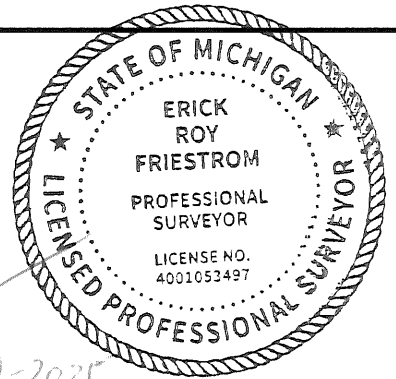
Date: 5-13-25

Signature:


DAVE BAIR - MEMBER

CERTIFIED BOUNDARY SURVEY
OVERALL CONFIGURATION

FOR: PROPERTY SERVICES UNLIMITED, LLC



NOTES:

1. EASEMENTS, IF ANY, NOT SHOWN
2. ALL DIMENSIONS ARE AS MEASURED UNLESS NOTED OTHERWISE
3. SEE SHEET 2 FOR DETAILS OF PARCEL A AND PARCEL B
4. SEE SHEET 3 FOR DETAILS OF PARCEL C AND PARCEL D
5. SEE SHEET 4 FOR DETAILS OF SHARED DRIVEWAY EASEMENT AND INGRESS/EGRESS EASEMENT
6. ACREAGE OF WETLAND WITHIN PARENT PARCEL (OUTSIDE OF PUBLIC R.O.W.) = 337,824 SQ. FT (± 7.75 ACRES)
7. ACREAGE OF UPLAND WITHIN PARENT PARCEL (OUTSIDE OF PUBLIC R.O.W.) = 304,209 SQ. FT (± 6.98 ACRES)

LEGEND

- = Proposed Gravel Driveway Surface
- = Set 1/2" Bar with Cap
- = Found Iron as Noted
- = Survey Boundary Line
- = Distance Not to Scale
- (M) = Measured Dimension
- (R) = Recorded Dimension

All Dimensions are in Feet and Decimals Thereof.

All Improvements Not Shown.

SCALE 1" = 300'



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY AN

SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

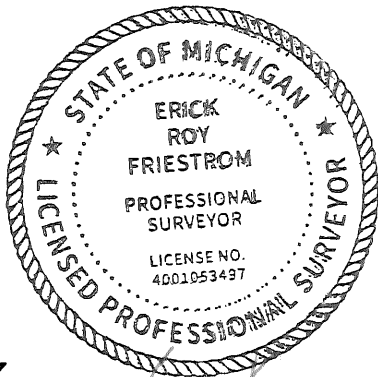
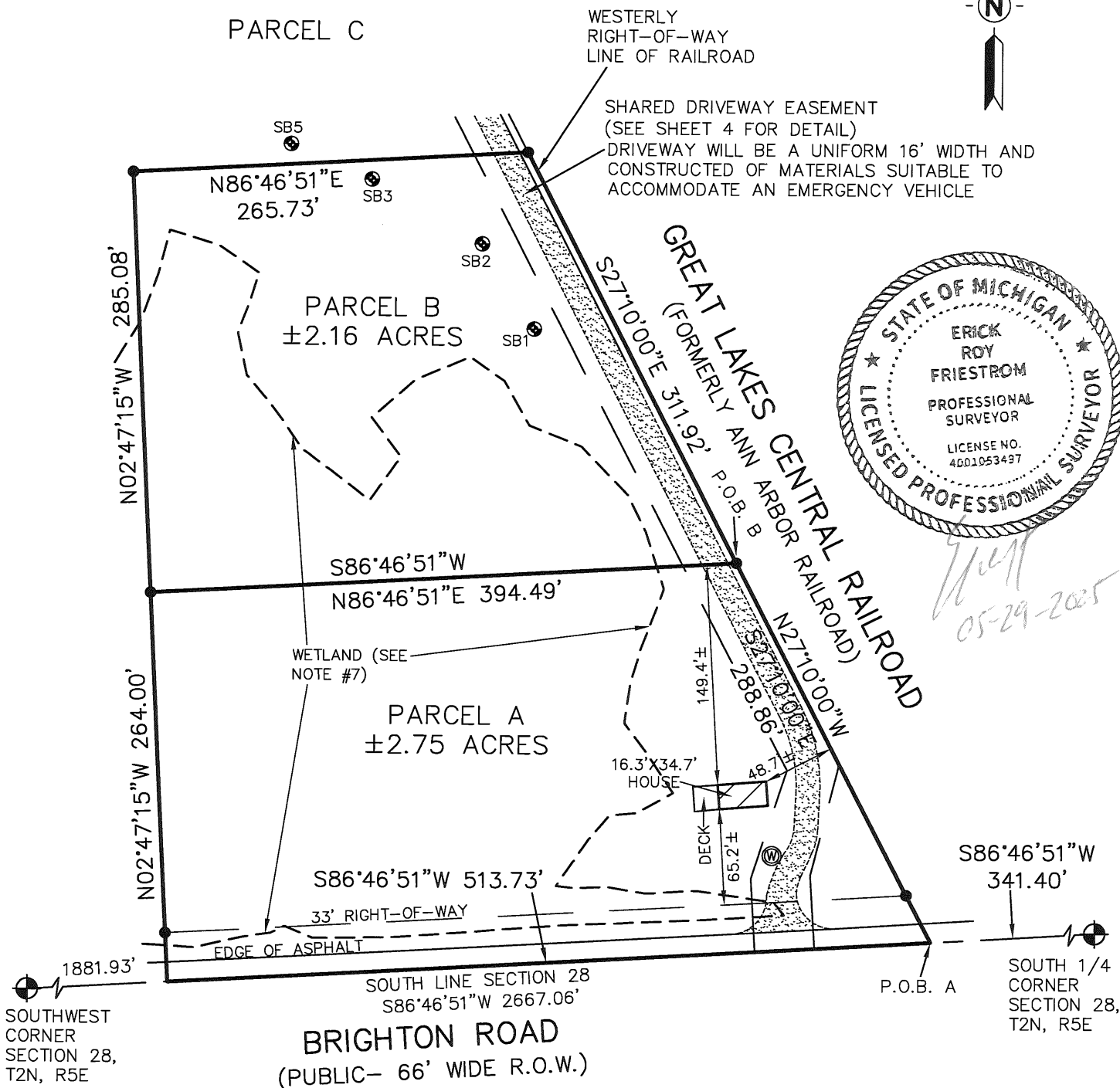
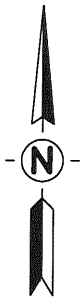
JOB NUMBER:

SHEET 1 OF 13

103586.BND-4

CERTIFIED BOUNDARY SURVEY
PARCEL A AND PARCEL B

FOR: PROPERTY SERVICES UNLIMITED, LLC



- NOTES:
- EASEMENTS, IF ANY, NOT SHOWN
 - ALL DIMENSIONS ARE AS MEASURED UNLESS NOTED OTHERWISE
 - SEE SHEET 1 FOR OVERALL CONFIGURATION
 - SEE SHEET 3 FOR DETAILS OF PARCEL C AND PARCEL D
 - SEE SHEET 4 FOR DETAILS OF SHARED DRIVEWAY EASEMENT AND INGRESS/EGRESS EASEMENT
 - SOIL BORING LOCATIONS SHOWN HEREON BASED ON LATITUDE/LONGITUDE AS PROVIDED BY CLIENT
 - WETLAND DELINEATION SHOWN PER MARX WETLANDS, LLC DELINEATION COMPLETED AND FLAGGING LOCATED BY KEBS, INC. IN DECEMBER 2024

LEGEND

- = Proposed Gravel Driveway Surface
- = Edge of Wetland
- = Set 1/2" Bar with Cap
- = Found Iron as Noted
- = Survey Boundary Line
- = Distance Not to Scale
- = Soil Boring Location

All Dimensions are in Feet and Decimals Thereof.
All Improvements Not Shown.

SCALE 1" = 100'



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BRYAN LAND SURVEYS

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DRAWN BY AN

SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

JOB NUMBER:

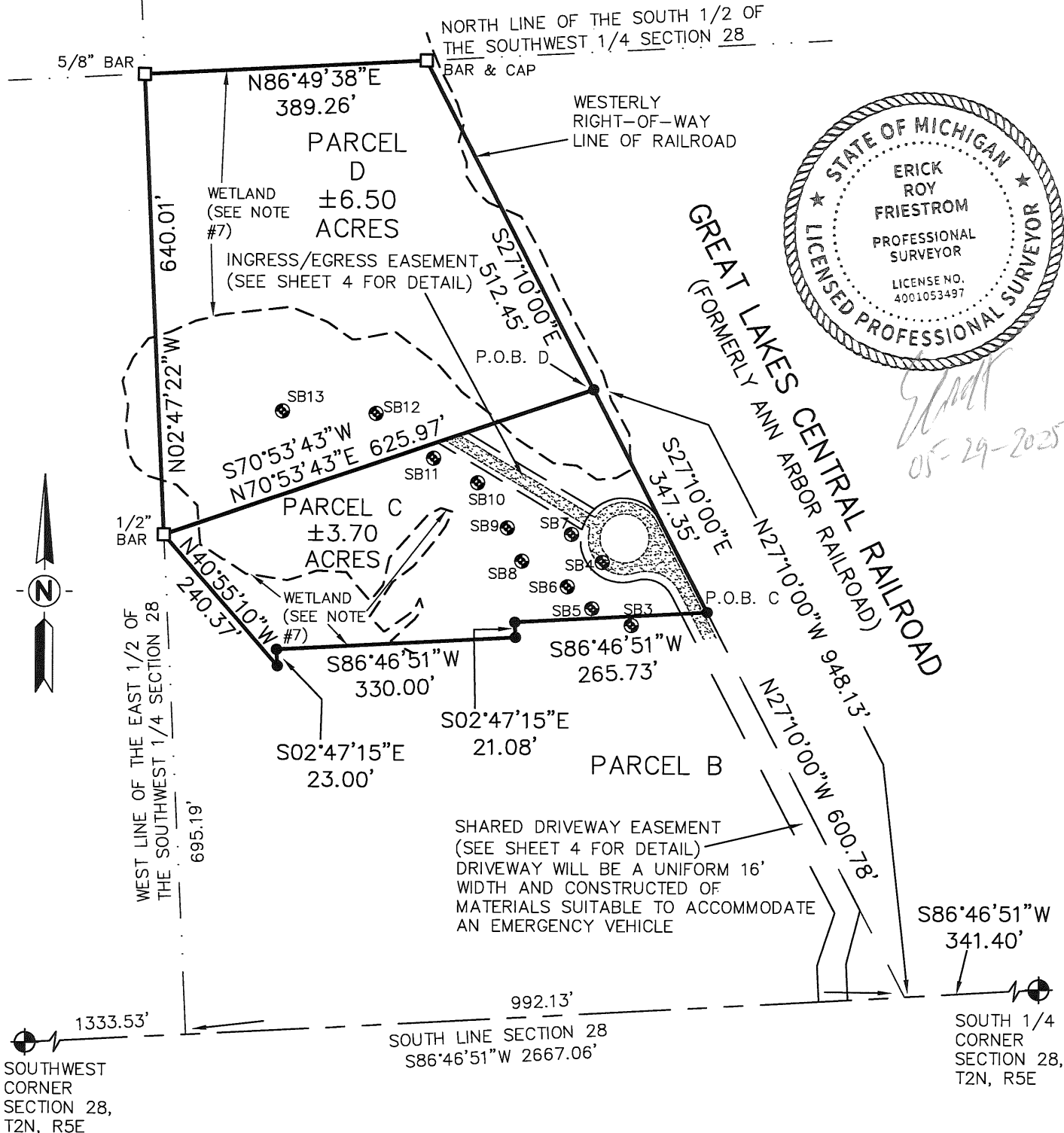
SHEET 2 OF 13

103586.BND-4

CERTIFIED BOUNDARY SURVEY
PARCEL C AND PARCEL D

FOR: PROPERTY SERVICES UNLIMITED, LLC

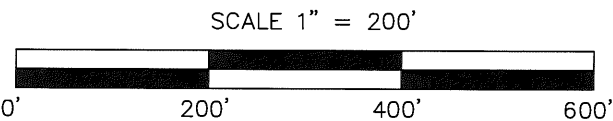
- NOTES:
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 - 3. SEE SHEET 1 FOR OVERALL CONFIGURATION
 - 4. SEE SHEET 2 FOR DETAILS OF PARCEL A AND PARCEL B
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LEGEND

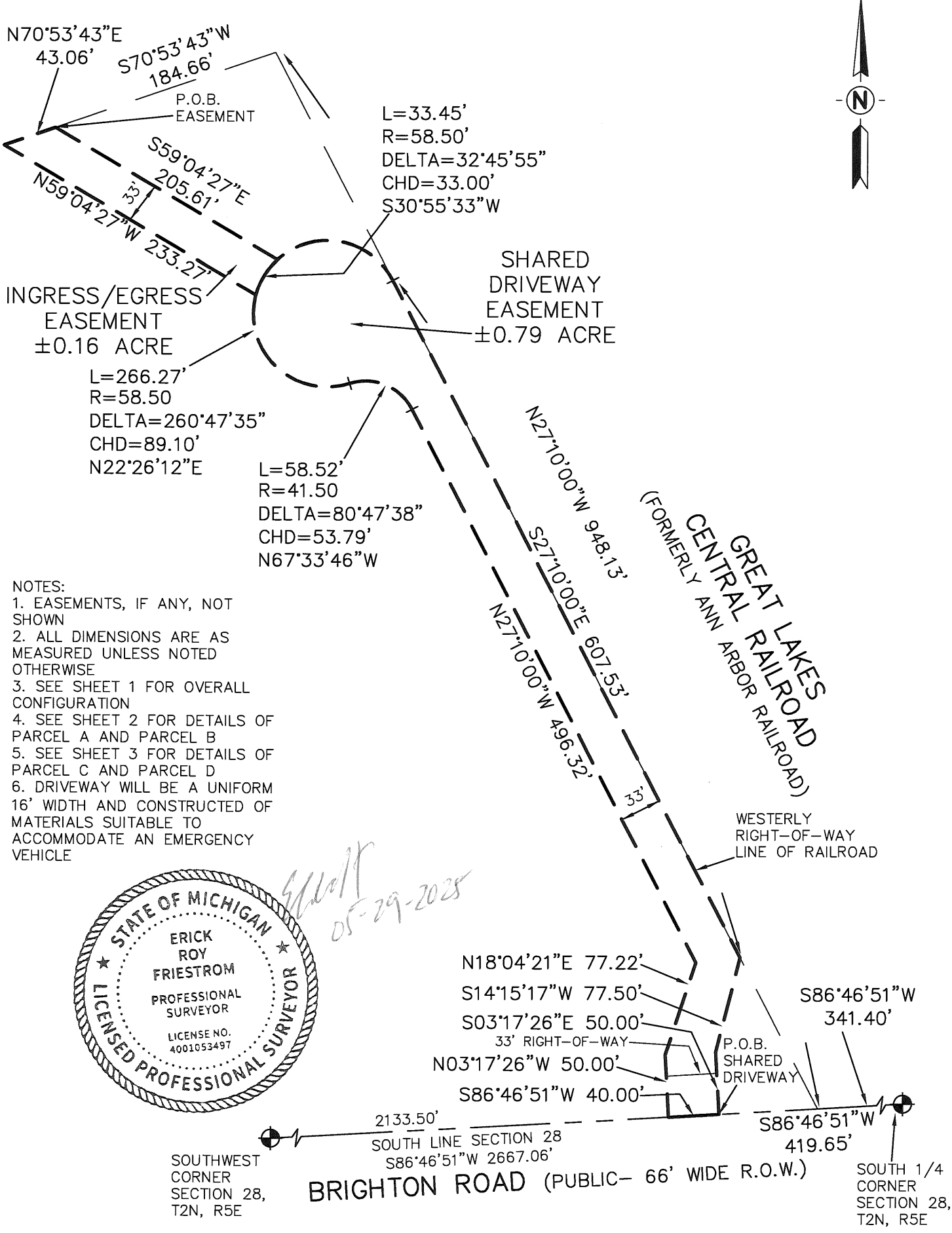
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All Improvements Not Shown.



