

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
March 17, 2025
6:30 p.m.

AGENDA

Call to Order:

Invocation:

Pledge of Allegiance:

Roll Call:

Call to the Public (Public comment must be addressed to the Chairperson and will be limited to three minutes per person) *:

Approval of Consent Agenda:

- 1) Payment of Bills: March 17, 2025
- 2) Request to approve the March 3, 2025 meeting minutes

Approval of Regular Agenda:

- 3) Public hearing and consideration of recommendations for approval of the rezoning Ordinance Number Z-25-04, environmental impact assessment, planned unit development (PUD) agreement, and conceptual PUD plan to rezone 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) with Residential Planned Unit Development overlay (RPUD) to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road. The proposed rezoning is for the following parcels: 4711-23-400-008, 4711-23-400-007, 4711-23-400-001 and 4711-23-300-003 and the request is submitted by Pulte Homes of Michigan.
 - A) Call to the Public
 - B) Disposition of Rezoning Ordinance Number Z-25-04 (Roll Call, requires 2/3 vote)
 - C) Disposition of Environmental Impact Assessment (3-05-25)
 - D) Disposition of PUD Agreement
 - E) Disposition of Conceptual PUD plan (3-05-25)
- 4) Request for approval of year-end budget amendments for Fiscal Year 2024/2025 involving budget fund numbers: 101, 202, 208, 212, 249, 401, 402, 464, and 532. (Roll Call)
- 5) Consideration of a request to add an additional full-time employee for a Clerk's Assistant position within the Clerks Department.

- 6) Request to approve a project agreement with the Livingston County Road Commission to reconstruct approximately 0.43 miles of Euler Road from Grand River Avenue to the end of pavement through the Pavement Preservation Program (PPP) with the Township's cost up to 50% of the project costs, not to exceed \$125,000 from Road Improvement Fund #401-446-812-008.
- 7) Request to approve a project agreement with the Livingston County Road Commission to reconstruct approximately 0.63 miles of Herbst Road from Dorr Road to the end of pavement through the Pavement Preservation Program (PPP) with the Township's cost up to 50% of the project costs, not to exceed \$147,500 from Road Improvement Fund #401-446-812-013.
- 8) Request to approve a project agreement with the Livingston County Road Commission for limestone resurfacing, tree work, limited drainage and other necessary related work for approximately 5,165 feet of Beck Road from Chilson Road to Fisk Road with the Township's cost not to exceed \$147,000 from Road Improvement Fund #401-446-812-010.
- 9) Request to approve a project agreement with the Livingston County Road Commission for limestone resurfacing, tree work, limited drainage and other necessary related work for approximately 7,440 feet of Crooked Lake Road from Chilson Road to Fisk Road with the Township's cost not to exceed \$181,000 from Road Improvement Fund #401-446-812-011.

Items for Discussion:

- 10) Discussion of a document shredding event s as submitted by Trustee Hovarter

Board Comments
Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items <i>may</i> be offered by the Chairman as they are presented.</p>

BOARD PACKET

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

MEETING DATE: March 17, 2025

All information below through March 12, 2025

March 14, 2025 Bi Weekly Payroll	\$	123,121.18
TOWNSHIP GENERAL EXPENSES	\$	274,319.61
OPERATING EXPENSES DPW (503 FN)	\$	604,974.14
OPERATING EXPENSES Oak Pointe (592FN)	\$	15,000.00
OPERATING EXPENSES Lake Edgewood (593FN)	\$	-
TOTAL	\$	1,017,414.93

March 14, 2025 Bi Weekly Payroll

03/12/2025 12:37 PM		PAYROLL REGISTER REPORT FOR GENOA CHARTER TOWNSHIP				Page 32 of 32	
		Payroll ID: 310					
		Pay Period End Date: 03/07/2025 Check Post Date: 03/14/2025 Bank ID: FNBCK					
* YTD values reflect values AS OF the check date based on all current adjustments, checks, void checks							

ZBA MINUTES	0.00	0.00	0.00	566.73			
ZBA MINUTES OT	0.00	0.00	0.00	0.00			
ZBA PER DIEM	0.00	0.00	0.00	634.74			
ZO	72.00	0.00	2,250.00	12,750.00			
Gross Pay This Period	Deduction Refund	Ded. This Period	Net Pay This Period	Gross Pay YTD	Dir. Dep.		
122,719.90	0.00	35,237.88	87,482.02	755,975.47	87,208.24		

03/12/2025 12:41 PM		Check Register Report For Genoa Charter Township					Page 1 of 1	
For Check Dates 03/14/2025 to 03/14/2025								
Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status	
03/14/2025	FNBCK	EFT1029	FLEX SPENDING (TASC)	1,122.48	1,122.48	0.00	Open	
03/14/2025	FNBCK	EFT1030	INTERNAL REVENUE SERVICE	28,180.20	28,180.20	0.00	Open	
03/14/2025	FNBCK	EFT1031	PRINCIPAL FINANCIAL	4,661.00	4,661.00	0.00	Open	
03/14/2025	FNBCK	EFT1032	PRINCIPAL FINANCIAL	1,949.26	1,949.26	0.00	Open	
Totals:		Number of Checks: 004		35,912.94	35,912.94	0.00		
Total Physical Checks:								
Total Check Stubs:		4						

Direct Deposit \$87,208.24
Physical Check \$35,912.94
TOTAL \$123,121.18

FNBCK Check Register

03/12/2025 12:43 PM		CHECK REGISTER FOR GENOA TOWNSHIP		Page: 1/1	
User: denise					
DB: Genoa Township		CHECK NUMBERS 39451 - 41000			
Check Date	Check	Vendor Name	Amount		
Bank FNBCK CHECKING ACCOUNT					
02/27/2025	39451	GENOA TWP/ OAK POINT OPERATION Void Reason: WRONG VENDOR	1,100.00	V	
02/27/2025	39452	MHOG WATER AUTHORITY	61,623.21		
02/27/2025	39453	TABITHA DOLAN	139.47		
02/27/2025	39454	DTE ENERGY	33.17		
02/27/2025	39455	GENOA OCEOLA SEWER	1,100.00		
03/03/2025	39456	PERFECT MAINTENANCE CLEANING	1,100.00		
03/03/2025	39457	SECURE TECH GROUP	165.00		
03/04/2025	39458		0.00	V	
Void Reason: PRINTED ON CHECK BY ACCIDENT					
03/04/2025	39459	CAPITAL ONE	342.17		
03/04/2025	39460	COMCAST	329.60		
03/04/2025	39461	COOPER'S TURF MANAGEMENT LLC	9,164.00		
03/04/2025	39462	GOGOV	4,800.00		
03/04/2025	39463	MHOG UTILITIES	478.30		
03/04/2025	39464	NETWORK SERVICES GROUP, L.L.C.	50.00		
03/05/2025	39465	AMERICAN PLANNING ASSOCIATION	135.00		
03/05/2025	39466	EHIM, INC	14,768.63		
03/05/2025	39467	MICHIGAN STATE UNIVERSITY	225.00		
03/05/2025	39468	TETRA TECH INC	1,700.00		
03/06/2025	39469	THE DOOR HEROES	151.00		
03/11/2025	39470	CONTINENTAL LINEN SERVICE	150.53		
03/11/2025	39471	DTE ENERGY	306.03		
03/11/2025	39472	DTE ENERGY	1,667.91		
03/11/2025	39473	FEDERAL EXPRESS CORP	233.84		
03/11/2025	39474	KELLY VANMARTER	315.00		
03/11/2025	39475	LAURA GAMBINO	201.00		
03/11/2025	39476	LIVINGSTON COUNTY TREASURER	34,489.57		
03/11/2025	39477	SAFEBUILT LLC	3,090.98		
03/11/2025	39478	AMWAY GRAND PLAZA HOTEL	631.68		
03/11/2025	39479	JW MARRIOTT	803.04		
03/11/2025	39480	AMERICAN AQUA	123.98		
03/11/2025	39481	KITCH ATTORNEYS & COUNSELORS	787.50		
03/11/2025	39482	PFEFFER, HANNIFORD, PALKA	5,200.00		
03/11/2025	39483	WASTE MANAGEMENT CORP, SERVICES	130,014.00		
FNBCK TOTALS:					
Total of 33 Checks:			275,419.61		
Less 2 Void Checks:			1,100.00		
Total of 31 Disbursements:			274,319.61		

503FN Check Register

03/12/2025 12:45 PM		CHECK REGISTER FOR GENOA TOWNSHIP	Page: 1/1
User: denise		CHECK NUMBERS 6286 - 7000	
DB: Genoa Township			
Check Date	Check	Vendor Name	Amount
Bank 503FN DPW-UTILITIES #233			
02/27/2025	6286	GENOA TWP GRAND RIV. NEW USER FUND	100,000.00
03/05/2025	6287	TRACTOR SUPPLY CO.	316.92
03/11/2025	6288	UNITED STATES POSTAL SERVICE	118.72
03/11/2025	6289	WEX BANK	4,538.50
03/11/2025	6290	GENOA TWP GENERAL FUND	500,000.00
503FN TOTALS:			
Total of 5 Checks:			604,974.14
Less 0 Void Checks:			0.00
Total of 5 Disbursements:			604,974.14

592FN Check Register

03/12/2025 12:45 PM		CHECK REGISTER FOR GENOA TOWNSHIP		Page: 1/1
User: denise		CHECK NUMBERS 6296 - 7000		
DB: Genoa Township				
Check Date	Check	Vendor Name	Amount	
Bank 592FN OAK POINTE OPERATING FUND #592				
02/27/2025	6296	OAK POINTE SEWER RESERVE	<u>15,000.00</u>	
592FN TOTALS:				
Total of 1 Checks:			15,000.00	
Less 0 Void Checks:			<u>0.00</u>	
Total of 1 Disbursements:			<u>15,000.00</u>	

593FN Check Register -None

GENOA CHARTER TOWNSHIP BOARD
Regular Meeting
March 3, 2025

MINUTES

Call to Order

Supervisor Spicher called the regular meeting of the Genoa Charter Township Board to order at 6:30 pm at the Township Hall.

Invocation

Supervisor Spicher led the invocation for the Board and the members of the public.

Pledge of Allegiance

The Pledge of Allegiance was recited.

Roll Call

The following members were present constituting a quorum for the transaction of business: Kevin Spicher, Janene Deaton, Candie Hovarter, Robin Hunt, Bill Reiber, Rick Soucy, and Todd Walker.

Also present were Township Manager Kelly VanMarter, Township Attorney Joe Seward, and 30 people in the audience.

Call to the Public

The call to the public was opened at 6:32 pm.

Ms. Melanie Johnson of 3990 Chilson appreciates that the Board is taking another look at the Master Plan as public interest has changed.

Ms. Deb Beattie of 3109 Pineview Trail stated that this agenda is so full of important items. She is disappointed.

Mr. Jeff Dhaenens of 5494 Sharp Drive spoke about the wage issue discussed at the last meeting. There are many qualified and talented men and women who work at the Township. Development is here, and he appreciates the process of keeping it controlled, but the Latson Road item is not a matter of what, but a matter of when. He is in support of the phone system upgrade. The request by Mr. Reiber is a great use of this boardroom.

Ms. Deb Towles of 3210 Pineview Trail expressed her gratitude to the Board to take another look at the Master Plan. There are a lot of voices who want to be heard. The Planning Commission decided that the Latson Road PUD was not a fitting use. She asked the Board to take their recommendation.

Ms. Colleen Quinn of 4042 Brookstone Court hopes the zoning of the area for the Latson PUD stays as Country Estates. She is anxious to hear the legal opinion. She supports the Township looking at the Master Plan again.

Ms. Barbara Tonkovich of 472 Newton Road does not want to see the station or the PUD. The Board should support the Planning Commission's recommendation for denial.

The call to the public was closed at 6:41 pm.

Approval of Consent Agenda:

Moved by Hunt, supported by Soucy, to approve the Consent Agenda as presented. **The motion carried unanimously.**

- 1. Payment of Bills: March 3, 2025**
- 2. Request to approve the February 17 Regular Meeting and February 25, 2025 Special Meeting Minutes.**

Approval of Regular Agenda:

Moved by Hunt, supported by Walker, to approve the Regular Agenda as presented. **The motion carried unanimously.**

- 3. Public hearing on the proposed planned unit development rezoning Ordinance Number Z-25- 03 and consideration of a recommendation for denial of the rezoning, environmental impact assessment, planned unit development (PUD) agreement, and conceptual PUD plan to rezone 7.44 acres from Country Estates (CE) to ICPUD (Interchange Commercial Planned Unit Development). The property is located on the east side of Latson Road, between Beck Road and the CSX Rail line. The request is petitioned by Todd Wyett.**
 - A. Call to the Public**
 - B. Disposition of Rezoning Ordinance Number Z-25-03 (Roll Call, requires 2/3 vote)**
 - C. Disposition of Environmental Impact Assessment (9-27-24)**
 - D. Disposition of PUD agreement**
 - E. Disposition of Conceptual PUD plan (11-13-24)**

Mr. Brad Strader with MKSK Studios, Mr. Jarred Haines of Atwell, and Mr. Todd Wyett, the property owner, were present.

Mr. Strader addressed the issues to support the rezoning. This use has been consistent with the Master Plan for 10 years, the uses they are promoting are very different from the businesses on Grand River, the minimum lot size for a PUD is 20 acres; however, there are reasons why this requirement can be waived, typically residential is not developed next to the freeway because of the noise, their property has easy access on and off the freeway, there are residents who live south of I-96 and they would use this gas station instead of traveling to the ones north of I-96, only 18 percent of the traffic would be new because of this development, and a PUD is an advantage for the Township because additional items can be requested and negotiated with the applicant, such as landscaping, permitted uses, design guidelines, offsite improvements, etc.

Mr. Haines reviewed the utilities that are available for this site. There was a discussion regarding the sewer for this site being processed by the station being proposed in the PUD on the west side of Latson.

Ms. Hunt noted that the difference between the 20-acre minimum and this request is a lot.

Mr. Reiber noted there are a lot of reasons stated in tonight's packet as to why the Township Planning Commission and the County Planning Commission recommended denial of this request.

The call to the public was opened at 7:06 pm.

Mr. Matthew Hurley of 4070 Brookstone Court stated the entire area should be reviewed at the same time and not this piece separate from the one on the other side. He does not agree with another gas station being built in this area.

Ms. Tracey Pardiak of 4312 Rurik stated this item should not be reviewed until the legal opinion of the validity of the PUD on the other side of Latson Road is determined. Nothing has changed since the Township Planning Commission and the County Planning Commission recommended denying it. She reviewed those reasons.

Ms. Melanie Johnson of 3990 Challis stated that when the current Master Plan was approved it said that ".....unless circumstances have changed", and they have changed. She is concerned that there are residential properties with wells next to this property. The proposed landscape buffer is not a transition area. This is the last piece of Country Estates zoning in the township.

Ms. Deb Beattie also questioned why this is on tonight's agenda when the validity of the other PUD has not been determined. The Board should agree with the Township Planning Commission and the County Planning Commission.

Ms. Deb Towles stated that this property is not adjacent to I-96. It is at Beck Road and there are residents who live in that area. She is also concerned about the water supply for the residents. There will be three traffic signals in this area and that will pose problems.

Ms. VanMarter stated that Elaine Samson of 6280 Sundance called today. She is against all of the PUD applications and wants it to be denied. She is upset that the original PUD was approved during the COVID lockdown.

Three letters were received today, and Ms. VanMarter provided a review. They were all given to the board before this evening's meeting.

Mr. Ben Tasich is against the PUD request. Ms. Denise Pollicella is against the PUD and stated the same reasons as many of the ones cited this evening. The Coalition to Stop the PUD also provided a letter in opposition to the PUD.

The call to the public was closed at 7:18 pm.

Supervisor Spicher stated that this item is on tonight's agenda before the decision regarding the validity of the other PUD has been determined because that is the process. The application was reviewed and recommended and then the Board must review and vote on it.

Moved by Soucy, supported by Hunt, to deny the adoption of Ordinance No. Z-25-03 to rezone Parcel 4711-09-300-046, vacant 7.44 acres, S. Latson Road located on the east side of S. Latson Road, between Beck Road and the rail line from Country Estates to Interchange Commercial Planned Unit Development. This action is based upon the proposed ICPUD rezoning which is found to not comply with the conditions of Sections 22.04.01, 22.04.02, 22.04.03 and the qualifying conditions of 10.02.03, 10.02.04 and 10.02.05 of the Township Zoning Ordinance such as:

- The proposed uses that are being requested are duplicate and not complementary to the Latson Road and the Grand River Corridor which is not consistent with the master plan.
- Developer has not demonstrated that the site's environmental features are compatible with the proposed uses since there is no attempt to integrate the wetlands that are located on the site into the site's design.
- There are occupied single-family residential units within 500 feet of the subject parcel. It may be reasonable to develop the site under the current zoning such as residential or other uses listed in table 3.03 of the Township Zoning Ordinance.
- The site does not meet the required 20-acre minimum.
- The proposed design elements are not integrated or consistent with the Master Plan due to ornamental street lighting along S. Latson and within the site.
- The Planning Commission did not find that the proposed ICPUD zoning provides a benefit not possible under the standards of another zoning district.
- The site lacks public sanitary sewer service.

The motion carried unanimously with a roll call vote (Hunt - yes; Reiber - yes; Walker - yes; Spicher - yes; Deaton - yes; Soucy - yes; Hovarter - yes)

Moved by Hunt, supported by Soucy, to deny the Environmental Impact Assessment dated 9-27-24 to rezone parcel 4711-09-300-046, vacant 7.44 acres, S. Latson Road located on the east side of S. Latson Road, between Beck Road and the rail line from Country Estates to Interchange Commercial Planned Unit Development. This action is based on the proposed ICPUD rezoning not complying with the conditions of Section 18.08.02, 18.08.05, 18.08.11, 18.08.19 and it fails to satisfy the requirements of 22.04.01, 22.04.02, 22.04.03, 10.02.03,

10.02.04 and 10.02.05 of the Township Zoning Ordinance. The following does not meet the aforementioned sections:

- The proposed site plan will not be harmonious with the existing uses in the immediate area.
- The non-regulated wetlands and soils located on the site are not preserved or modified in an acceptable manner.
- The proposed three driveways as indicated on the conceptual plan is not designed to minimize conflicts between vehicles and with traffic using adjacent driveways.
- The site does not provide a public sanitary sewer service.
- The reasons cited in the denial of the associated rezoning request.

The motion carried unanimously with a roll call vote (Reiber - yes; Walker - yes; Hunt - yes; Deaton - yes; Soucy - yes; Hovarter- yes; Spicher - yes)

Moved by Soucy, supported by Hovarter, to deny the Planned Unit Development Agreement to rezone parcel 4711-09-300-046, vacant 7.44 acres, S. Latson Road located on the east side of S. Latson Road, between Beck Road and the rail line from Country Estates to Interchange Commercial Planned Unit Development. This action is based on the proposed ICPUD rezoning not complying with the conditions of Section 10.02.03, 10.02.04, 10.02.05, 7.02.02 and Packet Page 19 10.07.01 and it fails to satisfy the requirements of 22.04.01, 22.04.02, and 22.04.03 of the Township Zoning Ordinance. The following does not meet the aforementioned sections:

- The Planning Commission determined that they did not find that the PUD conceptual plan provided a benefit not possible under the standards of another zoning district.
- The proposed design elements and access design are not integrated or consistent with the Master Plan due to ornamental street lighting along S. Latson and within the site and the proposed three driveways as indicated on the conceptual plan is not designed to minimize conflicts between vehicles and with traffic using adjacent driveways.
- A judicious effort to preserve the two wetlands on the site has not been made.
- The proposed three driveways are in violation of 7.02.02 (k) requirement of only one driveway is allowed for a gas station.
- Proposed height deviation request is not reasonable for the surrounding area.
- The reasons cited in the denial of the associated rezoning request.

The motion carried unanimously with a roll call vote (Walker - yes; Hovarter- yes; Soucy- yes; Deaton - yes; Spicher- yes; Hunt - yes; Reiber - yes)

Moved by Hunt, supported by Soucy, to deny the conceptual PUD plan dated 11-13-24 to rezone parcel 4711-09-300-046, vacant 7.44 acres, S. Latson Road located on the east side of S. Latson Road, between Beck Road and the rail line from Country Estates to Interchange Commercial Planned Unit Development. This action is based on the proposed ICPUD rezoning not complying with the conditions of Section 10.02.03, 10.02.04, 10.02.05 and 7.02.02 and 10.07.01 and it fails to satisfy the requirements of 22.04.01, 22.04.02 and 22.04.03 of the Township Zoning Ordinance. The following does not meet the aforementioned sections:

- The Planning Commission determined that they did not find that the PUD conceptual plan provided a benefit not possible under the standards of another zoning district.

- Compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses is not met. Proposed uses are found to duplicate the existing uses in the Grand River Corridor area.
- The proposed design elements and access design are not integrated or consistent with the Master Plan due to ornamental street lighting along S. Latson and within the site and the proposed three driveways as indicated on the conceptual plan is not designed to minimize conflicts between vehicles and with traffic using adjacent driveways.
- A judicious effort to preserve the two wetlands on the site has not been made.
- The proposed three driveways are in violation of 7.02.02 (k) requirement of only one driveway is allowed for a gas station.
- Proposed height deviation request is not reasonable for the surrounding area.
- The reasons cited in the denial of the associated rezoning request.

The motion carried unanimously with a roll call vote (Reiber - yes; Walker - yes; Hovarter - yes; Soucy - yes; Deaton - yes, Spicher - yes, Hunt - yes)

The Board took a break from 7:35 pm to 7:45 pm.

4. Public hearing on the proposed Fiscal Year 2025/2026 Budget for funds 101, 202, 208, 212, 249, 401, 402, 464, 532, and 853.

A. Call to the Public

B. Board Discussion

The call to the public was opened at 7:46 pm.

Ms. Deb Beattie wanted the Board to discuss the budget line-by-line so the people can understand it. She asked and the board answered questions she had regarding certain line items.

The call to the public was closed at 7:51 pm.

5. Consideration of approval for the general appropriation of funds for the fiscal year beginning April 1, 2025 and ending March 31, 2026 for budget fund numbers: 101, 202, 208, 212, 249, 401, 402, 464, 532 and 853.

Moved by Hunt, supported by Walker, to approve the general appropriation of funds for the fiscal year beginning April 1, 2025 and ending March 31, 2026 for budget fund numbers: 101, 202, 208, 212, 249, 401, 402, 464, 532 and 853. **The motion carried unanimously.**

6. Request for approval of Resolution 250303A - 2025-2026 General Appropriations Act Budget for the Fiscal Year beginning April 1, 2025 and ending March 31, 2026. (Roll Call)

Moved by Soucy, supported by Reiber, to approve and adopt Resolution 250303A - 2025-2026 General Appropriations Act Budget for the Fiscal Year beginning April 1, 2025 and ending March 31, 2026. **The motion carried unanimously with a roll call vote (Hunt - yes; Reiber - yes; Walker - yes; Hovarter - yes; Soucy - yes; Deaton - yes; Spicher - yes)**

7. Request for approval of Resolution 250303B - Wages and Salaries for Appointed Officials. (Roll Call)

Ms. VanMarter stated that there are no wage increases for appointed officials proposed for next fiscal year.

Moved by Reiber, supported by Walker, to approve Resolution 250303B - Wages and Salaries for Appointed Officials. **The motion carried unanimously with a roll call vote (Hovarter - yes; Soucy - yes; Deaton - yes; Spicher - yes; Hunt - yes; Reiber - yes; Walker - yes)**

8. Request for approval of Resolution 250303C - Salaries for Elected Officials. (Roll Call)

Ms. VanMarter stated that there are no wage increases for elected officials proposed for next fiscal year.

Moved by Walker, supported by Deaton, to approve Resolution 250303C - Salaries for Elected Officials. **The motion carried unanimously with a roll call vote (Hunt - yes; Reiber - yes; Walker - yes; Hovarter - yes; Soucy - yes; Deaton - yes; Spicher - yes)**

9. Request for the introduction of proposed Ordinance Number Z-25-04 and to set the meeting date for considering the proposed ordinance for adoption before the Township Board on Monday, March 17, 2025. The request for zoning map amendment involves rezoning of 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) with Residential Planned Unit Development overlay (RPUD) to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road. The proposed rezoning is for the following parcels: 4711-23-400-008, 4711-23-400-007, 4711-23-400-001 and 4711-23-300-003 and the request is submitted by Pulte Homes of Michigan.

Moved by Hunt, supported by Soucy, to introduce proposed Ordinance Number Z-25-04 and to set the meeting date to consider adoption before the Township Board on Monday March 17, 2025 for the purpose of considering the proposed Zoning Map Amendment. **The motion carried unanimously.**

10. Review of Fiscal Year 2024-2025 Third Quarter budget to actual report.

Ms. VanMarter stated this document was included in tonight's packet.

11. Consideration of a request to approve a proposal from Evolving Technologies / GoToConnect for the purchase and installation of a new phone system for the Township Hall with an initial outlay not to exceed \$2,200 from fund 101-261-751-000 and a 36-month service contract not to exceed \$517.37 a month from 101-265-850-000.

Ms. VanMarter reviewed the proposal, noting that this system best meets the township's needs, and it is a cost savings from the current program. Supervisor Spicher noted that the low bidder did not meet staff's needs.

Mr. David Pickett of 1017 Sunrise Park asked when the current contract expired. Supervisor Spicher stated it expired one month ago. Mr. Pickett asked why this was not done prior to the end of the contract. Ms. Deaton stated they were not aware it expired. She will be working on organizing all existing service contracts and their expiration dates.

Moved by Soucy, supported by Hovarter, to approve the proposal from Evolving Technologies / GoToConnect for the purchase and installation of a new phone system for the Township Hall with an initial outlay not to exceed \$2,200.00 and a monthly rate not to exceed \$517.37. **The motion carried unanimously.**

12. Request for approval of the closed session minutes from February 25, 2025.

- A. If necessary, consider motion to enter into closed session under the Open Meetings Act, MCL 15.268(1)(h) to consider material exempt from discussion or disclosure by state or federal statute. (Roll Call, requires 2/3 vote)**
- B. Consider motion to adjourn the closed session and reconvene in open session. (Roll Call)**

Ms. Deaton provided the minutes to the Board for review.

Moved by Soucy, supported by Hovarter, to approve the closed session minutes from February 25, 2025 as presented. **The motion carried unanimously.**

Items for Discussion:

13. Discussion of resident enrichment opportunities as submitted by Trustee Reiber.

Mr. Reiber stated this room is empty quite often. He would like to directly engage the township residents by holding training sessions, such as CPR, AED, administering NARCAN, emergency preparation, etc. Funds would be set aside for these trainings. The Board and staff discussed this suggestion. Mr. Reiber will investigate it further.

Board Comments

Mr. Soucy asked for an update on the MyGenoa App. Mr. Walker stated they have a meeting with the administrator of the app tomorrow.

Ms. Deb Beattie likes the idea. She questioned what notifications will be sent out and if the residents can choose what they receive.

Adjournment

Moved by Soucy, supported by Walker, to adjourn the meeting at 8:30 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas
Recording Secretary

Approved: Janene Deaton, Clerk
Genoa Charter Township

Kevin Spicher, Supervisor
Genoa Charter Township



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Amy Ruthig, Planning Director
DATE: March 12, 2025
RE: Ordinance no. Z-25-04
Parcel #: 4711-23-400-001, 007, 008 and 4711-23-300-003
4 Vacant Parcels, Challis Road

In consideration of the approval recommendations by the Township Planning Commission on December 4th, 2024 and the Livingston County Planning Commission on February 19th, 2025, please find attached a proposed rezoning ordinance, conceptual residential planned unit development agreement, conceptual site plan, and environmental impact assessment for your consideration. The proposed rezoning is for the following vacant parcel #s: 4711-23-400-007, 4711-23-400-008, 4711-23-400-001 and 4711-23-300-003 a vacant parcel. The parcels are located on the northwest corner of Challis and Bauer Roads. The rezoning consists of approximately 127.57 acres.

The proposed rezoning request is from Agriculture (AG) to Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) overlay. The proposal is for a 55-unit site condominium development.

The primary deviations of the planned development agreement include the following:

- A reduction in required minimum lot width of 150 feet to 115 feet.
- A request for the road connection to units 13-16 to encroach into the natural feature setback area and the wetland itself which requires Township and Michigan Department of Environment, Great Lakes and Energy approval.
- A reduction from the required 30-foot side yard setback to 20 feet with a side yard total of 50 feet from the 60-foot required.
- An increase of the required cul-de length of 1,000 feet to 1,100 feet.
- A reduction in lot area from the minimum lot area of 43,560 sq. ft. to 32,670 sq. ft. without public water and sewer.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter



Procedurally, this is the last step of the rezoning and conceptual PUD approval phase. If granted conceptual approval, the applicant may then proceed to the required final PUD phase to obtain final site plan approval. Based on the Planning Commission recommendations and public comment, staff offers the following for your consideration:

REZONING – REQUIRED ROLL CALL VOTE

Moved by _____, Supported by _____ to APPROVE AND ADOPT Ordinance Z-25-04. This approval is made because the proposed amendment to the Zoning Map and reclassification as a Residential Planned Unit District (RPUD) /Low Density Residential (LDR) with the related development agreement, impact assessment and conceptual plan has been found to comply with the qualifying conditions and the criteria stated in 10.02, 10.03.01 and 22.04 of the Township Zoning Ordinance.

PUD AGREEMENT

Moved by _____, Supported by _____ to POSTPONE THE APPROVAL of the PUD Agreement revised on March 5, 2025 until the following language is added:

1. The PUD Agreement shall include a requirement that at least 30% of the homes in development shall have a setback at least 10 feet from the standard minimum to encourage variation in front setback lines to avoid a monotonous row of houses and to create a more visually appealing and dynamic streetscape.
2. The PUD Agreement shall include a tree preservation section which shall include requirements for tree preservation and protection. This section shall also include standards for protection of oak trees from Oak Wilt disease including limitations on oak tree clearing or cutting between April 15th and October 15th.
3. The plans shall also identify tree protection zones which shall require a pre-construction fenced in area around a tree or group of trees that will not be disturbed to ensure that a tree(s) are protected during construction, have enough space for root and branch growth, and will receive adequate supplies of soil nutrients, air, and water.
4. All existing landmark trees which shall be defined as a tree in excess of 24” caliper shall be preserved unless approved by the Township Board.

5. The applicant shall identify the Challis and Bauer Road frontages of units 32-45 as the rear yard since they are double-front lots.

ENVIRONMENTAL IMPACT ASSESSMENT

Moved by _____, Supported by _____ to APPROVE the Environmental Impact Assessment dated March 5, 2025.

SITE PLAN

Moved by _____, Supported by _____ to APPROVE the Conceptual PUD Plan dated March 5, 2025 with the following conditions:

1. The final PUD plan shall include a tree survey and inventory of all existing trees above 6" caliper within the development area. High quality smaller ornamental trees with a caliper over 3" such as dogwood, eastern redbud and service berry shall also be included.
2. For the initial installation of roads and stormwater infrastructure, the developer shall include a limits of grading and tree removal plan indicating the absolute minimum clearing necessary for maximum tree preservation.
3. All existing perimeter woodlands and vegetation shall be preserved where adjacent to existing occupied single family residential and any storm sewer located within 100 feet of a perimeter property line shall be setback the maximum amount feasible as determined by the Township Engineer.
4. In regard to initial home construction on individual lots or units, each lot site or plot plan shall include a grading and tree removal plan indicating the minimum trees that will be removed for construction of the home. Home placement and required grading on each lot shall be designed to avoid impacts to existing trees and not more than 25% of the trees over 6" caliper shall be removed from an individual lot unless approved by the Township Board.
5. The private restrictions shall include a tree preservation section which shall include requirements for tree preservation and protection. This section shall also include standards for protection of oak trees from Oak Wilt disease including limitations on oak tree clearing or cutting between April 15th and October 15th.
6. Final PUD plan shall include language stating that all preserved areas and trees will be fenced off from the construction zone with safety fence before the start of construction on the site.
7. The pathway as shown on the conceptual plans is in lieu of the required internal pathways as it offers a greater benefit to the community at large and the details will be revisited at the time of final site plan approval.

If you should have any questions, please feel free to contact me.

Best Regards,



Amy Ruthig
Planning Director

ORDINANCE NO. Z-25-04

**AN ORDINANCE TO AMEND THE ZONING MAP OF THE CHARTER TOWNSHIP OF GENOA BY
REZONING PARCELS 4711- 23-400-007, 4711-23-400-008, 4711-23-400-001, and 4711-23-300-003
FROM AGRICULTURE (AG) TO LOW DENSITY RESIDENTIAL (LDR) WITH A RESIDENTIAL
PLANNED UNIT DEVELOPMENT (RPUD) OVERLAY**

THE CHARTER TOWNSHIP OF GENOA HEREBY ORDAINS that the Zoning Map, as incorporated by reference in the Charter Township of Genoa's Zoning Ordinance, is hereby amended as follows:

Real property consisting of four vacant parcels with a combined total of approximately 127.57 acres with parcel ID numbers 4711-23-400-007, 4711-23-400-008, 4711-23-400-001 and 4711-23-300-003 located at the northwest corner of Challis Road and Bauer Road more particularly described as follows:

4711-23-400-007: SEC 23 T2N R5E PART OF THE SE 1/4 OF SEC 23, BEG AT A POINT ON THE C.L. OF CHALLIS RD, N 89°01'54"E 1235.95 FT FROM THE S 1/4 COR OF SAID SEC, TH N 89°01'54"E 309.65 FT, TH N 0°15'11"E 1414.45 FT TO THE SLY ROW OF C & O RR, TH NWLY ALONG THE ARC OF A CURVE, LONG CHORD WHICH BEARS, N 53°22'38"W 392.46 FT, TH S 0°01'47"W 1653.80 FT TO THE S SEC LINE & POB, 11.0AC

4711-23-400-008: SEC 23 T2N R5E PART OF THE SE 1/4 OF SEC 23 BEG AT A POINT ON THE C.L. OF CHALLIS RD & SEC LINE N 89°01'54"E 1545.60 FT FROM THE S 1/4 COR TH N 89°01'54" E 1110.30 FT TH N 00°04'33" W 630.24 FT TH N 58°58'30" W 412.63 FT TH N 56°47'27" W 881.08 FT TH N 89°01'15" E 84.65 FT TH N 54°39'00" W 118.83 FT TH S 0°15'11" W 1414.45 FT TO POB CONT 25.12 AC M/L CORR LEGAL 3/2022

4711-23-400-001: SEC 23 T2N R5E ALL THAT PART OF THE SE 1/4 LYING SLY OF C & O RR ROW EXC BEG AT S 1/4 COR OF SEC TH N 89°01'54" E 781 FT, TH N 0°58'05" W 918.05 FT, TH N 52°50'20" W 815 FT TH S 67°59'40" W 126.44 FT, TH S 0°03'25" E 1376.04 FT TO BEG 76.604AC M/L, EXC 36AC E OF A LINE N 89°01'54"E 1235.95 FT FROM THE S 1/4 COR & N 0°01'47"E 1653.80 FT TO SLY ROW LINE OF C. & O. RR, 40.604AC M/L

4711-23-300-003: SEC 23 T2N R5E COMM ON THE N & S 1/4 LINE THE N 00°03'25" W 1376.04 TO POB TH S 67°59'40" W 351.56 FT TH S 29°59'40" W 312 FT TH N 88°15'38" W 118.40 FT TH S 43°22'25" W 158 FT TH N 46°37'35" W 150 FT TH S 68°32'25" W 555 FT TH N 00°02'25" E 1933.58 FT TH S 89°37'35" E 1331.64 FT TH S 00°03'25" E 1311.69 FT TO POB CORR LEGAL 3/2022 CONT 51.16 AC M/L

shall be rezoned from the Agriculture (AG) to Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) overlay to allow for a 55-units single-family site condominium development. The Township Planning Commission and Township Board, in strict compliance with the Township Zoning Ordinance and with Act 110 of the Public Acts of 2006, as amended, reclassified the Property as Residential Planned Unit Development (RPUD) upon finding that such classification properly achieved the purposes of Section 10.02 and 22.04 of the Township's Zoning Ordinance (as amended).

Repealor: All ordinances or parts of Ordinances in conflict herewith are repealed.

Severability Should any section, subsection, paragraph, sentence, clause, or word of this Ordinance be held invalid for any reason, such decisions shall not affect the validity of the remaining portions of the Ordinance.

Savings: This amendatory ordinance shall not affect violations of the Zoning Ordinance or any other ordinance existing prior to the effective date of this Ordinance and such violation shall be governed and shall continue to be separate punishable to the full extent of the law under the provisions of such ordinance at the time the violation was committed.

Effective Date: This map amendment was adopted by the Genoa Charter Township Board of Trustees at the regular meeting held _____, 2025 and ordered to be given publication in the manner required by law. This ordinance shall be effective seven days after publication.

On the motion to adopt the Ordinance the following vote was recorded:

Yeas:

Nays:

Absent:

I hereby approve the adoption of the foregoing Ordinance this ____ day of _____, 2025.

Janene Deaton
Township Clerk

Kevin Spicher
Township Supervisor

Township Board First Reading:	March 3, 2025
Date of Publication of Ordinance:	March 9, 2025
Township Board Second Reading and Adoption:	Proposed March 17, 2025
Date of Publication of Ordinance Adoption:	Proposed March 23, 2025
Effective Date:	Proposed April 1, 2025

GENOA CHARTER TOWNSHIP
Application for Re-Zoning



APPLICANT NAME: PULTE HOMES OF MICHIGAN, LLC ADDRESS: 2800 LIVERNOIS ROAD, BLDG D
OWNER NAME: SEE ATTACHED ADDRESS: SUITE 320, TROY MI 48083
PARCEL #(s): SEE ATTACHED PRIMARY PHONE: (248) 820-7306
EMAIL 1: paul.schyck@pultegroup.com EMAIL 2: joe.skore@pultegroup.com

We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:

A. REQUIRED SUBMITTAL INFORMATION

1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of consent from the property owner;
3. It is desired and requested that the foregoing property be rezoned from:
AG to LDR/RPUD
4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands, wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites, and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental impact assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

WE ARE REQUESTING THE PROPERTY BE REZONED LOW DENSITY (RPUD)
RESIDENTIAL WHICH IS CONSISTANT WITH THE MASTER PLAN

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

THE PROPERTY IS PARTIALY WOODED WITH INTERSPERSED WETLANDS AND ROLLING UPLAND AREAS THAT CONSIST OF MAINLY COARSE SANDS AND GRAVELS. GROUNDWATER IS GENERALLY DOZENS OF FEET BELOW THE UPLAND AREAS AND THE WETLAND INUNDATION IS ONLY PERIODIC.

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

THE CURRENT AG ZONING REQUIRES 10 AC MIN NON-FARM DWELLINGS WHICH IS NOT CONSISTENT WITH ADJACENT PROPERTIES OR THE MASTER PLAN. 10 AC MIN LOT SIZES WOULD ONLY YEILD 12 A LOT DENSITY VS. 58 LOTS AS PROPOSED

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

LDR WOULD BE COMPATIBLE WITH ADJACENT RESIDENTIAL PROPERTIES AND NOT ADVERSELY EFFECT THE ENVIRONMENTAL QUALITY OF THE AREA. AT LESS THAN 0.5 UNITS PER ACRE TRAFFIC WOULD NOT BE ADVERSLY EFFECTED & NEW BUILD COMPARABLE HOUSING WOULD ENHANCE PROPERTY VALUES

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

THE LOW DENSITY RESIDENTIAL PROPOSAL WILL NOT ADVERSELY EFFECT EMERGENCY SERVES AS IT CONSISTENT WITH THE MASTER PLAN AND THE TOWNSHIPS GOALS. ALSO, SEPTIC AND WELLS ARE PROPOSED WITH NO IMPACT ON WATER AND SEWER CAPACITY

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

SUPPLY IS DEFICIENT FOR SINGLE FAMILY HOUSING IN MICHIGAN IN GENERAL AND THIS PROPOSAL WILL INCREASE SINGLE FAMILY HOMES WHILE PRESERVING OVER HALF OF THE SITE AS OPEN SPACE.

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

LDR IS CONSISTENT WITH THE MASTER PLAN AND A REZONING WILL FULFILL A TOWNSHIP GOAL.

8. Describe any deed restrictions which could potentially affect the use of the property.

WE ARE NOT AWARE OF ANY SUCH DEED RESTIRCTIONS.

C. AFFIDAVIT

The undersigned says that they are the DEVELOPER (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: PULTE HOMES OF MICHIGAN LLC

ADDRESS: 2800 LIVERNOIS ROAD, TROY MI 48083, BLDG D, SUITE 320


SIGNATURE

The following contact should also receive review letters and correspondence:

Name: STEVE ALLEN Email: sallen@umlorgroup.com

Business Affiliation: UMLOR GROUP

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Legacy Hills

PROJECT LOCATON & DESCRIPTION: North of Challis between Bauer Rd and grand Circle Drive

SIGNATURE: 

DATE: 8/21/24

PRINT NAME: Paul Schuyck

PHONE: 248-820-7306

COMPANY NAME & ADDRESS: Pulte Homes of MI LLC

2800 Livernois Troy MI 48083 Bldg D Suite 320



GENOA CHARTER TOWNSHIP APPLICATION Planned Unit Development (PUD)

APPLICANT NAME: Pulte Homes of Michigan, LLC

APPLICANT EMAIL: paul.schyck@pultegroup.com

APPLICANT ADDRESS & PHONE: 2800 Livernois Road Bld D Suit 320 Troy MI 48083

OWNER'S NAME: See Attached

OWNER ADDRESS & PHONE: See Attached . ()

TAX CODE(S): See Attached

QUALIFYING CONDITIONS (To be filled out by applicant)

1. A PUD zoning classification may be initiated only by a petition.
2. It is desired and requested that the foregoing property be rezoned to the following type of PUD designation:

- ☒ Planned Unit Development (RPUD)
- ☐ Planned Industrial District (PID)
- ☐ Mixed Use Planned Unit Development (MUPUD)
- ☐ Redevelopment Planned Unit Development (RDPUD)
- ☐ Non-residential Planned Unit Development (NRPUD)
- ☐ Town Center Planned Unit Development (TCPUD)

3. The planned unit development site shall be under the control of one owner or group of owners and shall be capable of being planned and developed as one integral unit.

EXPLAIN Pulte Homes of Michigan, LLC will be the sole owner and is capable of developing the site as one integral unit.

4. The site shall have a minimum area of twenty (20) acres of contiguous land, provided such minimum may be reduced by the Township Board as follows:

A. The minimum area requirement may be reduced to five (5) acres for sites served by both public water and public sewer.

B. The minimum lot area may be waived for sites zoned for commercial use (NSD, GCD or RCD) where the site is occupied by a nonconforming commercial, office or industrial building, all buildings on such site are proposed to be removed and a new use permitted within the underlying zoning district is to be established. The Township Board shall only permit the PUD on the smaller site where it finds that the flexibility in dimensional standards is necessary to allow for innovative design in redeveloping the site and an existing blighted situation will be eliminated. A parallel plan shall be provided showing how the site could be redeveloped without the use of the PUD to allow the Planning Commission to evaluate whether the modifications to dimensional standards are the

minimum necessary to allow redevelopment of the site, while still meeting the spirit and intent of the ordinance.

- C. The PUD site plan shall provide one or more of the following benefits not possible under the standards of another zoning district, as determined by the Planning Commission:
- preservation of significant natural or historic features
 - a complementary mixture of uses or a variety of housing types
 - common open space for passive or active recreational use
 - mitigation to offset impacts
 - redevelopment of a nonconforming site where creative design can address unique site constraints.
- D. The site shall be served by public sewer and water. The Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area and the requirements of the County Health Department shall be met.

Size of property is 127.57 acres.

DESCRIBE BELOW HOW THE REQUESTED PUD DESIGNATION COMPLIES WITH AFOREMENTIONED MINIMUM LOT SIZE REQUIREMENTS.

The units will use on-site wastewater and individual wells that will meet or exceed Livingston County Health Department standards. Unit size will meet or exceed the revised ordinance amendment.

STANDARDS FOR REZONING TO PLANNED UNIT DEVELOPMENT (RESPOND HERE OR WITHIN THE IMPACT STATEMENT)

1. How would the PUD be consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area;

The Low Density Residential (RPUD) is consistent with the Master Plan.

2. The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values;

The Low Density Residential (RPUD) would be compatible with adjacent residential properties and not adversely effect the environmental quality of the area. At less than 0.5 units per acre the traffic would not be adversely effected and new build comparable housing would enhance property values.

3. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township;

The Low Density Residential (RPUD) proposal will not adversely effect emergency services as it is consistent with the Master Plan and Township goals. Also, septic and wells are proposed with no impact on water and sanitary sewer capacity.

4. The apparent demand for the types of uses permitted in the PUD;
Supply is deficient for single family housing in Michigan in general and the proposal will
increase single family homes while preserving over half of the site as open space.

AFFIDAVIT

The undersigned says that they are the Developer (owner, lessee, or other specified interest)
involved in this petition and that the foregoing answers and statements herein contained and the information
herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Pulte Homes of Michigan LLC Paul Schyck
ADDRESS: 2800 Livernois Road, Troy MI 48083 Bldg D, Suite 320

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Steve Allen of Umlor Group at sallen@umlorgroup.com
Name Business Affiliation E-mail

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Legacy Hills

PROJECT LOCATON & DESCRIPTION: North of Challis between Bauer and Grand Circle Drive

SIGNATURE: Paul Schyck DATE: 8/2/21

PRINT NAME: Paul Schyck PHONE: 248-890-7306

COMPANY NAME & ADDRESS: Pulte Home of Michigan LLC
2800 Livernois T Troy MI 48083 Bldg D Suite 320



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: PULTE HOMES OF MICHIGAN LLC

If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: see attached

SITE ADDRESS: _____ PARCEL #(s): _____

APPLICANT PHONE: (____) _____ OWNER PHONE: (____) _____

OWNER EMAIL: _____

LOCATION AND BRIEF DESCRIPTION OF SITE: Property is located on the north side of Challis Road between Dore & Bauer Roads

BRIEF STATEMENT OF PROPOSED USE: Single Family Residential Site Condominium

THE FOLLOWING BUILDINGS ARE PROPOSED: Single Family Housing Units

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: PULTE HOMES OF MI LLC

ADDRESS: 2800 Livernois Road, Troy MI 48083 Bldg D Suite 320

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Steve Allen of Umlor Group at sallen@umlorgroup.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Paul Schuck DATE: 5/21/24

PRINT NAME: Paul Schuck PHONE: 248-820-7306

ADDRESS: Pulte Homes of MI LLC 2800 Livernois Rd, Troy MI 48083 Bldg D Suite 320

OPEN PUBLIC HEARING #1... Consideration for a rezoning application, PUD agreement, environmental impact assessment, PUD conceptual and preliminary site condo plan to rezone 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road. The proposed rezoning is for the following parcels: 4711-23-400-008, 4711-23-400-007, 4711-23-400-001 and 4711-23-300-003. The request is submitted by Pulte Homes of Michigan.

- A. Recommendation of Rezoning to LDR and PUD application for RPUD
- B. Recommendation of PUD agreement
- C. Recommendation of Environmental Impact Assessment (9-27-24)
- D. Recommendation of Conceptual PUD (12-16-24)

Mr. Mike Noles of The Umlor Group, the engineering firm representing Pulte Homes, was present. This is their third public meeting for this project, they also had a meeting with the homeowner's association of the Mountain View neighborhood and spoke with some individual homeowners who contacted them. He is grateful for the letter in support for the project that was in the packet this evening.

He reviewed their proposed project and described the changes they have made since the previous meeting. They are now proposing to build 55 homes instead of 58, they reduced the length of the cul-de-sac so there is less impervious service, reduced the proximity of the homes to the railroad tracks, and doubled the landscaping around the detention pond.

He stated that the traffic study that was done includes the trips that will be generated by the Grand River & Dorr Road development. Additionally, when the roundabout was designed, the LCRC included the original Legacy Hills concept plan, which was for 129 units, and since this development is for only 55 units, the roundabout was over-designed.

Additionally, based on public comment, they will be installing a public path along Challis Road in two directions: from their development to the Mountain View Development and to the roundabout.

Mr. Borden reviewed his letter dated January 7, 2025.

He stated this is the first step in this process. If the Planning Commission recommends approval and the Township Board votes to approve the items on tonight's agenda, the petitioner will have to return to the Township for final site plan review and approval, which will include public hearings.

- 1. PUD Qualifying Conditions (Section 10.02):
 - A. The proposal requires approval by the Township in accordance with the cluster development option of Section 10.03.01(d) for residential units of less than one acre that are not served by public sewer or water.

2. Rezoning Criteria (Section 22.04):

- A. The proposed zoning designation of LDR/RPUD is consistent with the Future Land Use Plan and goals/objectives of the Township Master Plan.
- B. Use of the cluster development option under the RPUD overlay results in greater open space/natural feature protection than would otherwise be required, which is 58.1 percent.
- C. The only use identified in the RPUD is detached single-family, which is generally reasonable and compatible with the area.

3. Conceptual PUD Plan and PUD Agreement (Section 10.03.01):

- A. The pathway options provided warrant additional discussion. He noted that the applicant is proposing to install the public walkway along Challis Road, so that should be noted on the plans.
- B. Dimensional deviations are sought for lot area, lot width, and one side yard minimum setback/combination of side yard setbacks.
- C. Cluster option. The items below are still outstanding and there are some small typos on the plans that need to be corrected.
 - I. The road connection to Units 13-16 encroaches into the Township's natural feature setback area and the wetland itself, thus requiring State and Township approval. The applicant has added the encroachment to the list of dimensional deviations sought via the RPUD.
 - II. The applicant must include a preservation and maintenance plan with the final PUD site plan submittal.
 - III. The Township may include reasonable conditions to ensure protection of public facilities and services, protection of the natural environment, compatibility with adjacent land uses, use of the land in a socially and economically desirable manner, and to implement the Master Plan.
- D. The applicant must address staff and/or Township Attorney comments on the PUD Agreement.
- E. The applicant should identify the Challis and Bauer Road frontages of Units 32-45 as the rear yard since they will be double-fronted lots.
- F. Signage identifying areas not to be disturbed, specifically natural feature setback and landscape easement, should be included.

For all items, the applicant must address any technical comments provided by the Township Engineer, Brighton Area Fire Authority and Utilities Director.

Ms. Byrne reviewed her letter dated December 23, 2024. Her comments will need to be included and addressed in the final site plan.

DRAINAGE AND GRADING

1. The conceptual site plan includes stormwater and private road improvements within regulated wetland limits. An EGLE wetland permit will be required for this work and should be obtained prior to final site plan approval.
2. The conceptual site plan shows a detention pond and onsite storm sewer. Storm sewer and detention basin design and calculations should be provided for review as part of the final site plan review.
3. An overall proposed grading plan will need to be submitted for review and approval.

WATER AND SANITARY SERVICE

1. The proposed PUD does not have access to municipal water and sanitary sewer service and the cover sheet of the conceptual site plan notes that onsite septic and individual wells are proposed to serve the development and conceptual approval from the Livingston County Health Department (LCHD) has been obtained. Final approval from the LCHD should be provided prior to final site plan approval.
2. The Brighton Area Fire Authority has reviewed the proposed PUD and noted that fire protection water supply will be discussed during the final site plan process. The petitioner will need to work with the Fire Authority to meet any fire suppression requirements they have as part of site plan approval.

TRAFFIC AND ROADWAYS

1. The proposed PUD would be served by a private road off Challis Road. Future road design should be in accordance with Genoa Township Engineering Standards and a Private Road Construction plan review will be required after final site plan approval.
2. The private road includes a dead-end cul-de-sac on the north end of the development. The road terminating in a dead-end is proposed to be just over 1,100 feet long, which exceeds the maximum length of 1,000 feet for a dead-end street. Given the natural features contained on the site it would be impossible to loop this dead-end road back to the rest of the development. The road will also only have four lots being served, which generates a minimal amount of traffic. Subject to review by the Brighton Area Fire Authority, we would support a variance for the length of the street.
3. A traffic study was provided by the petitioner. The study was conducted and prepared by Fleis & VandenBrink for the intersection on Challis Road and the proposed site driveway. Recommendations stated that no left or right turn lane will be warranted at the proposed site driveway on Challis Road.

The concept plan shows adequate access to the site and a detailed site plan should be submitted with the necessary documents for further review. We recommend that the petitioner consider the above comments in their preparation of the site plan approval process.

The Brighton Area Fire Authority Fire Marshal's letter dated January 7, 2025 states that all his previous concerns have been addressed.

Commissioner Reiber stated these homes will cost approximately \$800,000 and asked if the developer has shown that there is a need for them. Mr. Noles stated there is a section of the Impact Statement that shows there is a demand for homes in this area. It does not break it down by price range. He noted other developments in the surrounding area that have homes that are selling for these prices.

Commissioner Reiber asked how the open space is calculated. Mr. Noles stated open space is determined by the ordinance. He reviewed the site plan showing the different open space areas and how they are calculated, noting this project is far in excess of the minimum requirement. Commissioner Reiber asked if the upland area can be used by the residents. Mr. Noles stated it is protected land in that it will be kept in its natural state and cannot be developed.

Commissioner Chouinard asked about Lot 30 and how it became smaller. Mr. Noles stated it was 600 square feet too small, so lots 29, 30 and 31 were shifted so they all meet the one-acre requirement.

Mr. Noles noted that the front yard designations are shown on the site plan.

Commissioner McCreary questioned the wide area on the shared driveway for Lots #13-16. Mr. Noles stated that is there to allow fire trucks to turn around. It meets all the requirements of the international fire code. She asked who maintains that private road. Mr. Noles stated it will be the responsibility of the HOA and will be noted in the master deed and by-laws.

Commissioner Rauch asked about the designated open space shown in yellow behind certain lots. Is it maintained by the property owner? Mr. Noles stated it is a limited common element that is maintained by the homeowner as it is their yard. The HOA has a responsibility to maintain the required buffered plantings.

Commissioner McBain asked for clarification on the limited common elements. Mr. Noles explained that it is part of the property owner's property to maintain and enjoy; however, within that area is a required landscape buffer, which will be maintained by the HOA.

Ms. Ruthig requested that the front yard designation for the lots that abut Challis and Bauer be added to the PUD Agreement.

Commissioner McCreary asked about tree removal on the site. Will it be clear cut? Mr. Noles stated that there are 70 acres of this site that have over 5,000 trees that will not be removed. There are also trees being saved along Challis Road, Bauer Road, and the rear yards of the properties that abut the neighboring development.

Commissioner Rauch stated that the items for consideration this evening are rezoning, PUD, and Concept PUD. There will be an opportunity to discuss details of the plan. He thanked the applicant for listening to the public and the Planning Commission and making the changes, specifically the reduction of the seven lots to four.

The call to the public was opened at 7:50 pm

Mary Jane Hebert of 6899 Lyle Lane stated that the original plan showed that all the trees were going to be cut down. She does not want the dirt part of Bauer to be used for construction traffic. She would like it to be accessed from Challis Road. The current residents of Genoa Township will not benefit from this development. Their property taxes will increase and make it difficult for seniors to age in place.

Ms. Debra Beattie of Pineview Trail commends the builder. She appreciates that there is buffering, and that half of this property will be preserved as natural. She is not sure if anyone is looking for homes of this price. She questioned the application that was submitted. It does not seem that the applicant is taking it seriously. It should be answered with real answers.

Mr. Mortensen of 6475 Grand Circle asked if this is the new people that were just voted in. Chairman Grajek stated that this Board is appointed by the Supervisor; however, one of the members is a new trustee who is a liaison to the Board. Mr. Mortensen is concerned with the retention pond. If the pond fills up, it will drain, and he wants to be sure that it will drain where it is supposed to.

Ms. Debra Hall of 2165 Webster Park has lived in Livingston County since 1976 and has owned this property since 1987. She does not understand \$800,000 homes. Her grown children cannot afford to live in Livingston County, and she thinks that is a shame.

The call to the public was closed at 8:06 pm.

Ms. Ruthig stated that a letter from Christine Cross of 6984 Challis Road was received at 6:00 pm today and was not included in the packet. Chairman Grajek read the letter into the record.

Commissioner Rauch addressed the issue of attainable housing in Livingston County that was stated by a member of the call to the public. As a township, we are working to make strides towards this. The project at Dorr and Grand River and other new developments are more attainable than what is being proposed this evening. He added that during the site plan review process, detailed engineer drawings will be submitted and there are regulations and approvals that are required to be met. The site plan presented this evening is just conceptual.

Moved by Rauch, supported by McCreary, to recommend to the Township Board approval of the Rezoning to LDR and PUD Application for RPUD to rezone 127.57 acres, Parcels 4711-23-

400-008, 4711-23-400-007, 4711-23-400-001 and 4711-23-300-003, from Agriculture (AG) to Low-Density Residential (LDR) to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road as this commission finds that the conditions of Sections 22.04 have been satisfactorily met. **The motion carried unanimously.**

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to recommend to the Township Board approval of the PUD Agreement to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road, with the following conditions:

- The front yard designations shown on the site plan shall be added into the PUD Agreement.
- The changes shown in the Agreement in tonight's packet are approved.
- The PUD should show 55 lots.

The motion carried unanimously.

Moved by Commissioner Rauch, supported by Commissioner McCreary, to recommend to the Township Board approval of the Environmental Impact Assessment Dated September 27, 2024 to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road, with the following condition:

- The Environmental Impact Assessment shall show 55 lots.

The motion carried unanimously.

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Conceptual PUD dated December 16, 2024 to allow for a proposed 55-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road, with the following conditions:

- A conservation easement shall be added over the western upland areas and not just the wetlands themselves.
- The table on the concept plan will be updated to incorporate the changes made from the original proposal.
- The pathway as shown on the plans is in lieu of the required internal pathways is desirable to the Planning Commission to offer a greater benefit to the community at large and the details will be revisited at the time of final site plan approval.

The motion carried unanimously.

The Board took a break from 8:20 to 8:25 pm

OPEN PUBLIC HEARING #2...Discussion of an ordinance amendment to Article 7
"Commercial and Service Districts" in regard to drive-through restaurants.

**GENOA CHARTER TOWNSHIP
SPECIAL PLANNING COMMISSION
PUBLIC HEARING
December 4, 2024**

MINUTES

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, and Tim Chouinard, Marianne McCreary, Greg Rassel, and Eric Rauch. Absent were Glynis McBain, and Bill Reiber. Also present were Planning Director Amy Ruthig, Brian Borden of Safebuilt and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner McCreary, supported by Commissioner Rauch, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

None

CALL TO THE PUBLIC:

The call to the public was made at 6:31 pm.

Ms. Debra Beattie is suspicious and upset about scheduling two special meetings back to back for the busiest month of the year. It benefits the applicants.

Ms. Ruthig stated that she scheduled the meeting. The December 9 meeting is a regular meeting, with a location change. Tonight's meeting will address a zoning ordinance that needed to be addressed as soon as possible. The applicant for tonight submitted in time for the 12/9 meeting, but because of what is on that agenda, he was put on this agenda. She has to ensure that her board members, consultants, applicants, and recording secretary are all available when she is scheduling a meeting.

Mr. Jeff Dhaenens of 5494 Sharp Drive knows that Mr. Reiber has another commitment this evening. Next week's meeting is at Parker Middle School, and he wants everyone to know it is a hostile environment. He suggested a quick refresher on what is a PUD tonight.

The call to the public was closed at 6:34 pm.

OPEN PUBLIC HEARING #1... Consideration for a rezoning application, PUD agreement, environmental impact assessment, PUD conceptual and preliminary site condo plan to rezone 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) with a RPUD

overlay to allow for a proposed 58-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road. The proposed rezoning is for the following parcels: 4711-23-400-008, 4711-23-400-007, 4711-23-400-001 and 4711-23-300-003. The request is submitted by Pulte Homes of Michigan.

- A. Recommendation of Rezoning to LDR and PUD application for RPUD**
- B. Recommendation of PUD agreement**
- C. Recommendation of Environmental Impact Assessment (9-27-24)**
- D. Recommendation of Conceptual PUD (11-1-24)**
- E. Recommendation of Preliminary Site Plan (11-1-24)**

Mr. Borden provided a review of Planned Unit Development (PUD). It is a tool allowed under Michigan's law to allow for a developer to bring a project to a community that maybe doesn't comply with all conventional requirements, but in exchange for some flexibility on the design side, they would provide other public benefits. The cluster option is an old zoning tool that has been in the ordinance for almost 20 years. This is another tool that allows a developer to develop a certain amount of land based on the full property but allows a reduction in lot sizes in exchange for preservation or protection of open spaces. He showed the site plan for tonight's item as an example. It is the same number of homes, but with a higher density, but preservation of open spaces.

The petitioner was before the Planning Commission previously and based on comments from him and the township engineer and the commissioners, they revised the plan. He noted that the items are recommended by the Planning Commission to the Township Board, who makes the final approval. Because there is a rezoning, the Livingston County Planning Commission would review the proposal and also make a recommendation to the Township Board.

Mr. Mike Noles of the Umlor Group, the engineering firm representing Pulte Homes, was present. They have addressed the comments and provided the additional information that was requested at the previous meeting. They would like to develop 58 homes on 127 acres, with 78 acres of open space. The site could be built with 58 homes as it is currently zoned; however, they believe that preserving the 78 acres of open space is a better plan. They are compliant with the Master Plan, the Future Land Use Plan, and the RPUD. They are proposing to build beautiful homes.

He showed the plan of what could be built on this site if the straight zoning was to be followed, including the wells and septic, building envelopes, wetland crossings, roadways that would be able to tie into the public streets adjacent to this property, and the landscape plan of 33 trees, and 360 bushes.

They have done a traffic impact assessment, which was done on October 15, when the Dorr Road bridge was closed; however, the engineer used the historical data from 2023 when the bridge was open and found that the difference was negligible. He reviewed the findings, noting the different amounts of traffic at different times of day and night. The level of service grades

were A and B, which does not require any additional treatment, and will have no effect on the neighboring street system.

He reviewed the PUD Agreement and Master Deed that address the questions and concerns of members of the public. Also, they have tested for the well and septic and concluded that the tested aquifers at the site would be able to furnish a reliable amount of water for the proposed development. These tests also included the wells in the adjacent neighborhood. The Livingston County Health Department has provided preliminary approval of the wells and septic.

He showed the four different home styles and their multiple elevations being proposed for this development. He noted that the materials that are used on the front of the home are wrapped around the entire home, such as the brick, siding, masonry Wainscott, etc.

Based on the questions and comments at the previous meeting, they have revised the site plan. Some of these changes include that now the cul-de-sacs have the correct radii, the storm outlets are shown with changes to the proposed storm sewer system, and the increase in the landscape buffers. They have researched installing a sidewalk connecting their development to the sidewalk on Brighton Road at the roundabout and would like to discuss this issue in detail with the Planning Commission.

He stated that the trees will be removed on the interior of the site where they will be installing the roads and underground pipes, homes, etc. In a wooded area, there are typically 100 trees per acre above 6" in caliper, and 70 trees per acre above 8" in caliper. In the 70 acres that they are leaving as open space, there are approximately 5,000 trees that are being preserved.

Ms. Ruthig stated that Mr. Borden has not seen the revised parallel plan, but the applicant is still within the 58 homes that are able to be built.

Mr. Borden reviewed his letter dated November 27, 2024.

1. PUD Qualifying Conditions (Section 10.02):

- a. The proposal requires approval by the Township in accordance with Section 10.03.01(d) for residential units of less than one acre that are not served by public sewer or water.
- b. The applicant must address any technical comments provided by the Township Engineer, Brighton Area Fire Authority and Utilities Director.

2. Rezoning Criteria (Section 22.04):

- a. The proposed zoning designation of LDR/RPUD is consistent with the Future Land Use Plan and goals/objectives of the Township Master Plan.