	KEBS, INC.	KYES ENGINEERING BRYAN LAND SURVEYS
	2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047	
	13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805	
DRAWN BY AN		SECTION 28, T2N, R5E
FIELD WORK BY NW/HS		JOB NUMBER:
SHEET 3 OF 13		103586.BND-4

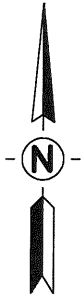
CERTIFIED BOUNDARY SURVEY
SHARED DRIVEWAY EASEMENT AND INGRESS/EGRESS EASEMENT
FOR: PROPERTY SERVICES UNLIMITED, LLC



 KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047	
13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805	
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FIELD WORK BY NW/HS	JOB NUMBER:
SHEET 4 OF 13	103586.BND-4

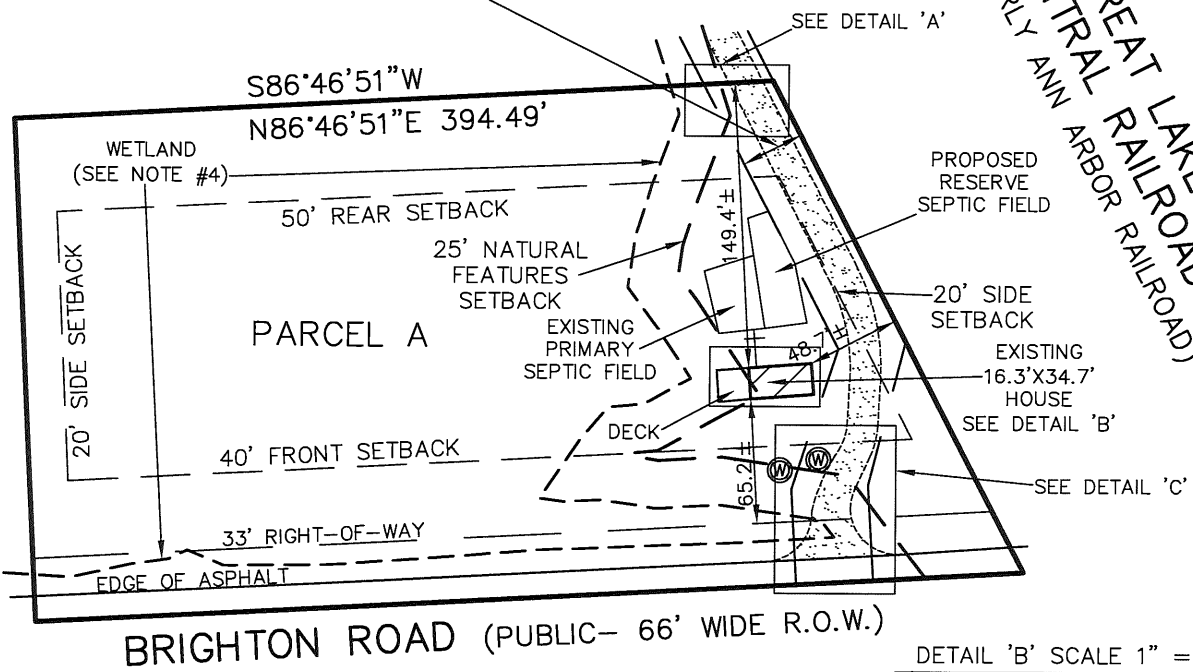
CERTIFIED BOUNDARY SURVEY
PARCEL A BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



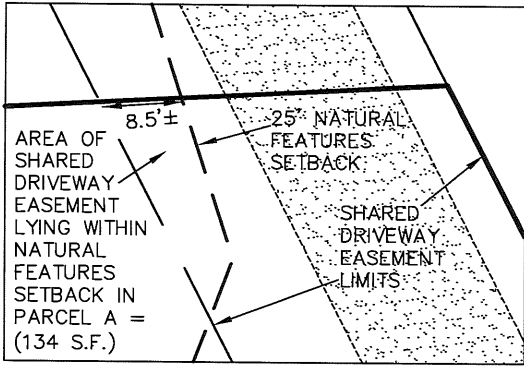
SHARED DRIVEWAY EASEMENT
(SEE SHEET 4 FOR DETAIL)
DRIVEWAY WILL BE A UNIFORM 16' WIDTH
AND CONSTRUCTED OF MATERIALS SUITABLE
TO ACCOMMODATE AN EMERGENCY VEHICLE

GREAT LAKES
CENTRAL RAILROAD
(FORMERLY ANN ARBOR RAILROAD)

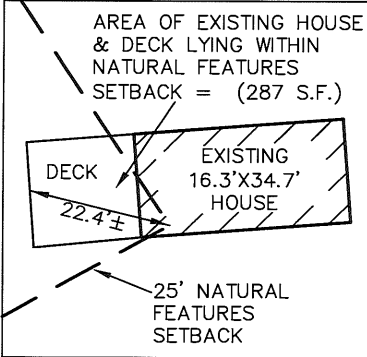


BRIGHTON ROAD (PUBLIC- 66' WIDE R.O.W.)

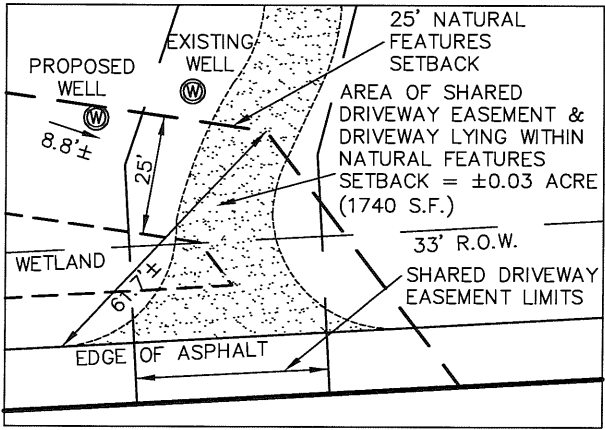
DETAIL 'A' SCALE 1" = 20'



DETAIL 'B' SCALE 1" = 30'



DETAIL 'C' SCALE 1" = 30'



- NOTES:
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 4. WETLAND DELINEATION SHOWN PER MARX WETLANDS, LLC DELINEATION COMPLETED AND FLAGGING LOCATED BY KEBS, INC. IN DECEMBER 2024



05-19-2025

SCALE 1" = 100'



LEGEND

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- = Existing Well Location

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KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

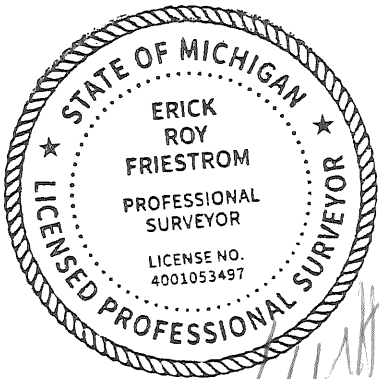
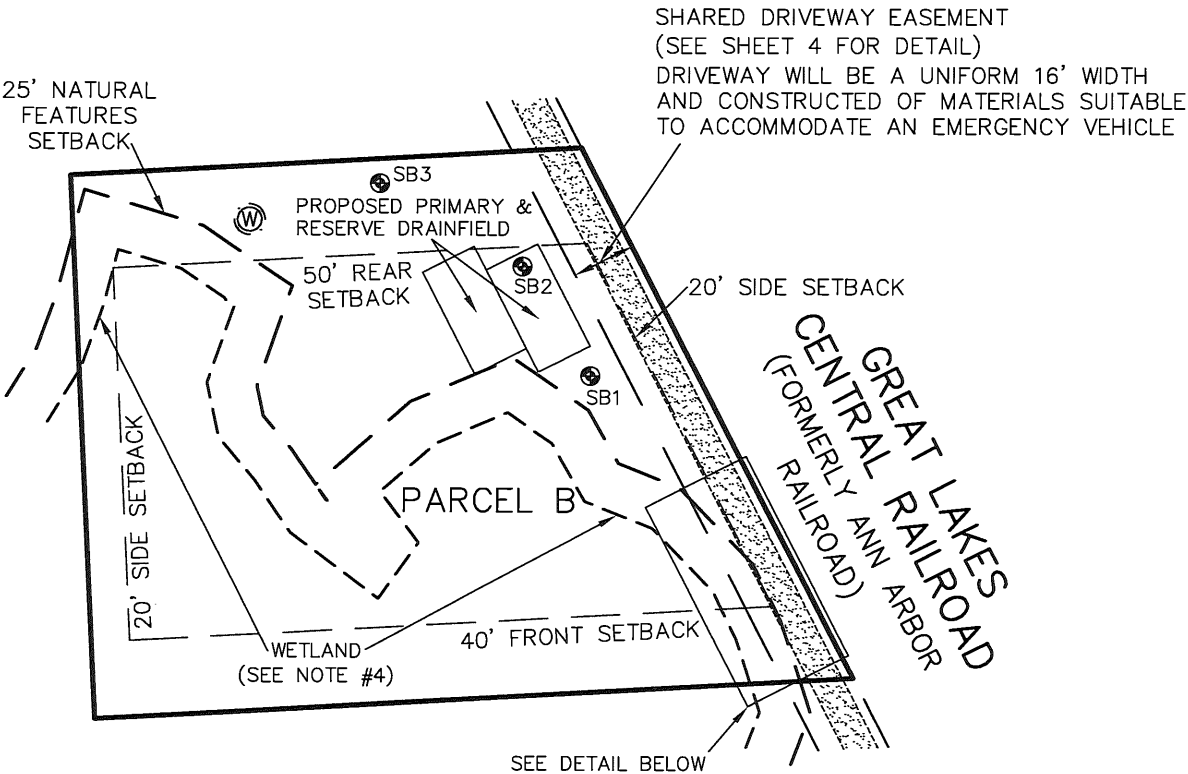
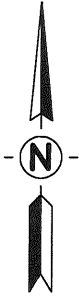
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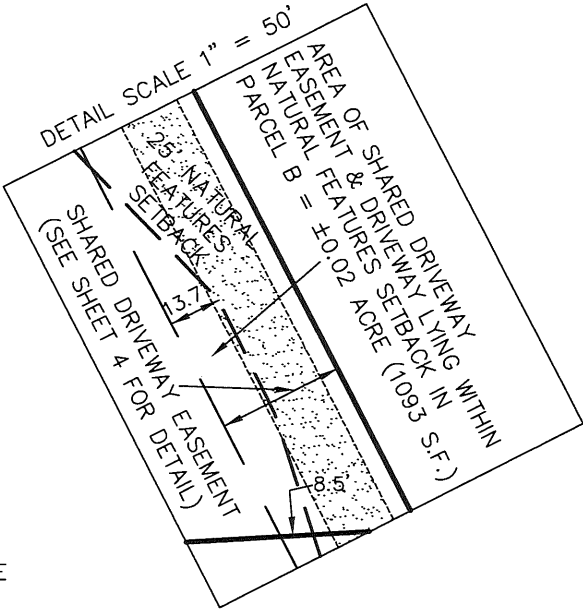
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FIELD WORK BY	NW/HS	JOB NUMBER:	
SHEET	5 OF 13		103586.BND-4

CERTIFIED BOUNDARY SURVEY
PARCEL B BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



05-29-2025



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SCALE 1" = 100'



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BRYAN LAND SURVEYS

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DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	
SHEET	6 OF 13		103586.BND-4

CERTIFIED BOUNDARY SURVEY
PARCEL C BUILDING ENVELOPE DETAILS

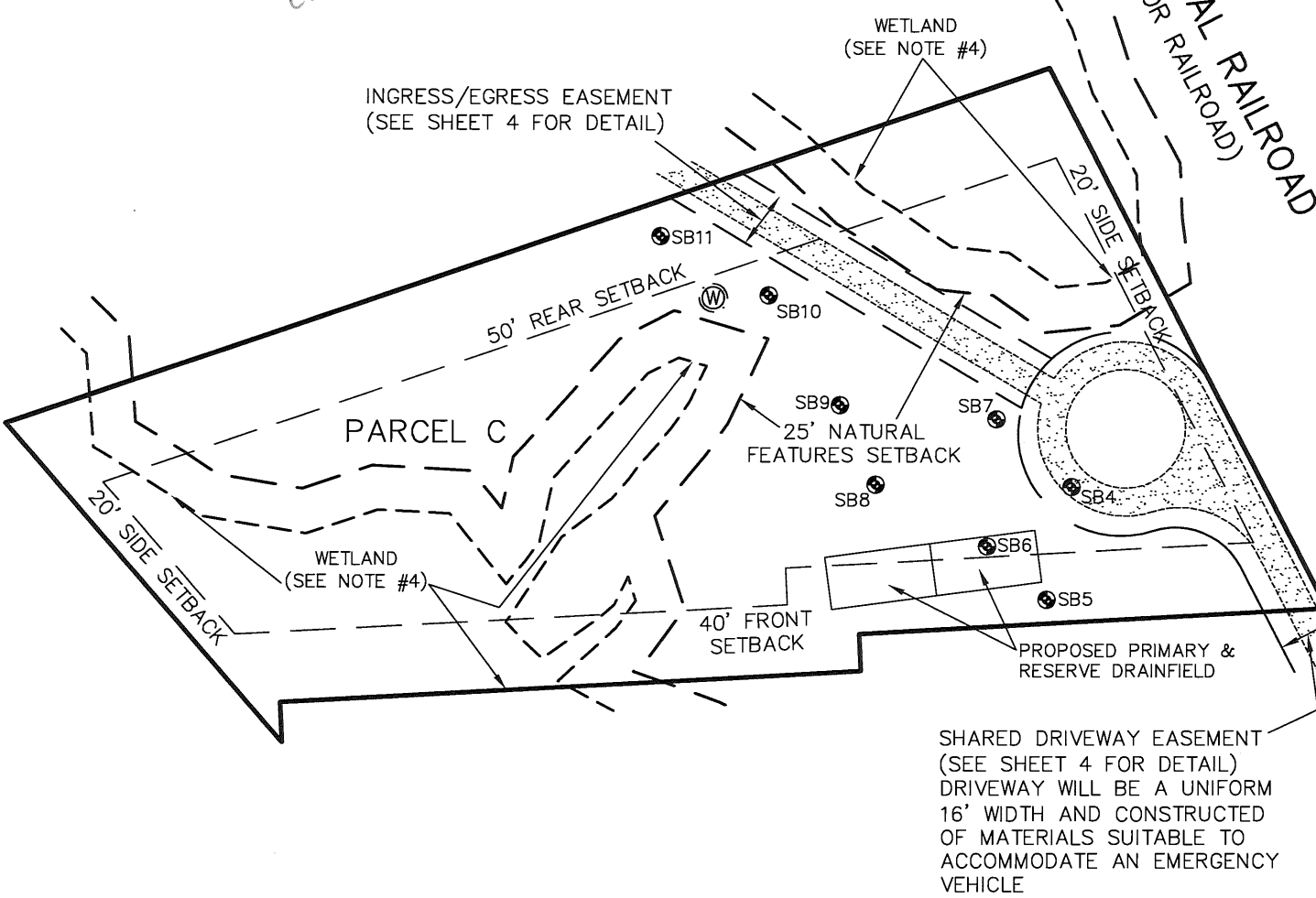
FOR: PROPERTY SERVICES UNLIMITED, LLC



ER
05-29-2025



GREAT LAKES CENTRAL RAILROAD
(FORMERLY ANN ARBOR RAILROAD)



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SCALE 1" = 100'



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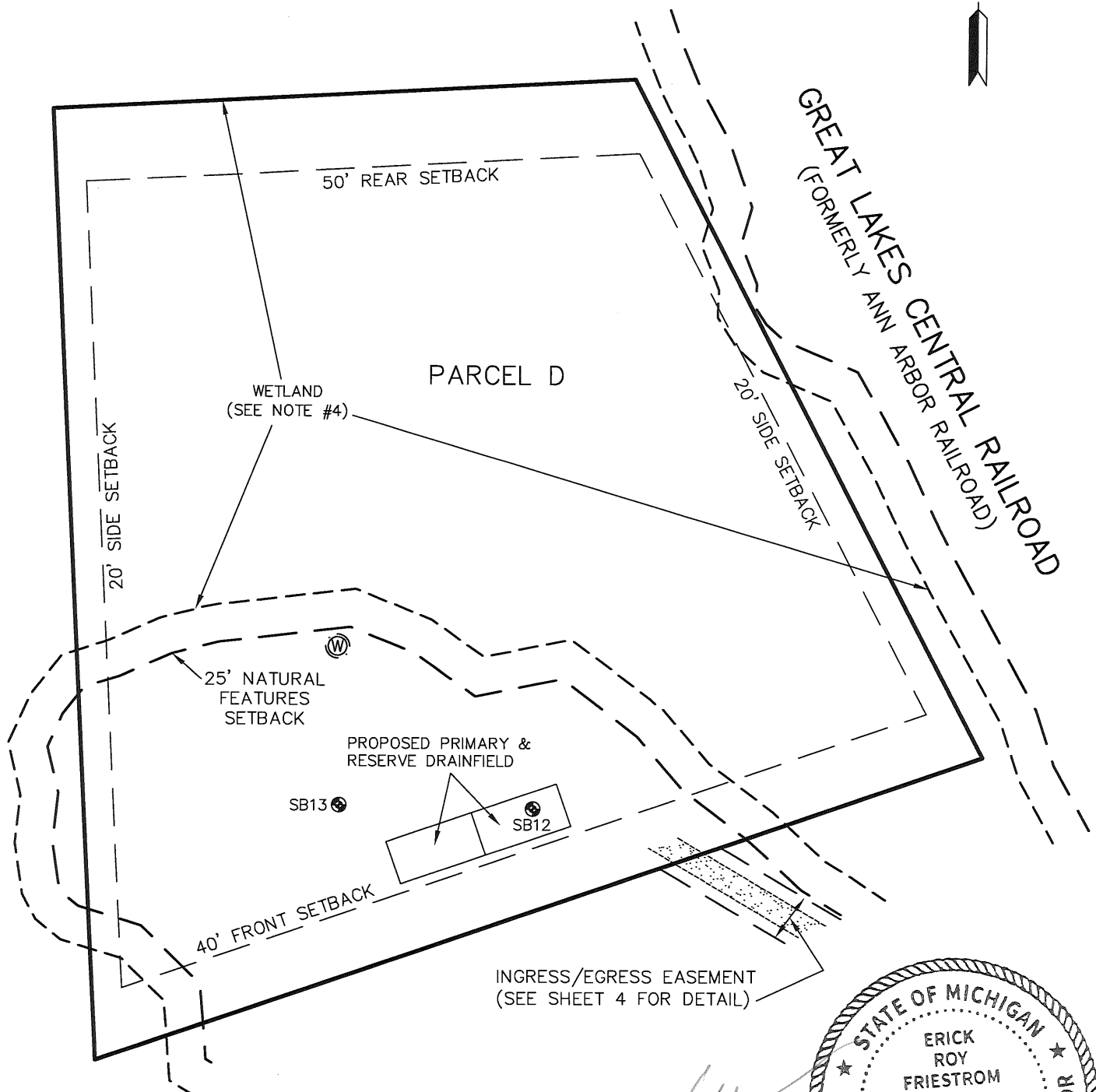
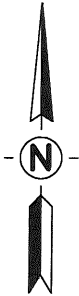
KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

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PH. 517-339-1014 FAX. 517-339-8047
13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	103586.BND-4
SHEET	7 OF 13		

CERTIFIED BOUNDARY SURVEY
PARCEL D BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



- NOTES:
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KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

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DRAWN BY AN	SECTION 28, T2N, R5E
FIELD WORK BY NW/HS	JOB NUMBER:
SHEET 8 OF 13	103586.BND-4

CERTIFICATE OF SURVEY: **CERTIFIED BOUNDARY SURVEY**

I hereby certify only to the parties named hereon that we have surveyed and divided into four parcels, at the direction of said parties, a parcel of land previously described as:

(As provided by First American Title Insurance Company, Commitment No. 1021161, dated October 29, 2024)

All that part of the Southeast quarter (1/4) of the Southwest quarter (1/4) of Section Twenty-Eight (28), in Town 2 North of Range 5 East, Michigan, lying Westerly of the Ann Arbor railroad right of way, excepting therefrom a parcel of land described as follows: beginning at the Southwest corner of said Southeast quarter (1/4) of the Southwest quarter (1/4); thence East 313.45 feet; thence North 264 feet; thence West 165 feet; thence North 252 feet; thence North 38 degrees West 235 feet to the West line of said Southeast quarter (1/4) of Southwest quarter (1/4); thence South 700 feet to the Place of Beginning. Also excluding: a part of the Southeast quarter (1/4) of the Southwest quarter (1/4) of Section 28, Town 2 North, Range 5 East, Michigan, described as: beginning in the center line of the highway at a point 313.45 feet East of the Southwest corner of Said Southeast 1/4 of the southwest 1/4 of said section 28; thence North 264 feet; thence West 165 feet; thence North 264 feet; thence East 330 feet; thence South 528 feet to the center line of the highway; thence West 165 feet along the centerline of the highway to the Point of Beginning.

and that we have found or set, as noted hereon, permanent markers to all corners and angle points of the boundaries of said parcels and that the more particular legal descriptions of said parcels are as follows:

Parcel A


A parcel of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the surveyed boundary of said parcel described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 341.40 feet to the Westerly right-of-way line of Great Lakes Central Railroad and the point of beginning of this description; thence S86°46'51"W continuing along said South line 513.73 feet; thence N02°47'15"W 264.00 feet; thence N86°46'51"E parallel with said South line 394.49 feet to said Westerly right-of-way line; thence S27°10'00"E along said Westerly right-of-way line 288.86 feet to the point of beginning; said parcel containing 2.75 acres, more or less, including 0.38 acre, more or less, presently in use as public right-of-way for Brighton Road; said parcel subject to all easements and restrictions, if any.

Subject to and benefited by a Shared Driveway Easement granted to Genoa Township, its successors and assigns, in perpetuity, of the right to occupy and use such easement for installation, maintenance, and operation of public utilities described as:

An area of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the limits of said area described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 419.65 feet to the point of beginning of this easement description; thence S86°46'51"W continuing along said South line 40.00 feet; thence N03°17'26"W 50.00 feet; thence N18°04'21"E 77.22 feet; thence N27°10'00"W parallel with the Westerly right-of-way line of Great Lakes Central Railroad 496.32 feet; thence Northwesterly 58.52 feet along a curve to the left with a radius of 41.50 feet, a delta angle of 80°47'38", and a chord of 53.79 feet bearing N67°33'46"W; thence Northeasterly 266.27 feet along a curve to the right with a radius of 58.50 feet, a delta angle of 260°47'35", and a chord of 89.10 feet bearing N22°26'12"E to said Westerly right-of-way line; thence S27°10'00"E along said Westerly right-of-way line 607.53 feet; thence S14°15'17"W 77.50 feet; thence S03°17'26"E 50.00 feet to the point of beginning; said area containing 0.79 acre, more or less, including 0.03 acre, more or less, presently in use as public right-of-way for Brighton Road; said area subject to all other easements and restrictions, if any.

(CONTINUED ON SHEET 10)



		KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS
2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047		
13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805		
DRAWN BY	AN	SECTION 28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:
SHEET	9 OF 13	103586.BND-4

CERTIFIED BOUNDARY SURVEY

(CONTINUED FROM PAGE 9)

Parcel B

A parcel of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the surveyed boundary of said parcel described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 341.40 feet to the Westerly right-of-way line of Great Lakes Central Railroad; thence N27°10'00"W along said Westerly right-of-way line 288.86 feet to the point of beginning of this description; thence S86°46'51"W parallel with said South line 394.49 feet; thence N02°47'15"W 285.08 feet; thence N86°46'51"E parallel with said South line 265.73 feet to said Westerly right-of-way line; thence S27°10'00"E along said Westerly right-of-way line 311.92 feet to the point of beginning; said parcel containing 2.16 acres, more or less; said parcel subject to all easements and restrictions, if any.


Subject to and benefited by a Shared Driveway Easement granted to Genoa Township, its successors and assigns, in perpetuity, of the right to occupy and use such easement for installation, maintenance, and operation of public utilities described as:

An area of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the limits of said area described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 419.65 feet to the point of beginning of this easement description; thence S86°46'51"W continuing along said South line 40.00 feet; thence N03°17'26"W 50.00 feet; thence N18°04'21"E 77.22 feet; thence N27°10'00"W parallel with the Westerly right-of-way line of Great Lakes Central Railroad 496.32 feet; thence Northwesterly 58.52 feet along a curve to the left with a radius of 41.50 feet, a delta angle of 80°47'38", and a chord of 53.79 feet bearing N67°33'46"W; thence Northeasterly 266.27 feet along a curve to the right with a radius of 58.50 feet, a delta angle of 260°47'35", and a chord of 89.10 feet bearing N22°26'12"E to said Westerly right-of-way line; thence S27°10'00"E along said Westerly right-of-way line 607.53 feet; thence S14°15'17"W 77.50 feet; thence S03°17'26"E 50.00 feet to the point of beginning; said area containing 0.79 acre, more or less, including 0.03 acre, more or less, presently in use as public right-of-way for Brighton Road; said area subject to all other easements and restrictions, if any.

(CONTINUED ON SHEET 11)



Handwritten signature and date:
05-29-2025

	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
	2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805	
DRAWN BY AN		SECTION 28, T2N, R5E
FIELD WORK BY NW/HS		JOB NUMBER:
SHEET 10 OF 13		103586.BND-4

CERTIFIED BOUNDARY SURVEY

(CONTINUED FROM SHEET 10)

Parcel C

A parcel of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the surveyed boundary of said parcel described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 341.40 feet to the Westerly right-of-way line of Great Lakes Central Railroad; thence N27°10'00"W along said Westerly right-of-way line 600.78 feet to the point of beginning of this description; thence S86°46'51"W parallel with said South line 265.73 feet; thence S02°47'15"E 21.08 feet; thence S86°46'51"W parallel with said South line 330.00 feet; thence S02°47'15"E 23.00 feet; thence N40°55'10"W 240.37 feet to a point on the West line of the East 1/2 of the Southwest 1/4 of said Section 28; thence N70°53'43"E 625.97 feet to said Westerly right-of-way line; thence S27°10'00"E along said Westerly right-of-way line 347.35 feet to the point of beginning; said parcel containing 3.70 acres, more or less; said parcel subject to all easements and restrictions, if any.

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Subject to an Ingress/Egress Easement described as:

An area of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the limits of said area described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 341.40 feet to the Westerly right-of-way line of Great Lakes Central Railroad; thence N27°10'00"W along said Westerly right-of-way line 948.13 feet; thence S70°53'43"W 184.66 feet to the point of beginning of this easement description; thence S59°04'27"E 205.61 feet; thence Southwesterly 33.45 feet along a curve to the left with a radius of 58.50 feet, a delta angle of 32°45'55", and a chord of 33.00 feet bearing S30°55'33"W; thence N59°04'27"W 233.27 feet; thence N70°53'43"E 43.06 feet to the point of beginning; said area containing 0.16 acre, more or less; said area subject to all other easements and restrictions, if any.

(CONTINUED ON SHEET 12)



	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
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	13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805	
DRAWN BY AN		SECTION 28, T2N, R5E
FIELD WORK BY NW/HS		JOB NUMBER:
SHEET 11 OF 13		103586.BND-4

CERTIFIED BOUNDARY SURVEY

(CONTINUED FROM SHEET 11)

Parcel D

A parcel of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the surveyed boundary of said parcel described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 341.40 feet to the Westerly right-of-way line of Great Lakes Central Railroad; thence N27°10'00"W along said Westerly right-of-way line 948.13 feet to the point of beginning of this description; thence S70°53'43"W 625.97 feet to the West line of the East 1/2 of the Southwest 1/4 of said Section 28; thence N02°47'22"W along said West line 640.01 feet to the North line of the South 1/2 of the Southwest 1/4 of said Section 28; thence N86°49'38"E along said North line 389.26 feet to said Westerly right-of-way; thence S27°10'00"E along said Westerly right-of-way line 512.45 feet to the point of beginning; said parcel containing 6.50 acres, more or less; said parcel subject to all easements and restrictions if any.


Benefited by a Shared Driveway Easement granted to Genoa Township, its successors and assigns, in perpetuity, of the right to occupy and use such easement for installation, maintenance, and operation of public utilities described as:

An area of land in the Southwest 1/4 of Section 28, T2N, R5E, Genoa Township, Livingston County, Michigan, the limits of said area described as: Commencing at the South 1/4 corner of said Section 28; thence S86°46'51"W along the South line of said Section 28 a distance of 419.65 feet to the point of beginning of this easement description; thence S86°46'51"W continuing along said South line 40.00 feet; thence N03°17'26"W 50.00 feet; thence N18°04'21"E 77.22 feet; thence N27°10'00"W parallel with the Westerly right-of-way line of Great Lakes Central Railroad 496.32 feet; thence Northwesterly 58.52 feet along a curve to the left with a radius of 41.50 feet, a delta angle of 80°47'38", and a chord of 53.79 feet bearing N67°33'46"W; thence Northeasterly 266.27 feet along a curve to the right with a radius of 58.50 feet, a delta angle of 260°47'35", and a chord of 89.10 feet bearing N22°26'12"E to said Westerly right-of-way line; thence S27°10'00"E along said Westerly right-of-way line 607.53 feet; thence S14°15'17"W 77.50 feet; thence S03°17'26"E 50.00 feet to the point of beginning; said area containing 0.79 acre, more or less, including 0.03 acre, more or less, presently in use as public right-of-way for Brighton Road; said area subject to all other easements and restrictions, if any.

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DRAWN BY	AN	SECTION	28, T2N, R5E
FIELD WORK BY	NW/HS	JOB NUMBER:	
SHEET	12 OF 13		103586.BND-4

CERTIFIED BOUNDARY SURVEY

WITNESSES TO SECTION CORNERS:

Southwest corner, Section 28, T2N, R5E
Found Livingston County Remon bar & cap #29238, ±1' below gravel surface and ±12' North of centerline of Brighton Road
Found Livingston County nail & tag in East side of 30" Oak, N20°W, 38.24'
Found Livingston County remon nail & tag in East side of triple 15" Oak, N65°E, 21.10'
Found Livingston County nail & tag in East side of 18" Oak, S30°W, 57.25'
Found Livingston County remon nail & tag in East side of twin Oak, S55°W, 62.48'

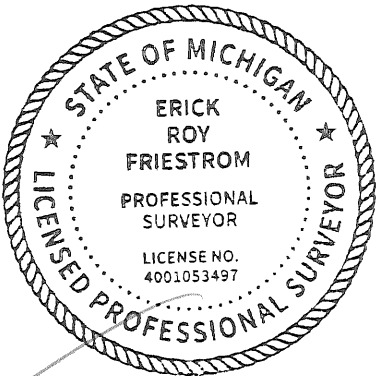
Center of Section 28, T2N, R5E
Found Livingston County bar & cap #62878 in mon box in North edge of pavement of Oak Pointe Drive
Northeast corner of catch basin rim, West, 93.35'
Center of sanitary manhole, N37°E, 20.55'
Found nail & tag in East side of 14" Red Oak, S07°E, 59.56'
Center of concrete monument, N09°E, 21.55'

South 1/4 corner, Section 28, T2N, R5E
Found Remon bar & cap #29238 in mon box, ±0.5' South of centerline of Brighton Road and ±30' East of centerline of Chilson Road
Found nail & tag in South side of utility pole, S85°E, 185.65'
Found nail & tag in East side of utility pole, S05°E, 25.20'
Found nail & tag in West side of utility pole, N49°W, 145.80'
Found nail & tag in South side of utility pole, N83°W, 160.93'


West 1/4 corner, Section 28, T2N, R5E
Found Remon bar & cap, ±0.3' North of Livingston Land Conservancy sign
Found nail & tag in East side of 4" Juniper, N05°W, 0.80
Found nail & tag in Southwest side of 10" Tamarack stump 5' high, S40°E, 41.25'
Found nail & tag in Northeast side of 10" Tamarack, S10°E, 33.95'
Found T-post, South, 0.30'

I certify that the requirements for 1970 PA 132, MCL 54.213 have been met. The relative positional precision of the corners identified for this survey and shown on the map are within the limits accepted by the professional practice of surveying.

All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the nearest National Geodetic Survey C.O.R.S. station.



[Signature]
05-29-2025
Erick R. Friestrom Date:
Professional Surveyor No. 53497

 KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
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DRAWN BY AN	SECTION 28, T2N, R5E
FIELD WORK BY NW/HS	JOB NUMBER:
SHEET 13 OF 13	103586.BND-4



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: May 23, 2025
RE: ZBA 25-12

File Number: ZBA#25-12

Site Address: 4433 Brighton Road Howell MI, 48843

Parcel Number: 4711-28-300-006

Parcel Size: 13.5 Acres

Applicant: Dave Bair

Property Owner: Property Services Unlimited LLC, 9552 E Highland Howell

Information Submitted: Application and site plan

Request: Wetland Setback Variance to install a shared driveway to allow for property to be split.

Zoning and Existing Use: Suburban Residential (SR), single family home

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 1, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Assessing Records, the property currently has 1 single family home.
- The property will be serviced by a well and a septic system.
- Applicant is proposing to have the property split into 4 parcels.
- See Record Card

Summary

The applicant is requesting a variance from the required 25-foot undisturbed natural features setback to install a 16' wide shared driveway to allow for the property to be split into 4 new parcels. Part of Parcel A, Parcel B, & Parcel C encroach into the 25' buffer.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Variance Requests

The following is the section of the zoning ordinance that the variance is being requested from as well as the criteria applicable for your review of the variance in this regard.

13.02.04 Genoa Township Wetland Protection Standards

(d) Required 25-foot setback: An undisturbed natural setback shall be maintained twenty-five (25) feet from a MDEQ determined/regulated wetland. Trails and recreational areas may be allowed in the wetland setback. Any site grading or storage within the wetland protection setback area shall require a Special Land Use Permit according to Article 19; provided that no such activity shall be allowed within ten (10) feet of a regulated wetland unless specifically approved by the Planning Commission.

13.02.05 Variances from the Wetland Setback Requirement

In considering a variance for the wetland setback, the applicant must demonstrate to the Board of Appeals:

- (a) the setback is not necessary to preserve the wetland's ecological and aesthetic value.
- (b) the natural drainage pattern to the wetland will not be significantly affected;
- (c) the variance will not increase the potential for erosion, either during or after construction;
- (d) no feasible or prudent alternative exists and the variance distance is the minimum necessary to allow the project to proceed; or
- (e) MDEQ permit requirements have been met and all possible avoidable impacts to wetlands have been addressed.

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 13.02.05.

- (a) Evidence should be provided that the setback is not necessary to preserve the wetland's ecological and aesthetic value. The application indicates that a wetland specialist has determined that the wetlands have low ecological and aesthetic value.
- (b) The natural drainage pattern could be affected due to the proposed driveway being located in an area that has only been a farm path. Additional information should be provided in regards to the need for culverts which would have a greater impact to the wetland buffer.
- (c) Applicant has stated that proper soil erosion control measures will be followed during construction. Wetland buffer could be permanently demarcated with signage to indicate the edge of the undisturbed natural area and could remain in perpetuity to ensure future owners do not further encroach.