He noted that there are two zoning designations on this property. They are Large Lot and Low Density, noting the large lot doesn't need to be rezoned because that is where the open space is being proposed. Commissioner Rauch asked if it changes the dimensional

standards that have been used to develop the parallel plan. Mr. Borden stated, "yes". That plan has been presented this evening.

- b. The RPUD overlay results in greater open space/natural feature protection than would otherwise be required. They are providing 57.2 percent open space where 25 percent is the minimum for RPUD and 50 percent is the minimum for cluster option.
 - c. The only use identified in the RPUD is detached single-family residential, which is generally reasonable and compatible with the area.
 - f. The applicant must address any technical comments provided by the Township's engineering consultant, Utilities Director and Brighton Area Fire Authority.
3. Conceptual PUD Plan and PUD Agreement (Section 10.03.01), noting some of the items have been met:
- a. Dimensional deviations are sought for lot area, lot width, and 1 side yard minimum setback/combination of side yard setbacks.
 - b. Cluster option:
 - i. The Township may wish to request additional information demonstrating that the applicant will complete the project in its entirety.
 - ii. The road connection to Units 13-19 encroaches into the Township's natural feature setback area and the wetland itself, which requires State and Township approval. The applicant has added the encroachment to the list of dimensional deviations sought via the RPUD.
 - iii. The applicant must include a preservation and maintenance plan with the final PUD site plan submittal.
 - iv. Pending further discussion on pathways, the active recreation requirement may, or may not, be satisfied. If the pathway is installed off site, it may not meet the requirement.
 - v. The Township may include reasonable conditions to ensure protection of public facilities and services, protection of the natural environment, compatibility with adjacent land uses, use of the land in a socially and economically desirable manner, and to implement the Master Plan.
 - c. The applicant must address any comments provided by the Township's engineering consultant, Utilities Director and Brighton Area Fire Authority.
 - d. The applicant must address staff and Township Attorney comments.
 - e. He would like the landscaping adjacent to the detention pond and residences be increased to more than the minimum required
 - f. The applicant should identify the Challis and Bauer Road frontages of Units 35-48 as the rear yards since they will be double-fronted lots, which could affect the placement of other items, such as fencing, outbuildings, etc.
 - g. Signage identifying areas not to be disturbed, such as the natural feature setback and landscape easement, should be included.

He noted that this is a preliminary site plan, so a final site plan must be provided and approved by the Township.

Ms. Byrne reviewed her letter dated February 5, 2024.

DRAINAGE AND GRADING

1. The conceptual site plan includes stormwater and private road improvements within regulated wetland limits. An EGLE wetland permit will be required for this work and should be obtained prior to final site plan approval.
2. The conceptual site plan shows a detention pond and onsite storm sewer. Storm sewer and detention basin design and calculations should be provided for review as part of the site plan review.
3. An overall proposed grading plan will need to be submitted for review and approval.

WATER AND SANITARY SERVICE

1. The proposed PUD does not have access to municipal water and sanitary sewer service and the cover sheet of the conceptual site plan notes that onsite septic and individual wells are proposed to serve the development and conceptual approval from the Livingston County Health Department (LCHD) has been obtained. Final approval from the LCHD should be provided prior to final site plan approval.
2. The Brighton Area Fire Authority has reviewed the proposed PUD and noted that fire protection water supply will be discussed during the final site plan process. The petitioner will need to work with the Fire Authority to meet any fire suppression requirements they have as part of site plan approval.
3. The concept plan shows two fire suppression wells per Fire Authority requirements. In future submittals additional detail should be provided on the plans for the proposed wells and more detail should be provided on how they will operate.

TRAFFIC AND ROADWAYS

1. The proposed PUD would be served by a private road off Challis Road. Future road design should be in accordance with Genoa Township Engineering Standards and a Private Road Construction plan review will be required after final site plan approval. Additionally, the private road intersection should be reviewed and approved by the Livingston County Road Commission (LCRC).
2. Dimensioning of the proposed cul-de-sacs will need to be revised to match Genoa Township Engineering Standards. Cul-de-sacs are required to have a radius of 60 feet with a 75-foot right of way (ROW) radius. The cul-de-sacs meet the ROW requirement but fail to have a road radius of 60 ft. The ROW width for the private road should also be dimensioned, but it appears to match the 66-foot standard width requirement.
3. The private road includes a dead-end cul-de-sac on the north end of the development. The road terminating in a dead-end is proposed to be over 1,200 feet long, which exceeds the maximum length of 1,000 feet for a dead-end street. Given the natural features contained on the site, it would be impossible to loop this dead end road back to the rest of the development. The road will also only have seven lots being served, which generates a

minimal amount of traffic. Subject to review by the Brighton Area Fire Authority, we would support a variance for the length of the street.

Commissioner McCreary questioned how the shared driveway will be built and maintained.

Mr. Brian Biskine of the Umlor Group stated the shared driveway will be designed as a narrow road that will be curbed. There are two private roads and they both have T-turn arounds that meet the fire code to allow their vehicles to turn around. For maintenance and snow removal, etc., they will be handled the same as the other roadways. Mr. Borden stated this would be addressed in the condominium documents.

The Brighton Area Fire Authority Fire Marshal's letter dated November 20, 2024 states that all of his previous concerns have been addressed.

Commissioner Rauch asked how many lots are allowed on a shared driveway? Ms. Ruthig stated there are a maximum of four allowed.

Commissioner Rauch suggested that only part of the property be rezoned to LDR. The boundary could be just to the east of the seven lots in the northwest of the site. Since they are accessed by a private driveway, it would have to be decreased to four homes, which would preserve more of the wetland.

Mr. Noles noted that they used the Master Plan to determine the 58 lots. The location of the lots match the zoning designations in the Master Plan. Commission Rauch asked if the petitioner would be willing to reduce the seven lots to four lots, which would preserve more of the wetland, reduce the amount of the detention pond, and save more mature trees. Mr. Noles^s stated saving three lots will not save significant wetland nor require less of a detention pond or save more trees.

Commissioner Rassel asked who would maintain the off-site sidewalk. Mr. Noles stated the HOA will maintain it.

Commissioner McCreary asked about color restrictions on the homes. Mr. Noles stated there are no restrictions to homes next to each other being the same color.

Chairman Grajek called a 10-minute break from 8:05 to 8:15 pm.

The call to the public was opened at 8:15 pm.

Mr. Colin Hebert of 6899 Lyle Lane stated the traffic study that was shown at the previous meeting was for 129 units. Mr. Noles stated a previous one was done for the land owner's plan, not Pulte's plan. They are building 58 units. He asked if the landowner has plans to build more homes. Mr. Noles^s stated Pulte Homes only has a contract for these homes.

Mr. Jim Rector of Challis Road asked if the Livingston County Drain Commissioner is overseeing the review of the stormwater and retention pond. Mr. Nole~~s~~ stated that LCDC must review and approve the storm water management plan as it flows into Crooked Lake. He added that the township attorney is asking for lawn chemical restrictions in the PUD Agreement.

Mr. Jim Rowell of 5240 Mountain Road spoke to Mr. Rauch's comments regarding density. The residents want less density and the developer should consider it.

Ms. Deb Beattie of Pineview Trail stated the traffic study didn't speak to the 200 unit apartment complex at Dorr Road and Grand River. She assumes $\frac{1}{3}$ of them will be coming this way. A 100 foot natural growth buffer is already there on Challis and Bauer and she suggests leaving the natural buffer and not removing it and putting in new trees. She agrees with Commissioner Rauch's comments.

Ms. Debbie Netsel 5801 Ramblewood Court spoke to the large size of the homes being built on an acre lot with no buffers between them. Due to the cost of the homes, she does not see this as a benefit to the community.

Ms. Christine Cross of 6984 Challis is concerned about the fire entrance. How will there be assurance that the cul-de-sac won't be opened up and used by the residents. She would like the 100-foot buffer so that they do not cut down those trees. There will be an increase in traffic. She had to sit at the light at Grand River for five cycles today.

Ms. Kelly Rector of 6299 Challis Road stated estate size homes should not be put on $\frac{3}{4}$ acre lots. There are no $\frac{3}{4}$ acre lots that have wells and septic. They have loved the nature and the wetland and the trees on this property.

Mr. Evan Meffert of 6541 Grand Circle Drive spoke about the path last time and he likes what is being proposed. Access to that public pathway would be a priority. Traffic is an issue. He would like another traffic study. The main entrance to the proposed development is still too close to the Grand Circle entrance.

Ms. Michelle Vancleve of 6573 Grand Circle Drive asked if all of the 100-buffers are shown in yellow on the plan. Mr. Nole~~s~~ showed there is a 100 foot buffer where existing trees will be saved and additional trees are added. The rear setback is 75 feet so there will be a total of 235 feet from the back of the existing house to the back of the proposed house and 100 feet of it is preserved open space.

Ms. Jennifer Swint of 6518 Catalpa Drive asked if the Township Attorney had done a litigation search on Pulte Homes. They have an extensive history.

Ms. Bonnie Spicher of 5606 Mountain Road stated Pulte bought this land as two acres to put houses on. People do not move here for $\frac{3}{4}$ acre lots. She has sold a lot of real estate in this town.

Sheila who lives on Grand Circle Drive asked about lighting for the development. Will there be streetlights and will there be restrictions on house lighting?

Ms. Deb Beattie stated that since two members of the Planning Commission are not present this evening, this should be tabled since they should be able to hear all that was said and they should be part of the decision.

The call to the public was closed at 8:35 pm.

Commissioner Rauch asked about the 100-foot buffers. Mr. Nole^s stated it is a requirement of the ordinance in the RPUD, cluster overlay. When abutting a public road or existing road, a 100 foot landscape buffer is required. There are no physical improvements above grade, after they clear the development area, such as where the roads, utilities, and house pad will be, they save as many trees as they can. Saving trees is what Pulte wants to do. It increases the cost of the lot and reduces their development costs. It will also include new landscaping plantings.

Commissioner McCreary asked if the petitioner would be able to tag trees that would remain. Mr. Nole^s stated they can do that and it would come with the final engineering. She is concerned with a road being built through the wetlands. She agrees with Commissioner Rauch in protecting them. She knows that homes need to be built, but they need to be the right fit. She noted that none of the homes have first-floor master bedrooms. Mr. Nole^s stated the plan they have developed is fully compliant with the Township's Master Plan. With regard to the wetland crossing, EGLE must approve a permit for this and they do in order to access an upland. She understands that, but the residents are very cognizant of wetlands.

Commissioner Rauch requested that the petitioner look at the seven lots and see if a private drive could be built with four lots or none at all. He is not in favor of these seven lots. He thanked the applicant for doing all of their work and having provided all of the information requested by the Township. He would also request that a new traffic study be done to include the 200 apartments that will be built on Dorr Road and Grand River. Mr. Nole^s stated that the traffic study includes future proposed development and it is still rated as an A.

Commissioner Rauch would like to see the sidewalk extend along the new route of Challis Road. He is not opposed to allowing wells and septs on these properties. If the Health Department approves them, then they would be appropriate. He would like to table this item and request the petitioner look at the seven lots.

Chairman Grajek appreciates the work that the petitioner has done. He is not in favor of private drives. He does not agree with Commissioner Rauch in removing the lots.

Commissioner Chouinard believes that any reduction in wetland impact is beneficial. He does not want to see the path built inside the 100-foot buffer along Challis Road.

Commissioner Rauch would like to eliminate the active recreational aspects, such as paths and boardwalks, in the open space in favor of expanding the pathway connection off site and

suggests adding 50 percent more landscaping around the detention pond and weighting them towards the adjacent properties.

Moved by Commissioner Rauch, supported by Commissioner McCreary, to postpone Public Hearing # 1 for a proposed 58-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road, to allow the petitioner to review the following items:

- The detention pond plantings to be increased by 50 percent and specific attention is paid to the plantings along the common property boundaries to the neighbors to the south.
- This commission would prefer to move forward with a plan that installs a sidewalk outside of the project boundary down to Bauer and Challis Road and work with the Livingston County Road Commission as to its location.
- The requirement for the active activity areas would be waived by this commission for protection of the wetlands on the west side of the property.
- The petitioner shall review the density of the currently designed properties numbered 13-19 to reduce that density so it meets the requirements of a private drive or to not develop at all.
- The petitioner shall, with their traffic engineer, ensure that the project on Dorr and GRA is included in the traffic study.

The motion carried unanimously.

OPEN PUBLIC HEARING #2... Consideration of Zoning Ordinance Text amendments to Article 11” General Provisions” of the Zoning Ordinance.

A. Recommendation of Zoning Ordinance Amendment to Article 11 “General Provisions”

Ms. Ruthig reviewed the proposed ordinance amendments. The State approved taking away control from local governments with regard to determining setbacks, heights, use requirements, etc. for solar and wind energy. The township is only allowed to determine where they can be placed.

The Planning Commission and staff discussed the proposed changes. Some typographical errors were noted and will be amended by staff.

The call to the public was opened at 9:26 pm with no response.

Moved by Commissioner Rassel, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Zoning Ordinance Amendment to Article 11 “General Provisions” as it relates to Public Act 233. **The motion carried unanimously.**



January 7, 2025

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Legacy Hills – Residential Planned Unit Development (Review #4)
Location:	Northwest corner of Challis and Bauer Roads
Zoning:	AG Agricultural District

Dear Commissioners:

At the Township's request, we have reviewed the most recently revised submittal from Pulte Homes of Michigan for the proposed Legacy Hills development.

The applicant seeks a Residential PUD for a 55-unit single-family site condominium development on 127.57 acres of undeveloped land situated at the northwest corner of Challis and Bauer Roads (cover sheet dated 12/16/24).

A. Summary

1. PUD Qualifying Conditions (Section 10.02):

- a. The proposal requires approval by the Township in accordance with the cluster development option of Section 10.03.01(d) for residential units of less than 1 acre that are not served by public sewer or water.
- b. The applicant must address any technical comments provided by the Township Engineer, Brighton Area Fire Authority and/or Utilities Director.

2. Rezoning Criteria (Section 22.04):

- a. The proposed zoning designation of LDR/RPUD is consistent with the Future Land Use Plan and goals/objectives of the Township Master Plan.
- b. Use of the cluster development option under the RPUD overlay results in greater open space/natural feature protection than would otherwise be required (58.1%).
- c. The only use identified in the RPUD is detached single-family, which is generally reasonable and compatible with the area.
- f. The applicant must address any technical comments provided by the Township's engineering consultant, Utilities Director and/or Brighton Area Fire Authority.

3. Conceptual PUD Plan and PUD Agreement (Section 10.03.01):

- a. The pathway options provided warrant additional discussion.
- b. Dimensional deviations are sought for lot area, lot width, and 1 side yard minimum setback/combination of side yard setbacks.
- c. Cluster option:
 - i. Unit 30 does not provide the minimum lot area required and must be increased to at least 32,670 square feet.
 - ii. The road connection to Units 13-16 encroaches into the natural feature setback area and the wetland itself (thus requiring State and Township approval). The applicant has added the encroachment to the list of dimensional deviations sought via the RPUD.
 - iii. The applicant must include a preservation and maintenance plan with the final PUD site plan submittal.
 - iv. The Township may include reasonable conditions to ensure protection of public facilities and services, protection of the natural environment, compatibility with adjacent land uses, use of the land in a socially and economically desirable manner, and to implement the Master Plan.

- d. The applicant must address any comments provided by the Township's engineering consultant, Utilities Director and/or Brighton Area Fire Authority.
- e. The applicant must address staff and/or Township Attorney comments on the PUD Agreement.
- f. The applicant should identify the Challis and Bauer Road frontages of Units 32-45 as the rear yard (since they will be double-fronted lots).
- g. Signage identifying areas not to be disturbed (natural feature setback and landscape easement) should be included.



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The request is to create a Residential Planned Unit Development (RPUD) for 127.57 acres of land generally located at the northwest corner of Challis and Bauer Roads.

Because the RPUD is an overlay zoning district, the request includes rezoning to LDR Low Density Residential in conjunction with use of the RPUD.

At this time, the applicant seeks Planning Commission consideration of LDR/RPUD rezoning for 127.57 acres of land, the conceptual PUD plan, Environmental Impact Statement and draft PUD Agreement.

Following a public hearing, the Commission may put forth recommendations to the Township Board on each component of the request. The Township Board has final approval authority.

Given the nature of the project as a site condominium under a RPUD, the conceptual PUD site plan serves as the preliminary condominium plan. If approved, the final PUD site plan will serve as the final condominium plan.

For the applicant's information, condominium documents and agency approvals (Road Commission, Health Department, EGLE, etc.) will be required as part of the final PUD site plan submittal.

C. Qualifying Conditions

We have reviewed the request for compliance with Section 10.02 (PUD Qualifying Conditions), as follows:

1. **Single Ownership.** The PUD application form states that "Pulte Homes of Michigan, LLC will be the sole owner and is capable of developing the site as one integral unit."

2. **Initiated by Petition.** The request has been properly initiated by submittal of the required materials, including applications for PUD, rezoning, and site plan review.
3. **Minimum Site Area.** Section 10.02.03 requires a minimum of 20 acres for the establishment of a PUD, while the site contains 127.57 acres of land.
4. **Benefits.** Use of the PUD will result in greater open space preservation that would otherwise be required (58.1%, including upland and wetland areas, as well as natural feature setbacks, and buffers along both public roadways and the abutting residential development to the west).
5. **Sewer and Water.** The site is not currently served by public sewer and water, nor are extensions proposed.

Section 10.02.05 states that “the Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area unless approved by the Township in accordance with the requirements provided in Section 10.03.01(d).”

The proposal entails a total of 55 detached single-family units, 8 of which exceed 1-acre in area.

The project includes a total of 74.14 acres of protected open space area and it is the applicant’s intent to seek use of the cluster option, per Section 10.03.01(d). These requirements are reviewed in greater detail in Paragraph E of this letter below.

The Commission should also consider any comments provided by the Township engineering consultant, Utilities Director, and/or Brighton Area Fire Authority with respect to this criterion.

D. Rezoning Criteria

We have reviewed the request for compliance with Section 22.04 (Criteria for Amendment of the Official Zoning Map), as follows:

1. ***Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.***

The Township Master Plan and Future Land Use map identify the subject site as Low Density Residential and Large Lot Rural Residential. These classifications are consistent with LDR and RR zoning, respectively.

The proposed residential development is within the area planned as LDR, while the area planned as RR is to be protected and preserved as part of the RPUD. As such, the proposed underlying rezoning to LDR is consistent with the Future Land Use Plan.

Inclusion of the RPUD overlay ensures further protection of sensitive environmental areas and additional open space beyond what would otherwise be required, which is consistent with the goals and objectives of the Master Plan.

2. ***Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.***

The site contains 3 regulated wetland areas comprising a total of 32.35 acres. The vast majority of these wetlands will not be disturbed; however, the project does include an encroachment into the 0.74-acre wetland for the roadway connection to Units 13-16.

This encroachment requires a permit from the State and approval from the Township as part of this project.

The protected upland areas (26.46 acres/20.7% of the property) also contain a significant amount of mature wooded areas that will not be disturbed given use of the RPUD overlay. It is important to note that this area will be protected in perpetuity as part of the cluster development.

The Environmental Impact Assessment includes correspondence from the County Health Department noting that the property is generally suitable for on-site sewage disposal and drinking water.

3. *The ability of the site to be reasonably developed with one (1) of the uses permitted under the current zoning.*

Based on gross acreage, current zoning (AG) would allow for development of approximately 12 detached single-family units.

The current AG zoning is a departure from the planned Low Density Residential. Given the discrepancy between current zoning and the Master Plan for this area, the Commission could find that development under AG standards is not reasonable.

4. *The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.*

Per Section 3.03, the host of permissible land uses between AG and LDR zoning are nearly identical, save for the agricultural uses allowed in AG.

For this particular request, use of the RPUD overlay identifies the only allowable use as detached single-family units.

The proposed use and resulting density are similar in nature to the adjacent residential development.

The project does not meet the for a full traffic impact statement, but does require a traffic impact assessment, per Section 18.07.09. The previous submittal included the assessment (dated October 30, 2024), as required.

The assessment concludes that “the proposed development is expected to have minimal impact on the adjacent roadway network and the existing infrastructure can adequately accommodate the projected trips generated by the proposed development plan.”

Additionally, the current submittal includes a memo from the applicant’s traffic engineer (dated December 17, 2024) addressing comments provided at the recent Planning Commission meeting.

5. *The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.*

The applicant must address any comments provided by the Township engineering consultant, Utilities Director and/or Brighton Area Fire Authority related to this criterion.

6. *The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.*

The rezoning application form states that “supply is deficient for single family housing in Michigan in general and this proposal will increase single family homes while preserving over half of the site as open space.”

The second submittal included additional information regarding the demand for new single-family residences that has generally been deemed sufficient to address this criterion.

7. *Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.*

In our opinion, since the request is tied to lot size/density and not necessarily a different land use, rezoning to LDR and use of the RPUD overlay is more appropriate than another zoning district or amending host of allowable uses and the corresponding density of the AG District.

8. *The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.*

No rezoning requests have been submitted in the past year for the subject property.

E. Conceptual PUD Plan

We have reviewed the request for compliance with the Residential PUD standards (Section 10.03.01), as follows:

- 1. Submittal Materials.** The multiple submittals and presentations by the applicant have included the information required by Section 10.05.
- 2. Land Use.** As previously noted, the only use proposed is detached single-family residential.

As previously discussed, the project also includes internal sidewalks and a sidewalk connection to the adjacent neighborhood.

The off-site pathway connection presented at the previous meeting is not identified on the plan; however, a note is included on the cover sheet indicating the option of a path/boardwalk in the open space preservation area or a pathway connection to the roundabout in the public right-of-way with details to be finalized during final engineering.

It was our understanding that the Commission preferred the public pathway option. As such, this items warrants further discussion at the upcoming meeting.

- 3. Density.** Per this criterion, since a different designation is noted in the Master Plan, the request for RPPUD zoning concurrently includes rezoning from AG to LDR.

Per discussion at the previous meeting, this submittal includes a revised parallel plan depicting a total of 55 units based on conventional RR (units 13-23) and LDR (remainder of the development) requirements.

It is also important to reiterate that the parallel plan includes a roadway connection that crosses 2 regulated wetlands, which would require approval from the State as a conventional development.

- 4. Dimensional Standards.** Except where dimensional deviations are sought and granted as part of the PUD, the project must comply with LDR dimensional standards.

As previously noted, the majority of the proposed units do not meet the 1-acre minimum lot area; however, the proposal includes more open space than required to offset the total reduction in lot area for all 55 units.

Additionally, LDR requires a minimum lot width of 150 feet, though only a few units meet this standard.

The typical unit detail on Sheet C3 depicts compliant setbacks for the front, rear and 1 side yard; however, the 2nd side yard and combination of side yards are deficient by 10 feet (20' one side and 50' combination proposed).

These dimensional deviations have been included in both the conceptual PUD site plan and draft PUD Agreement, as previously requested.

- 5. Open Space.** Use of the RPUD overlay requires a minimum open space area of 25% (though the cluster option requires a minimum of 50%). As previously noted, the proposal entails an open space ratio of 58.1% (74.14 acres).

The open space area includes a 100-foot buffer along both main roadways and from the adjacent residential development to the west, as required.

The draft PUD Agreement included with the previous submittal included language noting that the open space areas will be preserved in perpetuity, as required.

- 6. Cluster Option.** The request has been reviewed for compliance with the standards of Section 10.03.01(d), as follows:

- 54 of the 55 units exceed the minimum allowable area of 32,670 square feet; however, Unit 30 provides only 31,584 square feet of lot area. Additionally, the table on Sheet C3 includes a typo for the area of Unit 24. These items must be corrected.
- The overall density is 0.43 dwelling units per acre, which is less than the maximum allowable density of 1-acre.
- Previous submittals included correspondence from the County Health Department that soils can accommodate on-site sewage disposal.
- The proposal includes extensive landscaping, buffering, and screening, as well as open space preservation beyond what would otherwise be required.
- As previously noted, the proposal protects more open space (58.1%) than would be required under conventional zoning. This includes areas of wooded uplands that could otherwise be developed.
- The common open space areas are primarily in the center and northwesterly portions of the property, though a smaller area is proposed in the southeast corner of the property.
- The site is under single ownership and it is the applicant's intent to complete the project in 1 phase.
- Protected open space accounts for 58.1% of the total property area (exceeding the 50% minimum).
- The current plan provides a 100-foot buffer along both roadways (Challis and Bauer), as well as along the adjacent residential development to the west. The landscape screening between the detention pond and adjacent neighborhood has also been increased, as previously requested.
- With one exception, the development provides 50 feet of natural feature setback around the wetland areas. The road connection to Units 13-16 encroaches into the setback area and the

wetland itself (thus requiring State approval). This encroachment has been incorporated into the request for dimensional deviations.

- The upland preservation in the northwest portion of the property and the buffers (noted above) will protect mature wooded areas that could otherwise be developed.
- The plan includes picnic tables in 2 of the open space areas and an off-site public pathway was discussed at the previous meeting. As previously noted, the pathway must be depicted on the conceptual PUD site plan.
- The draft PUD Agreement included with the previous submittal has a provision stating that the open space areas will be preserved in perpetuity via the recorded Master Deed, as required.
- If rezoning and conceptual PUD site plan approval are granted, the applicant must include a preservation and maintenance plan with the final PUD site plan submittal.
- As previously discussed, the Township may include reasonable conditions “ensuring that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, protecting the natural environment and conserving natural resources, ensuring compatibility with adjacent uses of land, promoting the use of land in a socially and economically desirable manner, and further the implementation of the Township Master Plan.”

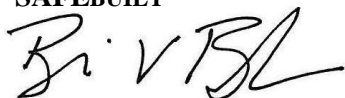
7. Additional Considerations/PUD Agreement. The applicant must address any comments provided by Township staff and the Township Attorney.

The most recent draft of the PUD Agreement addressed the majority of the comments provided in our previous review letters. However, we suggest the Commission require the following:

- The applicant should identify the main road frontage (Challis and Bauer Roads) of Units 32-45 as the rear yard since they will be double-fronted lots; and
- Signage should be incorporated along the edge of the natural feature setback and buffer easement to ensure that residents do not disturb these areas. Such signage and the applicable restrictions should be included in the PUD Agreement and Condominium Documents.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
Michigan Planning Manager



December 23, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Legacy Hills
Conceptual Site Plan Review No. 4**

Dear Ms. Ruthig:

Tetra Tech conducted a fourth review of the conceptual site plan submittal for Legacy Hills last dated December 16, 2024. The site plan was prepared by The UMLOR Group for Pulte Homes. The site is located on the north side of Challis Road, just north of the new Challis Road and Bauer Road roundabout. The proposed PUD includes the addition of 55 single family homes. Improvements include a proposed private road with storm sewer and stormwater detention.

We offer the following comments:

DRAINAGE AND GRADING

1. The conceptual site plan includes stormwater and private road improvements within regulated wetland limits. An EGLE wetland permit will be required for this work and should be obtained prior to final site plan approval.
2. The conceptual site plan shows a detention pond and onsite storm sewer. Storm sewer and detention basin design and calculations should be provided for review as part of the final site plan review.
3. An overall proposed grading plan will need to be submitted for review and approval.

WATER AND SANITARY SERVICE

1. The proposed PUD does not have access to municipal water and sanitary sewer service and the cover sheet of the conceptual site plan notes that onsite septic and individual wells are proposed to serve the development and conceptual approval from the Livingston County Health Department (LCHD) has been obtained. Final approval from the LCHD should be provided prior to final site plan approval.
2. The Brighton Area Fire Authority has reviewed the proposed PUD and noted that fire protection water supply will be discussed during the final site plan process. The Petitioner will need to work with the Fire Authority to meet any fire suppression requirements they have as part of site plan approval.

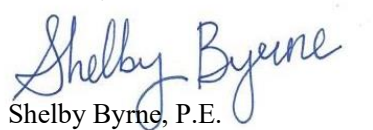
3. The concept plan shows two fire suppression wells per Fire Authority Requirements. In future submittals additional detail should be provided on the plans for the proposed wells and more detail should be provided on how they will operate.

TRAFFIC AND ROADWAYS

1. The proposed PUD would be served by a private road off Challis Road. Future road design should be in accordance with Genoa Township Engineering Standards and a Private Road Construction plan review will be required after final site plan approval.
2. The private road includes a dead-end cul-de-sac on the north end of the development. The road terminating in a dead-end is proposed to be just over 1,100 feet long, which exceeds the maximum length of 1,000 feet for a dead-end street. Given the natural features contained on the site it would be impossible to loop this dead-end road back to the rest of the development. The road will also only have four lots being served, which generates a minimal amount of traffic. Subject to review by the Brighton Area Fire Authority, we would support a variance for the length of the street.
3. A traffic study was provided by the petitioner. The study was conducted and prepared by Fleis & VandenBrink for the intersection on Challis Road and the proposed site driveway. Recommendations stated that no left or right turn lane will be warranted at the proposed site driveway on Challis Road.

The concept plan shows adequate access to the site and a detailed site plan should be submitted with the necessary documents for further review. We recommend that the petitioner consider the above comments in their preparation of the site plan approval process.

Sincerely,



Shelby Byrne, P.E.
Project Engineer



Sydney Streveler, EIT
Civil Engineering Group



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

January 7, 2025

Sharon Stone-Francis
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Legacy Hills RPUD Site Plan
Challis & Bauer
Genoa Twp., MI

Dear Sharon,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on December 17, 2024 and the drawings are dated December 16, 2024 with the latest revisions dated December 16, 2024. The project is based on the proposed rezoning of approximately 127.57 acres from Agriculture to RPUD. The plan proposes 55 residential units and associated access and open space. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

All previous review comments have been addressed in the recent submittal.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org



Livingston County Department of Planning

February 20, 2025

Genoa Charter Township Board of Trustees
c/o Janene Deaton Clerk
2911 Dorr Rd.
Brighton, MI 48116

Scott Barb
AICP, PEM
Director

Robert A. Stanford
AICP, PEM
Principal Planner

Martha Haglund
AICP Candidate
Principal Planner

Re: Z-07-25 Genoa Rezoning from Agriculture (AG) to Low-Density Residential (LDR) with a Planned Unit Development (RPUD) Overlay using Cluster Option, 10.03.01 (d)

Dear Board Members:

The Livingston County Planning Commission met on Wednesday, February 19, 2025, and reviewed the zoning case above for parcels: 4711-23-300-003 (51.16 acres); 4711-23-400-001 (40.52 acres); 4711-23-400-007 (11.01 acres); 4711-23-400-008 (25.12 acres). The County Planning Commissioners made the following recommendation:

Z-07-24 Approval. The proposed rezoning from Agriculture (AG) to Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) Overlay using cluster option (10.03.01(d)), is compatible with surrounding land uses and compatible with the Township Master Plan.

Copies of the staff review and Livingston County Planning Commission meeting minutes are enclosed. Please do not hesitate to contact our office should you have any questions regarding county action.

Sincerely,

Martha Haglund, Principal Planner

Department Information

Administration Building
304 E. Grand River Avenue
Suite 206
Howell, MI 48843-2323

•
(517) 546-7555
Fax (517) 552-2347
•

Web Site
milivcounty.com/planning

Enclosures

c: Chris Grajek, Chair, Planning Commission
Amy Ruthig, Planning Director

Meeting minutes and agendas are available at:
<https://milivcounty.gov/planning/commission/>

7. ZONING REVIEWS:

A. Z-06-25: HARTLAND TOWNSHIP, AMENDMENTS TO ZONING ORDINANCE ARTICLES – ARTICLE 5.14.3.D, PRIVATE SWIMMING POOLS.

Hartland Township is proposing to amend their zoning ordinance to allow in-ground swimming pools, in the front yard setback for waterfront homes. The front yard setback for waterfront homes is considered to be located between the water and the dwelling. The amendments include language for the required fencing around an inground pool.

Township Recommendation: Approval. The Hartland Township Planning Commission held a work session September 26, 2024; to discuss the proposed amendments, the consensus was to amend the zoning ordinance. The Hartland Township Planning Commission recommended approval for the proposed amendments at their public hearing on January 23, 2024.

Staff Recommendation: Approval. The proposed text amendments are appropriate and consistent with existing zoning language. Staff encourages the township to consider all staff comments prior to final adoption.

Commission Discussion: Commissioner Ikle inquired about water removal from pools and whether there are considerations for non-point pollution near other water bodies. Troy Langer, Hartland Township Planning Director, clarified that EGLE monitors and enforces issues related to such issues. Commissioner Funk also questioned the issue and the need for Township monitoring. Commissioner Anderson asked about fencing around in-ground pools.

Public Comment: None.

Commission Action

Commissioner Action: IT WAS MOVED BY COMMISSIONER BOWDOIN TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER BURKHOLDER.

Motion passed: 7-0.

B. Z-07-25: GENOA TOWNSHIP, REZONING: AG AGRICULTURE TO LDR, LOW DENSITY RESIDENTIAL, WITH A RPUD, RESIDENTIAL PLANNED UNIT DEVELOPMENT OVERLAY, IN SECTION 23.

Current Zoning: AG AGRICULTURE

Proposed Zoning: RPUD RESIDENTIAL PLANNED UNIT DEVELOPMENT (OVERLAY)

Section: Section 23

Township Master Plan: Genoa Township's Master Plan splits the subject area into two categories, described below:

Low Density Residential (77 acres, western portion of site): This designation is for single family residential development located between rural residential areas and the more developed areas of the Township. While these areas are not planned for sewer service, they have fewer environmental constraints found in the Rural Residential. These areas are only intended for residential uses or small-scale neighborhood-serving non-residential uses. Single family residential uses within these areas will be located on lots of at least 1 acre in size.

Large Lot Rural Residential (51 acres, eastern portion of site): This designation identifies areas to be developed as single family residential on large lots. Many of the areas have significant natural limitations such as wetlands or severe soil limitations and are not planned for sanitary sewer. These areas are only intended for residential uses or small-scale neighborhood-serving non-residential uses. This classification is recommended for single family residences on lots no smaller than 2 acres or clustered development with a net density of 1 unit per acre.

Township Planning Commission Recommendation: Approval. The Genoa Township Planning Commission recommended approval at their January 13, 2025, meeting. There were two prior Planning Commission meetings to review this case. Commissioner discussion included: screening, wetland protection, density of the development, providing active recreation and traffic studies. Public comments included: traffic concerns, potential future well issues, tree removal, runoff, and preservation of the wetlands.

Staff Recommendation: Approval. The proposed rezoning from Agriculture (AG) to Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) Overlay using cluster option (10.03.01(d)), is compatible with surrounding land uses and compatible with the Township Master Plan.

Commission Discussion: Commissioner Ikle asked about the egress to east near Challis Road. The applicant explained this as an emergency exit as required by the local fire department. There were also questions regarding the lots adjacent to the railroad tracks and any potential safety elements.

Public Comment: None.

Commission Action:

Commissioner Action: IT WAS MOVED BY COMMISSIONER FUNK TO RECOMMEND APPROVAL, SECONDED BY COMMISSIONER IKLE.

Motion passed: 7-0.

C. Z-08-25: HOWELL TOWNSHIP REZONING:
I, INDUSTRIAL TO IFZ - INDUSTRIAL FLEX ZONE, IN SECTION 28.

Current Zoning: I INDUSTRIAL

Proposed Zoning: IFZ INDUSTRIAL FLEX ZONE

Section: Section 28

Township Master Plan: The Howell Township Future Land Use Map (2022) designates the subject parcel as Industrial Flex. The Township Master Plan states the following regarding the Industrial Flex future land use classification:

This area is intended to be flexible with regard to specific used that might be permitted while being more prescriptive with regard to design and quality of development. It is recognized that some of the uses permitted in the industrial and commercial districts could be compatible land uses. The flexibility of the district is intended to foster economic development, create employment opportunities, and increase tax base by promoting development or redevelopment of land that is adjacent to existing industrial and commercial uses....

The property is located along a highly industrial area of N. Burkhart Road and Hydraulic Drive with numerous existing industrial land uses that are already well established including electrical services, tool repair, auto collision repair, and outdoor storage. The subject property is master planned as industrial flex with industrial and highway commercial future land use categories nearby that parallel the intentions of the Howell Township Master Plan.

The proposed rezoning is compatible with the goals and objectives of the Howell Township Master Plan and a rezoning to Industrial Flex is appropriate for the subject parcel.

Township Planning Commission Recommendation: Approval. The proposed rezoning was approved at the January 28, 2025, public hearing. There were no major comments indicated in the draft meeting minutes from the January 28, 2025, public hearing.

Staff Recommendation: Approval. The proposed rezoning from I (Industrial) to IFZ (Industrial Flex Zone) is consistent with the overall goals and objectives of the 2022 Howell Township Master Plan and the Livingston County Comprehensive Plan.



LIVINGSTON COUNTY PLANNING DEPARTMENT
REZONING REQUEST - | -
STAFF REPORT

CASE NUMBER:
Z-07-25

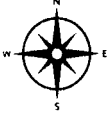
COUNTY CASE NUMBER:	Z-07-25	TOWNSHIP:	GENOA TOWNSHIP
REPORT DATE:	02/3/2025	SECTION NUMBER:	23
STAFF ANALYSIS BY:	MARTHA HAGLUND	TOTAL ACREAGE:	127.57

APPLICANT / OWNER:	Paul Schyck, Pulte Homes of Michigan LLC, Legacy Hills Development
LOCATION:	North side of Challis Rd between Dorr Rd. and Baur Rd. Legacy Hills Development 4711-23-300-003 (51.16 acres); 4711-23-400-001 (40.52 acres); 4711-23-400-007 (11.01 acres); 4711-23-400-008 (25.12 acres)
LAND USE:	Vacant/Undeveloped

CURRENT ZONING:	REQUESTED ZONING:
Agriculture (AG)	Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) Overlay
PERMITTED/SPECIAL USES (Not all inclusive):	PERMITTED/SPECIAL USES (Not all inclusive):
Permitted: Single family detached dwellings, accessory home occupations, farm stands, cider mills and selling of produce grown on premises, keeping of livestock, public owned parks and recreation areas.	Permitted: Single family detached dwellings, accessory home occupations, keeping of pets, home daycare and foster care, essential public services, publicly owned parks, private non-commercial parks.
Special: Bed & breakfast, cider mills selling produce not grown on premise, commercial stables, commercial kennels, churches, golf courses.	Special: Bed and breakfast, churches, schools, golf courses, group daycare
Minimum Lot Area: 10 acres	Minimum Lot Area: 32,670 sq. ft.

TOWNSHIP PLANNING COMMISSION RECOMMENDATION AND PUBLIC COMMENTS:	ESSENTIAL FACILITIES AND ACCESS:
The Genoa Township Planning Commission recommended approval at their January 13, 2025, meeting. There were two prior Planning Commission meetings to review this case. Commissioner discussion included: screening, wetland protection, density of the development, providing active recreation and traffic studies.	Water: Well
	Sewer: Septic
	Access: Challis Rd.

Public comments included: traffic concerns, potential future well issues, tree removal, runoff, and preservation of the wetlands.	
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EXISTING LAND USE, ZONING AND MASTER PLAN DESIGNATION:				
		Land Use:	Zoning:	Master Plan:
Subject Site:		Vacant/Undeveloped	Agriculture	Low Density Residential & Large Lot Rural Residential
	To the North:	Vacant/Large Lot Residential	Agriculture & Public and Recreation Facilities	Large Lot Rural Residential
	To the East:	Vacant/Undeveloped	Rural Residential	Low Density & Large Lot Residential
	To the South:	Low Density Residential	Low Density Residential	Low Density Residential
	To the West:	Low Density Residential	Country Estates	Large Lot Residential

ENVIRONMENTAL CONDITIONS:	
Soils / Topography:	<p>Fox Boyer Complex 2-6 Slopes (22%), Fox Boyer 12-18 Slope (17%), Fox Boyer Complex 18-25 Slopes (19%) and Houghton Muck (9%) and Carlisle Muck (8%)</p> <p>The topography has semi-steep slopes on the east side of the property and hydrologic soils to the west.</p>
Wetlands:	Approximately, 32 acres of the site is regulated wetlands.
Vegetation:	In total about 70 acres of the site is wetlands/scrub. Thirty-eight acres of the site appear to be mature deciduous forest while the remaining 20 acres is a cleared field.
County Priority Natural Areas:	The parcel has 42 acres of a Priority 3 Livingston County Natural Area. Mainly the wetland noted above. This natural feature is part of a 105-acre Priority 3 natural feature found north of Challis Road.

TOWNSHIP MASTER PLAN DESIGNATION:
<p>Genoa Township's Master Plan splits the subject area into two categories, described below:</p> <p>Low Density Residential (77 acres, eastern portion of site): <i>Low Density Residential: This designation is for single family residential development located between rural residential areas and the more developed areas of the Township. While these areas are not planned for sewer service, they have fewer environmental constraints found in the Rural Residential. These areas are only intended for residential uses or small-scale neighborhood-serving non-residential uses. Single family residential uses within these areas will be located on lots of at least 1 acre in size.</i></p> <p>Large Lot Rural Residential (51 acres, western portion of site): <i>This designation identifies areas to be developed as single family residential on large lots. Many of the areas have significant natural limitations such as wetlands or severe soil limitations and are not planned for sanitary sewer. These areas are only intended for residential uses or small-scale neighborhood-serving non-residential uses. This classification is recommended for single family residences on lots no smaller than 2 acres or clustered development with a net density of 1 unit per acre.</i></p>

COUNTY COMPREHENSIVE PLAN:

The 2018 Livingston County Master Plan does not direct future land use patterns, or development within Livingston County. Alternatively, it offers a county-wide land use perspective when reviewing potential rezoning amendments. The Land Use & Growth Management chapter of the plan includes decision-making recommendations regarding potential land use conflicts and promoting good land governance.

COUNTY PLANNING STAFF COMMENTS:

The intent of the petitioner is to develop 55 single-family homes utilizing the Cluster Option for RPUDs; outlined in 10.03.01(d) in the Township Zoning Ordinance. The Cluster Option allows for a reduction in lot size up to 25% of the 1-acre (minimum 32,670 square feet). The ordinance also stipulates that the developer preserve at least 50% of the site for open space in perpetuity. A Planned Unit Development Agreement and Concept Plan were also recommended for approval.

Section 22.04 of Genoa Township's Zoning Ordinance offers Criteria for Amendment of the Official Zoning Map:

1. Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.

The Township Master Plan designates the site as Low Density Residential and Large Lot Residential. The Large Lot Residential portion consists mainly of regulated wetlands that are proposed to be preserved by the developer. The Master Plan notes that this designation will likely have environmental constraints but could be developed using a clustering technique with a net density of 1 per acre.

The remaining portion of the subject site are proposed to have single family homes with a future land use designation of Low-Density Residential. The Low-Density Residential designation recommends a 1-acre minimum lot size.

Additional goals established in the Master Plan include the preservation of natural features and open space. To align with this goal, a RPUD with Cluster Option may offer more opportunities to preserve natural features than the Agriculture District.

Since the Master Plan was adopted, a major transportation project was completed with the installation of a roundabout at the intersection of Challis and Bauer Rd. The development trends in the area will likely remain low density residential due to municipal water and sanitary sewer not being available.

Generally, the proposed rezoning from Agriculture to Low Density Residential with a Residential Planned Unit Development with Cluster Option Overlay is consistent with the goals, policies and future land use designations of the Township Master Plan.

2. Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.

The subject site has approximately 30 acres of regulated wetlands. Almost all of which are proposed to be preserved as open space. The proposed conservation area also includes an upland area with 25 acres of mature forest. The high priority areas natural areas will be preserved in perpetuity; therefore the rezoning could be compatible with the site's physical natural features.

There appears to be about 25 acres of mature wooded area located on the proposed development area. The interior vegetation would be cleared for the development. The site is located on rolling hills with some areas with somewhat steep slopes that could pose some challenges for grading and well & septic installations.

However, the Environmental Impact Assessment submitted by the applicant does include correspondence from the Livingston County Health Department summarizing their preliminary approval for the project.

3. The ability to the site to be reasonably developed with one (1) of the uses permitted under the current zoning.

The Agriculture District allows for up to 12 dwellings on 10-acre lots. The proposed rezoning could align more closely with the planned low density residential that allows for 1 acre lots. Also, by concentrating development,

utilizing the cluster option, the proposed rezoning would preserve a large area that would not be required under conventional Low Density Residential District.

4. The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values. GENOA TOWNSHIP ZONING ORDINANCE Amendments 22-5

The potential uses are limited to residential and associated uses. The surrounding existing low density residential and agriculture districts would be compatible. The site has regulated wetlands on the western portion of the property and would limit development to the eastern portion of the site. The required tree removal from the eastern portion could be offset by the amount being preserved in the open space.

Since the Master Plan update there was a round-about installed south of the project that could influence the development trends in the area but generally low density residential is anticipated to continue in the area. The applicant did submit a traffic study and found Levels of Service would remain at A & B levels.

5. The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.

A development would not impact the sewer and water district as the site is not planned to connect to that infrastructure. The developer will need to meet all sanitary requirements through site plan approval process. The Applicant's Environmental Assessment also describes conditions below:

IMPACT ON PUBLIC UTILITIES: "Potable Water and Wastewater services will be supplied via on-site septic systems and individual wells installed to Livingston County Health Department standards for the anticipated 58 Units [now 55 units]. Therefore, there will be no impact on city sewers and water capacity. We conducted more than 120 test holes and have received preliminary approval from LCHD on-site septic systems. A Hydrogeologic study has been conducted including test wells by MacDowell and Associates and there was adequate quantity and quality of water for individual potable water wells. Also, MacDowell found adequate flow for fire suppression wells."

6. The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.

Generally, there seems to be a growing demand for single-family dwellings in Livingston County. The proposed development could increase housing supply while also preserving the natural features on the site.

7. Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.

Revising the permitted uses or lot density requirements under the AG district would not be more appropriate.

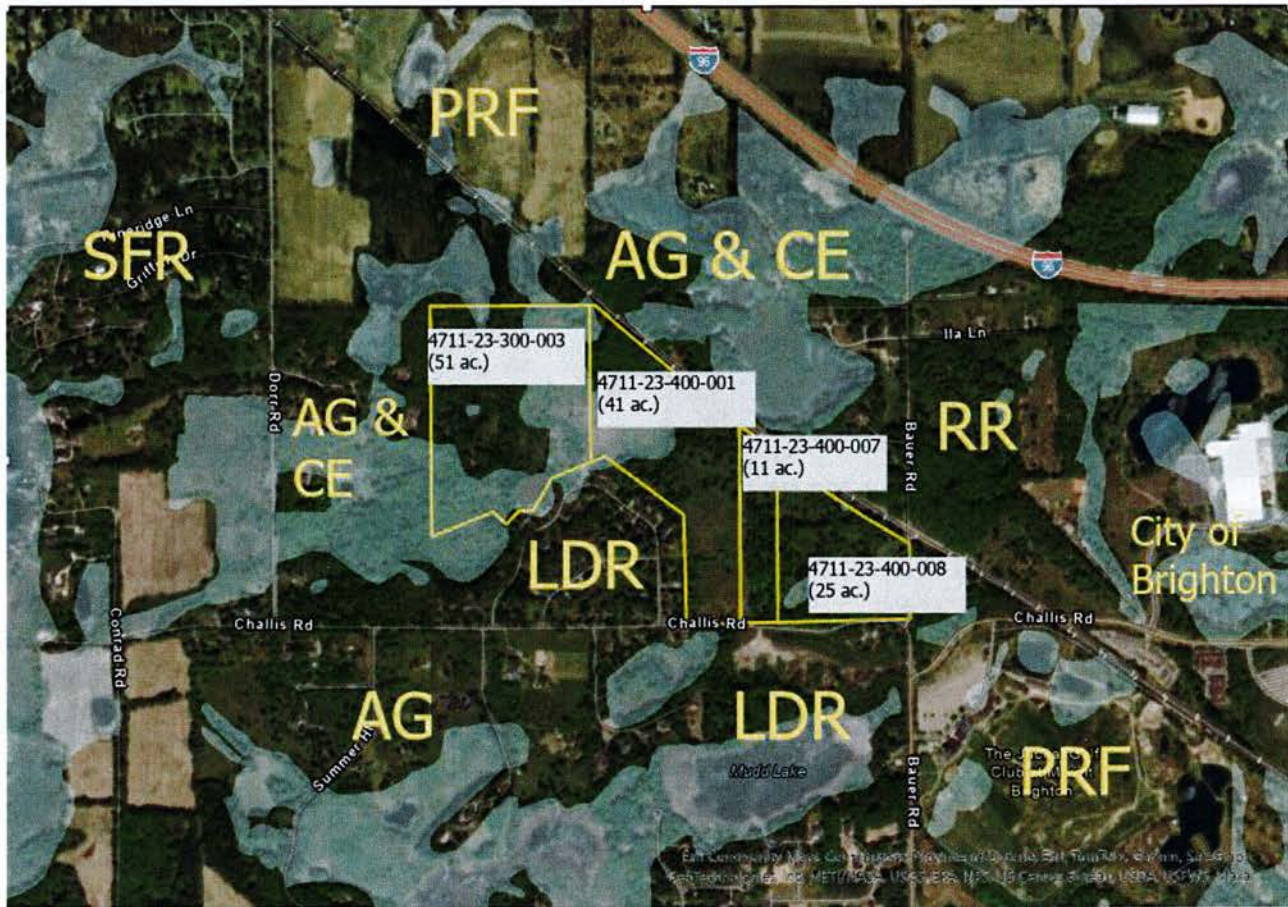
8. The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.

There has not been a request for a rezoning in the last year.

COUNTY PLANNING STAFF RECOMMENDATION:

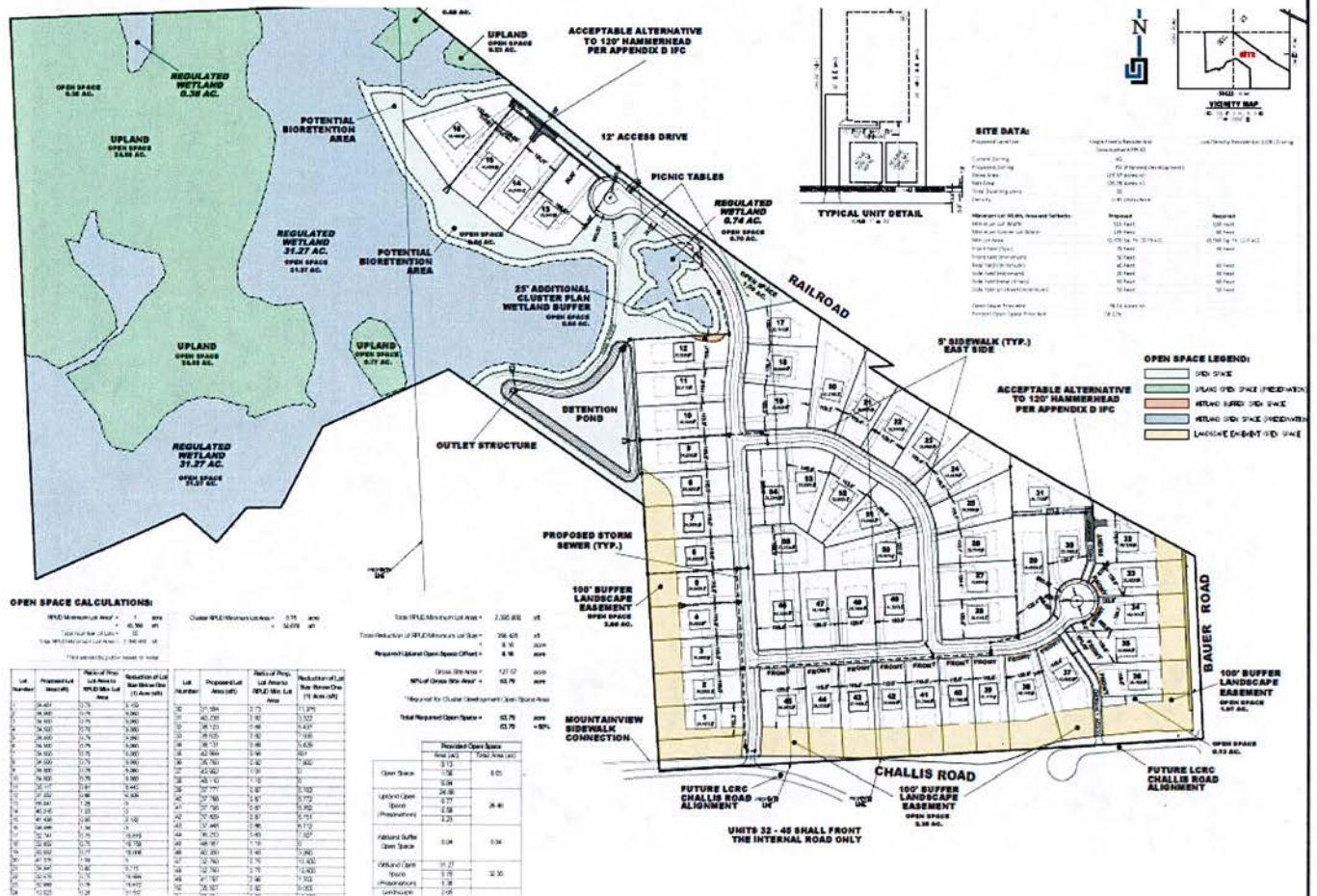
APPROVAL: The proposed rezoning from Agriculture (AG) to Low Density Residential (LDR) with a Residential Planned Unit Development (RPUD) Overlay using cluster option (10.03.01(d)), is compatible with surrounding land uses and compatible with the Township Master Plan.

AERIAL AND SURROUNDING ZONING MAP:



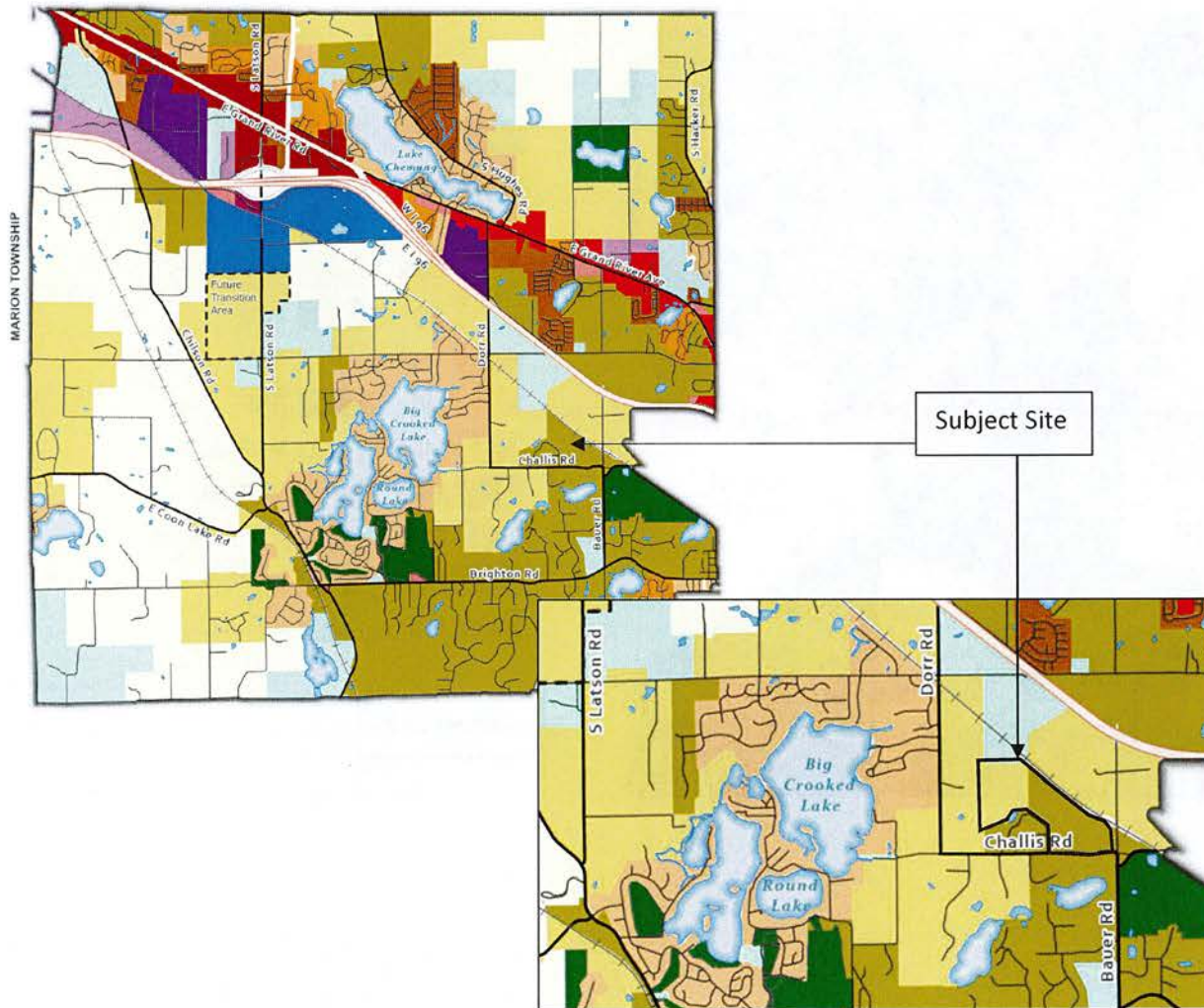
Ag: Agricultural
CE: Country Estates
RR: Rural Residential
LDR: Low Density Residential

PRELIMINARY SITE PLAN IN PUD AGREEMENT



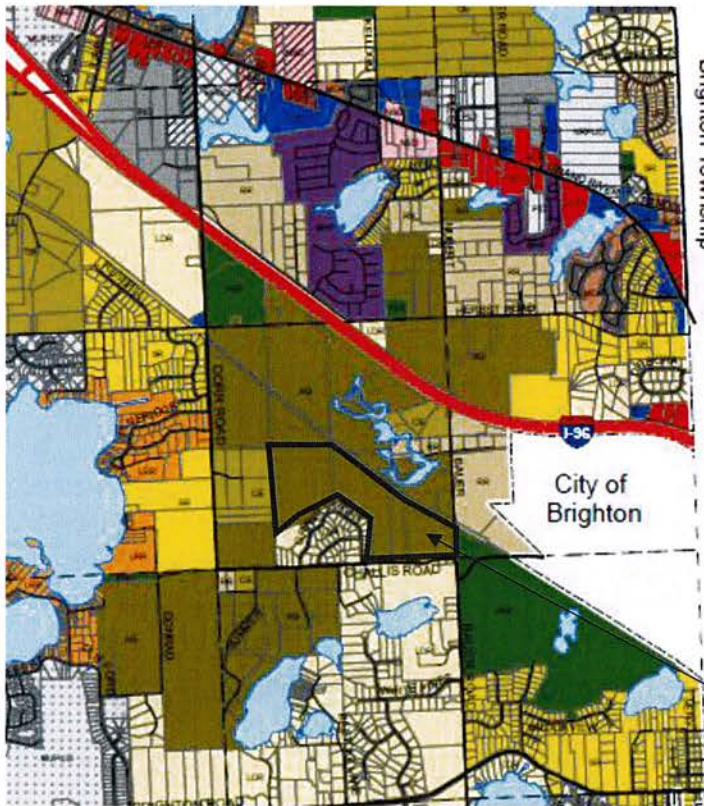
The 55 units are above the required minimum lot requirement, 32,670 square feet.

FUTURE LAND USE MAP:



- | | |
|-------------------------------------|--------------------------------|
| Agriculture/Country Estate | Mixed Use - East Grand River |
| Large Lot Rural Residential | Mixed Use - West Grand River |
| Low Density Residential | Industrial |
| Small Lot Single Family Residential | Research and Development |
| Medium Density Residential | Interchange Campus |
| High Density Residential | Interchange Commercial |
| Neighborhood Commercial | Public/Institutional/Utilities |
| | Private Recreation |

TOWNSHIP ZONING MAP:



Legend

AG	GC
CE	NS
RR	OS
LDR	NRPUD
SR	IND
LRR	PID
UR	PRF
MDR	MUPUD
HDR	RDPUD
RPUD	Town Center
MHP	CAPUD
RC	ICPUD

Subject Site

From: christinecross50@aol.com
To: [Amy Ruthig](mailto:Amy.Ruthig)
Subject: Fw: Pulte Homes at Challis and Bauer Roads
Date: Tuesday, December 3, 2024 9:06:18 AM

[Sent from AOL on Android](#)

----- Forwarded Message -----

From: "christinecross50@aol.com" <christinecross50@aol.com>
To: "amy@genoa.org" <amy@genoa.org>
Sent: Mon, Dec 2, 2024 at 8:02 AM
Subject: Pulte Homes at Challis and Bauer Roads

Amy,

I am Christine Cross, one of the adjacent property owners to the new planned development within 300 feet .

Please address the following questions;

If the PUD goes through and they are not building on all 4 of the pieces of property that they are acquiring what is to stop them from coming back to the board after building these 50+ houses and requesting another PUD variance on the pieces they did not build on?

Why are you entertaining a PUD, when zoning ordinances 3.04.01 and .02 state that any parcels under 1 acre must be built with public sanitary systems? They are planning well and septic which does not meet the zoning regulations. This PUD seems like an end around the current regulations. Why are they not being made to further expand the township sewer and water infrastructure?

The Master Plan repeatedly states throughout the importance of preserving woodland and wetlands. Why would you allow a builder to come in and clearcut these pieces of property even though they are not building on all of it? They clearly stated at the last meeting this was their plan.

The Master Plan states the importance of preserving wetlands. Pulte Homes has been involved in several lawsuits with the EPA and different States for not following wetlands regulations. Even if they do follow all the regulations how will they account for lawn chemical run off from the homes they plan on building arounds the wetlands? \$ 750,000+ homes are the types of homeowners that use lawn services to maintain perfectly weed free lawns, which require damaging chemicals.

Can you guarantee these homes will not effect the wells of the surrounding homeowners? When Mt. Brighton had the golf course open everyone in that area had well issues, myself included. It's not just the household water they will be using but the sprinkler systems that will effect water usage. Since the golf course shut down the area is back to no well issues again.

What hardship requirements have been met by the landowner in order to change the zoning. Making a larger profit from the sale of the land does not fly as a hardship?

I would like everyone on the planning board to do a google search of Pulte Homes and lawsuits. There are far too many to list. Pulte Homes has a very bad reputation and I firmly believe they are not the builder for this site.

I will be attending the meeting to voice my concerns. Please share this email with the other Planning Commissioners.

Thank you,

Christine Cross
6984 Challis Road

[Sent from AOL on Android](#)

From: [Martin Doa](#)
To: [Amy Ruthig](#)
Subject: Low-Density Residential (LDR) with RPUD overlay to allow for a proposed 58-unit single family site condominium development located at the northwest corner of Challis and Bauer Roads
Date: Friday, November 22, 2024 10:00:47 AM

Hi Amy,

Welcome to Genoa Township! In spite of past and current challenges, it is a great place to live!!

Regarding the above, in a sentence or two; if **"Low-Density Residential (LDR) with RPUD"** = the same or lower density that is in place at *The Ridge or White Pines Estates* (my neighborhood), then in my mind it is a go! Any greater density, regardless of "concession(s)", superb landscaping, wildlife or nature set aside...or donations to the great activity center at Genoa Township office...it must be a resounding, emphatic NO!!

First and foremost it would be out of character in relation to zoning and most importantly a profound adverse impact upon the surrounding area..."beautiful community of country living..." shown below. It is my firm belief and that of many of my fellow Genoa Township residents (all who voted the prior administration out for not protecting our great environment) no high density housing or someone's wordsmith interpretation of "Low Density". One need only look to our neighbors in the City of Brighton...soon to be Novi II. The folks at Pulte are a well-oiled machine adept at such matters and *production housing*...especially Low/High Density Condominiums. They are neither boy scouts nor saints, nor do they always play by the rules.