- (d) The Township ordinance requirement is 16 feet with the ability to be reduced down to 12 feet in order to preserve wetlands. The driveway should be reduced to an approved width to the minimum amount necessary.
- (e) A MDEQ permit is not needed for a work inside in the 25-foot natural features setback from the wetland.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. The applicant shall permanently demarcate and install signage to indicate the edge of the undisturbed natural area. This shall remain in perpetuity to ensure future owners do not further encroach.
2. The entire remaining setback buffer area shall remain in a natural and undisturbed state and is not eligible for trail or recreational area exemptions.
3. Silt fencing must be utilized during the construction phase, and the applicant must obtain all necessary approvals from the Livingston County Drain Commissioner.
4. No other encroachments on the entire property are allowed

CERTIFIED BOUNDARY SURVEY
PARCEL A BUILDING ENVELOPE DETAILS

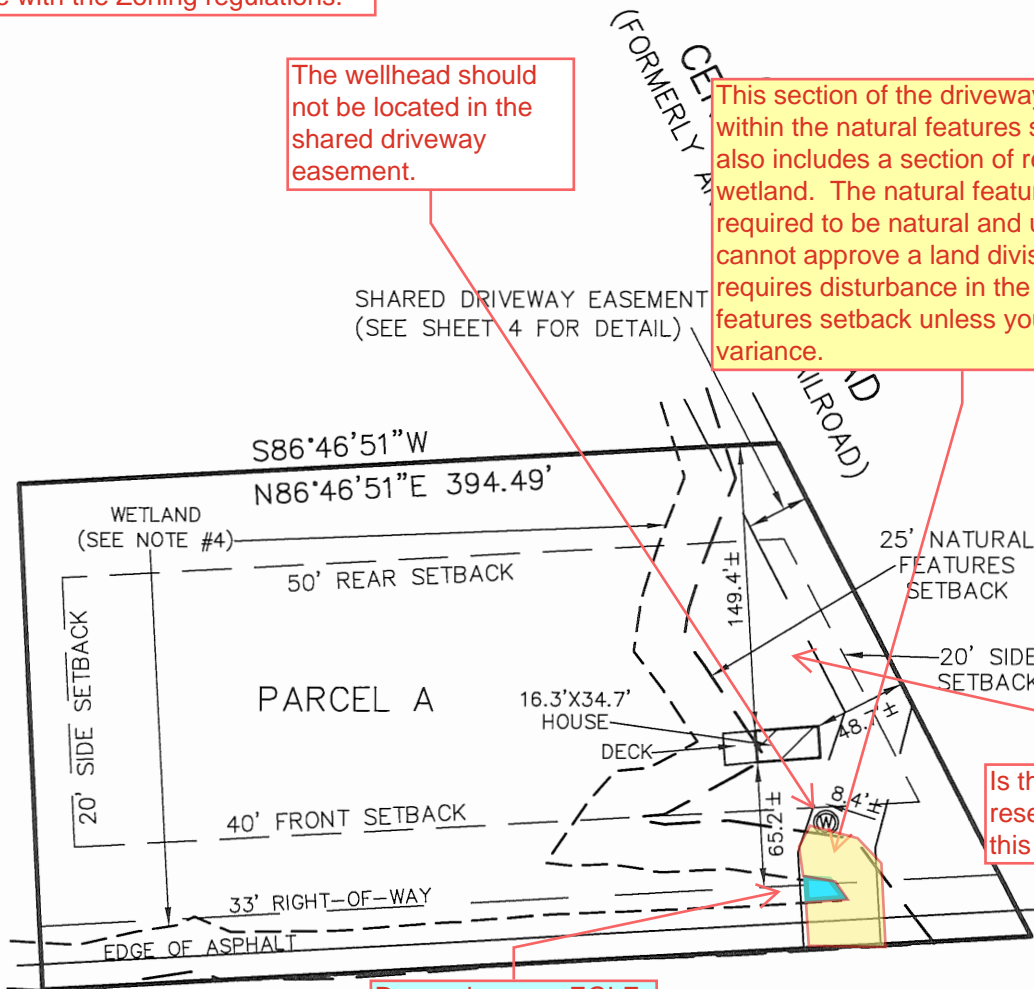
FOR: PROPERTY SERVICES UNLIMITED, LLC

The building envelope on this lot is extremely small. Can you provide a detail area of the building envelope at a smaller scale showing the driveway easement and space for a reserve septic? We need to make sure that this new parcel can be used in accordance with the Zoning regulations.



The wellhead should not be located in the shared driveway easement.

This section of the driveway easement is within the natural features setback and also includes a section of regulated wetland. The natural features setback is required to be natural and undisturbed. I cannot approve a land division that requires disturbance in the natural features setback unless you obtain a variance.



Is there room for a reserve septic field on this lot?

Do you have an EGLE permit to install the driveway within the wetland? This should be provided prior to any land divisions.



NOTES:

1. EASEMENTS, IF ANY, NOT SHOWN
2. ALL DIMENSIONS ARE AS MEASURED UNLESS NOTED OTHERWISE
3. SOIL BORING LOCATIONS SHOWN HEREON BASED ON LATITUDE/LONGITUDE AS PROVIDED BY CLIENT
4. WETLAND DELINEATION SHOWN PER MARX WETLANDS, LLC DELINEATION COMPLETED AND FLAGGING LOCATED BY KEBS, INC. IN DECEMBER 2024

LEGEND

- = Set 1/2" Bar with Cap
- = Found Iron as Noted
- = Survey Boundary Line
- = Distance Not to Scale
- ⊙ = Soil Boring Location
- ⊙ = Existing Well Location

All Dimensions are in Feet and Decimals Thereof.
All Improvements Not Shown.

SCALE 1" = 100'



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

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PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 49068
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DRAWN BY AN

SECTION 28, T2N, R5E

FIELD WORK BY NW/HS

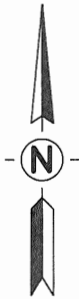
JOB NUMBER:

SHEET 10 OF 13

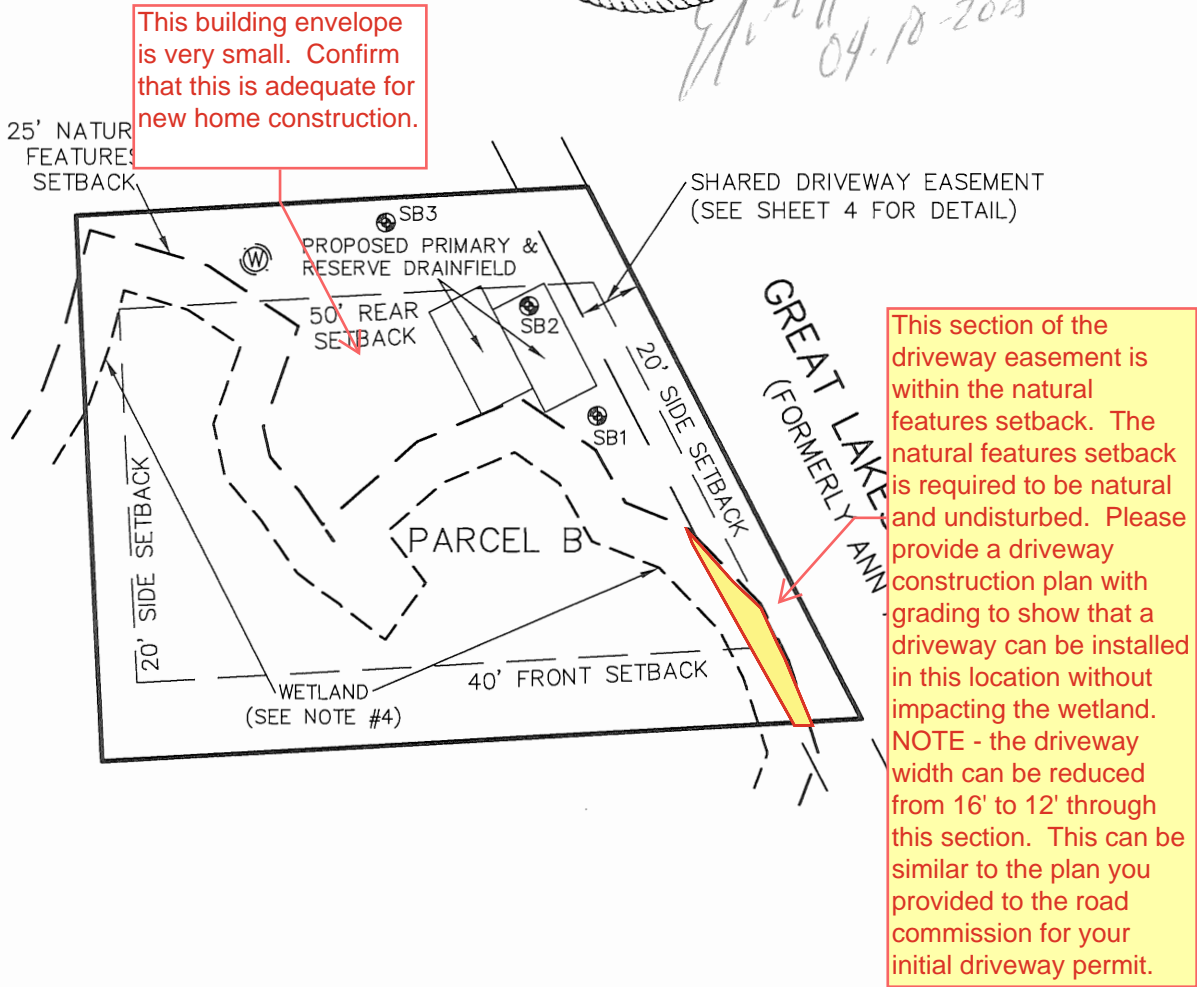
103586.BND-3

CERTIFIED BOUNDARY SURVEY
PARCEL B BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



Handwritten signature and date: 04-18-2025

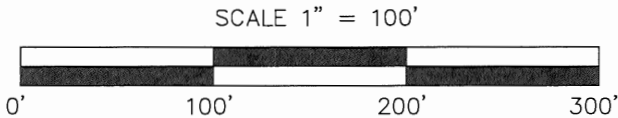


- NOTES:
- 1. EASEMENTS, IF ANY, NOT SHOWN
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LEGEND

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- = Found Iron as Noted
- = Survey Boundary Line
- = Distance Not to Scale
- ⊙ = Soil Boring Location
- ⊙ = Proposed Well Location

All Dimensions are in Feet and Decimals Thereof.
All Improvements Not Shown.



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SHEET 11 OF 13		103586.BND-3

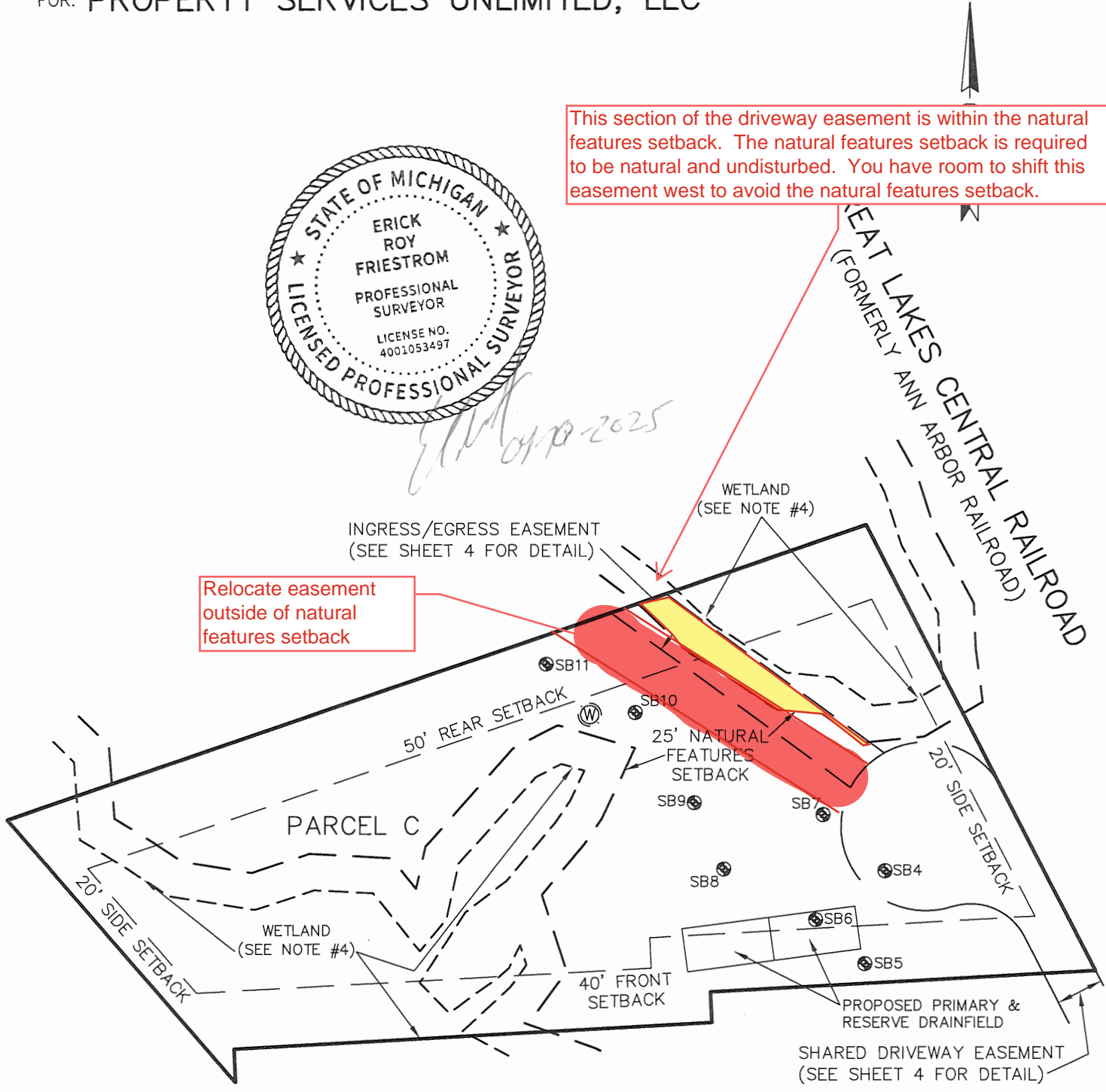
CERTIFIED BOUNDARY SURVEY
PARCEL C BUILDING ENVELOPE DETAILS

FOR: PROPERTY SERVICES UNLIMITED, LLC



E. Friestrom
01/10/2025

This section of the driveway easement is within the natural features setback. The natural features setback is required to be natural and undisturbed. You have room to shift this easement west to avoid the natural features setback.



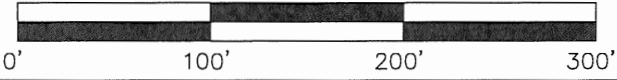
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KEBS, INC.

KYES ENGINEERING
BRYAN LAND SURVEYS

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DRAWN BY AN	SECTION 28, T2N, R5E
FIELD WORK BY NW/HS	JOB NUMBER:
SHEET 12 OF 13	103586.BND-3

From: [C. Gray](#)
To: [Carrie Aulette](#)
Subject: Comment: Proposed Variance 4433 Brighton Road
Date: Tuesday, June 3, 2025 7:40:28 PM

Thank you for the opportunity to share my concerns on the proposed variance at 4433 Brighton Road. Per your letter the request is for a wetland setback variance and any other variances deemed necessary by the Zoning Board of Appeals to install a shared driveway to allow for property to be split.

We request that the Zoning Board of Appeals **reject** the requested wetland setback variance. The request would negatively impact the wetlands in the proposed area. We purchased our home in 2017 feeling certain that the natural environment provided from the wetland area, which is directly behind our home, would not be disrupted. It is very disappointing that the wetland could be severely disrupted or even destroyed by allowing the driveway to be installed. Has the Zoning Board of Appeals asked for an environmental impact study to be conducted?

We are sure the Huron Rivershed would also be interested in this information. In southeastern Michigan, the Huron River watershed spans a land area of more than 900 square miles and drains water to the Huron River through hundreds of tributary creeks and streams. The river itself flows more than 125 miles from its headwaters at Big Lake, near Pontiac, to its mouth at Lake Erie. About 1200 miles of creeks and streams flow into the Huron's main branch. The river's drainage area includes seven Michigan counties (Oakland, Livingston, Ingham, Jackson, Washtenaw, Wayne, Monroe) and 68 municipal governments, serving six hundred and fifty thousand residents. The spectrum of land use and water environments ranges across remote natural preserves, cultivated farmland, urban and industrial centers, suburban sprawl, and an equal diversity of lakes, ponds, wetlands, creeks, and streams.

Our home is located in the Chilson Creekshed (3915 Honors Bluff Dr). The bottom line is that the wetland setback variance is going to disrupt, if not destroy the ecosystem that is vital to our water system and environment. If the creekshed loses this natural wetland area, it will lose the ecosystem services it currently provides.

Here are some additional facts:

Creekshed Ecological Health Score: 58/100 (Slightly Impacted)

History

Chilson Creek flows through land enriched by glaciers with deep deposits of sand and gravel, and is part of the lake belt that stretches through Livingston and Oakland Counties.

What was once oak-hickory forests and oak barrens on higher ground and inland wet prairie in low lying areas was first converted to farm fields and today is mostly single family homes spread out throughout the landscape and clustered around the lakes.

Two dams were built in Brighton Recreation Area in 1961, creating Lower and Upper Chilson

Pond. These dams are earthen embankments roughly 8 feet tall and 120 feet long and were installed to create shallow lake habitat suitable for waterfowl hunting.

Creekshed Facts

The Chilson creekshed is one of the smaller major drainages in the Huron River, draining only 17 square miles. The creek's slope (averaging 14 feet per mile) is average for the Huron watershed.

There are 13 lakes in the creekshed, including the residential East and West Crooked Lake, the dammed Lower and Upper Chilson Ponds, and the forested Bishop Lake which is located in Brighton Recreation Area. The creekshed also contains 22 ponds.

Chilson Creek eventually empties into Zukey Lake, which opens into Strawberry Lake, part of the Chain of Lakes of the Huron River.

Land Use

Grade: B

Impervious surfaces, such as paved roads or parking lots, prevent rainwater from soaking into the ground as it naturally would.

Numerous studies have shown that fish and insect communities are less diverse when the watershed is over 10-12% impervious surface. Only 7% of the creekshed is currently impervious, so the creek enjoys the benefits of the natural water cycle.

Natural Areas

Grade: B

About 22% of the creekshed remains as intact natural areas, about half of which is in the Brighton State Recreation Area. Without designated protection, the rest of these natural areas face an uncertain future.

Challenges

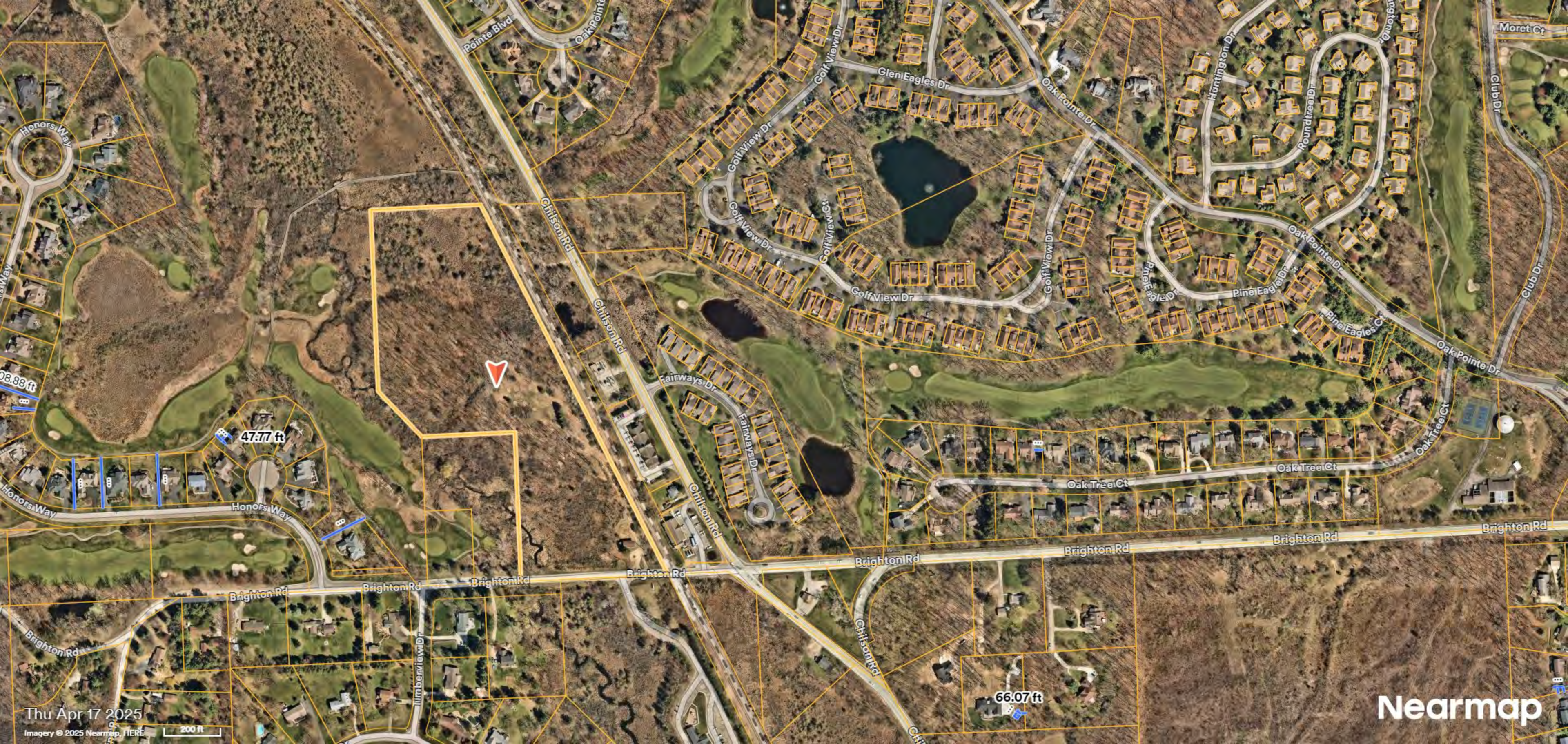
- The five dams on Chilson Creek are the primary cause of poor habitat, high fine sediment levels, and low summer flows. The dams' only purpose is to create imoundments for recreations, and must be removed before conditions on Chilson Creek can improve.
- It is important for the creekshed's three golf courses to reduce nutrient runoff, maintain buffers, and use organic turf management. The Michigan Turfgrass Environmental Stewardship Program offer certification programs for golf courses.
- Except for Brighton State Recreation Area, nearly all of the natural areas in the creekshed are under private ownership and designated for development. If the creekshed loses these natural areas, it will lose the ecosystem services they currently provide.

What you can do

- Have your septic system checked regularly. Leaking septic systems can be a large source of phosphorus and E. coli

- Maintain a 25 foot vegetated buffer, ideally made of native plants, from all waterways: ditches, creeks, lakes, and wetlands
- If you own property with a natural area, work with a land conservancy to establish an easement to protect it from future development
- Advocate for ordinances related to stormwater, natural lands, and land preservation
- Volunteer with HRWC and come learn about the river and land that drains to the Huron River.

Thank you for your consideration,
Chris and Greg Gray
3915 Honors Bluff
Howell, MI
810-844-6142



Thu Apr 17 2025

Imagery © 2025 Nearmap, HERE

200 ft

Nearmap

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.				
SHAKARIAN & POSER LIFE EST	PROPERTY SERVICES UNLIMITED	300,000	01/15/2025	WD	03-ARM'S LENGTH	2025R-001108	BUYER/SELLER	100.0				
SHAKARIAN, CAROL & POSER,	SHAKARIAN & POSER LIFE EST	0	11/04/2013	WD	21-NOT USED/OTHER	2013R-044493	BUYER/SELLER	0.0				
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: SR		Building Permit(s)		Date	Number	Status		
4433 BRIGHTON RD		School: BRIGHTON AREA SCHOOLS		HOME		09/13/1995		95-367	75%			
Owner's Name/Address		P.R.E. 0%										
PROPERTY SERVICES UNLIMITED LLC		MAP #: V25-12										
9552 E HIGHLAND RD		2026 Est TCV 245,820 TCV/TFA: 237.28										
HOWELL MI 48843		X	Improved	Vacant	Land Value Estimates for Land Table 4501.4501 (47010) BRIGHTON M & B							
Tax Description		Public Improvements			* Factors *							
SEC. 28 T2N, R5E ALL OF SE 1/4 OF SW 1/4 LYING W OF A. A. R. R R/W, EXC BEG SW COR OF SE 1/4 OF SW 1/4, N 700 FT, TH S 38*E 235 FT, TH E 330 FT, TH S 528 FT, TH W 478.5 FT TO POB		X	Dirt Road		Description	Frontage	Depth	Front	Depth	Rate %Adj.	Reason	Value
Comments/Influences			Gravel Road		TABLE A			1.590 Acres	15,296	85	RR/COMMERCIAL INFLUENCE	2
			Paved Road		WETLANDS			11.910 Acres	9,630	85	RR/COMMERCIAL INFLUENCE	9
			Storm Sewer		13.50 Total Acres Total Est. Land Value = 118,159							
			Sidewalk									
			Water									
			Sewer									
			Electric									
			Gas									
			Curb									
			Street Lights									
			Standard Utilities									
			Underground Utils.									
		Topography of Site										
			Level									
			Rolling									
			Low									
			High									
			Landscaped									
			Swamp									
			Wooded									
			Pond									
			Waterfront									
			Ravine									
			Wetland									
			Flood Plain									
		X	REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value	
		Who	When	What	2026	59,100	63,800	122,900			122,900S	
		JB	08/27/2024	REVIEWED R	2025	59,100	63,800	122,900			85,141C	
					2024	59,100	62,300	121,400			82,254C	
					2023	55,500	58,800	114,300			78,338C	

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Licensed To: Township of Genoa, County of Livingston, Michigan

Building Type		(3) Roof (cont.)		(11) Heating/Cooling		(15) Built-ins		(15) Fireplaces		(16) Porches/Decks		(17) Garage	
X Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang		X Gas Wood Oil Coal Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas		Area Type 240 Treated Wood		Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:	
X Wood Frame		(4) Interior		X Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling									
Building Style: D		Drywall Paneled		Plaster Wood T&G									
Yr Built 2003		Remodeled 0		Ex X Ord Min									
Condition: Good		Trim & Decoration		Size of Closets									
Room List		Doors: Solid X H.C.		Central Air Wood Furnace									
Basement 1st Floor 2nd Floor 2 Bedrooms		(5) Floors		(12) Electric									
(1) Exterior		Kitchen: Other: Other:		0 Amps Service									
X Wood/Shingle Aluminum/Vinyl Brick		(6) Ceilings		No./Qual. of Fixtures									
Insulation				Ex. X Ord. Min									
(2) Windows		(7) Excavation		No. of Elec. Outlets									
Many Avg. X Avg. Large Small		Basement: 512 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0		Many X Ave. Few									
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement		(13) Plumbing									
		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan									
(3) Roof		(9) Basement Finish		(14) Water/Sewer									
X Gable Hip Flat		Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)		Public Water Public Sewer Water Well 1 1000 Gal Septic 1 2000 Gal Septic									
X Asphalt Shingle		(10) Floor Support		Lump Sum Items:									
Chimney: Brick		Joists: Unsupported Len: Cntr.Sup:											

Cost Est. for Res. Bldg: 1 Single Family D

(11) Heating System: Forced Air w/ Ducts

Ground Area = 512 SF Floor Area = 1036 SF.

Phy/Ab.Phy/Func/Econ/Comb. % Good=86/100/100/100/86

Building Areas

Stories	Exterior	Foundation	Size	Cost New	Depr. Cost
2 Story	Siding	Basement	512		
1 Story	Siding	Overhang	12		
Total:				118,619	102,014

Other Additions/Adjustments

Plumbing					
3 Fixture Bath			1	3,360	2,890
Water/Sewer					
1000 Gal Septic			1	4,414	3,796
Water Well, 200 Feet			1	10,359	8,909
Deck					
Treated Wood			240	4,620	3,973
Totals:				141,372	121,582

Notes:

ECF (4501 (47010) BRIGHTON M & B) 1.050 => TCv:

127,661



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-13

Meeting Date: June 17, 2025 @ 6:30pm

☒ PAID Variance Application Fee in the Boardroom

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Warren.WCG@outlook.com

Applicant/Owner: Warren Construction Group/ Email: TonyMcNeal@outlook.com

Property Address: Tony McNeal
4330 Ridge Lake St. Phone: 734-457-0371

Present Zoning: LDR Tax Code: 11-26-202-011

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Dimensional Variance,
The property modification requested is; decrease the rear
Setback to 49' from 60'. This modification will allow the
detached garage square footage to be increased to 1,500 SF.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The maximum square footage of Accessory structures was unknown to the property owner. The property owner was misled by his builder. Since construction of the property in question others in the same neighborhood have built accessory structures, one received a Zoning Variance.
Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The elevation/grade of the home in respect to the road did not allow the main dwelling to be built farther from the rear setback.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

No it will not.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

No it will not.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 05/19/25 Signature: Wm. Tisdell

MAXIMUM UNSUPPORTED HEIGHT OF BASEMENT WALL (feet)	LOCATION OF HORIZONTAL REINFORCEMENT
≤ 8	One No. 4 bar within 12 inches at the top of the wall story and one No. 4 bar near mid-height of the wall story
> 8	One No. 4 bar within 12 inches at the top of the wall story and one No. 4 bar near third points in the wall story

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa, 1 pound per square inch = 6.895 kPa.

a. Horizontal reinforcement requirements are for reinforcing bars with a minimum yield strength of 40,000 psi and concrete with a minimum concrete compressive strength of 2,800 psi.

b. See Section R404.1.2.2 for minimum reinforcement required for foundation walls supporting above-grade concrete walls.

MAXIMUM WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT ^c (feet)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (INCHES)											
		Soil classes ^d and design lateral soil (per foot of depth)											
		GW, GP, SW, SP 30				GM, GC, SM, SM-SC and ML 45				SC, ML-CI and Inorganic CL 60			
		Minimum nominal wall thickness (inches)											
		6	8	10	12	6	8	10	12	6	8	10	12
5	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
7	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
8	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
9	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
10	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	6	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa, 1 pound per square inch = 6.895 kPa.

a. Soil classes are in accordance with the Unified Soil Classification System, refer to Table R404.1.

b. Table values are based on reinforcing bars with a minimum yield strength of 40,000 psi.

c. Vertical reinforcement with a yield strength of less than 40,000 psi and/or bars of a different size than specified in the table are permitted in accordance with Section R404.1.2.2.4 and Table R404.1.2(2).

d. No vertical reinforcement is required, except for 6-inch nominal walls formed with stay-in-place forming systems in which case vertical reinforcement shall be provided at 48 inches on center.

e. Allowable deflection criterion is L/240, where L is the unsupported height of the basement wall in inches.

f. Interpretation is not permitted.

g. Where walls will retain 4 feet or more of unbalanced backfill, they shall be laterally supported at the top and bottom before backfilling.

h. Vertical reinforcement shall be located to provide a cover of 1.25 inches measured from the inside face of the wall. The center of the steel shall not vary from the specified location by more than 10 percent of the wall thickness or 3/8 inch.

i. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4 inch. Concrete cover for reinforcement measured from the outside face of the wall shall not be less than 1 1/2 inches for No. 8 bars and smaller, and not less than 2 inches for larger bars.

j. DR means design is required in accordance with the applicable building code, or where there is no code in accordance with ACI 318.

k. Concrete shall have a specified compressive strength, f'_c , of not less than 2,800 psi at 28 days, unless a higher strength is required by footnote i or j.

l. The minimum thickness is permitted to be reduced 2 inches, provided the minimum specified compressive strength of concrete, f'_c , is 4,000 psi.

m. A plain concrete wall with a minimum nominal thickness of 12 inches is permitted, provided minimum specified compressive strength of concrete, f'_c , is 2,800 psi.

n. See Table R404.1.2 for tolerance from nominal thickness permitted for the walls.

o. The use of this table shall be prohibited for soil classifications not shown.

MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WALL HEIGHT (feet)	TENSION STRAP CAPACITY REQUIRED (pounds) ^a					
				Ultimate Design Wind Speed V_h (mph)					
				110	115	130	110	115	130
				Exposure B			Exposure C		
2 x 4 No. 2 Grade	0	10	18	1,000	1,000	1,000	1,000	1,000	1,050
			9	1,000	1,000	1,000	1,000	1,000	1,750
			16	1,000	1,025	2,050	2,075	2,500	3,950
	1	10	18	1,000	1,275	2,375	2,400	2,850	DR
			9	1,000	1,000	1,475	1,500	1,875	3,125
			16	1,775	2,175	3,525	3,550	4,125	DR
	2	10	18	2,075	2,500	3,950	3,975	DR	DR
			9	1,150	1,500	2,650	2,675	3,175	DR
			16	2,875	3,375	DR	DR	DR	DR
	2	12	18	3,425	3,975	DR	DR	DR	DR
			9	2,275	2,750	DR	DR	DR	DR
			12	3,225	3,775	DR	DR	DR	DR
2 x 6 Stud Grade	2	12	9	1,000	1,000	1,700	1,700	2,025	3,050
			16	1,825	2,150	3,225	3,225	3,675	DR
			18	2,200	2,550	3,725	3,750	DR	DR
	4	12	9	1,450	1,750	2,700	2,725	3,125	DR
			16	2,050	2,400	DR	DR	DR	DR
			18	3,350	3,800	DR	DR	DR	DR

For Sl: 1 inch = 25.4 mm, 1 foot per hour = 0.447 m/s.

a. DR = Design Required.

b. Straps shall be installed in accordance with manufacturer's recommendations.

STUD SIZE (inches)	BEARING WALLS			NONBEARING WALLS		
	Laterally unsupported stud height or (feet)	Maximum spacing when supporting roof-ceiling assembly or a habitable attic assembly, only (inches)	Maximum spacing when supporting one floor plus roof-ceiling assembly or a habitable attic assembly, only (inches)	Maximum spacing when supporting one floor plus roof-ceiling assembly or a habitable attic assembly, only (inches)	Laterally unsupported stud height or (feet)	Maximum spacing (inches)
2x3 b	-	-	-	-	10	16
2x4	10	24 c	16 c	-	24	14
2x4	10	24	24	16	24	14
2x5	10	24	24	-	24	16
2x6	10	24	24	16	24	20

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

a. Stud heights are distances between points of lateral support placed perpendicular to the plane of the wall. Bearing walls shall be sheathed on not less than one side or bracing shall be installed not greater than 4 feet apart measured vertically from either end of the stud. Increases in unsupported height are permitted where in compliance with Section 2 of Section R602.3.1 or designed in accordance with accepted engineering practice.

b. Stud not to be used in exterior walls.

c. A habitable attic assembly supported by 2 x 4 studs is limited to a roof span of 22 feet, where the roof span exceeds 12 feet, the wall studs shall be increased to 2 x 6 or the studs shall be designed in accordance with accepted engineering practice.

SIZE OF STEEL ANGLE a,b,c (inches)	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO GFI OR EQUIVALENT REINFORCING BARS d,e
3x3x1/2	4'-0"	4'-6"	3'-0"	1
4x3x1/2	8'-0"	6'-0"	4'-6"	1
5x3x1/2	10'-0"	8'-0"	6'-0"	2
6x3x1/2	14'-0"	9'-6"	7'-0"	2
2-6x3x1/2	20'-0"	12'-0"	9'-6"	4

a. Laying of angle shall be placed in a vertical position.

b. Spacing of reinforcing steel shall not be less than 8 inches and all ends of masonry veneer shall be grouted solid. Reinforcing bars shall extend not less than 8 inches into the support.

c. Steel members indicated are adequate typical examples; other steel members meeting structural design requirements shall be permitted to be used.

d. Riser steel angle or reinforced lintel shall span opening.