For an example of intrusive and offensive "development", one need only look to the "Beige Breadbox, aka The Dog House", foisted upon the residents in my area...the BAS leadership out of control, with no transparency or accountability...the Bauer - Brighton Rd intersection is an accident waiting to happen compliments of the BAS do-gooders. After a 5-6 months long and 15-20 emails conversation with Matt Outlaw...Best I can tell...no environmental impact study...no traffic study, etc. Through my communications with Mr. Matt Outlaw the Superintendent, this facility's hours of operation were to closely mirror the hours of operation of the local schools...it has in fact morphed into a whenever we feel like using it facility...Sunday morning, 8 or 9:00 PM...a pock on he area

The mission statement or credo below should be conspicuously posted on a sign above all meeting rooms and conference rooms at Genoa Twp offices...a clear, persistent reminder of their guiding principle and what makes Genoa Twp, such a great place to live

"GENOA TOWNSHIP is a charter township located in the heart of Livingston County, Michigan. Lakes and wetlands, rolling hills and meadows, state parks and wildlife all abound in this beautiful community of country living."

Lastly, when will planning, zoning, etc., meetings be live-streamed? Given the importance of such matters, and the required technology in place...as well as the busy schedules, family commitments, etc of Gena Twp residents, this is just about a requirement. Your thoughts?

Best Regards,
Martin A. Doa

"Data are impersonal; opinions are not." – Dr. Pat Hammett

From: [Martin Doa](#)
To: [Amy Ruthig](#)
Subject: Re: Low-Density Residential (LDR) with RPUD overlay to allow for a proposed 58-unit single family site condominium development located at the northwest corner of Challis and Bauer Roads
Date: Friday, November 29, 2024 2:56:48 PM
Attachments: [image001.png](#)
[image.png](#)

Hi Amy,

Please delete the prior email, as it was a bit too verbose and inaccurate, the correct version is below....Thank You! Martin A. Doa

Hi Amy,

Welcome to Genoa Township! In spite of past and current challenges, it is a great place to live!

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Through my communications with Mr. Matt Outlaw (he inherited this project) the Superintendent, *this facility's hours of operation were to closely mirror the hours of operation of the local schools...* it has in fact morphed into a whenever we feel like using it facility...Sunday morning, 8 or 9:00 PM...a pock on the area. Attached a recent photo of this matter...

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**Best Regards,
Martin A. Doa**



Genoa Charter Township

2911 Dorr Road, Brighton, Michigan 48116

Office: 810-227-5225 Ext. 114 Direct: 810-224-5824

E-mail: amy@genoa.org, Url: www.genoa.org

From: Martin Doa <mojavemarty@gmail.com>

Sent: Friday, November 22, 2024 10:00 AM

To: Amy Ruthig <amy@genoa.org>

Subject: Low-Density Residential (LDR) with RPUD overlay to allow for a proposed 58-unit single family site condominium development located at the northwest corner of Challis and Bauer Roads

Hi Amy,

Welcome to Genoa Township! In spite of past and current challenges, it is a great place to live!!

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**Best Regards,
Martin A. Doa**

"Data are impersonal; opinions are not." – Dr. Pat Hammett

From: [vincent.doa](#)
To: [Amy.Ruthig](#); [Kelly.VanMarter](#)
Subject: Re: proposed rezoning of 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR)
Date: Monday, December 2, 2024 11:20:48 AM

Adding Kelly and my address. 4867 Oak tree ct, Brighton, MI 48116

Dear Genoa Township Zoning Board,

As a lifelong resident of Genoa Township, I write to express my unequivocal opposition to the proposed rezoning of 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) for the construction of a 58-unit single-family site condominium development at Challis and Bauer Roads. This proposal epitomizes the troubling trend of overdevelopment that has plagued our township in recent years, leading to overcrowding, increased traffic congestion, and a diminished quality of life for residents.

Genoa Township was once a charming, livable community, valued for its small-town feel and balance of residential and agricultural spaces. However, the relentless approval of new developments has stretched our infrastructure beyond its capacity, particularly our already strained transit systems. The addition of 58 new homes in this area will exacerbate existing traffic issues, further burden township services, and erode the unique character of our community.

It is deeply troubling that the township and city of Brighton continues to justify these approvals with unfounded concerns over potential “takings” lawsuits. As an attorney with extensive experience in one of the world’s largest banks, I can confidently state that the township’s preemptive capitulation to such legal threats is misplaced. The legal grounds for a takings claim in this context are tenuous at best. Simply put, the township is not obligated to approve every rezoning application out of fear of litigation. Genoa Township’s elected and appointed officials have a responsibility to prioritize the long-term interests of residents over the short-term demands of developers.

The rezoning of agricultural land for residential development also raises questions about the township’s commitment to sustainable growth. Paving over farmland for subdivisions represents a short-sighted approach that disregards the environmental and aesthetic value of open spaces. Genoa Township deserves better than to see its heritage of agricultural land sacrificed for unnecessary housing projects that primarily benefit private developers.

I urge the Zoning Board to reject this proposal and instead focus on strategies to manage growth responsibly, prioritize infrastructure improvements, and preserve what remains of Genoa Township’s small-town character. Residents like me are counting on you to demonstrate the moral fortitude

and vision to say no to reckless overdevelopment.

Thank you for considering my perspective.

Best Regards,

Vincent A. Doa II

From: [susan gorecki](#)
To: [Amy Ruthig](#)
Subject: Home development Bauer and Challis
Date: Monday, December 2, 2024 12:03:00 PM

Hi i am a resident of Genoa Twsp. And apose the development proposed. We move to this area 23 years ago and want this area to stay a rural community not another big city. Luxury homes are fine but not low income section 8 housing Thank you

November 19, 2024

Dear Genoa Charter Township Planning Commission:

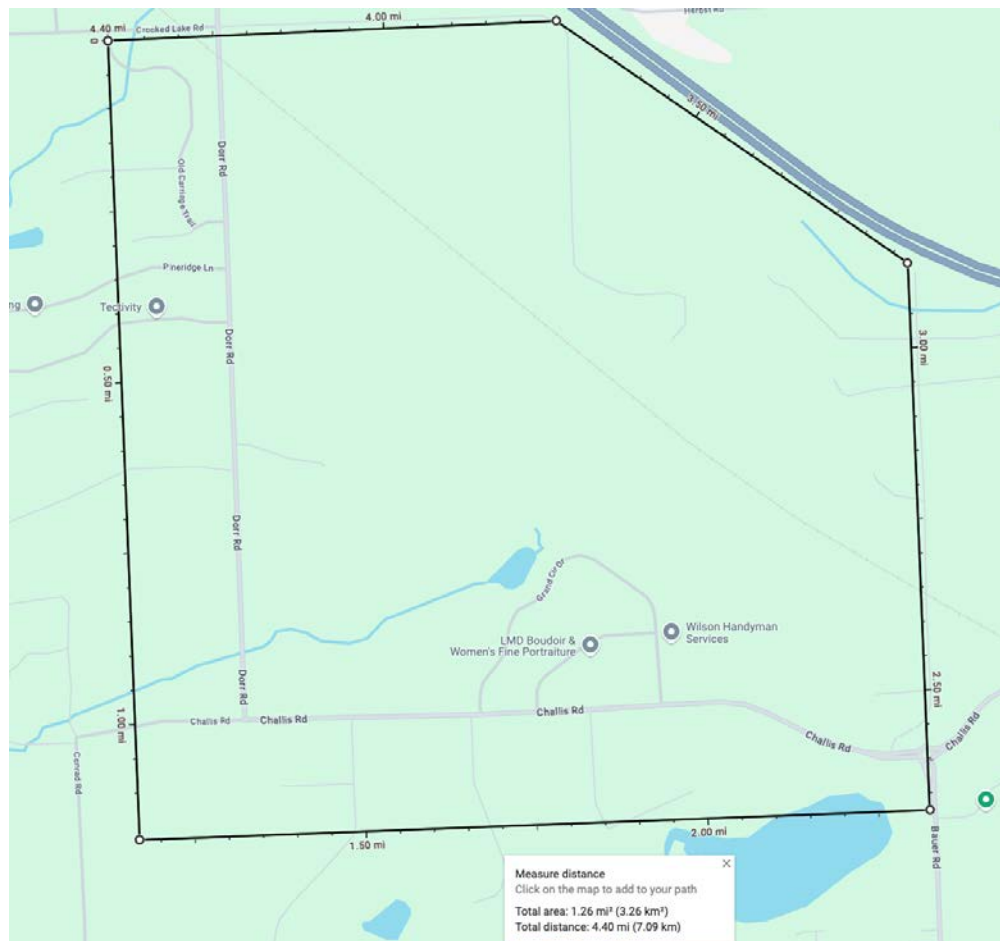
Please accept the following comments on the subject of Public Hearing #1, Genoa Charter Township Planning Commission Public Hearing held October 15, 2024 PUD agreement, environmental impact assessment, PUD conceptual and preliminary site condo plan to rezone 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) with an RPUD overlay to allow for a proposed 58-unit single-family site condominium development on the agenda for December 4, 2024.

Thank you to the Planning Commission for your service to the community. Thank you also for tabling the Legacy Hills PULTE proposal and requiring more information. Based on current zoning we request that the township does not approve both the rezoning request from PULTE HOMES OF MICHIGAN LLC from Agricultural to LDR and the RPUD cluster overlay request. The reasons for this are as follows:

Development Density

PULTE is requesting moving 3 zoning 'levels' and using the newly enacted RPUD cluster option to build a development that is out of character with the existing homes in the area. Instead of the RPUD cluster option with 'Open Space', a zoning of Country Estates will also preserve open space and limit the number of lots available on wetland and in the development overall.

In the 1.26 square mile area shown on the map below (~807 acres) there are approximately 137 houses. The PULTE Legacy Hills development would place 58 houses in 127 acres but with the RPUD cluster option and 'Open Space' plan, those houses are built on only ~77 acres.



PULTE HOMES OF MICHIGAN LLC's request to rezone from Agricultural 10 acre lots to RPUD cluster option at under .75 acre lots with 'open space' does not fit in with the overall character of this 1.26 square mile area. We understand that the 2023 Future Land Use Map shows this density is allowed in conjunction with the 2023 Genoa Township Master Plan within a 5 year period before the Master Plan is reviewed. PULTE HOMES OF MICHIGAN LLC does not make a compelling case for re-zoning in their Application for Re-Zoning form besides the repeated phrase 'consistent with the Master Plan.'

Return on Investment

The RPUD option allows PULTE HOMES OF MICHIGAN LLC to trade difficult or unbuildable land as 'Open Space' for a compact, more easily buildable subdivision for the developer. The future profit of the builders or the current property owners from the development of this property should not be the main focus to approve this development. Although the 2023 Future Land Use Map shows these parcels with Large Lot Rural Residential and LDR zoning, the 2023 Genoa Township Master Plan is only a guideline of growth for the next 20 years.

Demographics

Genoa Township population Census data shows a slight decrease in population of -.5% from 20,686 in April 2020 to 20,575 in July 2023 and only a small increase of 389 residents since 2018.

The trend shows flat to declining growth in Genoa township. While supply for single family housing may be deficient in Michigan, PULTE HOMES OF MICHIGAN LLC does *not* make a clear case for this development to be built specifically in Genoa township, especially based on current demographic trends.

Housing Costs and the impact to the community

PULTE states there is a deficient supply of single family housing in the state of Michigan. It is true more single family homes are needed but it could be said the real need is more *affordable* single family homes as taken from the 2023 Master Plan. The following table from shows home prices for the state of Michigan.

	2021	2022	2023	2024
Michigan (average) Statista.com	\$188,711	\$210,725	\$219,534	\$230,579
Michigan (median) Fred.stlouisfed.org for the month of June	\$260,000	\$284,950	\$299,250	\$309,000

As can be seen from the table, the prices of these homes are well above both the average and median Michigan selling price. As PULTE HOMES OF MICHIGAN LLC states in their PUD submittal:

2023 Genoa Township Master Plan Goals (2023 GMTP)

Another listed goal in the 2023 GTMP is to support older residents who wish to stay in their homes as long as possible. As stated on page 2 of the PULTE HOMES OF MICHIGAN LLC rezoning request they expect property values to increase and call this a benefit to the community. Higher property values may be helpful when older residents sell their homes but work against the stated goal of aging in place. Older residents on fixed incomes may need to sell their current home in Genoa township because they cannot afford higher property tax and home insurance increases from higher home values.

Response to PULTE's application

1. An accurate final lot count for this development is not possible with the Parallel Plan submitted as of November 27, 2024. We respectfully request the Genoa Township Zoning Commission obtains an accurate Parallel Plan from PULTE HOMES OF MICHIGAN LLC showing the correct 2023 Future Land Use Map zoning of Parcel 4711-23-300-003 as Rural Residential which requires 2 acre lots . We also request that PULTE HOMES OF MICHIGAN LLC adheres to Genoa Township Zoning Ordinance Article 11 11.01.01 for the buildable envelope of this land counting wetlands as 25% of

buildable area and removing any submerged lands from the buildable area. The current Parallel Plan shows 1 acre lots on this parcel LDR which is not in keeping with the current 2023 Genoa Township Master Plan. Also, the corner of Lot 12 appears to infringe on Parcel 4711-23-300-003 which should only contain 2 acre lots.

2. As stated in the 2023 GTMP the preservation of natural features was most important goal of participants. Any development in Genoa township is required to preserve wetlands based on current wetland status. Also the 2023 GTMP Natural Features Tree Canopy page 1.39 states: As a condition of site plan approval, trees are required to be protected during construction with root-zone fencing.

Local developers have strived to keep as much tree cover as possible both within the lot and the required buffer zones. Developments such as Pine Creek, Copperleaf, Boulder Creek, The Ridge, etc. prioritized preserving healthy & non-nuisance trees in the required buffer zones of said developments.

Please see attached pages 5-10 from Google Earth. Examples of these developments that strived to preserve the existing tree canopy are: Pine Creek, Copperleaf, Boulder Creek, The Ridge, et al. We are not trying to make development more onerous, we are just trying to save trees with a caliper over a certain diameter (possibly 20") when these trees are not located in the building thermal envelope or near septic drain fields. We are not asking developers to preserve nuisance or diseased trees.

Looking from the road into the proposed building site, many oak and pine trees are over 80 feet tall and are located both inside and outside of the 100 foot buffer zone. We respectfully submit that moving forward, the Genoa Township Planning Commission review the tree ordinance. The Bloomfield Hills Ordinance No. 608 may be a good starting point to revise the existing ordinance. We understand that there are limited resources at Genoa Township and there are existing priorities that need to be done by year end. We volunteer our time to assist in reviewing and helping to draft a tree ordinance that will protect old growth trees without placing an undue burden on developers.

3. Under 10.03.01 Residential PUD (c) Open Space: The open space shall contain some form of ACTIVE recreational facility such as a play area. A Planning Commissioner mentioned walking trails as an option. We do not feel PULTE's proposal of an additional 2 picnic tables for 58 homes rises to the level of ACTIVE recreational facility. To be clear, if 58 units are built with an average sale price of \$750,000, the community would be valued at \$43,500,000. Possibly PULTE would have the funds to install an EGLE approved composite decking boardwalk or bridge connecting the development to the upland area in the open space zone with recreational trails and a gazebo with 2 picnic tables.
4. PULTE HOMES OF MICHIGAN LLC states they have worked with LCRC to ensure traffic for the Legacy Hills Development concept plan which will contain 129 units as shown on Page 5 of 5 of the Traffic Impact Assessment document. Currently there is no request or plans submitted for 129 units. The property owners of the proposed Legacy Hills development also own the following nearby parcels:

Parcel 11-24-300-002 46.31 acres Large Lot Rural Residential from the 2023 Future Land Use Map
Parcel 11-24-300-007 14.29 acres Large Lot Rural Residential from the 2023 Future Land Use Map

In order to get the 129 units mentioned in the submitted traffic report, Parcel 4711-24-300-003 11.60 acres (LDR) may be purchased for a combined 72.2 acre area *if* the lots were 1 acre in size.

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Based on topography we also request if a Parallel Plan for an RPUD overlay for the inferred Parcel 4711-24-300-003 11.60 acres (LDR) are submitted, that the lots shown for this inferred parcel are actually buildable lots and not just 1 acre gridlines on an engineering drawing.

PULTE HOMES OF MICHIGAN LLC says the 58 unit Legacy Hills should be rezoned in accordance with the 2023 Future Land Use Map. With the same reasoning, we as current Genoa township residents request no deviation from the 2023 Future Land Use Map for the Parcels ending in -002 and -007.

As current residents, we also request when/if construction starts on this development, construction traffic enters the worksite only from the paved portion of Challis Road where an existing gravel access driveway is located. Construction traffic should not be allowed from Bauer dirt road on the east side of the property, from the Challis cul-de-sac on the northeast corner of the property or anywhere inside the Grand Circle Subdivision. Construction traffic does not increase the quality of life for any current Genoa township resident near this development.

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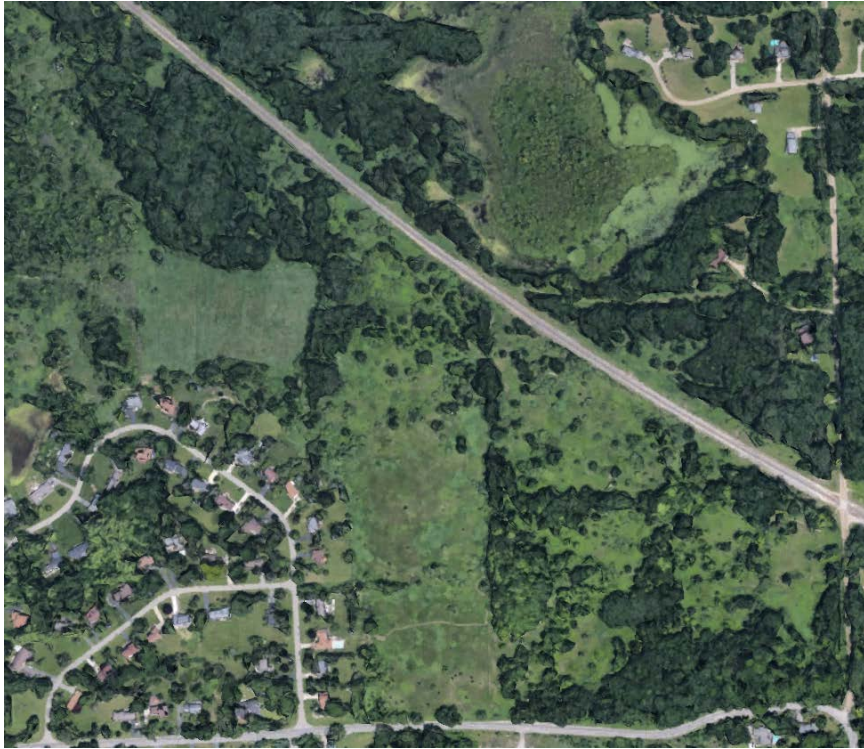
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Respectfully yours,

Two handwritten signatures in black ink. The first signature is on the left and the second is on the right.

Address

6899 Lyle Lane, Brighton, MI



Proposed Legacy Hills
Current Tree Canopy



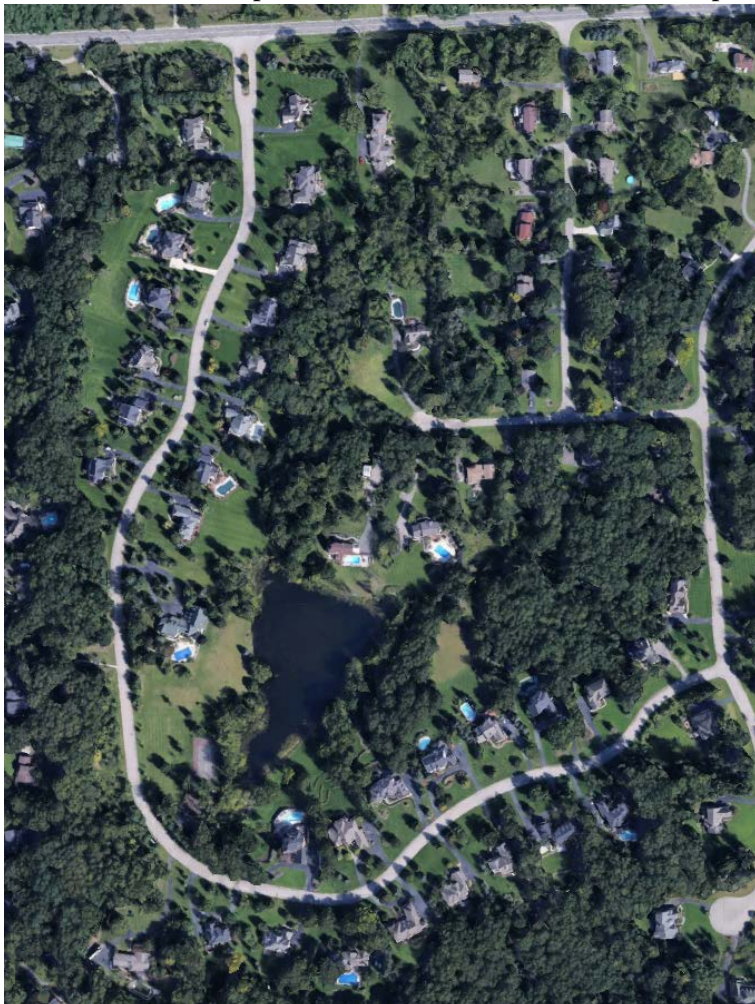
Inferred Expansion of Legacy Hills – Current Tree Canopy

The Ridge Before Development (Google Earth) & The Ridge after development (Google Maps)





Pine Lake St Development Above Boulder Creek Development Below

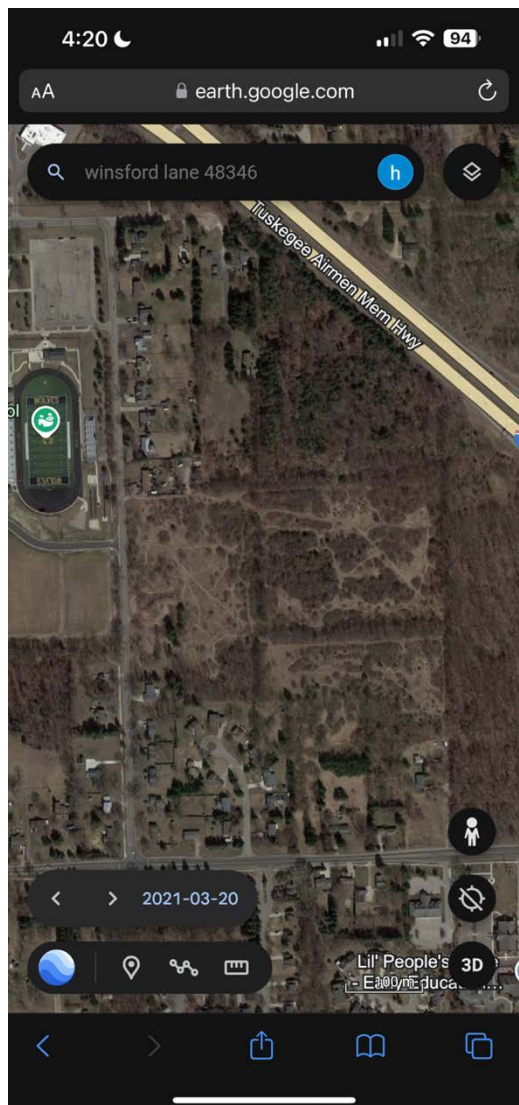




Copperleaf development

Land parcel before any PULTE Development (2021-03-20) and during construction (2022-06-19)
Brookfield at Waldon Village Independence Township 48346

Images from Winsford Lane 48346 (earth.google.com with layer historical imagery active)



November 19, 2024

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In the 1.26 square mile area shown on the map below (~807 acres) there are approximately 137 houses. The Pulte Legacy Hills development would place 58 houses in 127 acres but with the RPUD cluster option and 'Open Space' plan, those houses are built on only ~77 acres.

Pulte Homes of Michigan's request to rezone from Agricultural 10 acre lots to RPUD cluster option at under .75 acre lots with 'open space' does not fit in with the overall character of this 1.26 square mile area.

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Respectfully yours,

A handwritten signature in black ink that reads "Susan Vitous". The signature is written in a cursive, flowing style.

Address

2592 S. LATSON RD
HOWELL, MI 48843

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Laura Muraszewski

Address

6877 Lyle Ln.
Brighton, MI 48116

Christa Sriggins
3600 Bauer Rd
Brighton mi 48116

Sandra Coutscher
6960 Challis Rd
Brighton, mi 48116

Tamara Klotter

6933 Lyle Ln
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Hubert Winklbauer
3844 Bauer
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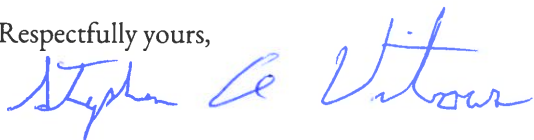
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HOWELL MICH 48843

From: [Jennifer Lynn](#)
To: [Amy Ruthig](#)
Subject: Rezoning
Date: Wednesday, December 4, 2024 9:17:55 AM

Highly against the rezoning. Traffic is already bad enough at Bauer and Challis.
Jennifer Lynn

From: [Mallie](#)
To: [Amy Ruthig](#)
Subject: Comment for Dec 4 Planning Commission Mtg
Date: Tuesday, December 3, 2024 9:03:53 PM

Hello Amy,

I hope this finds you well. I'm unable to attend the Dec 4 planning commission but would like my comment included in the record. I am against the rezoning that Pulte Homes has requested for the current Ag land NW of Challis and Bauer that they'd like to instead develop homes on. This nook of town is already congested even with the new round-about especially once the large apartment development at Dorr/GR is populated. Given the more natural scenic beauty of the land in this area as well as the high risk to the wetlands both north and south of Challis, it would be a disservice to clear cut and develop in that spot. It would also shift Genoa even further from the interests of the residents that have placed a very high importance on maintaining our natural green spaces and country feel that are already being extremely pressured by unchecked development.

Please let me know if you have any questions or need further clarification on my comments.

Appreciate your time. Thank you!

Take care,
Mallie Wilson
3400 Beattie Rd

From: [Deb Oberpeul](#)
To: [Amy Ruthig](#)
Subject: Pulte Homes Challis Rd Development
Date: Monday, December 2, 2024 9:55:52 AM

Amy,

I was shocked to see the letter below on our Neighborhood app. What in the world is the township thinking by allowing Pulte to build without improving the water and sewer lines, against the Master Plan. The letter below states the concerns I'm sure most people will have

Amy, I am Christine Cross, one of the adjacent property owners to the new planned development within 300 feet . Please address the following questions; If the PUD goes through and they are not building on all 4 of the pieces of property that they are acquiring what is to stop them from coming back to the board after building these 50+ houses and requesting another PUD variance on the pieces they did not build on? Why are you entertaining a PUD, when zoning ordinances 3.04.01 and .02 state that any parcels under 1 acre must be built with public sanitary systems? They are planning well and septic which does not meet the zoning regulations. This PUD seems like an end around the current regulations. Why are they not being made to further expand the township sewer and water infrastructure? The Master Plan repeatedly states throughout the importance of preserving woodland and wetlands. Why would you allow a builder to come in and clearcut these pieces of property even though they are not building on all of it? They clearly stated at the last meeting this was their plan. The Master Plan states the importance of preserving wetlands. Pulte Homes has been involved in several lawsuits with the EPA and different States for not following wetlands regulations. Even if they do follow all the regulations how will they account for lawn chemical run off from the homes they plan on building arounds the wetlands? \$ 750,000+ homes are the types of homeowners that use lawn services to maintain perfectly weed free lawns, which require damaging chemicals. Can you guarantee these homes will not effect the wells of the surrounding homeowners? When Mt. Brighton had the golf course open everyone in that area had well issues, myself included. It's not just the household water they will be using but the sprinkler systems that will effect water usage. Since the golf course shut down the area is back to no well issues again. What hardship requirements have been met by the landowner in order to change the zoning. Making a larger profit from the sale of the land does not fly as a hardship? I would like everyone on the planning board to do a goggle search of Pulte Homes and lawsuits. There are far to many to list. Pulte Homes has a very bad reputation and I firmly believe they are not the builder for this site. I will be attending the meeting to voice my concerns. Please share this email with the other Planning Commissioners. Thank you, Christine Cross

Sent from my iPhone

From: [Jeff & Marcy Schulman](#)
To: [Amy Ruthig](#)
Subject: Proposed Pulte Development
Date: Saturday, November 30, 2024 9:17:48 AM

Amy,

While clear cutting is beneficial for Pulte it is not good for the township.

Pulte gets to use the least expensive method to clear and grub allowing for ease to strip the topsoil, and grade. Pulte will sel the topsoil and wood. Then unless a good soil and erosion plan is put in place and maintained, soil and sediment will make its way into the watershed. The new homeowners will the need to replace or work the remaining soil wit chemicals for their lawns.

If the good trees are left then their will be shade that will help reduce the heat island effect that the new house is and paving will produce. The air quality will be better as the trees continue to use the C02. The subdivision will have an overall better feel to it and not just be cookie cutter enhancing Genoa township.

Birds and other animals will have a place to remain.

Thanks!

From: christinecross50@aol.com
To: [Amy Ruthig](#)
Subject: RE: PUD meeting Challis and Bauer today
Date: Monday, January 13, 2025 6:05:16 PM
Attachments: [image001.png](#)

Amy,

Thank you for sending the letter over.

I will not be able to attend due to short notice.

I have 3 concerns at this point.

1) The emergency entrance off the cul-de-sac, how are you going to make sure that it does not get turned into an entrance/exit after Pulte leaves and how are you going to make sure it doesn't get used for construction vehicles while the project is being built out? I just went through over a year of tree clearing and road construction. I want to be effected as little as possible by this construction.

2) The pathway that they are proposing. My preference would be to make them run that down the new part of Challis and connect to the path that is existing on Bauer. If you let them run it along the old part of Challis it will just make it so they cut down all the trees in the additional 100 foot set back they are proposing.

3) That no trees are cut down within that proposed 100 foot set back buffer zone along the exterior of the property.

I'm not sure if you can get this letter forwarded to the planning commission members before tonight's meeting. I know its short notice, but that what I got or I would have done this in a more timely manner. If you can I appreciate it.

Thank you for all your help.

Christine Cross
6984 Challis Road.
[Sent from AOL on Android](#)

On Mon, Jan 13, 2025 at 4:40 PM, Amy Ruthig
<amy@genoa.org> wrote:

Per your request, the notice is attached.

[Amy Ruthig](#)

[Planning Director](#)

From: [matthew betz](#)
To: [Amy Ruthig](#)
Subject: Pulse proposal
Date: Thursday, December 5, 2024 2:44:49 PM

Amy

I am a resident of Genoa Township, but am out of town and can't attend the meeting. Still, I would like to have my voice heard.

Every time any development is proposed, there is a small but very vocal minority of citizens that oppose it. They seem to think that Genoa Township can remain a great community by keeping it like it was in 1950. I believe that the majority of citizens believe in responsible growth to keep our community healthy and a great place to live.

Pleas do not be swayed just because the opposition can get a couple hundred people to show up for a meeting. That leaves 20,000 others who are not complaining.

In the Pulse case, as long as wetlands are protected, they should be allowed to build.

Thanks for listening

Matthew Betz
Pine Eagles Dr
Oak Pointe

From: [Michael Britt](#)
To: [Amy Ruthig](#)
Subject: objection to Pulte proposal
Date: Wednesday, December 4, 2024 9:32:28 PM

STOP PAVING OVER LIVINGSTON COUNTY1111

From: [JOHN GORECKI](#)
To: [Amy Ruthig](#)
Subject: building..... Pultz homes
Date: Sunday, December 8, 2024 11:11:57 AM

Please don't let our beautiful community turn into a Taylor, Mi..... we do not need section 8 housing, low-income apartments, or track homes in this area!..... please keep our area pristine and keep the building to a higher scale!..... thank you!.....john gorecki

From: [karyn stetz](#)
To: [Amy Ruthig](#)
Subject: Pulte Petition
Date: Thursday, December 5, 2024 10:31:17 AM

Hi Amy,

I just wanted to write to say that our family does not want to see Pulte destroy the wetlands at Challis & Bauer Roads to build a subdivision and urge a vote against their petition. They are known as a destructive company throughout the country and Brighton deserves better.