RAFTER SPANS	0'-0" - 4'-0"	4'-0" - 8'-0"	8'-0" - 12'-0"	12'-0" - 16'-0"
LUMBER SIZE	2x4	2x6	2x8	2x12

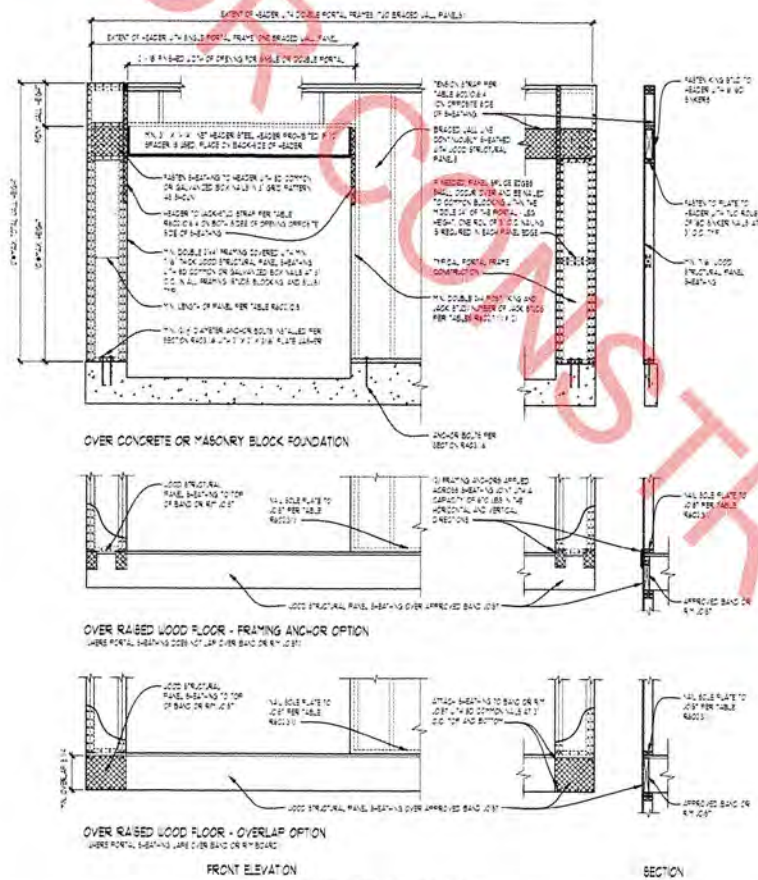
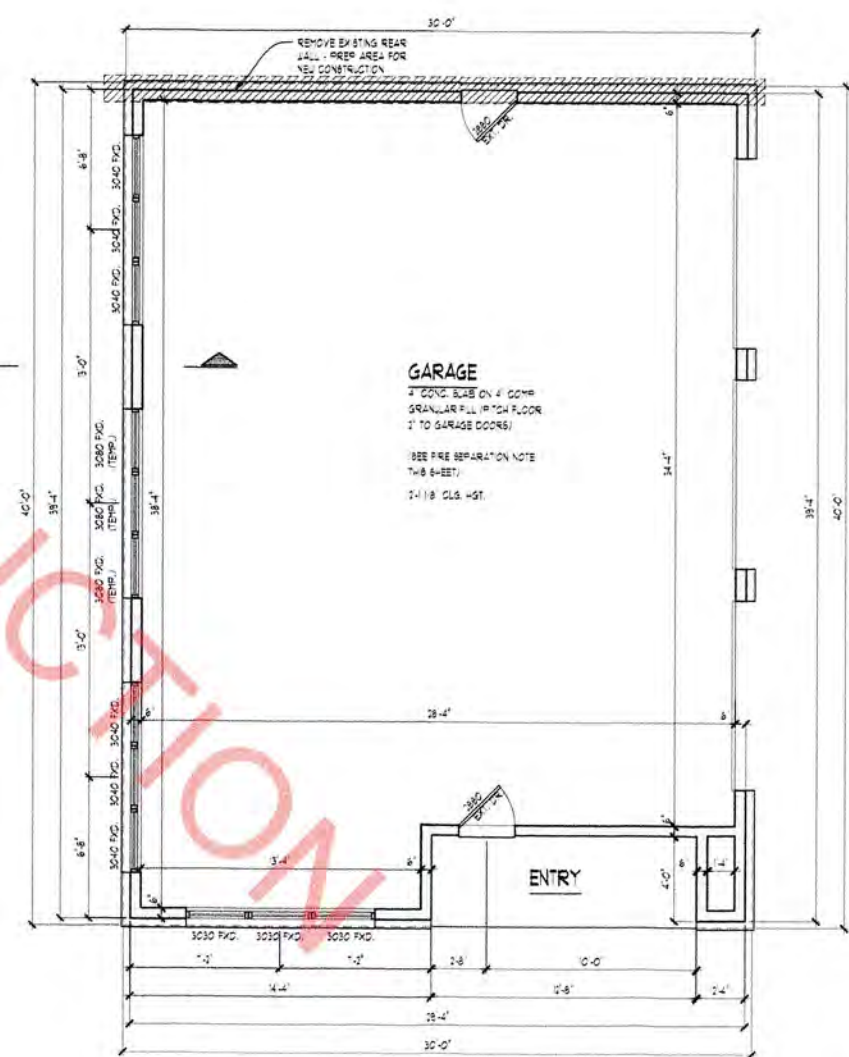


FIGURE R602.10.6.4
METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION
FOR Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm
NOT TO SCALE



EXISTING / DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



TR
DESIGN
CREATIVE COLLABORATIVE

WWW.TRKHILLDESIGN.COM
26000 PORTLAND AVE.
SOUTH LYON, MI 48178
PHONE: (248) 446-1041
FAX: (248) 446-1191

PROJECT: FIRST FLOOR LAYOUT
DATE: 10/10/2013
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
FRAMED BY: J. HARRIS
REVIEW BY: J. HARRIS
FINAL BY: J. HARRIS
REVISED BY: J. HARRIS
REVISIONS: 1-19-23
2-2-23
3-2-23
4-30-23

CLIENT / PROJECT
MITCH HARRIS
MCNEAL GARAGE
ADDITION
BRIGHTON, MI

JOB No. 200-0001
DRAWN: JH
CHECKED: PAP
FRAMED: BH
REVIEW: 1-19-23
FINAL: 3-2-23
REVISED: 6-16-23
4-30-23

SCALE:
PER PLAN

SHEET #
GN2

NOTE:

ALL FOOTINGS ARE DESIGNED FOR 3000 PSI CONCRETE, 60,000 PSI BOLT STEEL CAPACITY & 30 PSF SURF BULK LOAD. FOR VARYING CONDITIONS, REFER TO TABLE A4.03(1), A4.03(2), & A4.03(3) OF THE 2008 RC.

1. ALL COLUMNS MUST BE 14" DIA. SCH-40 OR 4" STANDARD STEEL PIPE COLUMN ON 30" X 30" X 4" DEEP CONC. FTS. TOP OF CONCRETE FTS TO BE 4" BELOW FINISH BULKHEAD PLATE (UNLESS ALTERNATE OTHER USE).
2. VERIFY ALL UTILITY LOCATIONS w/ BUILDER.
3. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
4. PROVIDE JOIST BRACING AFTER ALL JOIST RAVING PARALLEL, W/ JOIST THAT DOES NOT END DIRECTLY ON A JOIST.
5. PROVIDE ISOLATE BLOCKS UNDER ALL BEARING CONDITIONS.
6. GROUND FLOOR & BEARING CONDITIONS WHERE BLOCK IS USED.
7. GARAGE CEILING HEIGHTS MAY VARY AT LOCATIONS DEPENDING ON PAVED-CL. DROPS, JOIST STRUCTURAL BEAMS IF REQUIRED, OR ANY FINISH-CL. TREATMENTS.

INTERIOR WALLS:
1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3/4" THICK TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSION TAKEN FROM STUD EDGES

EXTERIOR WALLS:
SHEATHING OR INSULATION WITH AIRSPACE MOISTURE BARRIER FLASHPAPER (HOUSE WRAP) ON 2x6 C.B.B. SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. AND MAX. GUT CONSTRUCTION ON 1/2" GYPSUM WALL BOARD (GUESS) 1/2" MIN. TO BE 3/4" THICK WITH 2x6S TYPICAL UNLESS NOTED OTHERWISE. ALL DIMENSION TAKEN FROM FINISHED FLOOR FINISH OR FOUNDATION CORNERS (FOUNDATION PLAN).

1. OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 203 CBC SECTION 705.11.1).

2. VENT ALL EXHAUST FANS TO EXTERIOR.

3. WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEYOND MAIN ROOF.

4. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.

5. ALL FIRST FLOOR VENTILATORS SHOULD BE TO BE PAIRED 8'-8" TALL UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER.

6. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.

7. PROVIDE SLOASH BLOCKS UNDER ALL BEARING CONDITIONS.

8. GARAGE WALLS TO BE 2x6 STUDS F OVER 6'-0" TALL.

NOTE:
PORCH C.G. FINISH PER
BUILDER'S SPEC.

NOTE: ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE

NOTE:
DOOR & WINDOW LOCATIONS:
ALL DOORS & WINDOWS ARE ASSIGNED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FOR CLIPPING UNLESS NOTED OTHERWISE.

NOTE:
VERIFY DROPPED FLOOR AREAS
FOR TILE WITH BULDER

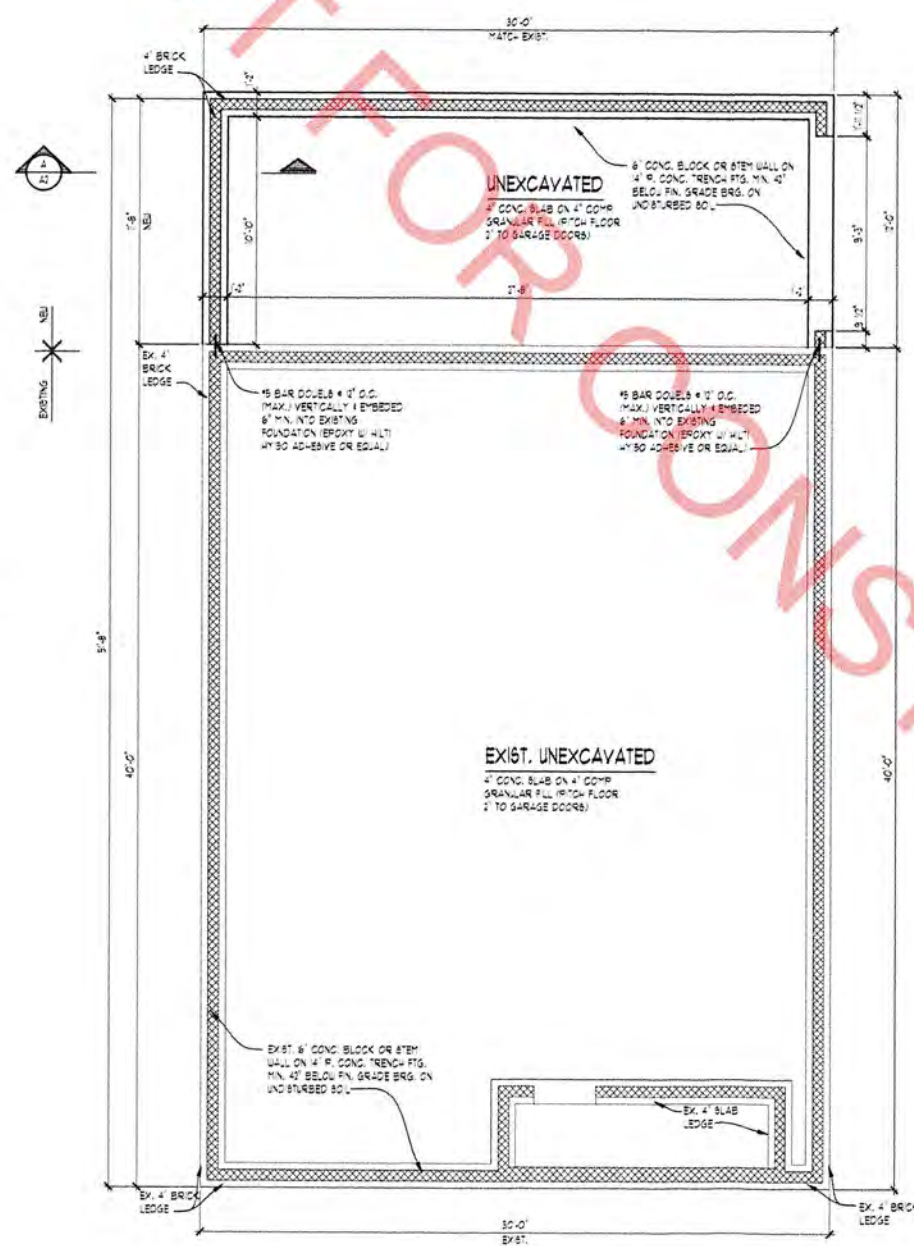
NOTE:
PROVIDE MIN. 121/2 X 4 HEADER AT ALL
INTERIOR & EXTERIOR DOOR & WINDOW

NOTE:
PROVIDE MN, IN JACK STUD & KING
STUD AT EACH END OF ALL READERS

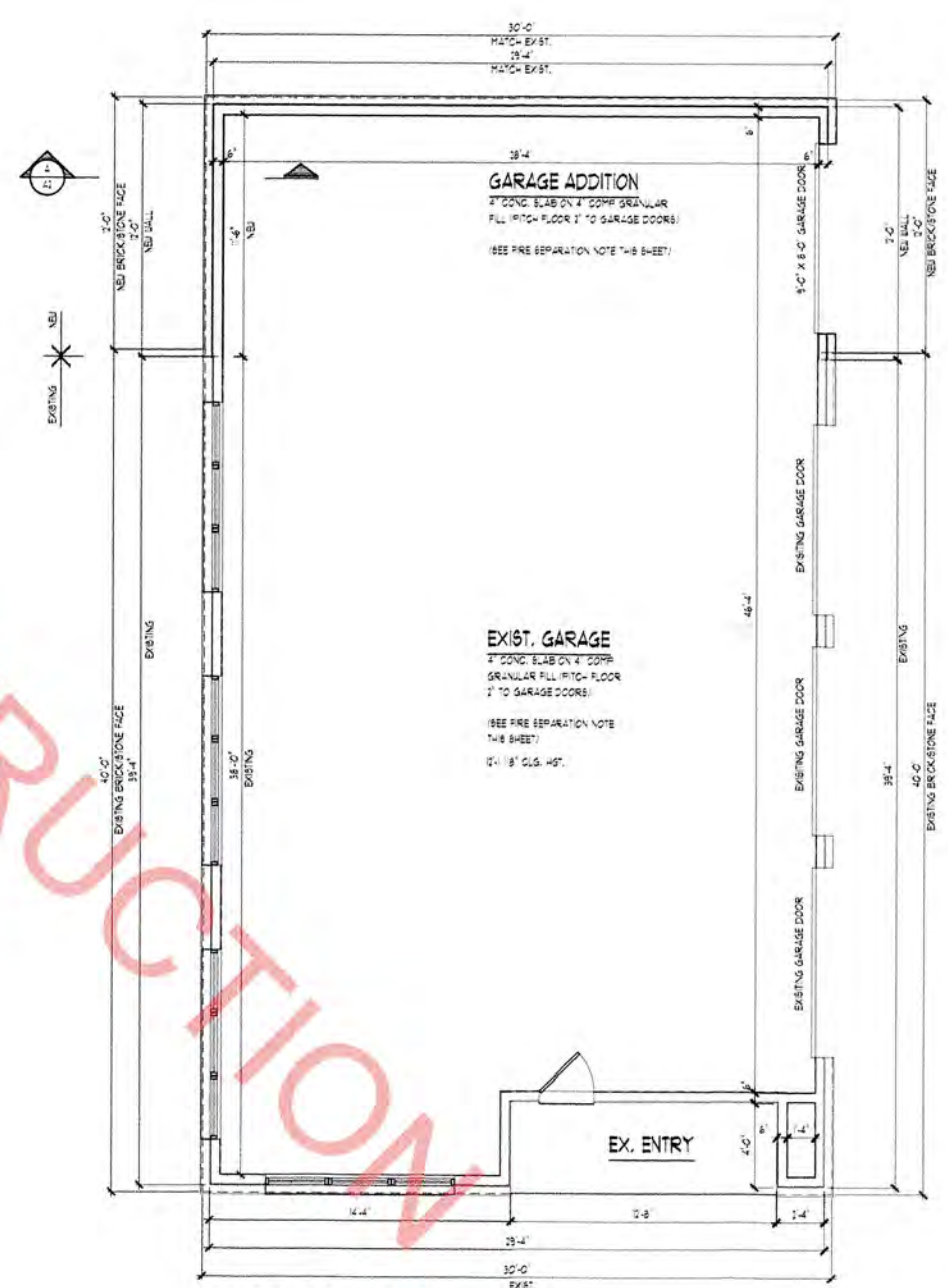
NOTE:
PROVIDE MIN. 10 JOIST OR LADDER
FRAMING UNDER ALL UPPER FLOOR
PARALLEL PARTITIONS

NOTE:
GROUT ALL CONCRETE BLOCK
CORES SOLD THAT SUPPORT FORT
LOADS FROM ABOVE (TYPICAL)

NOTE:
WOOD BEAM
STEEL BEAM
 XXXXX BRG. WALL
 XXXXX BRG. WALL ABOVE
 XXXXX BRG. WALL + BRG. WALL ABOVE
 ■ POINT LOAD
 * POINT LOAD FROM ABOVE

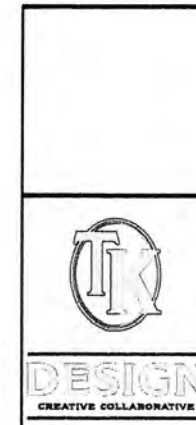


FOUNDATION PLAN



FIRST FLOOR PLA

AREA SUMMARY:	
OVERALL FLOOR AREA:	
FIRST FLOOR	134 S.F.
ADDITON	392 S.F.
<u>TOTAL AREA</u>	<u>526 S.F.</u>



WWW.1KHOMEDESIGN.CO
26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
PHONE: (248) 446-1960
FAX: (248) 446-1961

COPIES: 2017 DRAFT AND ASSOCIATE

CLIENT / PROJECT

JOB No.	200-000
DRAWN:	AG
CHECKED:	PAP
FRAMED:	BF
REVIEW	1-19-23
FINAL:	3-3-23
REVISED:	6-16-23
REMOVED:	1-23-23

SCALE:
PER PLAN

SHEET #
A-1



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

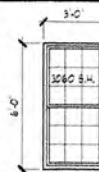
1. ALL ROOF SADDLES TO BE G.B.B. SHEATHED WITH CE & WATER SHED AND SHINGLES.
2. PROVIDE CE & WATER SHED MIN. 6'-0" COVERAGE AT ALL VALLEYS.
3. AIRPLATE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
4. METAL FLASHING AS REQUIRED BY CODE.
5. ROOF & BOFFIT VENTS AS REQUIRED BY CODE.
6. PROVIDE OUTSIDE & DOWNSPUTS FOR DRAINAGE OF ROOF WATER. DOWNSPUTS ARE TO BE LOCATED SO THAT THE DOWNSPUTS WILL NOT DRILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
7. CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK.

NOTE:

OVERHANG DIMENSIONS (O.A.) ARE FROM SHEETING UNDO.

TYPICAL WINDOW DESIGNATION

NOTE:
GENERAL REFERENCE FOR
ROUGH OPENING SIZES
ONLY. CONSULT WITH
WINDOW MANUFACTURER
FOR EXACT WINDOW SIZES
& REQUIREMENTS.

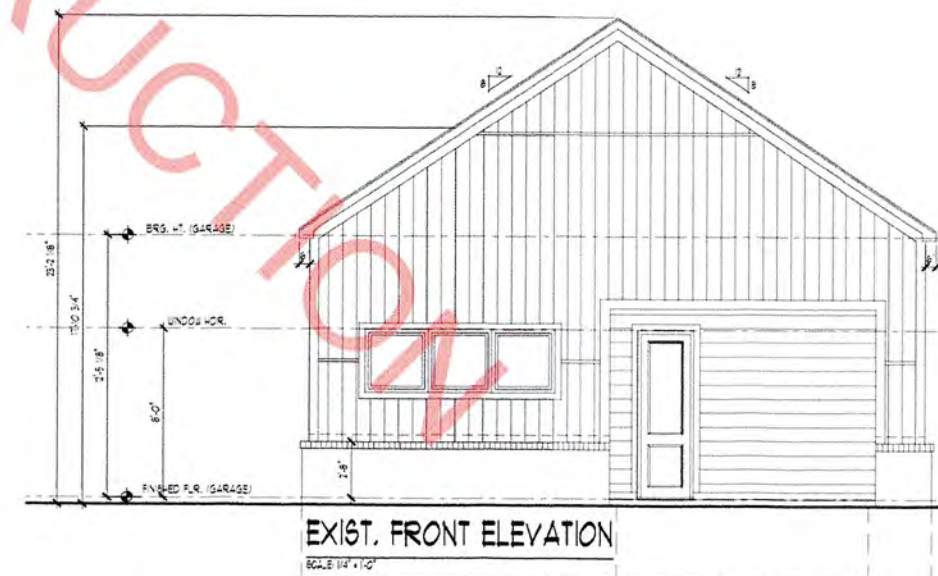


NOTE:
ALL CASEMENT VENTING TO
BE VERIFIED BY BUILDER/
HOMEOWNER PRIOR TO
ORDERING WINDOWS.

NOTE:
STOODY MANUFACTURER TO VERIFY ALL WINDOW GRID
PATTERNS WITH HOME OWNER.

NOTE:

ALL WINDOW SILLS OVER 8'-0" ABOVE EXTERIOR GRADE OR
SURFACE BELOW TO BE MINIMUM 14" ABOVE FINISHED FLOOR
OR HAVE SILL- LIMITERS PER CODE REQUIREMENTS.



EXIST. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



DESIGN
CREATIVE COLLABORATIVE

WWW.TRHONHILLDESIGN.COM
28000 PONTIAC TRAIL
SOUTH LYTON, MI 48178
PHONE: (248) 446-1961
FAX: (248) 446-1961

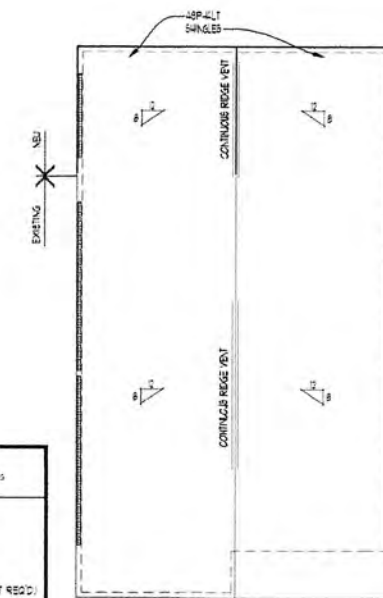
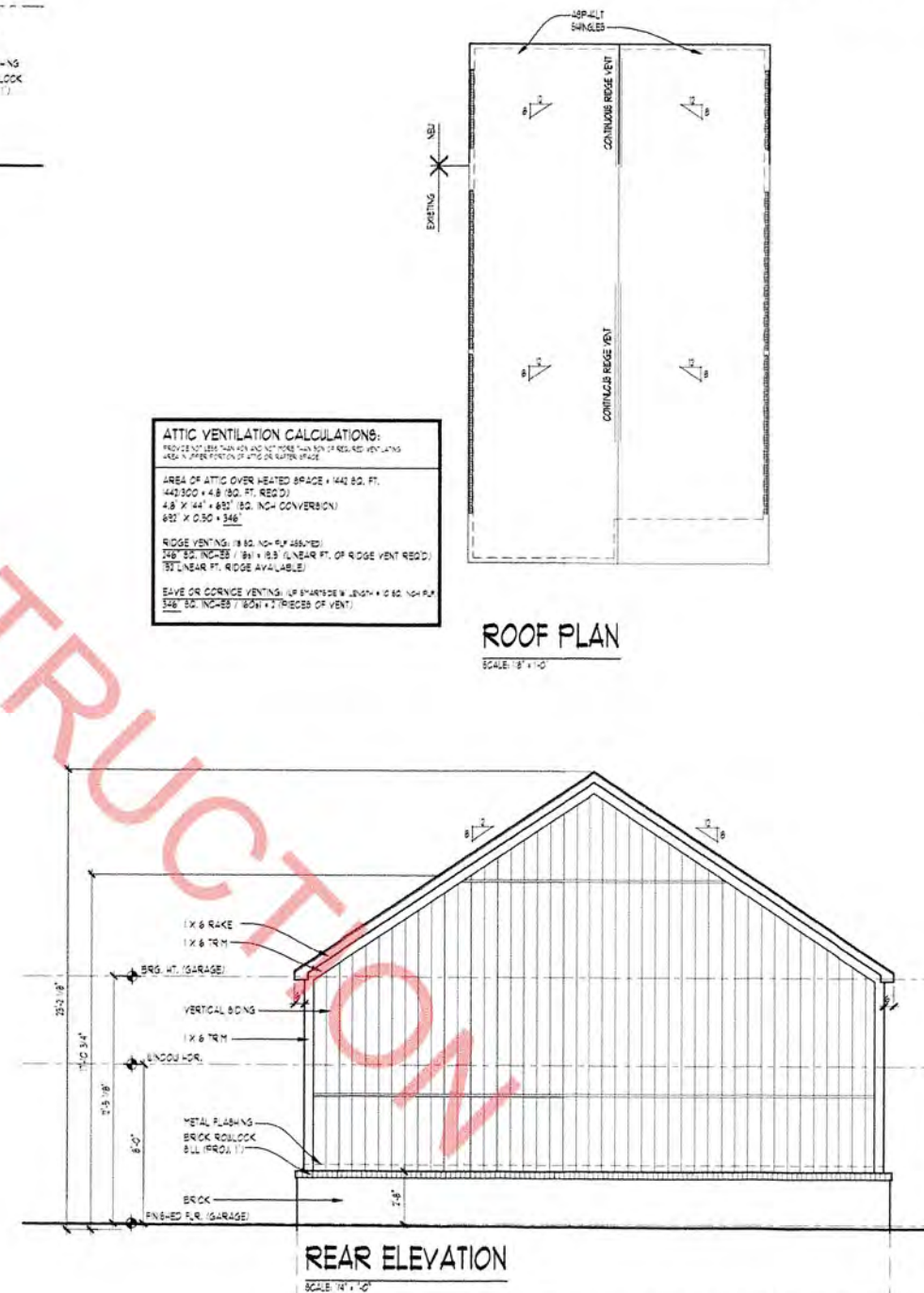
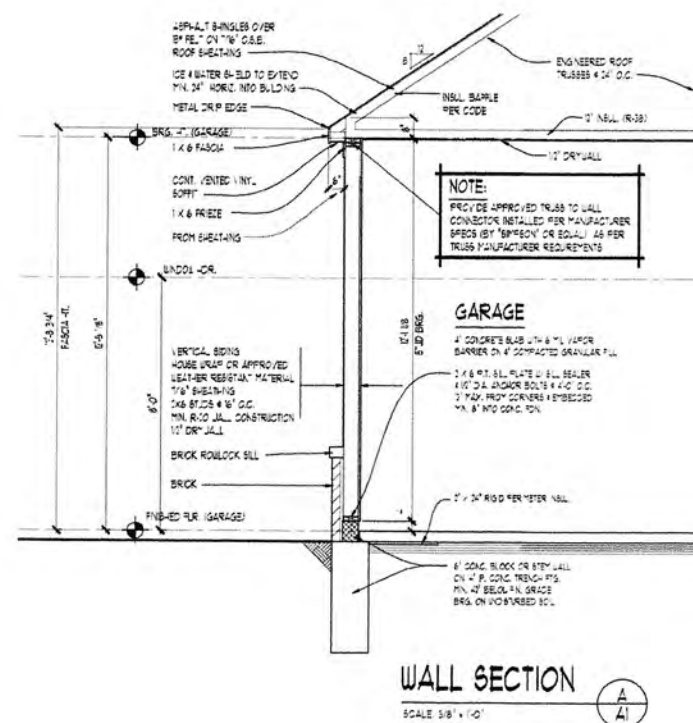
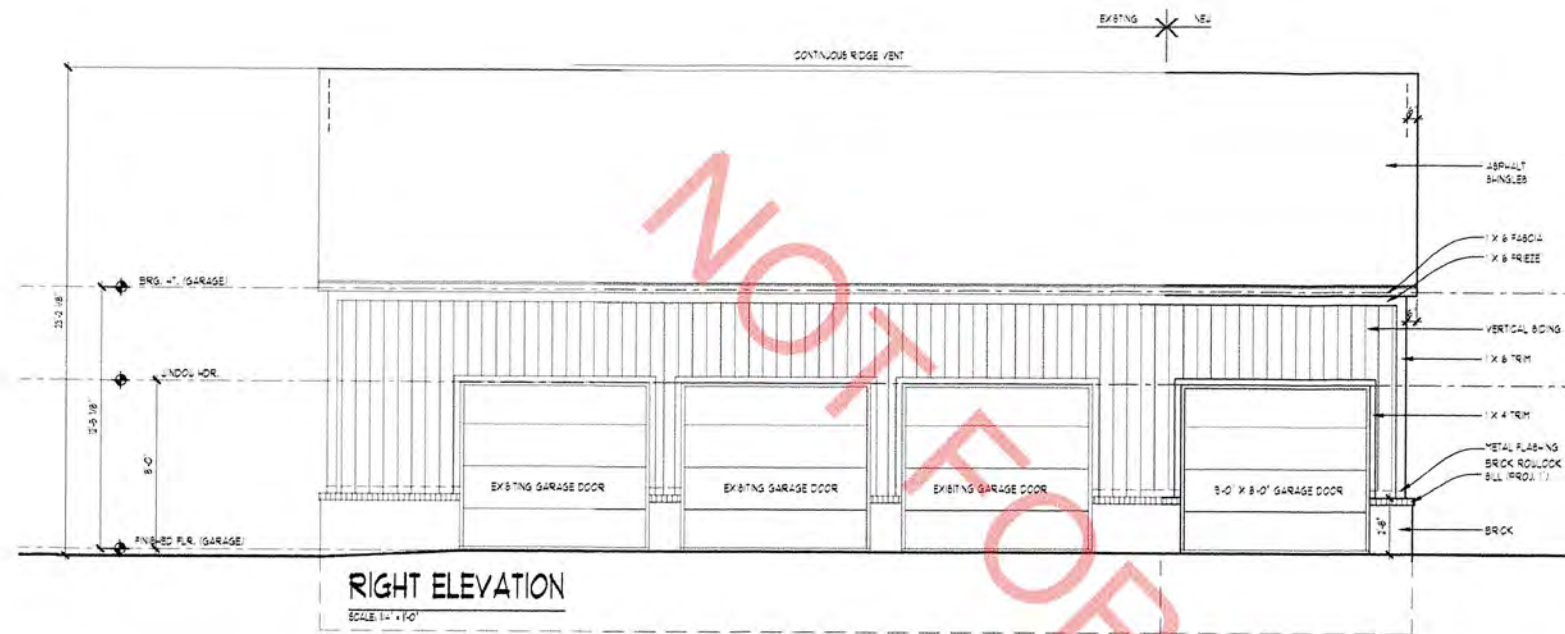
FOR THE PROJECTS:
CONTRACTOR: 100% DESIGN/CONSTRUCTION
CONTRACTOR: 100% DESIGN/CONSTRUCTION
CONTRACTOR: 100% DESIGN/CONSTRUCTION
CONTRACTOR: 100% DESIGN/CONSTRUCTION
CONTRACTOR: 100% DESIGN/CONSTRUCTION
CONTRACTOR: 100% DESIGN/CONSTRUCTION

CLIENT / PROJECT
MITCH HARRIS
MCNEAL GARAGE
ADDITION
BRIGHTON, MI

JOB No. 200-0001
DRAWN: AG
CHECKED: PAP
FRAMED: BF
REVIEW: 1-19-23
FINAL: 3-3-23
REVISED: 6-16-23
REVISOR: 4-30-25

SCALE:
PER PLAN

SHEET #
A-2

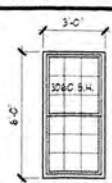


ELEVATION NOTES

1. ALL ROOF SADDLES TO BE 0.8% SLOATED WITH 1/2" WATER BELD AND 5/16" VENTS.
2. PROVIDE 1/2" WATER BELD MIN 6" COVERAGE AT ALL VALLEYS.
3. FIRE-PLUGS TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
4. METAL FLASHING AS REQUIRED BY CODE.
5. ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
6. PROVIDE GUTTERS / DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DOWNSHALE WILL NOT BRILL ON OR FLOW ACROSS ANY PORCHES, PATIOS OR DRIVE.
7. CARPENTER TO VERIFY THICKNESS OF MASONRY FROM BUILDING BRICK BACK.

OVER-ALL DIMENSIONS (O.A.) ARE FROM SHEATHING I.D.O.