--

Warmly,

Karyn
karyn.stetz@gmail.com
[734.476.1772](tel:734.476.1772)

Sharon Stone-Francis

From: Amy Ruthig
Sent: Monday, March 10, 2025 2:39 PM
To: Sharon Stone-Francis
Subject: FW: Meeting March 17

Follow Up Flag: Follow up
Flag Status: Flagged

Please print and place in hard file and place PDF in project cases for legacy hills

Amy Ruthig
Planning Director



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Office: 810-227-5225 Ext. 114 Direct: 810-224-5824
E-mail: amy@genoa.org, Url: www.genoa.org

From: sandy coutcher <sandycoutcher25@gmail.com>
Sent: Thursday, March 6, 2025 3:57 PM
To: Amy Ruthig <amy@genoa.org>
Subject: Meeting March 17

Entrance into new housing and also fire trucks entering

Staff recommends that tree protection of a certain caliper and clearing limits should be included within the PUD agreement. Please see memo for suggested language.

PLANNED DEVELOPMENT AGREEMENT

for

LEGACY HILLS

Entered into between:

Charter Township of Genoa, a Michigan Municipal Corporation

and

Pulte Homes of Michigan LLC, a Michigan limited liability company

Dated: _____, 2024

TABLE OF CONTENTS

RECITALS	1
1. Summary Description of Project.....	
2. Adherence to Requirements for Development.....	
3. Adherence to Ordinances	
4. Permits and Authorizations	
5. Expiration and Phasing	
7. Roads, Drives and Parking Lots.....	
8. Landscaping, Lighting, Signs, Screening and Architectural Standards	
9. Storm Water Detention/Retention System.....	
10. Open Space and Natural Features	
11. Maintenance Obligations	
12. Condominium Documents	
13. OMIT	
14. OMIT	
15. Reimbursable Costs	
16. OMIT	
17. Enforcement and Remedies	
18. Developer Acknowledgement.....	
19. Miscellaneous	
Table of Exhibits and Schedules.....	

LEGACY HILLS PLANNED UNIT DEVELOPMENT AGREEMENT

THIS AGREEMENT (“Agreement”) is made and entered into this ____th day of _____, 2024 (“Effective Date”), by and between the CHARTER TOWNSHIP OF GENOA (“Township”) a Michigan municipal corporation, with offices located at 2911 Dorr Road, Brighton, Michigan 48116, and Pulte Homes of Michigan LLC (“Developer”), a Michigan limited liability company, with offices located at 2800 Livernois Road, Building D, Suite 320, Troy, Michigan 48083.

Project Developer: Pulte Homes of Michigan LLC, a Michigan limited liability company

Township Planning Director: Genoa Township Planning Services
Amy Ruthig

Project Engineer: The Umlor Group

RECITALS

A. Developer is, or is under contract to become the owner of certain property more particularly described on **Exhibit A** attached hereto and incorporated herein (“Property”), which is currently zoned AG, Agricultural Zoning District.

B. Developer intends to develop the Property into a single-family site condominium project (the “Project”) consisting of fifty-eight (58) units (“Units”) and consisting of approximately one- hundred-twenty-eight (128) acres.

C. In relation to development of the Project, Developer applied for approval of an amendment to the Township’s Zoning Ordinance to amend the Township Zoning Map and rezone the property to Residential Planned Unit Development (“RPUD”).

D. In accordance with the PUD zoning requirements as set forth in the Township Zoning Ordinance and Master Plan, the Project will have less than one (1) dwelling unit per net acre, and otherwise comply with required width, lot coverage, and setbacks requirements for RPUD zoning under the Zoning Ordinance, except as set forth in the Schedule of Regulations and Modifications attached as **Exhibit D** to this Agreement (the “Zoning Ordinance”).

E. The Project will provide definite benefits to the Township including the preservation of significant natural features and pedestrian connectivity via an internal sidewalk system throughout the Project,

NOW, THEREFORE, it is hereby agreed as follows:

1. SUMMARY DESCRIPTION OF THE PROJECT

The Project covers an area comprising approximately one-hundred-twenty-eight (128) acres, located generally at Challis Road and Bauer Road in the Township. Developer is

proposing to develop a single family residential condominium project that generally meets the requirements of the Zoning Ordinance and that is consistent with the conditions imposed in the recommendation of approval by the Planning Commission. The proposed use(s) are as follows: Single family residential homes, provided, however, that Developer may erect and maintain model homes on the Property and temporary promotional signage in furtherance of the sales activities of the Developer in relation to the condominium. Notwithstanding anything to the contrary contained elsewhere in this Agreement, until all Units in the entire Project are sold by Developer, Developer shall have the right to maintain a sales office, a business office, a construction office, models units, promotional signage, storage areas and reasonable parking incident to the foregoing, and such access to, from and over the Project as may be reasonable to enable development and sale of Units or the entire Project by the Developer, as permitted by the Zoning Ordinance.

2. ADHERENCE TO REQUIREMENTS FOR DEVELOPMENT

The Property shall be developed and improved in full compliance with the following (collectively referred to as the “Development Documents”):

- a. Appendix A to the Code of Ordinances for Genoa Township, the Zoning Ordinance. The Project is being developed in accordance with the provisions of Article 10, Planned Unit Development (PUD), in the form and on the terms existing on the Effective Date, except as otherwise provided in this Agreement (the “Zoning Ordinance”) including but not limited all other modifications as set forth on **Exhibit D**, permitting the uses as shown on the Final Conceptual Development Plan for Legacy Hills attached as **Exhibit B**.
- b. The “Conceptual Development Plan for “Legacy Hills” was recommended for approval by the Planning Commission on _____ and approved by the Township Board on _____. The Final PUD Conceptual Plan for “Legacy Hills” prepared by The Umlor Group, Job No. _____, with revision date of _____, attached as **Exhibit B** hereto, and which consists of the following pages:

Sheet no. 1 [identify each]

Sheet no. 2

Sheet no. 3

Sheet no. 4

Sheet no. 5
- c. Conditions imposed on the Project by the Planning Commission in its recommendation for approval for the PUD Conceptual Development Plan for Legacy Hills on _____, 20____, and the conditions imposed by the Township Board on the Legacy Hills PUD when it was approved on _____, 20____, which may include the conditions recommended by the Township’s Planning Consultant and Engineer, and any other reasonable conditions which

may be subsequently imposed by the Township Board with respect to the Legacy Hills PUD approval, and the Planning Commission as part of the Final Conceptual Development Plan approval with respect to the Site Plan or other required approvals, all of which are set forth in **Exhibit C** attached hereto:

- d. This Agreement and any conditions imposed herein.
- e. Any and all conditions of the Final PUD Conceptual Development Plan Approval recommended by the Planning Commission and adopted by the Township Board pertaining to the Project are reflected in the official minutes of such meetings. The Final Conceptual Development Plan for Legacy Hills is attached as **Exhibit B** to this Agreement (together the official minutes described in this Section, conditions imposed in Section 2(c) above, and the Conceptual Development Plan for Legacy Hills shall be referred to as the “Final Site Plan”). The Final Site Plan shall be designed in conformance with the requirements of this Agreement. The Final Conceptual Development Plan for Legacy Hills is attached as Exhibit B to this Agreement.
- f. Conditions of approval of the Genoa Township Engineering Design Standards and any other reasonable conditions which might be required by the Township Engineer.

Furthermore, all development and improvement of the Property by Developer and all use of the Property shall be subject to and in accordance with all applicable Township Ordinances, and shall also be subject to and in accordance with all other approvals and permits required under applicable Township Ordinances, the Development Documents and state laws for the respective components of the Project. To the extent that there are conflicts or discrepancies between respective provisions of the Development Documents, or between provisions of the Development Documents and Township Ordinances, this Agreement shall control. In the event the PUD Agreement is silent on matters otherwise covered by the PUD, Final Conceptual Development Plan or Township Ordinances and regulations, the PUD and Final Conceptual Development Plan shall control.

All future owner(s) of the Property shall be bound by the terms of this Agreement and the Developer’s authority and responsibilities stated herein. It shall be the responsibility of the Developer to transmit notice to all future owner(s) of the Property of the requirements contained within this Agreement. The Township shall require that all developers, present or future, of any portion of the PUD, and their respective successors in title, comply with the Township Ordinances and the Development Documents.

3. ADHERENCE TO ORDINANCES

Developer shall comply with all applicable Township ordinances, including the Zoning Ordinance, Condominium Ordinance, and/or the Subdivision Control Ordinance, in effect at the Effective Date of this Agreement, except where modified by this Agreement. Future phases, if applicable of development shall comply with the Zoning Ordinance of the Township in effect at

the Effective Date of this Agreement, except where modified by this Agreement, including, but not limited to, the following dimensional deviations:

DIMENSIONAL DEVIATIONS

DESCRIPTION	REQUIRED	PUD PROVIDED
AREA FOR SEPTIC & WELL	43,560 S.F.	32,670 S.F.
CUL-DE-SAC LENGTH	1,000 FT.	1,100 FT.
WETLAND SETBACK	50 FT.	50 FT. (including on lot easements)*
MINIMUM LOT AREA-LDR	43,560 S.F.	32,670 S.F.
MINIMUM LOT WIDTH-LDR	150 FT.	115 FT.
MINIMUM SIDE YARD-LDR	30 FT.	20 FT.
SIDE YARD TOTAL-LDR	60 FT.	50 FT.

* except where there is approved wetland impact, in those cases the proposed wetland setback is less than 50 FT. as noted on the construction documents.

Developer acknowledges that certain provisions of this Agreement may exceed the requirements of the Zoning Ordinance, and the Township acknowledges that items shown in the Final Site Plan may be less than the requirements of the Zoning Ordinance. Developer shall fully comply with all engineering and other local, state and federal codes and regulations in effect at the time of this Agreement, except as and to the extent superseded or otherwise covered in this Agreement and the Final Site Plan. The Final Conceptual Development Plan for Legacy Hills is attached as Exhibit B and minutes of the Planning Commission and Township Board meetings are attached as Exhibit E.

4. PERMITS AND AUTHORIZATIONS

The Township shall grant to Developer and its contractors and subcontractors all Township permits and authorizations necessary to bring all utilities including electricity, telephone, gas, cable television, water and storm to the Property and to otherwise develop and improve the Property in accordance with the Final Site Plan, provided the Developer has first made all requisite applications for permits, complied with the requirements for said permits, and paid all required fees. Any applications for permits from the Township will be processed in the customary manner. The Township will cooperate with Developer in connection with Developer's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the Final Site Plan, and this Agreement.

5. EXPIRATION AND PHASING

A. EXPIRATION

Developer shall commence construction of the Improvements (defined below) within thirty (30) months from the later of (i) the Effective Date of this Agreement, or (ii) issuance of final site plan approval by the Township (the “Expiration Date”).

The Developer has a right to request an extension for commencement of the Improvements for good cause from the Township Board not less than 90 days prior to the Expiration Date of this Agreement.

B. PHASING

Once construction has commenced on the Project as set forth in Section 5A, the Developer will be deemed to have obtained vested rights to complete construction of the planned development.

The Project is planned as a one phase development, which shall include the associated infrastructure improvements within, or necessary to serve, the phase.

Construction is scheduled to commence upon final PUD and Final Site Plan approval and receipt by Developer of all permits from outside agencies necessary to permit construction and satisfaction of the conditions established by the Planning Commission during PUD and Site Plan approvals, as well as any additional conditions which may be imposed during Final PUD and Final Site Plan review and approvals prior to the issuance of any permits by the Township.

Upon completion of the Project, it shall be capable of standing on its own in terms of the presence of services, facilities and infrastructure to serve the Project, and open space to be located within the Project, and shall contain the necessary components to insure the protection of natural resources, and the health, safety and welfare of the users of the Project and the residents of the surrounding area. For purposes of this section, “infrastructure” shall mean the Improvements to serve the Project as set forth in the Final Site Plan. In addition, for the Project to be considered complete, all easements required by the Township in relation to the provision of utilities by the Township pursuant to this Agreement must be approved and provided to the Township in recordable form. Developer shall pay all recording fees.

7. ROADS, DRIVES AND PARKING LOTS

- a. All roads for the Project, shall be designed, situated and constructed in accordance with the Township Engineering approvals and applicable Township Ordinances, the Development Documents, the Final Site Plan. The roads in the Project will be private roads.
- b. Except as may result from the unavailability of asphalt due to winter weather conditions, all roads, drives and parking lots depicted on the Final Site Plan, and which are necessary to serve any component of the Project then under construction shall be completed and approved (except top coat) prior to issuance of a final Certificate of Occupancy for any building or structure to be served

thereby within the component of the Project. In the event that Developer fails to complete the roads, drives and parking lots by the time required by this Agreement, the Township may, at its option, after first giving written notice to Developer of the deficiency and an opportunity to cure the same in the manner and within the time for cure provided in Section 6 above, elect to pursue its remedies as set forth in Section 17. However, in the event the Livingston County Building Department elects to issue building permits, the paving of all areas referenced in this paragraph shall be completed and approved (excluding top coat) prior to issuance of a final Certificate of Occupancy. An extension of the time required to complete the paving of all areas may be granted by the Township administration, in its sole discretion, in the event of circumstances beyond the control of Developer, such as but not limited to adverse weather conditions.

- c. The Township agrees to the proposed road hierarchy, geometrics, utility locations and amended rights-of-way as depicted on the Final Site Plan.
- d. No building or land use permits shall be issued for a construction phase or, if none, the Project, until the infrastructure to serve such construction phase is installed. This shall include, at a minimum, internal roads (except top coat), and storm water drainage and detention. Developer shall be entitled to the issuance of land use permits for model homes and Units for sale, provided that (i) all underground utilities for each respective construction phase wherein such model home or Unit is located are complete; and (ii) the access and service roads serving such model home or Unit are complete (except for topcoat).

8. LANDSCAPING, LIGHTING, AND ARCHITECTURAL STANDARDS

Developer shall construct the Project in full compliance with the Development Documents, which shall govern the landscaping, lighting, signs, architectural and other standards applicable to the Project.

9. STORM WATER DETENTION/RETENTION SYSTEM

Developer, at its sole expense, shall construct and maintain storm water detention/retention system ("System") (except to the extent that the System is accepted by Livingston County Drain Commissioner under a so-called 433 Agreement pursuant to Section 433 of Act No. 40 of the Public Acts of 1956, the Township will not require further maintenance), which System may include both on-site and off-site improvements, in accordance with the Development Documents, the Final Site Plan, and all applicable ordinances, laws, codes, standards and regulations. The System shall be constructed and made to operate using best management practices. At a minimum, the System shall be designed in accordance with Livingston County standards. The System shall provide storm water detention/retention for all the Property.

10. OPEN SPACE AND NATURAL FEATURES

Developer shall dedicate a minimum of 50%, or such other amount as agreed upon by the Township and Developer, of the Property as open space. The open spaces shall be designed and landscaped to create natural areas that add to the overall aesthetics of the Project. For the purpose of insuring long term preservation of open space and natural features within the Project, all open space and storm water drainage and detention areas and facilities, shall be perpetually preserved as unimproved areas (other than Project Improvements installed in accordance with the Final Site Plan) by way of provisions contained in the master deed ("Master Deed") recorded to establish the Project as a Condominium under the Michigan Condominium Act, Act 59 of 1978 (the "Act"), and in accordance with Township and EGLE requirements as to any wetlands regulated by the Township EGLE and the terms of any conservation easements granted to the EGLE. The Master Deed shall contain language that Co-Owners are prohibited from altering the wetlands or Open Space Areas contained within the condominium, including within the 50-foot natural features buffer, and will address measures to minimize the impacts of lawn fertilizers on wetlands. Demarcation signs will be added in the Open Space Areas of the Condominium to ensure that there is no encroachment into the 50-foot natural features buffer.

11. MAINTENANCE OBLIGATIONS

Provision for the continued maintenance of all roads, drives, parking lots, sidewalks, parks, open spaces, natural features, landscape materials, lighting, System, utility improvements and other improvements as described in the Final Site Plan (all collectively "Improvements") are of major importance to the continued success of the Project. To ensure the proper installation and continued repair/maintenance of the Improvements, the following standards are imposed, which shall be incorporated into all contract documents relative to the Project, including, but not limited to, the Master Deed as provided below:

a. Developer Obligation to Construct and Repair/Maintain Improvements for the Project.

Developer shall be responsible for the construction of all Improvements as shown on the Final Site Plan in the Project, including the installation of Utility Improvements, at no cost to the Township.

b. Maintenance Obligations

An association shall be established by Developer for maintenance of the common areas after the completion of the Project to control and be responsible for the repair/maintenance of the Improvements for the Project, at no cost to the Township, and to levy and collect assessments as necessary to pay the cost of such repair/maintenance. For purposes of this Agreement, the term "Association" shall refer to the association which will be created at a point designated by Developer in the Master Deed, or other similar documents to administer and operate the condominium for the Project established under the Act.

c. Additional Obligations

- i. Except as provided in herein, Developer shall be responsible for the repair/maintenance of the all Improvements (except to the extent of dedication to the Township) within the Project, at no cost to the Township, until such time as the Association is formed and the appropriate Master Deed has been recorded, which sets forth the rights, powers, privileges, responsibilities and duties so assigned and conveyed, and which makes the Association responsible for the repair/maintenance of the Improvements, except to the extent that such Improvements have been dedicated to the public. At that time the Association shall become responsible for the same and Developer shall no longer be so responsible.
- ii. The Improvements as constructed shall not be altered in any material way. The repair and maintenance of the Improvements shall not be deemed a material alteration.
- iii. Easements for the benefit of the Developer for repair/maintenance of the Improvements are acknowledged and reserved as shown in the approved final engineering plan. No structure, landscaping, planting, fill or other material shall be placed which may interfere with, impede, obstruct or change the direction of the water flow within the easements for the System, Project drainage areas, and utility easement areas, or which otherwise interferes with the use and maintenance of the Improvements. The repair/maintenance of all of the aforementioned easement areas shall be the responsibility of and enforced by Developer until the Transitional Control Date as defined in the Act, at which time the Association shall be responsible for the same and the Developer shall no longer be so responsible.
- iv. In the event the Township determines that the Improvements are not being properly repaired/maintained, the Township shall serve written notice upon the Developer and/or the Associations, as appropriate, setting forth the manner in which they have failed to repair/maintain the Improvements, in reasonable condition and order. Written notice required in this Agreement may be provided by mail, or by electronic means or facsimile with a hard copy by mail. The notice shall include a demand that deficiencies in the repair/maintenance, in no event less than thirty (30) days (the "Improvement Notice and Cure Period").

12. CONDOMINIUM DOCUMENTS

The developer shall submit to the Township a proposed Master Deed and Bylaws, including the Exhibit B condominium plan (collectively the "Condominium Documents"), for the Project. The proposed documents shall be subject to review and approval by the Township Attorney and Township staff prior to recording. The Condominium Documents shall be fully executed and recorded prior to the issuance of any certificate of occupancy by the Township. As part of the Condominium Documents, there shall be provisions obligating Developer or the

Association, if after the Transitional Control Date, to maintain and preserve all the Improvements, the private roads, drives, entranceways, parking, walkways, screening walls, landscaping, lighting, signage, greenbelts, open areas, pedestrian walkways and open area amenities, setbacks, the System and related easements and any other private common elements and Improvements described in the Final Site Plan in good working order and appearance at all times and in accordance with the Development Documents and Section 11 of this Agreement. The Condominium Documents shall also contain reference to the actions which may be taken by the Township pursuant to Section 17 in the event that the Improvements are not preserved, maintained or repaired. Additionally, the Condominium Documents shall identify and make reference to the Development Documents and the regulations of the Property therein, including a reference to this Agreement.

The Condominium Documents shall contain provisions providing for the continued maintenance/repair of the Improvements, at no cost to the Township, and provisions requiring the levying and collection of assessments as necessary to pay the cost of such repair/maintenance and to ensure the ability to pay the cost of future repairs and maintenance of the Improvements.

13. OMIT.

14. OMIT.

15. REIMBURSABLE COSTS

- a. The Developer shall reimburse the Township for the following costs:
 - i. All reasonable planning, engineering, legal and any consultant fees incurred in connection with the review and approval of the Project, in accordance with the Township's Planning and Engineering Services Fee Schedules.
 - ii. All reasonable planning, engineering, legal and any consultant fees, along with applicable permit and inspection fees, which may be incurred throughout the construction of the Project as a result of any required inspections or actions taken to ensure compliance with the Development Documents.
- b. In addition, Developer shall be responsible for all costs associated with the submission to the Township and consideration of all plans and documents associated with the Project, including, but not limited to, site plans, landscaping plans, engineering plans, as-built plans, permits, inspections, etc. Further, Developer shall be responsible for all costs related to variance requests, special use requests, and review and approval of any other agreements associated with the Project, including but not limited to, the Condominium Documents, petitions for any special assessments district, and other similar documents, plans and costs.

16. OMIT.

17. ENFORCEMENT AND REMEDIES

In the event there is a failure to timely perform any obligation or undertaking required by this Agreement, the Township shall serve written notice upon the Developer setting forth such deficiency and a demand that the deficiency be cured within thirty (30) days following the notice (with the exception of a deficiency determined by the Township to constitute an impending and immediate danger to the health safety, and welfare of the public). If the deficiency set forth in the notice is not cured within said thirty (30) day period, the Township may pursue any and all remedies available to it under the Zoning Ordinance or applicable law.

18. DEVELOPER ACKNOWLEDGMENT

By execution of this Agreement, Developer agrees that the conditions contained herein are fair, reasonable and equitable requirements and conditions; agrees that this Agreement does not constitute a taking of property for any purpose or a violation of any constitutional rights; and agrees to be bound by each and every provision of this Agreement. Furthermore, it is agreed that the Improvements and undertakings described herein are necessary and roughly proportional to the burden imposed, and are necessary in order to ensure that public services and facilities will be capable of accommodating the Project, and the increased service and facility loads caused by the Project; to protect the natural environment and conserve natural resources; to ensure compatibility with adjacent uses of land; to promote use of the Property in a socially and economically desirable manner; and to achieve other legitimate objectives authorized by law. It is further agreed and acknowledged that all the required Improvements, both on-site and off-site, are clearly related to the burdens to be created by the Project, and all such improvements are clearly and substantially related to the Township's legitimate interests in protecting the public health, safety and welfare.

19. MISCELLANEOUS

a. Binding Effect

This Agreement shall be binding upon and inure to the benefit of the parties and their heirs, successors and assigns, including the condominium association established to operate and manage the affairs of the Condominium ("Association"). The Condominium Documents shall include a provision stating that the Association shall be bound by the terms and conditions of this Agreement and that any amendment to the Condominium Documents which impacts the Township's rights under such provision as it relates to this Agreement must be reviewed by the Township. The rights and obligations contained in this Agreement shall run with the Property. Developer shall be required, at its sole cost, to record this Agreement within thirty (30) days of execution with the Livingston County Register of Deeds, and provide a recorded copy to the Township as soon as a recorded copy is returned to Developer by the Livingston County Register of Deeds. Once Developer, or its successors or its assigns has completed the Project Improvements and turned over the Property to the Association, Developer shall have no further obligation or liability under this Agreement with respect to the obligations or liability first arising under this Agreement after the effective date of such assignment.

b. Authority

This Agreement has been duly authorized by Developer and the Township, through the approval of the Township Board at a meeting in accordance with the laws of the State of Michigan and the Ordinances of the Township. By the execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Property in its respective entities to its terms and conditions.

c. Final Site Plan Approval

Developer acknowledges that, at the time of the execution of this Agreement, Developer has not yet obtained Conceptual or Final Site Plan Approval, as required. Developer acknowledges that the Planning Commission may impose additional conditions other than those contained in this Agreement during Site Plan review and approval so long as those conditions are consistent with the approvals previously given and the intent of this Agreement. Developer agrees that any additional conditions which may be attached to the Final Site Plan Approval by the Planning Commission shall be incorporated into and made a part of this Agreement, and shall be enforceable against Developer, in the event Developer proceeds with the Project and executes this Agreement. To the extent that Developer requires minor modifications to the PUD Documents, the Township Zoning Administrator shall be permitted to approve such minor modifications administratively. Minor modifications may include without limitations: (a) a reduction in the size of any building; (b) an increase in the size of any building, provided that the size of other buildings is decreased so that all buildings within the Project do not exceed the density limitation set forth in this Agreement; (c) landscaping materials identified in the attached plan may be replaced by similar types of landscaping materials of better or like quality; (d) changes in floor plans and elevations which do not alter the character of the use; (e) correcting non-material errors; (f) changes requested by the Township, County, or State for safety reasons and (g) those matters defined as Minor changes in Section 10.11.03 of the Zoning Ordinance.

d. Other Governmental Approvals

It is understood that construction of some of the Improvements included in the Project may require the approval of other governmental agencies.

e. Amendment

This Agreement may only be amended pursuant to an instrument executed by the Township and the Developer, or their successors and assigns, after mutual consent of the parties.

f. Partial Invalidity

Invalidation of any of the provisions contained in this Agreement, or of the application thereof to any person by judgment or court order shall in no way affect any of the other provisions hereof or the application thereof to any other person and the same shall remain in full force and effect.

g. No Partnership

None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Developer and the Township.

h. Incorporation of Documents

The recitals contained in this Agreement, the introductory paragraph, and all exhibits attached to this Agreement and referred to herein shall for all purposes be deemed to be incorporated in this Agreement by this reference and made a part of this Agreement.

i. Cooperation

In the event that any third-party brings an action against either party regarding the validity or operation of this Agreement, the parties shall cooperate with the other in good faith in any such litigation.

j. Integration Clause

This Agreement is intended as the complete integration of all understandings between the parties related to the subject matter herein. No prior contemporaneous addition, deletion or other amendment shall have any force or effect whatsoever, unless embodied herein in writing. No subsequent notation, renewal, addition, deletion or other amendment shall have any force or effect unless embodied in a written amendatory or other agreement executed by the parties required herein, other than additional conditions which may be attached to final site plan approval by the Planning Commission as stated in subsection (c) above.

k. No Third-Party Relationship

The parties intend that this Agreement shall create no third-party beneficiary interest except for an assignment pursuant to this Agreement. The parties are not presently aware of any actions by them or any of their authorized representatives which would form the basis for interpretation construing a different intent and in any event expressly disclaim any such acts or actions, particularly in view of the integration of this Agreement.

l. Agreement Jointly Drafted

This Agreement represents the product of joint efforts and mutual understanding of Developer and the Township, and should be construed accordingly. Each party has had the opportunity to have this Agreement reviewed by legal counsel.

m. Governing Law

This Agreement shall be interpreted and construed in accordance with the laws of the State of Michigan, and shall be subject to enforcement only in Michigan courts. The parties agree that this Agreement is consistent with the intent and provisions of the Michigan and U.S. constitutions and applicable law.

n. Survival of Terms.

Any easement rights conveyed in this Agreement along with the following provisions will survive the expiration of this Agreement, along with any and all approvals related to deviations and modifications from the Zoning Ordinance as set forth herein so that any improvements constructed by Developer in accordance with the Development Documents and this Agreement shall be deemed to be in accordance with the Zoning Ordinance and any future zoning ordinances, including upon expiration of this Agreement.

o. Signed Counterparts.

This Agreement may be executed in one or more counterparts by the different parties in separate counterparts, each of which, when executed, shall be deemed to be an original but all of which, when taken together, shall constitute one and the same Agreement. This Agreement may be transmitted by facsimile or electronic mail, and said facsimile or electronic signature shall be deemed as an original.

p. Easements.

Any easements granted or conveyed in this Agreement are non-exclusive easements.

q. Notice.

Unless later information is provided, notices under this Agreement will be provided to:

To Developer:

Pulte Homes of Michigan LLC
Attn: Joe Skore
2800 Livernois Road, Building D, Suite 320, Troy, Michigan 48083
Joe.skore@pultegroup.com

With a required copy to:

Alexandra E. Dieck
Bodman PLC
201 S. Division Street, Suite 400
Ann Arbor, Michigan 48104
adieck@bodmanlaw.com

To the Township:

Charter Township of Genoa

Attention: _____

2911 Dorr Road

Brighton, MI 48116

Phone: _____

Fax: _____

Email to _____

With a copy to the Township Attorney at the same address.

r. **Zoning Ordinance.**

All references in this Agreement to Zoning Ordinance or any Township ordinance and code shall be deemed to refer to the Township zoning ordinances and code in effect as of the Effective Date, subject to any deviation or waiver in respect thereof set forth in this Agreement, or any other provision hereof.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the day and year recited above.

CHARTER TOWNSHIP OF GENOA
a Michigan municipal corporation

By:

Its:

By:

Its:

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF)

The foregoing Agreement was acknowledged before me by _____, the duly
elected _____, and _____ the duly elected
_____ of the Charter Township of Genoa, on the ____ day of _____,
20__.

_____, Notary Public
_____ County, Michigan
My Commission Expires: _____
Acting in _____ County

PULTE HOMES OF MICHIGAN LLC, a Michigan
limited liability company

By: Joe Skore
Its: Vice President of Land Acquisition

ACKNOWLEDGEMENT

STATE OF)
) ss
COUNTY OF)

The foregoing Agreement was acknowledged before me by Joe Skore, the Vice President of
Land Acquisition of Pulte Homes of Michigan LLC, a Michigan limited liability company on the
____ day of _____, 20__.

_____, Notary Public
_____ County, Michigan
My Commission expires: _____
Acting in _____ County

Table of Exhibits

- Exhibit A:** Property Legal Description.
- Exhibit B:** Final Conceptual Development Plan for Legacy Hills.
- Exhibit C:** Conditions of Approval
- Exhibit D:** Schedule of Regulations and Modifications
- Exhibit E:** Planning Commission and Township Board Minutes.

Exhibit A

Legal Description

THE LAND IS DESCRIBED AS FOLLOWS: SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN

PARCEL 1

PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 863.80 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 1461.36 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE; THENCE NORTH 86 DEGREES 35 MINUTES 45 SECONDS EAST 1342.09 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 36 SECONDS WEST 1213.73 FEET; THENCE NORTH 89 DEGREES 08 MINUTES 40 SECONDS WEST 550.68 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF THE OLD RAILWAY RIGHT OF WAY, AS VACATED, AND TO A POINT ON A CURVE; THENCE SOUTHEASTERLY 299.50 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 10 DEGREES 10 MINUTES 30 SECONDS, A RADIUS OF 1686.52 FEET AND A LONG CHORD BEARING SOUTH 48 DEGREES 02 MINUTES 55 SECONDS EAST 299.11 FEET TO THE P.T. OF THE CURVE; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST 1393.08 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE TO THE SECTION LINE AND CENTERLINE OF CHALLIS ROAD; THENCE NORTH 89 DEGREES 23 MINUTES 35 SECONDS WEST 663.70 FEET ALONG SAID SECTION LINE AND CENTERLINE OF CHALLIS ROAD TO THE NORTHERLY RIGHT OF WAY LINE OF THE EXISTING C & O RAILWAY; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 104.89 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 608.48 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 01 MINUTES 45 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 27 MINUTES 37 SECONDS WEST 608.41 FEET TO A POINT ON THE CURVE; THENCE NORTH 32 DEGREES 01 MINUTES 30 SECONDS EAST 50.00 FEET TO A POINT ON A CURVE; THENCE NORTHWESTERLY 201.75 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01 DEGREES 00 MINUTES 00 SECONDS, A RADIUS OF 11,559.20 FEET AND A LONG CHORD BEARING NORTH 58 DEGREES 28 MINUTES 30 SECONDS WEST 201.74 FEET TO THE P.T. OF THE CURVE; THENCE NORTH 58 DEGREES 58 MINUTES 30 SECONDS WEST 645.66 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE OF THE EXISTING C & O RAILWAY TO THE POINT OF BEGINNING. EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL: PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 863.80 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE WEST SECTION LINE; THENCE SOUTH 58 DEGREES 58 MINUTES 30 SECONDS EAST 645.66 FEET TO THE POINT OF BEGINNING; THENCE NORTH 44 DEGREES 02 MINUTES 15 SECONDS EAST 651.25 FEET; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST 1393.08 FEET; THENCE NORTH 89 DEGREES 23 MINUTES 35 SECONDS WEST 663.70 FEET ALONG THE SECTION LINE; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 104.89 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 608.48 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 01 MINUTES 45 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 27 MINUTES 37 SECONDS WEST 608.41 FEET TO A POINT ON THE CURVE; THENCE NORTH 32 DEGREES 01 MINUTES 30 SECONDS EAST 50.00 FEET TO A POINT ON A CURVE; THENCE NORTHWESTERLY 201.75 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01 DEGREES 00 MINUTES 00 SECONDS, A RADIUS OF 11,559.20 FEET AND A LONG CHORD BEARING NORTH 58 DEGREES 28 MINUTES 30 SECONDS WEST 201.74 FEET TO THE P.T. OF A CURVE AND THE POINT OF BEGINNING.

PARCEL 2

PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH AND SOUTH 1/4 LINE, SAID POINT BEING NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 1376.04 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE SOUTH 67 DEGREES 59 MINUTES 40 SECONDS WEST 351.56 FEET; THENCE SOUTH 29 DEGREES 59 MINUTES 40 SECONDS WEST 312.00 FEET; THENCE NORTH 88 DEGREES 15 MINUTES 38 SECONDS WEST 118.40 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 25 SECONDS WEST 158.00 FEET; THENCE NORTH 46 DEGREES 37 MINUTES 35 SECONDS WEST 150.00 FEET; THENCE SOUTH 68 DEGREES 32 MINUTES 25 SECONDS WEST 555.00 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 25 SECONDS EAST 1933.58 FEET; THENCE SOUTH 89 DEGREES 37 MINUTES 35 SECONDS EAST 1331.64 FEET ALONG THE EAST AND WEST 1/4 LINE TO THE CENTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 03 MINUTES 25 SECONDS EAST 1311.69 FEET ALONG THE NORTH AND SOUTH 1/4 LINE TO THE POINT OF BEGINNING.

PARCEL 3

PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 781.00 FEET ALONG THE SECTION LINE TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 58 MINUTES 05 SECONDS WEST 918.05 FEET; THENCE NORTH 52 DEGREES 50 MINUTES 20 SECONDS WEST 815.00 FEET; THENCE SOUTH 67 DEGREES 59 MINUTES 40 SECONDS WEST 126.44 FEET TO THE NORTH AND SOUTH 1/4 LINE; THENCE ALONG SAID NORTH AND SOUTH 1/4 LINE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 1311.69 FEET TO THE CENTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 00 MINUTES 15 SECONDS EAST 47.54 FEET ALONG THE EAST AND WEST 1/4 LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE SOUTH 48 DEGREES 42 MINUTES 30 SECONDS EAST 823.14 FEET ALONG SAID RIGHT OF WAY LINE; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE 741.63 FEET ON A CURVE TO THE LEFT HAVING A RADIUS OF 11,509.16 FEET AND A CHORD BEARING SOUTH 50 DEGREES 33 MINUTES 16 SECONDS EAST 741.50 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 47 SECONDS WEST 1653.80 FEET TO THE SOUTH LINE OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 01 MINUTES 54 SECONDS WEST 454.95 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

PARCEL 4

PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF CHALLIS ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1235.95 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 309.65 FEET ALONG THE SECTION LINE; THENCE NORTH 00 DEGREES 15 MINUTES 11 SECONDS EAST 1414.45 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTHWESTERLY 392.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01 DEGREES 57 MINUTES 14 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 53 DEGREES 22 MINUTES 38 SECONDS WEST 392.46 FEET;

THENCE SOUTH 00 DEGREES 01 MINUTES 47 SECONDS WEST 1653.80 FEET TO THE SOUTH SECTION LINE AND THE POINT OF BEGINNING.

PARCEL 5

PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF CHALLIS ROAD AND THE SECTION, SAID POINT BEING NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1545.60 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1110.30 FEET ALONG THE SECTION LINE TO THE SOUTHEAST CORNER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 630.24 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTH 58 DEGREES 58 MINUTES 30 SECONDS WEST 412.63 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 881.35 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 04 DEGREES 22 MINUTES 07 SECONDS, A RADIUS OF 11,559.16 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 47 MINUTES 27 SECONDS WEST 881.08 FEET TO THE P.T. OF THE CURVE; THENCE NORTH 89 DEGREES 01 MINUTES 15 SECONDS EAST 84.65 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 118.83 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00 DEGREES 35 MINUTES 30 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 54 DEGREES 39 MINUTES 00 SECONDS WEST 118.83 FEET; THENCE SOUTH 00 DEGREES 15 MINUTES 11 SECONDS WEST 1414.45 FEET TO THE SOUTH SECTION LINE AND THE POINT OF BEGINNING.

EASEMENT PARCEL

TOGETHER WITH THE RIGHTS AND EASEMENTS AS CREATED, LIMITED AND DEFINED IN ACCESS AND UTILITY EASEMENT AGREEMENT RECORDED IN LIBER 4330, PAGE 940, LIVINGSTON COUNTY RECORDS.

Exhibit B

Final Conceptual Development Plan for Legacy Hills

[Following]

Exhibit C

Conditions for Approval

Exhibit D

Planning Commission and Township Board Minutes

EXHIBIT E

Final Conceptual Development Plan for Legacy Hills

ENVIRONMENTAL IMPACT ASSESSMENT

LEGACY HILLS - PULTE HOMES OF MICHIGAN LLC

September 27, 2024 (Rev:09-27-24, 03-05-25)

Mr. Steve Allen
Director of Design Services
The Umlor Group
49287 West Road
Wixom MI, 48393

PROPERTY IDENTIFICATION: Pulte Homes intends to develop the combined properties located on the north side of Challis Road between Dorr Road and Bauer Road in Section 23. The proposed development includes four tax parcels 4711-23-300-003, 4711-23-400-001, 4711-23-400-007 & 4711-23-400-008. The property is currently zoned AG.



LEGACY HILLS OVERLL PROPERTY - GENOA TOWNSHIP – NO SCALE

DESCRIPTION OF PROJECT SITE: The combined property measures **127.57 gross acres**. The site is hilly and partially wooded separating potentially developable upland area at the westerly reaches of the property from the rest of the development. The property is bounded by a Railroad R/W to the North, Bauer Road to the East, Challis Road and an existing subdivision to the South, and residential parcels to the West. There are no defined water features, and the wetland is hydraulically connected to adjacent wetland as part of a larger system. There are no known sources of contamination and ruins of a former living structure was witnessed in the Southeast corner of the property.

IMPACT ON NATURAL FEATURES: The pre-development site is hilly and partially wooded with 32.25 acres of wetlands interspersed throughout the property. All wetlands except for approximately 2000 sf impacted for road construction will be preserved. Of the 127.57 gross acres 74.14 acres is proposed to remain as open Space as shown below in green, blue and yellow (see site plan for details). The Proposed Cluster PUD option allows for 58% of the property to remain as open space including over 26 acres of upland (see site plan). The preservation of vast, contiguous open space is a benefit to not only the future residents of Legacy Hills, but also the Township at large. Open space viewsheds, wildlife habitat, and the preserved natural environment benefit all Township residents. This is the principal benefit of the Cluster Residential PUD.



LEGACY HILLS CLUSTER PUD PLAN - GENOA TOWNSHIP – NO SCALE

IMPACT ON WETLANDS: The proposed road serving Units 13 thru 16 will cause approximately 0.04 ac of the 0.74 ac wetland to be filled for road construction. A permit from EGLE will be obtained for the fill and the amount filled will be mitigated.

All development storm water that will discharge to the wetlands will be filtered of sediment and impurities by sediment basins or mechanical treatment units prior to discharge. The stormwater discharge rate will be maintained at the historic agricultural rate to minimize downstream erosion and large flow fluctuations during storm events. All required EGLE wetland storm water discharge or fill permits will be obtained.

IMPACT ON STORM WATER MANAGEMENT: The pre-development site primarily drains to the Northwest into the existing wetland. We propose collecting runoff into a stormwater collection system and store in a sediment/detention basin prior to restricted releases into the existing wetland. Sediment and impurities will be removed from the storm water using one or more of the following measures: sediment basins, storm water treatment chambers, infiltration, or other acceptable BMP per the Livingston County Drain Commission and Genoa Township Engineering Standards.

IMPACT ON SURROUNDING LAND USES: The Township envisions this property to be Low Density Residential, in harmony with the existing surrounding land uses through its Master Plan. In keeping with the Master Plan we are proposing a Cluster PUD that results in overall approximately 0.5 Units/acre. The proposed low density will preserve the rural residential nature of this area of the township. A parallel plan has been provided to demonstrate that the cluster plan does not constitute an increase in density.

IMPACT ON PUBLIC FACILITIES AND SERVICES: We have received input from the Fire Marshall on the type of fire suppression and access that will be required. An emergency access drive is shown, and fire suppression hydrants and/or drywells will be included in the final plans. We have received site distance approvals for both entrances from Livingston County Road Commission. In keeping with the Township Master Plan we do not foresee any adverse impact on city services

IMPACT ON PUBLIC UTILITIES: Public Water and Sanitary Sewer are not available to these properties. Potable Water and Wastewater services will be supplied via on-site septic systems and individual wells installed to Livingston County Health Department standards for the anticipated 55 Units. Therefore, there will be no impact on city sewers and water capacity. We conducted more than 120 test holes and have received preliminary approval from LCHD on-site septic systems. A Hydrogeologic study has been conducted including test wells by MacDowell and Associates and there was adequate quantity and quality of water for individual potable water wells. Also, MacDowell found adequate flow for fire suppression wells.

STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS: There are no known hazardous materials.

IMPACT ON TRAFFIC AND PEDISTRIANS: A Low-Density Residential Development by its nature should not have any adverse impact on traffic and pedestrians in a rural setting. After a conceptual review by the traffic engineer it would appear that we do not meet the threshold for a traffic study. However, a traffic study according to Section 18.07.09 has been prepared, submitted, reviewed, and found to be satisfactory

by the Townships consultants. The LCRC has reviewed our entrances for site distance and traffic safety issues and approved our locations.

Attached:

LCHD Preliminary Septic Approval

LCHD Preliminary Well Approval

LCRC Site Distance Approvals

The Umlor Group

Stephen C. Allen - Design Services Director



LIVINGSTON COUNTY HEALTH DEPARTMENT

2300 East Grand River Avenue, Suite 102
Howell, Michigan 48843-7578

www.lchd.org

PERSONAL/PREVENTIVE HEALTH SERVICES

P: (517) 546-9850

F: (517) 546-6995

ENVIRONMENTAL HEALTH SERVICES

P: (517) 546-9858

F: (517) 546-9853

Brian B. Biskner
The Umlor Group
Land Development Services
49287 West Road
Wixom, MI 48393

Mr. Biskner,

On March 20th, 21st, 25th and April 3rd 2024 soil evaluations were conducted on the property identified as parcel #'s 11-23-400-001, 11-23-400-007, & 11-23-400-008. The purpose of these soil evaluations was to identify suitable soils for the installation of onsite sewage disposal systems for a proposed site condo development identified as Legacy Hills. Approximately 140 soil borings were conducted with yourself, representative from Pulte Homes and myself present to witness. The majority on these soil borings, identified suitable soils for the placement of onsite sewage disposal systems. With that being said, further information is needed in order to approve this development.

Sincerely,

Aaron Aumock
Environmental Health Supervisor

Brian Biskner

From: Aaron Aumock <AAumock@livgov.com>
Sent: Thursday, June 27, 2024 10:04 AM
To: Brian Biskner
Subject: RE: 24-16485 Hydrogeological Study - Legacy Hills Development

Hi Brian,

The water supply evaluation report for proposed site condo development referred to as Legacy Hills satisfies the general guidelines used by the Livingston County Health Department to evaluate drinking water sources for proposed residential land divisions.

If you have any questions, please feel free to contact me.

Sincerely,

Aaron Aumock, REHS, PEM
Environmental Health Supervisor
Livingston County Health Department
2300 E. Grand River, Suite 102
Howell, MI 48843-7578
P: 517.552.6873
F: 517.546.9853
aaumock@livgov.com

LIVINGSTON COUNTY 
Health Department



From: Brian Biskner <Bbiskner@umlorgroup.com>
Sent: Monday, June 10, 2024 4:47 PM
To: Aaron Aumock <AAumock@livgov.com>
Subject: [EXT] FW: 24-16485 Hydrogeological Study - Legacy Hills Development

"The e-mail below is from an external source. Please do not open attachments or click links from an unknown or suspicious origin."

Hi Aaron,

Please find the Hydro-Geo for Legacy Hills. It appears to be satisfactory.

Can you issue a statement similar to the soils statement?

Brian



LIVINGSTON COUNTY ROAD COMMISSION LAND SPLIT / SIGHT DISTANCE REVIEW

****NOTE: THIS IS NOT A
DRIVEWAY PERMIT****

Review Number 2405-008

Property Owner and Applicant Information

Owner: **ASA GENOA**
Street Address: **31550 NORTHWESTERN HWY SUITE 22**
City, State, ZIP: **FARMINGTON HILLS, MI 48334**
Day Phone:

Applicant:
Company: **PULTE HOMES**
Address: **2800 LIVERNOIS ROAD, BLDG. D, SUITE 320**
City,State: **TROY MI, 48083**
Applicant Phone: **(248) 820-7306**

Recommended for Approval:

Yes

Date of Review:
6/6/2024

Inspector:
Kim Hiller

Location

Township: **Genoa** Section **23** Roadway On: **Old Challis** Side of Street: **North**
 Approach Type: **Private Road** Development: **Legacy Hills**
 Speed Limit (if posted): **45** Speed Factors (if any): **Cul-de-sac west of the approach, 3-way intersection to the east of the approach**

Comments:

An emergency access approach could be located at 380 feet west of the Old Challis and Bauer Road intersection. See the Permit Procedures guide book for further information.

Inspector:

Field Measurements: Location of existing property corners from nearest crossroad: and feet West of Bauer

Parcel	Prop/Emnt Corners	Access Point(s)	Sight Distance Req. Std Min	Sight Distance Measured	S.D. Comply	CVA Comply	Neighbor Consent	Approve
Emergency Access Only		380	500	120 West 380 East	Yes	Yes	No	Yes

**** This review is based on the survey/sketch provided to us at the time of application or during the review process. Any changes to property lines or driveway locations after the date of this review will void the review and may prevent approval or permits for any future driveway approaches.**

MEMO

VIA EMAIL Joe.Skore@PulteGroup.com

To: Pulte Group

From: Julie M. Kroll, PE, PTOE
Fleis & VandenBrink

Date: December 17, 2024

Re: Legacy Hills Development
Genoa Township, Michigan
Traffic Impact Assessment - Addendum

This memorandum is an addendum to the Legacy Hills Traffic Impact Assessment (TIA) prepared by Fleis & VandenBrink (F&V) dated October 30, 2024. This addendum addresses questions from the Township raised at the Planning Commission meeting held on December 4, 2024. The additional items included in this addendum are summarized below:

Township Comment 1: Determine if impact of the trips generated by the proposed multi-family residential development at Dorr Road & Grand River Avenue are included in the TIA. Identify any changes to the results of recommendation with this additional traffic volume.

The Livingston County Road Commission (LCRC) provided an annual background growth rate of 1.5% to utilize in projecting background traffic growth through the study area. This background growth provides an implicate background growth for area developments. The additional background traffic considered for this evaluation is summarized in **Table 1**. Additionally, the Township provided F&V with a copy of the traffic study prepared for the proposed multi-family development at the Dorr Road & Grand River Avenue intersection.

The projected trips generated by the proposed development at the proposed site driveway were compared to the implicit background growth included in the TIA. The comparison is summarized in **Table 1** and shows that the impact of this development was considered in the TIA provided and no further analysis is necessary to consider the potential impacts from the proposed development at Dorr Road & Grand River Ave.

Table 1: Traffic Volume Summary

	Challis Road Daily Two-Way (vpd)	Eastbound Challis Road		Westbound Challis Road	
		AM Peak (vph)	PM Peak (vph)	AM Peak (vph)	PM Peak (vph)
Existing (2024)	4,038	254	120	104	329
Background (2027)	4,222	266	125	109	344
Background Growth	184	12	5	5	15
Dorr Road & Grand River Development	195	13	7	3	9
Difference	11	1	2	-2	-6

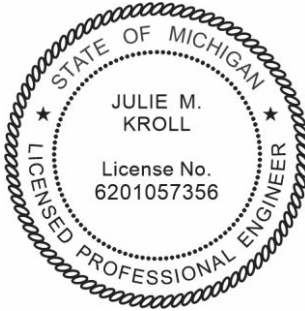
Township Comment 2: The TIA prepared for this project references a Legacy Hills Development with 129 Units (Page 2). Provide clarification on this reference and use in the evaluation.

- The Legacy Hills TIA evaluated the proposed site plan that includes 58 single family units.
- The TIA refers to a previous Legacy Hills concept plan that included 129 units which was utilized by the LCRC as part of the roundabout design.
- This was noted in the TIA only to clarify that the roundabout was designed to consider the traffic impacts of the Legacy Hills site.

SUMMARY

- The projected trips generated by the Dorr Road & Grand River potential development were considered at the site driveway through the evaluation of the implicit background growth. No further analysis is necessary to consider the potential impacts from the proposed development.
- The Legacy Hills TIA evaluated the proposed site plan that includes 58 single family units. The TIA refers to a previous Legacy Hills concept plan that included 129 units which was utilized by the LCRC as part of the roundabout design.

Any questions related to this memorandum, study, analysis, and results should be addressed to Fleis & VandenBrink.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

A handwritten signature in blue ink that reads "Julie M. Kroll".

Julie M. Kroll

2024.12.17 14:59:01

-05'00'

MEMO

VIA EMAIL Joe.Skore@PulteGroup.com

To: Pulte Group

From: Jacob Swanson, PE, PTOE
Paul Bonner, EIT
Fleis & VandenBrink

Date: October 30, 2024

Re: Proposed Residential Development
Genoa Township, Michigan
Traffic Impact Assessment

1 INTRODUCTION

This memorandum presents the results of the Traffic Impact Assessment (TIA) for the proposed residential development in Genoa Township, Michigan. The project site is located generally in the northwest quadrant of the Challis Road & Bauer Road intersection, as shown in the attached **Figure 1**. The proposed development includes the construction of single-family detached housing units, located on property that is currently vacant. Site access to the project site is proposed via one (1) full access driveway on Challis Road, which is under the jurisdiction of the Livingston County Road Commission (LCRC). F&V completed this TIA in accordance with the requirements outlined in the Genoa Township Zoning Ordinance Section 18.07.09 and pursuant to Genoa Township requirements as part of the Residential Planned Unit Development (RPUD) review process.

The scope of work for this study was developed based on Fleis & VandenBrink's (F&V) understanding of the development program, requirements of Genoa Township and LCRC, accepted traffic engineering practices, and methodologies published by the Institute of Transportation Engineers (ITE). Sources of data for this study include F&V subconsultant Quality Counts, LLC (QC), the Michigan Department of Transportation (MDOT), the Southeast Michigan Council of Governments (SEMCOG), LCRC, and ITE.

2 BACKGROUND DATA

2.1 EXISTING ROADWAY NETWORK

Vehicle transportation for the project site is provided via Challis Road. The proposed lane use and traffic control at the site driveway intersection to Challis Road is shown in the attached **Figure 2**. Additional roadway information for Challis Road, within the vicinity of the proposed development, is summarized below in **Table 1**.

Table 1: Roadway Information

Roadway Segment	Challis Road
Number of Lanes	2 (One-lane each direction)
Functional Classification	Major Collector
Roadway Jurisdiction	LCRC
Speed Limit	45-mph
Traffic Volumes (2024 ADT)	4,038 vpd

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Farmington Hills, MI 48334
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www.fveng.com

Additionally, LCRC recently completed the construction of the roundabout at the intersection of Challis Road & Bauer Road, to the east of the project site. LCRC provided information regarding their design criteria for this roundabout, which was designed with the following traffic volume parameters:

- 20-year Design Year
- 1.5% Annual Growth Rate
- Background Development – Legacy Hills (129-unit concept plan)

Therefore, the roundabout design explicitly considered the impacts of this development plan, with a higher projected volume than what is currently being proposed. Additionally, it considered a significant implicit background growth, over a period of 20 years. The resulting analysis from LCRC indicates that the roundabout intersection would operate acceptably, at LOS B or better, during both peak periods; Rodel results are provided for reference. Therefore, since LCRC considered the Legacy Hills development as part of the design criteria, the impact of the development will be accommodated within the existing design.

2.2 DATA COLLECTION

F&V subconsultant QC collected existing 24-hour traffic volume data on Tuesday, October 15, 2024, along Challis Road, in the vicinity of the proposed site driveway location. The existing peak hour traffic volumes are shown in the attached **Figure 3**. The weekday AM and PM peak hours along Challis Road were identified to occur between 8:15 AM to 9:15 AM and 3:45 PM to 4:45 PM, respectively.

It was noted that when the data collection was performed, the Dorr Road bridge, west of the project site, was closed for construction. Therefore, the collected traffic volume counts were compared to historic traffic volumes performed in the vicinity of the project site, in order to determine if the existing traffic volume data should be adjusted to consider an impact resulting from the closure of the bridge. The historical traffic volume data included daily traffic volumes collected in 2023, and hourly traffic volumes provided by the LCRC for the nearby roundabout intersection of Challis Road & Bauer Road.

The comparison of the collected 2024 traffic volumes and historical traffic volumes showed negligible difference between the two data sets. Therefore, no adjustments were made to the traffic volume data collected for use in the analysis. The existing and historical traffic volume data are attached.

3 BACKGROUND CONDITIONS (2027)

A growth rate of **1.5%** was provided by LCRC, in order to project the existing 2024 peak hour traffic volumes to the site buildout year of 2027. In addition to the background traffic growth, it is important to account for traffic that will be generated by developments within the vicinity of the study area that are currently under construction or will be constructed prior to the site buildout year. At the time of this study, no background developments were identified by Genoa Township or LCRC within the vicinity of the project site.

Therefore, a conservative annual background growth rate of **1.5%** per year was applied to the existing 2024 peak hour traffic volumes, in order to forecast the background 2027 peak hour traffic volumes **without the proposed development**, as shown in the attached **Figure 3**.

4 SITE TRIP GENERATION

The number of weekday peak hour (AM and PM) and daily vehicle trips that would be generated by the proposed development were forecasted based on data published by ITE in the *Trip Generation Manual, 11th Edition*. The proposed development includes the construction of single-family detached housing units, located on property that is currently vacant. The site trip generation projections for the proposed development are summarized in **Table 2**.

Table 2: Site Trip Generation

Land Use	ITE Code	Amount	Units	Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
					In	Out	Total	In	Out	Total
Single-Family Detached	210	58	DU	611	11	34	45	38	22	60

5 SITE TRIP DISTRIBUTION

The vehicular trips that would be generated by the proposed development were assigned to the study roadway network based on the proposed site access plan and driveway configuration, existing peak hour traffic patterns in the adjacent roadway network, and methodologies published by ITE. The adjacent street traffic volumes were used to develop the trip distribution.

In order to determine the projected residential distribution, it was assumed that the existing adjacent street traffic volumes in the morning (AM) are home-to-work based trips, and in the evening (PM) are work-to-home based trips. Therefore, the trip distribution assumes vehicles are leaving the proposed development and exiting the study network during the AM peak hour, then re-entering the network and returning to the proposed development during the PM peak hour. The ITE trip distribution methodology assumes that new trips will return to their direction of origin. The site trip distributions used in the analysis are summarized in **Table 3**. Additionally, LCRC reviewed and approved the trip distribution assumptions used in this analysis.

Table 3: Site Trip Distribution

To/From	Via	AM	PM
East	Challis Road	71%	73%
West	Challis Road	29%	27%
Total		100%	100%

The vehicular traffic volumes shown in **Table 2** were distributed according to the study roadway network based on the distribution shown in **Table 3**. The site-generated peak hour traffic volumes shown in the attached **Figure 3** were added to the background peak hour traffic volumes shown in the attached **Figure 3**, in order to calculate the future peak hour traffic volumes, **with the addition of the proposed development**. Future peak hour traffic volumes are shown in the attached **Figure 3**.

6 FUTURE CONDITIONS (2027)

Future peak hour vehicle delays and Levels of Service (LOS), **with the proposed development**, were calculated at the proposed site driveway intersection on Challis Road using Synchro/SimTraffic (Version 12) traffic analysis software. This analysis was based on the proposed lane use and traffic control shown in the attached **Figure 2**, the future peak hour traffic volumes shown in the attached **Figure 3**, and methodologies presented in the *Highway Capacity Manual, 7th Edition* (HCM7).

Descriptions of LOS "A" through "F" as defined in the HCM, are attached. Typically, LOS D is considered acceptable, with LOS A representing minimal delay, and LOS F indicating failing conditions. Additionally, SimTraffic network simulations were reviewed to evaluate network operations and vehicle queues. The results of the future conditions analysis are attached and summarized in **Table 4**.

Table 4: Future Intersection Operations

Intersection		Control	Approach	Future Conditions			
				AM Peak Hour		PM Peak Hour	
				Delay (s/veh)	LOS	Delay (s/veh)	LOS
1	Challis Road & Site Drive	Stop (Minor)	EBL	7.5	A	8.2	A
			WB	Free			
			SB	11.3	B	12.2	B

The results of the future conditions analysis indicates that all approaches and movements at the proposed site driveway intersection to Challis Road are expected to operate acceptably, at LOS B or better, during both the AM and PM peak hours.

Review of SimTraffic network simulations also indicate acceptable operations at the proposed site driveway intersection. Ingress and egress traffic traveling to/from the proposed development were observed to find adequate gaps within the through traffic along Challis Road, without experiencing significant delays or excessive vehicle queueing.

7 ACCESS MANAGEMENT

7.1 AUXILIARY LANE ANALYSIS

Site access is proposed via one (1) full access driveway on Challis Road, which is under the jurisdiction of the LCRC. The LCRC auxiliary left-turn lane warrant criteria was utilized to evaluate the proposed site driveway location on Challis Road. LCRC does not maintain auxiliary right-turn lane warranting criteria; therefore, the MDOT criteria was utilized in order to determine the need for an auxiliary right-turn treatments. The auxiliary turn lanes were evaluated based on the future peak hour traffic volumes shown in the attached **Figure 3**. The results of the analysis are shown on the attached charts and summarized in **Table 5**.

Table 5: Auxiliary Turn Lane Warrant Analysis Summary

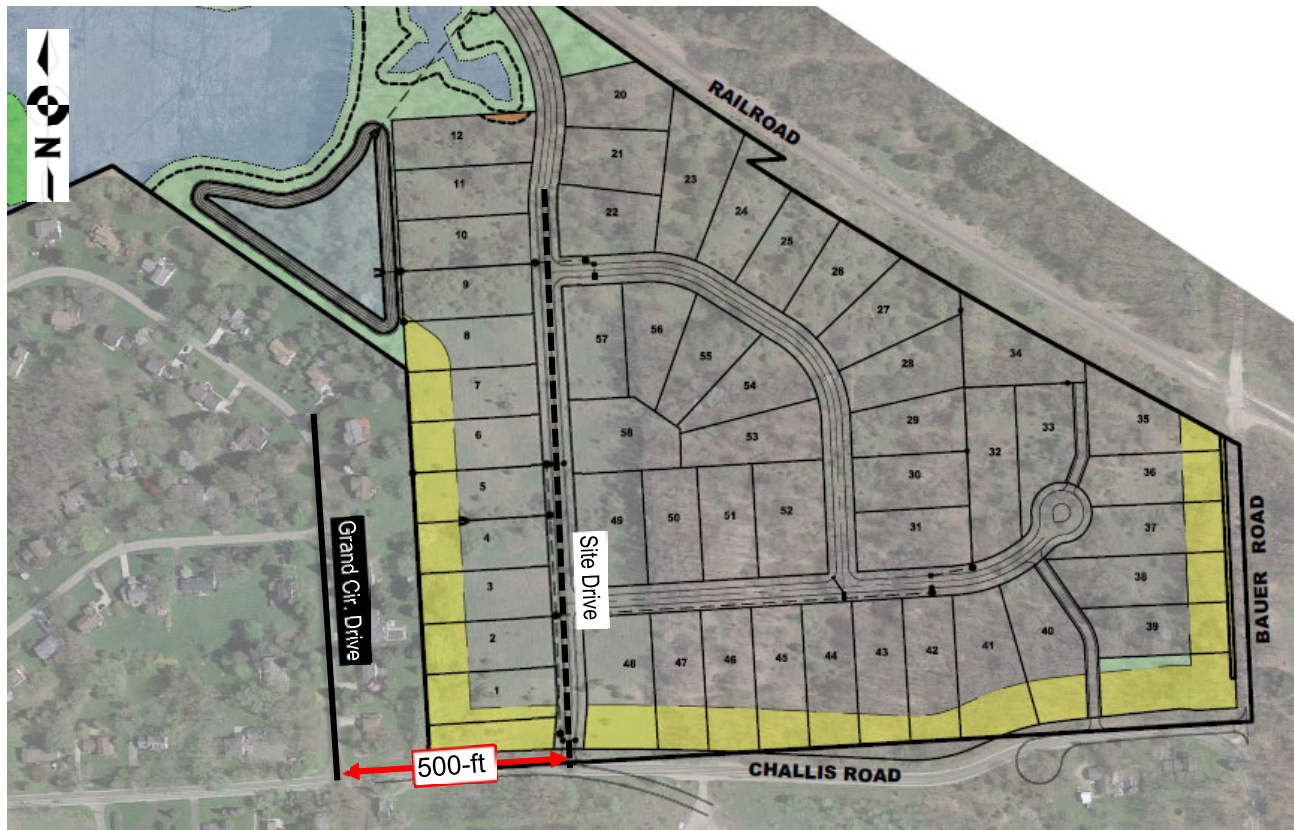
Intersection	Criteria	AM Peak Hour	PM Peak Hour	Recommendation
Challis Road & Site Drive	Left-Turn	No Treatment	No Treatment	No Treatment
	Right-Turn	No Treatment	No Treatment	No Treatment

- The results of the auxiliary turn lane evaluation indicates that left-turn lane and right-turn lane treatments are NOT warranted at the proposed site driveway on Challis Road.

7.2 DRIVEWAY SPACING EVALUATION

Site access to the proposed development will be provided via one (1) full access site driveway along Challis Road, located east of Grand Cir. Drive. The distance between the proposed site driveway to the adjacent driveways and intersections within the vicinity of the project site were identified and are shown in **Exhibit 1**.

Exhibit 1: Proposed Driveway Spacing



8 CONCLUSIONS

The conclusions of this TIA are as follows:

- The results of the future conditions analysis indicates that all approaches and movements at the proposed site driveway on Challis Road are expected to operate acceptably, at LOS B or better, during both the AM and PM peak hours.
- LCRC recently completed the construction of the roundabout at the intersection of Challis Road & Bauer Road, to the east of the project site. LCRC provided information regarding their design criteria for this roundabout, including: a 20-year Design forecast, 1.5% Annual Growth Rate, Background Development – Legacy Hills (129-unit concept plan).
 - The resulting LCRC analysis showed that the roundabout intersection would operate acceptably, at LOS B or better during both the AM and PM peak hours. Therefore, since LCRC considered the Legacy Hills development as part of the design criteria, the impact of the development will be accommodated within the existing design.
- The results of the auxiliary turn lane evaluation indicates that left-turn lane and right-turn lane treatments are NOT warranted at the proposed site driveway on Challis Road.

9 SUMMARY

- The proposed development is expected to have minimal impact on the adjacent roadway network and the existing infrastructure can adequately accommodate the projected trips generated by the proposed development plan.

Any questions related to this memorandum, study, analysis, and results should be addressed to Fleis & VandenBrink.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

Attachments: Figures 1-3
Conceptual Site Plan
Traffic Volume Data
LCRC Rodel Results
Synchro / SimTraffic Results
Auxiliary Turn Lane Warrants

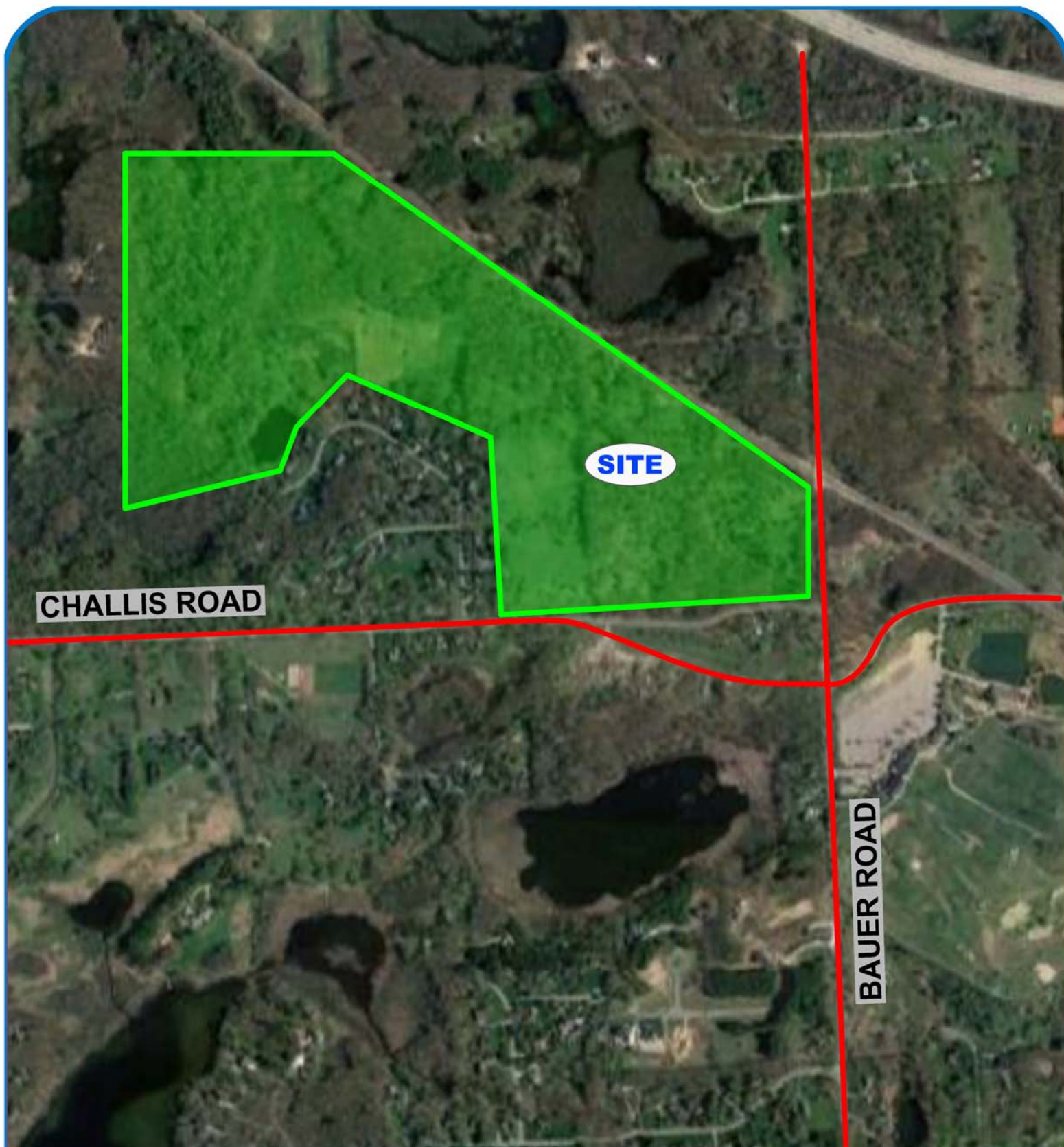


FIGURE 1

SITE LOCATION MAP

LEGACY HILLS TIA - GENOA TOWNSHIP, MI

LEGEND



SITE LOCATION



NORTH
SCALE: NOT TO SCALE

SITE

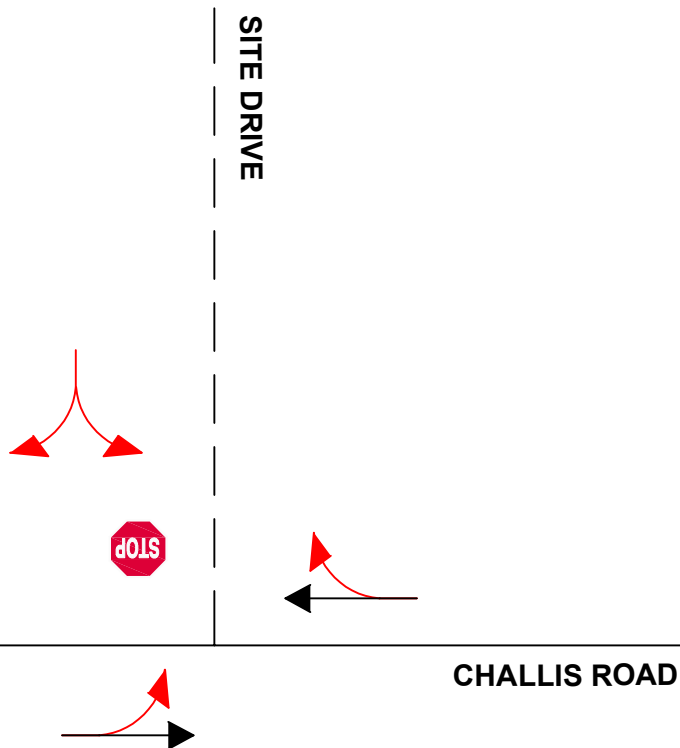


FIGURE 2 LANE USE AND TRAFFIC CONTROL

LEGACY HILLS TIA - GENOA TOWNSHIP, MI

LEGEND

—	ROADS	---	PROPOSED ROADS
	LANE USE		PROPOSED LANE USE
	UNSIGNALIZED INTERSECTION		

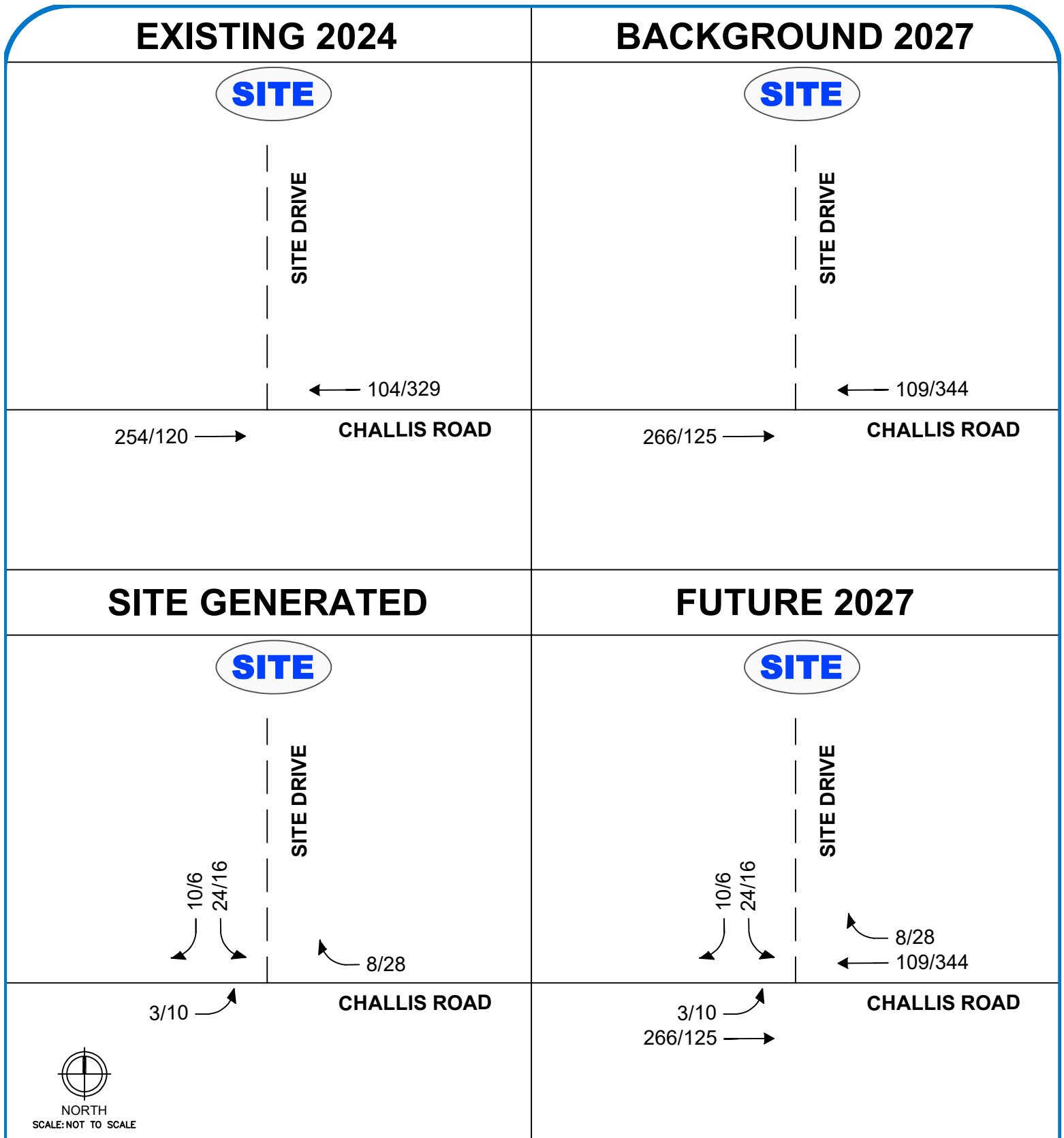
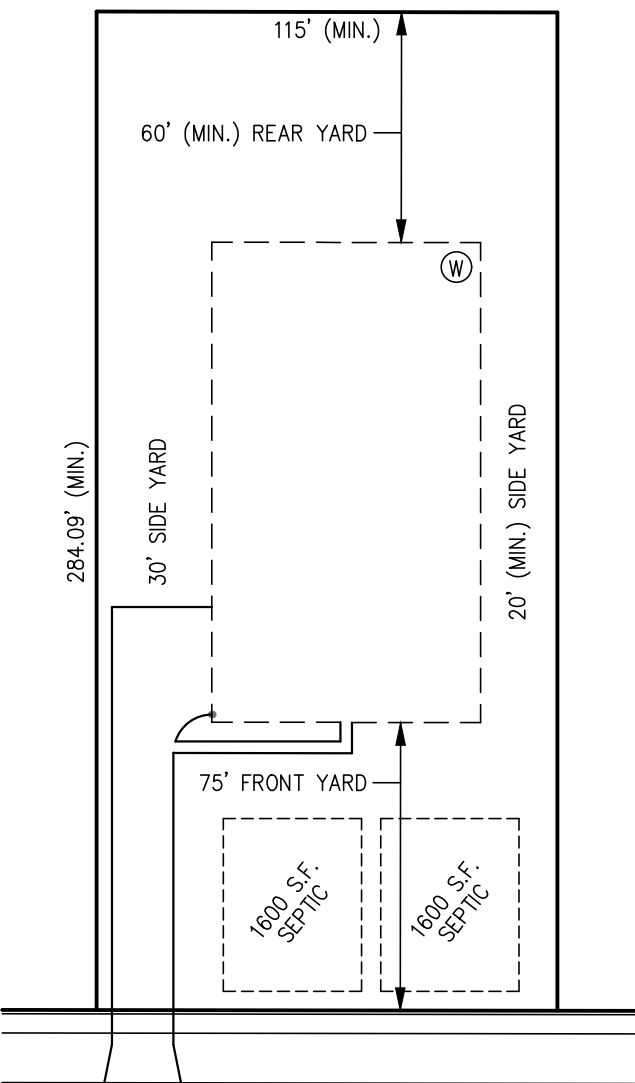
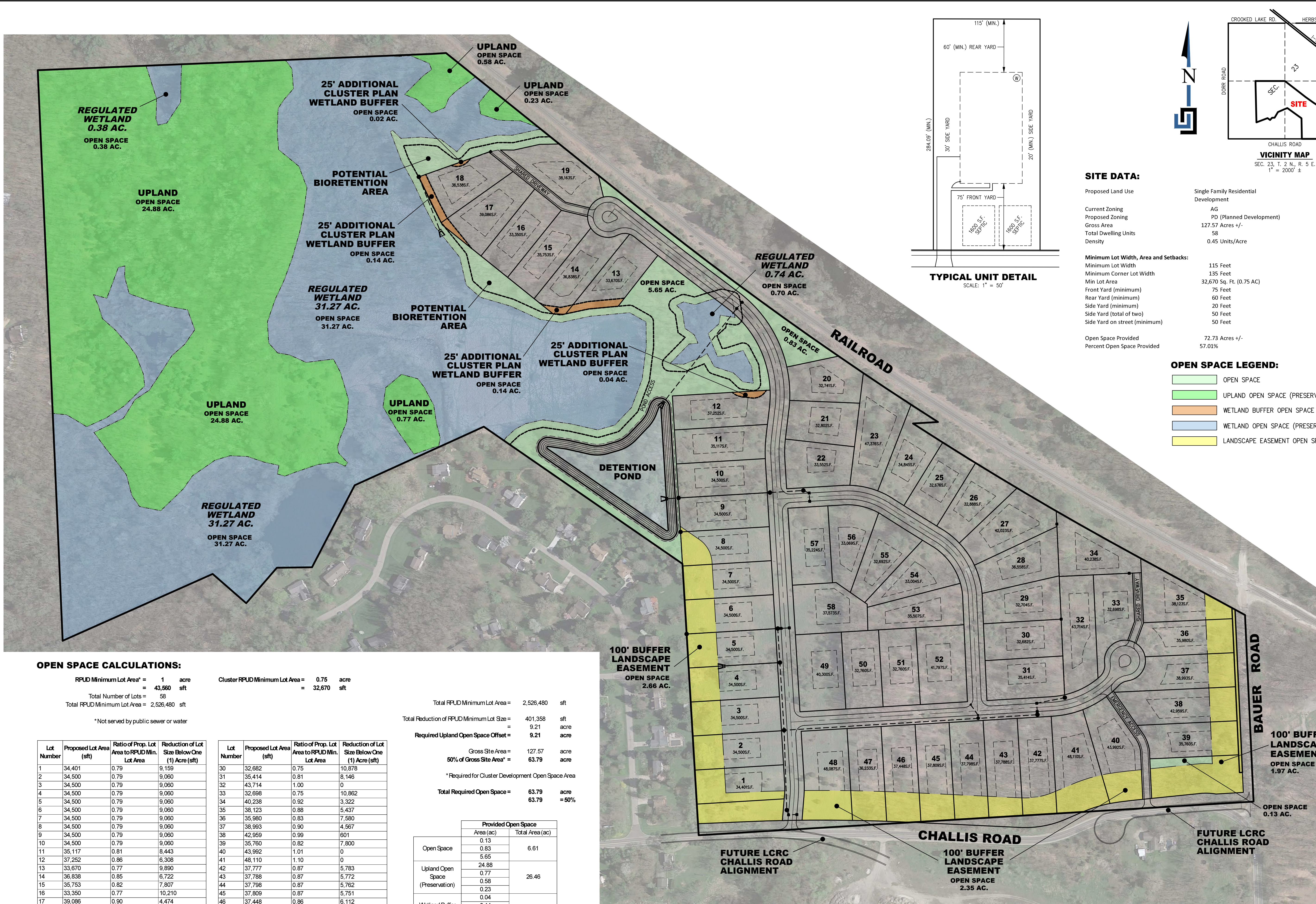


FIGURE 3
TRAFFIC VOLUMES

LEGACY HILLS TIA - GENOA TOWNSHIP, MI

LEGEND

- ROADS
- PROPOSED ROADS
- TRAFFIC VOLUMES (AM/PM)



SITE DATA:

Proposed Land Use	Single Family Residential Development
Current Zoning	AG
Proposed Zoning	PD (Planned Development)
Gross Area	127.57 Acres +/-
Total Dwelling Units	58
Density	0.45 Units/Acre
Minimum Lot Width, Area and Setbacks:	
Minimum Lot Width	115 Feet
Minimum Corner Lot Width	135 Feet
Min Lot Area	32,670 Sq. Ft. (0.75 AC)
Front Yard (minimum)	75 Feet
Rear Yard (minimum)	60 Feet
Side Yard (minimum)	20 Feet
Side Yard (total of two)	50 Feet
Side Yard on street (minimum)	50 Feet
Open Space Provided	72.73 Acres +/-
Percent Open Space Provided	57.01%

OPEN SPACE LEGEND:

- OPEN SPACE
- UPLAND OPEN SPACE (PRESERVATION)
- WETLAND BUFFER OPEN SPACE
- WETLAND OPEN SPACE (PRESERVATION)
- LANDSCAPE EASEMENT OPEN SPACE

OPEN SPACE CALCULATIONS:

RPUD Minimum Lot Area* =	1 acre	Cluster RPUD Minimum Lot Area =	0.75 acre
=	43,560 sft	=	32,670 sft
Total Number of Lots =	58		
Total RPUD Minimum Lot Area =	2,526,480 sft		

*Not served by public sewer or water

Lot Number	Proposed Lot Area (sft)	Ratio of Prop. Lot Area to RPUD Min. Lot Area	Reduction of Lot Size Below One (1) Acre (sft)
1	34,401	0.79	9,159
2	34,500	0.79	9,060
3	34,500	0.79	9,060
4	34,500	0.79	9,060
5	34,500	0.79	9,060
6	34,500	0.79	9,060
7	34,500	0.79	9,060
8	34,500	0.79	9,060
9	34,500	0.79	9,060
10	34,500	0.79	9,060
11	35,117	0.81	8,443
12	37,252	0.86	6,308
13	33,670	0.77	9,890
14	36,838	0.85	6,722
15	35,753	0.82	7,807
16	33,350	0.77	10,210
17	39,086	0.90	4,474
18	36,538	0.84	7,022
19	38,163	0.88	5,397
20	32,741	0.75	10,819
21	32,802	0.75	10,758
22	33,552	0.77	10,008
23	47,376	1.09	0
24	34,845	0.80	8,715
25	32,676	0.75	10,884
26	32,888	0.76	10,672
27	42,023	0.96	1,537
28	36,558	0.84	7,002
29	32,704	0.75	10,858

Lot Number	Proposed Lot Area (sft)	Ratio of Prop. Lot Area to RPUD Min. Lot Area	Reduction of Lot Size Below One (1) Acre (sft)
30	32,682	0.75	10,878
31	35,414	0.81	8,146
32	43,714	1.00	0
33	32,698	0.75	10,862
34	40,238	0.92	3,322
35	38,123	0.88	5,437
36	35,980	0.83	7,580
37	38,993	0.90	4,567
38	42,959	0.99	601
39	35,760	0.82	7,800
40	43,992	1.01	0
41	48,110	1.10	0
42	37,777	0.87	5,783
43	37,788	0.87	5,772
44	37,798	0.87	5,762
45	37,809	0.87	5,751
46	37,448	0.86	6,112
47	36,233	0.83	7,327
48	48,087	1.10	0
49	40,300	0.93	3,260
50	32,760	0.75	10,800
51	32,760	0.75	10,800
52	41,797	0.96	1,763
53	35,507	0.82	8,053
54	33,004	0.76	10,556
55	32,692	0.75	10,868
56	33,069	0.76	10,491
57	35,224	0.81	8,336
58	37,573	0.86	5,987

Total Proposed Lot Area = 2,125,122

Total RPUD Minimum Lot Area =	2,526,480	sft
Total Reduction of RPUD Minimum Lot Size =	401,358	sft
=	9.21	acre
Required Upland Open Space Offset =	9.21	acre
Gross Site Area =	127.57	acre
50% of Gross Site Area* =	63.79	acre

* Required for Cluster Development Open Space Area

Total Required Open Space =	63.79	acre
=	63.79	= 50%

	Provided Open Space	
	Area (ac)	Total Area (ac)
Open Space	0.13	6.61
	0.83	
	5.65	
	24.88	
	0.77	
Upland Open Space (Preservation)	0.58	26.46
	0.23	
	0.04	
	0.14	
	0.01	
Wetland Buffer Open Space	0.14	0.33
	0.14	
	0.01	
Wetland Open Space (Preservation)	31.27	32.35
	0.70	
	0.38	
Landscape Easement Open Space	2.66	6.98
	2.35	
	1.97	

Required Open Space =	63.79	acre
Provided Open Space =	72.73	acre

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

811

Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LAND DEVELOPMENT SERVICES

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SECTION 23

T. 2 N., R. 5 E.

GENOA TOWNSHIP

LIVINGSTON CO., MICHIGAN

DATE: 8/26/2024

REVISIONS

LEGACY HILLS

PULTE HOMES OF MICHIGAN

CLIENT:

2800 LIVERNOIS ROAD, BLDG. D, SUITE 320
TROY, MICHIGAN 48063

DR BY: SA/BB/MG

CK BY: SA/BB

P.M. MN

SCALE 0 75 150

JOB NO. 231213

SHEET NO. **3**

SHEET 3 OF 4

Type of report: Tube Count - Volume Data

LOCATION: Challis Rd East of Grand Cir Dr						QC JOB #: 16789101				
SPECIFIC LOCATION:						DIRECTION: EB				
CITY/STATE: Livingston, MI						DATE: Oct 15 2024 - Oct 15 2024				
Start Time	Mon 15 Oct 24	Tue 15 Oct 24	Wed	Thu	Fri	Average Weekday 15-min Traffic	Sat	Sun	Average Week 15-min Traffic	Average Week Profile
12:00 AM		1				1			1	
12:15 AM		0				0			0	
12:30 AM		0				0			0	
12:45 AM		0				0			0	
01:00 AM		0				0			0	
01:15 AM		1				1			1	
01:30 AM		0				0			0	
01:45 AM		1				1			1	
02:00 AM		0				0			0	
02:15 AM		0				0			0	
02:30 AM		0				0			0	
02:45 AM		0				0			0	
03:00 AM		0				0			0	
03:15 AM		1				1			1	
03:30 AM		0				0			0	
03:45 AM		1				1			1	
04:00 AM		0				0			0	
04:15 AM		0				0			0	
04:30 AM		1				1			1	
04:45 AM		5				5			5	
05:00 AM		5				5			5	
05:15 AM		5				5			5	
05:30 AM		6				6			6	
05:45 AM		13				13			13	
Day Total										
% Weekday Average										
% Week Average										
AM Peak 15-min Vol										
PM Peak 15-min Vol										
Comments:										

Report generated on 10/17/2024 2:05 PM











SOURCE: Quality Counts, LLC (<http://www.qualitycounts.net>)

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: EB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon 15 Oct 24	Tue 15 Oct 24	Wed	Thu	Fri	Average Weekday 15-min Traffic	Sat	Sun	Average Week 15-min Traffic	Average Week Profile
06:00 AM		16				16			16	<div></div>
06:15 AM		20				20			20	<div></div>
06:30 AM		25				25			25	<div></div>
06:45 AM		36				36			36	<div></div>
07:00 AM		64				64			64	<div></div>
07:15 AM		29				29			29	<div></div>
07:30 AM		29				29			29	<div></div>
07:45 AM		38				38			38	<div></div>
08:00 AM		38				38			38	<div></div>
08:15 AM		69				69			69	<div></div>
08:30 AM		65				65			65	<div></div>
08:45 AM		85				85			85	<div></div>
09:00 AM		35				35			35	<div></div>
09:15 AM		21				21			21	<div></div>
09:30 AM		22				22			22	<div></div>
09:45 AM		19				19			19	<div></div>
10:00 AM		26				26			26	<div></div>
10:15 AM		23				23			23	<div></div>
10:30 AM		27				27			27	<div></div>
10:45 AM		32				32			32	<div></div>
11:00 AM		31				31			31	<div></div>
11:15 AM		29				29			29	<div></div>
11:30 AM		23				23			23	<div></div>
11:45 AM		22				22			22	<div></div>
Day Total										
% Weekday Average										
% Week Average										
AM Peak 15-min Vol										
PM Peak 15-min Vol										
Comments:										

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: EB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon	Tue	Wed	Thu	Fri	Average Weekday	Sat	Sun	Average Week	Average Week Profile
		15 Oct 24				15-min Traffic			15-min Traffic	
12:00 PM		31				31			31	<div></div>
12:15 PM		26				26			26	<div></div>
12:30 PM		28				28			28	<div></div>
12:45 PM		28				28			28	<div></div>
01:00 PM		30				30			30	<div></div>
01:15 PM		32				32			32	<div></div>
01:30 PM		31				31			31	<div></div>
01:45 PM		30				30			30	<div></div>
02:00 PM		33				33			33	<div></div>
02:15 PM		37				37			37	<div></div>
02:30 PM		26				26			26	<div></div>
02:45 PM		39				39			39	<div></div>
03:00 PM		33				33			33	<div></div>
03:15 PM		26				26			26	<div></div>
03:30 PM		33				33			33	<div></div>
03:45 PM		31				31			31	<div></div>
04:00 PM		34				34			34	<div></div>
04:15 PM		28				28			28	<div></div>
04:30 PM		27				27			27	<div></div>
04:45 PM		15				15			15	<div></div>
05:00 PM		32				32			32	<div></div>
05:15 PM		33				33			33	<div></div>
05:30 PM		30				30			30	<div></div>
05:45 PM		28				28			28	<div></div>
Day Total										
% Weekday Average										
% Week Average										
AM Peak 15-min Vol										
PM Peak 15-min Vol										
Comments:										

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: EB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon 15 Oct 24	Tue 15 Oct 24	Wed	Thu	Fri	Average Weekday 15-min Traffic	Sat	Sun	Average Week 15-min Traffic	Average Week Profile
06:00 PM		26				26			26	<div></div>
06:15 PM		26				26			26	<div></div>
06:30 PM		23				23			23	<div></div>
06:45 PM		11				11			11	<div></div>
07:00 PM		18				18			18	<div></div>
07:15 PM		11				11			11	<div></div>
07:30 PM		22				22			22	<div></div>
07:45 PM		29				29			29	<div></div>
08:00 PM		18				18			18	<div></div>
08:15 PM		6				6			6	<div></div>
08:30 PM		12				12			12	<div></div>
08:45 PM		7				7			7	<div></div>
09:00 PM		3				3			3	<div></div>
09:15 PM		5				5			5	<div></div>
09:30 PM		3				3			3	<div></div>
09:45 PM		4				4			4	<div></div>
10:00 PM		5				5			5	<div></div>
10:15 PM		3				3			3	<div></div>
10:30 PM		4				4			4	<div></div>
10:45 PM		4				4			4	<div></div>
11:00 PM		1				1			1	<div></div>
11:15 PM		0				0			0	<div></div>
11:30 PM		1				1			1	<div></div>
11:45 PM		2				2			2	<div></div>
Day Total		1829				1829			1829	
% Weekday Average		100%								
% Week Average		100%				100%				
AM Peak 15-min Vol		8:45 AM 85				8:45 AM 85			8:45 AM 85	
PM Peak 15-min Vol		2:45 PM 39				2:45 PM 39			2:45 PM 39	
Comments:										

Type of report: Tube Count - Volume Data

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: WB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon	Tue	Wed	Thu	Fri	Average Weekday	Sat	Sun	Average Week	Average Week Profile
		15 Oct 24				15-min Traffic			15-min Traffic	
12:00 AM		2				2			2	
12:15 AM		2				2			2	
12:30 AM		0				0			0	
12:45 AM		2				2			2	
01:00 AM		0				0			0	
01:15 AM		2				2			2	
01:30 AM		1				1			1	
01:45 AM		0				0			0	
02:00 AM		1				1			1	
02:15 AM		0				0			0	
02:30 AM		0				0			0	
02:45 AM		0				0			0	
03:00 AM		1				1			1	
03:15 AM		0				0			0	
03:30 AM		0				0			0	
03:45 AM		0				0			0	
04:00 AM		0				0			0	
04:15 AM		0				0			0	
04:30 AM		0				0			0	
04:45 AM		0				0			0	
05:00 AM		0				0			0	
05:15 AM		2				2			2	
05:30 AM		2				2			2	
05:45 AM		1				1			1	
Day Total										
% Weekday Average										
% Week Average										
AM Peak 15-min Vol										
PM Peak 15-min Vol										
Comments:										

Report generated on 10/17/2024 2:05 PM

SOURCE: Quality Counts, LLC (<http://www.qualitycounts.net>)

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: WB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon 15 Oct 24	Tue 15 Oct 24	Wed	Thu	Fri	Average Weekday 15-min Traffic	Sat	Sun	Average Week 15-min Traffic	Average Week Profile
06:00 AM		4				4			4	<div></div>
06:15 AM		3				3			3	<div></div>
06:30 AM		9				9			9	<div></div>
06:45 AM		13				13			13	<div></div>
07:00 AM		1				1			1	<div></div>
07:15 AM		13				13			13	<div></div>
07:30 AM		16				16			16	<div></div>
07:45 AM		14				14			14	<div></div>
08:00 AM		6				6			6	<div></div>
08:15 AM		13				13			13	<div></div>
08:30 AM		30				30			30	<div></div>
08:45 AM		31				31			31	<div></div>
09:00 AM		30				30			30	<div></div>
09:15 AM		22				22			22	<div></div>
09:30 AM		29				29			29	<div></div>
09:45 AM		24				24			24	<div></div>
10:00 AM		19				19			19	<div></div>
10:15 AM		16				16			16	<div></div>
10:30 AM		21				21			21	<div></div>
10:45 AM		28				28			28	<div></div>
11:00 AM		31				31			31	<div></div>
11:15 AM		25				25			25	<div></div>
11:30 AM		34				34			34	<div></div>
11:45 AM		29				29			29	<div></div>
Day Total										
% Weekday Average										
% Week Average										
AM Peak 15-min Vol										
PM Peak 15-min Vol										
Comments:										

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: WB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon 15 Oct 24	Tue 15 Oct 24	Wed	Thu	Fri	Average Weekday 15-min Traffic	Sat	Sun	Average Week 15-min Traffic	Average Week Profile
12:00 PM		27				27			27	<div></div>
12:15 PM		27				27			27	<div></div>
12:30 PM		34				34			34	<div></div>
12:45 PM		32				32			32	<div></div>
01:00 PM		40				40			40	<div></div>
01:15 PM		40				40			40	<div></div>
01:30 PM		42				42			42	<div></div>
01:45 PM		31				31			31	<div></div>
02:00 PM		34				34			34	<div></div>
02:15 PM		57				57			57	<div></div>
02:30 PM		55				55			55	<div></div>
02:45 PM		49				49			49	<div></div>
03:00 PM		62				62			62	<div></div>
03:15 PM		61				61			61	<div></div>
03:30 PM		49				49			49	<div></div>
03:45 PM		79				79			79	<div></div>
04:00 PM		90				90			90	<div></div>
04:15 PM		89				89			89	<div></div>
04:30 PM		71				71			71	<div></div>
04:45 PM		70				70			70	<div></div>
05:00 PM		61				61			61	<div></div>
05:15 PM		79				79			79	<div></div>
05:30 PM		71				71			71	<div></div>
05:45 PM		43				43			43	<div></div>
Day Total										
% Weekday Average										
% Week Average										
AM Peak 15-min Vol										
PM Peak 15-min Vol										
Comments:										

LOCATION: Challis Rd East of Grand Cir Dr							QC JOB #: 16789101			
SPECIFIC LOCATION:							DIRECTION: WB			
CITY/STATE: Livingston, MI							DATE: Oct 15 2024 - Oct 15 2024			
Start Time	Mon 15 Oct 24	Tue 15 Oct 24	Wed	Thu	Fri	Average Weekday 15-min Traffic	Sat	Sun	Average Week 15-min Traffic	Average Week Profile
06:00 PM		58				58			58	<div></div>
06:15 PM		40				40			40	<div></div>
06:30 PM		31				31			31	<div></div>
06:45 PM		41				41			41	<div></div>