TYPICAL WINDOW DESIGNATION



ALL WINDOW SILLS OVER 8'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 2" ABOVE FINISHED FLOOR OR HAVE S4S- INTERIORS PER CODE REQUIREMENTS

ATTIC VENTILATION CALCULATIONS:

AREA OF ATTIC OVER HEATED SPACE = 1442 SQ. FT.
1442/300 = 4.8 (SQ. FT. REQ'D)
4.8' X 44' = 211' (SQ. INCH CONVERSION)
621" X 0.50 = 346'

ROOF VENTING: (8 SQ. IN. PER 400 SQ. FT.)
348 SQ. IN. REQ. (81" x 12.3" (LINEAR FT. OF ROOF VENT REQ.
152" LINEAR FT. ROOF AVAILABLE)

EAVE OR CORNICE VENTING: (1/2 SQUARE IN. LENGTH x 0.60 SQ. IN. F.
348 SQ. IN. REQ. (81" x 7" (PIECES OF VENT)



TKX
DESIGN
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26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
PHONE: (248)-446-1960
FAX: (248)-446-1961

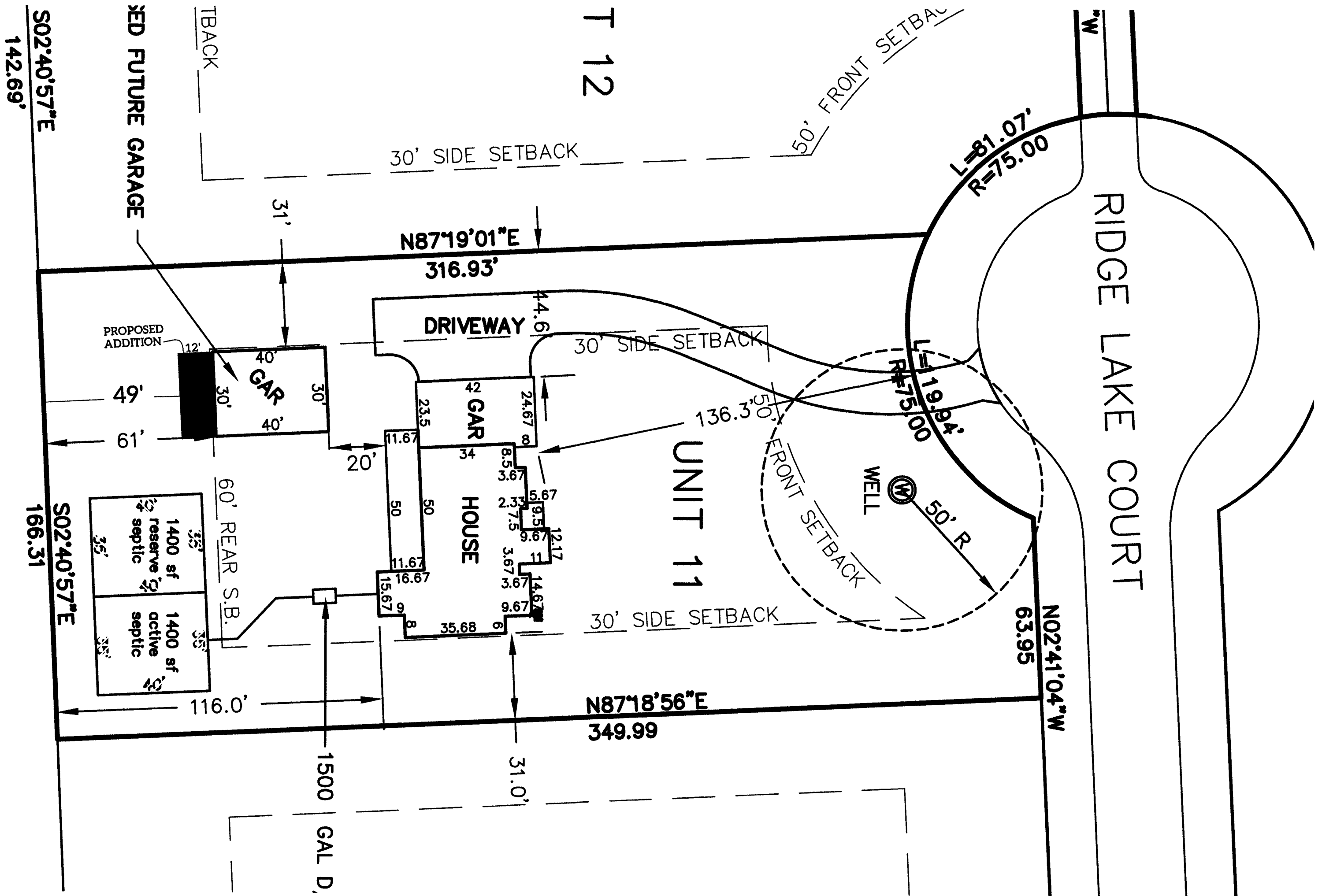
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CLIENT / PROJECT

JOB No.	200-0001
DRAWN:	AG
CHECKED:	PAP
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REVIEW	1-19-23
FINAL:	3-3-23
REVISED:	6-16-23
REVISED:	4-30-25

SCALE:
PER PLAN

SHEET #
A-3





2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy
Bill Reiber
Candie Hovarter
Todd Walker

MANAGER

Kelly VanMarter

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: May 28, 2025
RE: ZBA 25-13

File Number: ZBA# 25-13

Site Address: 4330 Ridge Lake Ct Brighton, MI 48116

Parcel Number: 4711-26-202-011

Parcel Size: 1.26 acres

Applicant: Warren Construction Group/Tony McNeal

Property Owner: Anthony & Valerie McNeal

Information Submitted: Application, site plan, building plans

Request: Dimensional Variance

Project Description: Applicant is requesting a rear yard setback variance to build an addition onto an existing detached garage. Upon review of application it appears they are also requesting a max square footage variance.

Zoning and Existing Use: LDR (Low Density Residential), Single Family Residential
Other:

Public hearing was published in the Livingston County Press and Argus on Sunday June 1, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records, the existing home was built in 2022.
- Permits were issued in 2023 to finish the basement & 2024 to build the detached garage.
- The property is serviced by private septic and well.
- See Record Card.

Summary

The applicant proposes to build a 30' x 12' addition onto an existing 30' x 40' detached garage. Applicant has consulted with staff to determine the least amount necessary for a variance request.

Variance Requests

The following is the section of the Zoning Ordinance that variances are being requested from:

Section 11.04.02 Accessory Buildings
Low Density Residential (LDR) over 1 acre but less than 3 acres

(e) Maximum Size: The combined total of all accessory buildings in any residential district shall be a maximum of nine hundred (900) square feet in area for lots less than one (1) acre, **one thousand five hundred (1500) square feet in area for lots equal to or greater than one (1) acre but less than three (3) acres.**

3.04.01 Residential Schedule of Area and Bulk Requirements
Low Density Residential (LDR) Setbacks (Front 50', Sides 30', **Rear 60')**

	Rear	Max Sq Footage
Required	60'	1500 sq feet
Requested	49'	1560 sq feet
Variance Amount	11'	60 sq feet

Neighboring Homes with Detached Garages

Address	Acreage	Sq Footage of Detached Building
4320 Ridge Lake	4.5	2162
4313 Ridge Lake	2.54	1330
4333 Ridge Lake	3.2	2117
4330 Ridge Lake	1.26	Proposed 1560

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) **Practical Difficulty/Substantial Justice** – Strict compliance with the rear yard setback requirement would prevent the proposed addition from being constructed on the existing garage. However, this restriction does not deprive the applicant of reasonable use of the property. The lot remains usable, and the primary residence is not impacted. It is also important to note that other homes in the neighborhood feature detached garages of similar or greater size. While some of those properties may benefit from larger lot sizes—allowing for increased maximum square footage—the proposed addition remains in character with the surrounding development.
- (b) **Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the topography of the front of the lot. This caused the house to be set back farther into the building envelope, leaving a reduced amount of room for an accessory building to be built. The variance request is not self-created.
- (c) **Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) **Impact on Surrounding Neighborhood** – The proposed variance would not have an impact on the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval:

1. Structure must be guttered with downspouts.
2. No other accessory buildings may be permitted on the property.




Thu Apr 17 2025

Imagery © 2025 Nearmap, HERE

20 ft

Nearmap

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
MITCH HARRIS BUILDING COMP	MCNEAL ANTHONY & VALORIE	195,000	02/13/2023	WD	03-ARM'S LENGTH	2023R-003318	BUYER/SELLER	100.0			
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LDR	Building Permit(s)		Date	Number	Status		
4330 RIDGE LAKE CT		School: BRIGHTON AREA SCHOOLS			Detached Accessory		04/10/2024	P24-057	7 FINAL BL		
		P.R.E. 100% 05/13/2024			Basement Finish		06/15/2023	PW23-068	1 NO START		
Owner's Name/Address		MAP #: V25-13			Residential New Constructi		12/16/2022	P22-284	7 FINAL BL		
MCNEAL ANTHONY & VALORIE 4330 RIDGE LAKE CT BRIGHTON MI 48116		2026 Est TCV 1,664,801 TCV/TFA: 458.12									
		X	Improved	Vacant	Land Value Estimates for Land Table 4054.4054 THE RIDGE SITE CONDOMINUM						
		Public Improvements			* Factors *						
Tax Description		<div></div>			Description	Frontage	Depth	Front	Depth	Rate %Adj. Reason	Value
SEC 26 T2N R5E THE RIDGE SITE					<Site Value B> WALKOUT SITE		195000		100		195,000
CONDOMINIUMS SITE #11					180 Actual Front Feet, 1.26 Total Acres		Total Est. Land Value =				195,000
SPLIT/COMBINED ON 03/27/2020 FROM					Land Improvement Cost Estimates						
4711-26-200-035, 4711-26-200-036, 4711-26-200-037;					Description		Rate		Size % Good		Cash Value
Comments/Influences					D/W/P: Brick on Sand		27.86		392 50		5,460
Split/Comb. on 03/27/2020 completed 03/27/2020 Duffy ;					Total Estimated Land Improvements		True Cash Value =		5,460		
		Topography of Site									
		Level Rolling Low High Landscaped Swamp Wooded Pond Waterfront Ravine Wetland Flood Plain			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value
		Who	When	What	2026	97,500	734,900	832,400			832,400C
4711-26-202-011 09/13/2024		JB	09/13/2024	INSPECTED	2025	97,500	734,900	832,400			832,400S
The Equalizer. Copyright (c) 1999 - 2009.		JB	08/08/2024	INSPECTED	2024	90,000	185,800	275,800			275,800S
Licensed To: Township of Genoa, County of Livingston, Michigan		JB	11/02/2023	INSPECTED	2023	80,000	0	80,000			12,924C

Building Type			(3) Roof (cont.)			(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage																																																																																																																																																																																																																		
X	Single Family Mobile Home Town Home Duplex A-Frame	X	Eavestrough	X	Gas	Wood	Oil	Coal	Elec.	Steam	1	Appliance Allow.	Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove 1 Direct-Vented Gas	Area	Type	78 600 50 28	CCP (1 Story) CCP (1 Story) CCP (1 Story) CCP (1 Story)	Year Built: Car Capacity: Class: A Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1 Wall Foundation: 42 Inch Finished ?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 984 % Good: 0 Storage Area: 0 No Conc. Floor: 0																																																																																																																																																																																																																		
			Insulation		Forced Air w/o Ducts	Forced Air w/ Ducts	Forced Hot Water	Electric Baseboard	Elec. Ceil. Radiant	Radiant (in-floor)		Electric Wall Heat							Space Heater	Wall/Floor Furnace	Forced Heat & Cool	Heat Pump	No Heating/Cooling	Class: A	Effec. Age: 1	Floor Area: 3,634	Total Base New : 1,607,959	E.C.F.																																																																																																																																																																																																								
			Front Overhang		Forced Air w/o Ducts	Forced Air w/ Ducts	Forced Hot Water	Electric Baseboard	Elec. Ceil. Radiant	Radiant (in-floor)		Electric Wall Heat							Space Heater	Wall/Floor Furnace	Forced Heat & Cool	Heat Pump	No Heating/Cooling	Class: A	Effec. Age: 1	Floor Area: 3,634	Total Base New : 1,607,959	E.C.F.																																																																																																																																																																																																								
			Other Overhang		Forced Air w/o Ducts	Forced Air w/ Ducts	Forced Hot Water	Electric Baseboard	Elec. Ceil. Radiant	Radiant (in-floor)		Electric Wall Heat							Space Heater	Wall/Floor Furnace	Forced Heat & Cool	Heat Pump	No Heating/Cooling	Class: A	Effec. Age: 1	Floor Area: 3,634	Total Base New : 1,607,959	E.C.F.																																																																																																																																																																																																								
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X Wood Frame		(4) Interior			X	Forced Air w/o Ducts	Forced Air w/ Ducts	Forced Hot Water	Electric Baseboard	Elec. Ceil. Radiant	Radiant (in-floor)	Electric Wall Heat	Space Heater	Wall/Floor Furnace	Forced Heat & Cool	Heat Pump	No Heating/Cooling	Class: A	Effec. Age: 1	Floor Area: 3,634	Total Base New : 1,607,959	E.C.F.	X 0.920	Bsmnt Garage:																																																																																																																																																																																																												
Building Style: A	X	Drywall	Paneled	Plaster																					Wood T&G	Trim & Decoration	Ex	X	Ord		Min	Size of Closets	Lg	X	Ord		Small	Doors:		Solid	X	H.C.	(5) Floors	Kitchen:	Other:	Other:	(12) Electric	0	Amps Service	No./Qual. of Fixtures	Ex.	X	Ord.		Min	No. of Elec. Outlets	Many	X	Ave.		Few	(13) Plumbing	Average Fixture(s)	5	3	Fixture Bath	1	2	Fixture Bath	Softener, Auto	Softener, Manual	Solar Water Heat	No Plumbing	Extra Toilet	2	Extra Sink	1	Separate Shower	Ceramic Tile Floor	Ceramic Tile Wains	Ceramic Tub Alcove	Vent Fan	(14) Water/Sewer	Public Water	Public Sewer	1	Water Well	1	1000 Gal Septic	2000 Gal Septic	Lump Sum Items:	<<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>																																																																																																																																								
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Basement 1st Floor 2nd Floor 4 Bedrooms	(5) Floors	Kitchen:	Other:	Other:	(12) Electric	0	Amps Service	No./Qual. of Fixtures	Ex.	X	Ord.		Min	No. of Elec. Outlets	Many	X	Ave.		Few	(13) Plumbing	Average Fixture(s)	5	3	Fixture Bath	1	2	Fixture Bath	Softener, Auto	Softener, Manual	Solar Water Heat	No Plumbing	Extra Toilet	2	Extra Sink	1	Separate Shower	Ceramic Tile Floor	Ceramic Tile Wains	Ceramic Tub Alcove	Vent Fan	(14) Water/Sewer	Public Water	Public Sewer	1	Water Well	1	1000 Gal Septic	2000 Gal Septic	Lump Sum Items:	<<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>																																																																																																																																																																																		
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**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
May 20, 2025 - 6:30 PM**

MINUTES

Call to Order: Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Marianne McCreary, Craig Fons, Matt Hurley, Michele Kreutzberg, Bill Rockwell, and Carrie Aulette, Zoning Official. Absent was Rick Soucy.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introductions: The members of the Board and staff introduced themselves.

Conflict of Interest: None

Approval of the Agenda:

Moved by Board Member Rockwell, supported by Board Member Kreutzberg, to approve the agenda as presented. **The motion carried unanimously.**

Call to the Public:

The call to the public was made at 6:31 pm with no response.

Old Business

1. 25-03...A request by A request by Logan McAnallen, 5945 Hartford Way, for side, rear and front yard variances and any other variances deemed necessary by the Zoning Board of Appeals, for the construction of a new single-family home. ***OWNER HAS REQUESTED TO BE POSTPONED TO JULY. ***

Moved by Board Member Rockwell, supported by Board Member Fons, to postpone Case #25-03 until the July Zoning Board of Appeals Meeting. **The motion carried unanimously.**

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

New Business:

1. 25-10...A request by Tim Chouinard/Mike and Maggie Forsythe, 5405 Wildwood Dr., for a front yard variance and any other variances deemed necessary by the Zoning Board of Appeals, to demolish and rebuild a new home on the existing foundation.

Mr. Chouinard representing Mike and Maggie Forsythe stated the applicant originally wanted to remodel the home; however, it was determined that the existing house is not structurally sound, so it has to be demolished and rebuilt. The new home will be built on the existing foundation. The hardship is the shape and size of the lot and the existing non-conforming structure. The need for the variance is not self-created.

There was a discussion regarding a driveway not being installed. There is not a requirement for a driveway so the applicant can continue to park on the grass.

Mr. Chouinard stated they will not be doing any grading on the site and there is no need to install retaining walls.

The call to the public was made at 6:43 pm with no response.

Chairperson McCreary is concerned about safety during construction because this property is on a corner. She asked the applicant to ensure safety with the parking of construction vehicles.

Moved by Board Member Kreutzberg, supported by Board Member Hurley, to approve Case #25-10 for Tim Chouinard and Mike and Maggie Forsythe of 5405 Wildwood Drive, Howell for a front yard setback variance of 29 feet, from the required 35 feet, for a front yard setback of 6 feet to demolish and rebuild a new home on the existing foundation, based on the following findings of fact:

- Strict compliance with the setback would unreasonably restrict the intended use of the property or cause it to be unbuildable. This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties and homes in the area. The applicant is not exceeding the existing conditions, making use of the current home's footprint.
- The variance is necessary due to the extraordinary circumstances such as a relatively small building envelope and narrow lot. The need for the variances is not self-created.
- Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the follow:

1. Structure must be guttered with downspouts.
2. Silt fencing is required until final grade where there is any change to the elevation.

The motion carried unanimously

2. 25-11...A request by Tim Chouinard/Mr. & Mrs. Legault, 1035 Sunrise Park, for a side yard variance, shoreline setback variance, and any other variances deemed necessary by the Zoning Board of Appeals, to build an addition onto an existing home.

Mr. Chouinard stated the applicants are requesting to have him install an addition to their home to allow them to age in place. The neighbor's house is right on the property line so that is the reason for the side-yard setback variance. There is a small corner of the addition that enters into the shoreline setback variance. He noted that there is an irregular shoreline at this property.

Chairperson McCreary stated that the neighbor has created the need for the side yard variance due to the location of their home. The request seems reasonable and is the least amount necessary.

Mr. Rockwell stated that the need for the variance is a want for the applicants and is not caused by the property. He noted there is a large garage and driveway where the addition could be placed. He is concerned that if there is a fire in one house, the other one would catch on fire also.

The call to the public was made at 7:07 pm with no response.

Board Member Kreutzberg agrees that this is the least amount necessary. She noted the lakeside setback variance is caused by the one small corner of the addition.

Moved by Board Member Kreutzberg, supported by Board Member Fons, to approve Case #25-11 for Tim Chouinard and Donald and Mary Legault of 1035 Sunrise Park for a shoreline variance of 1 foot, 6 inches from the required 50 feet, 6 inches, for a shoreline setback of 49 feet and a side yard setback variance of 1 foot, 7.5 inches from the required 10 feet, for a side yard setback of 8 feet 4.5 inches to build an addition onto an existing home, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property or cause it to be unbuildable. This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties and homes in the area.
- The variances are necessary due to the extraordinary circumstances such as the location of the neighboring home at approximately three feet from the property line; the irregular shoreline dictates the need for minimal adjustment to the waterfront setback. The need for the variances is not self-created.
- Granting these variances would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variances would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the follow:

1. Structure must be guttered with downspouts.
2. Silt fencing is required until final grade where there is any change to the elevation.

The motion carried (Hurley - yes; McCreary - yes; Rockwell - no; Fons - yes; Kreutzberg - yes)

Administrative Business:

1. Approval of minutes for the April 15, 2025 Zoning Board of Appeals meeting.

Moved by Board Member Rockwell, supported by Board Member Kreutzberg, to approve the minutes of the April 15, 2025 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. Aulette stated there will be two items on the June agenda.

3. Member Discussion

None

4. Adjournment

Moved by Board Member Rockwell, supported by Board Member Fons, to adjourn the meeting at 7:30 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary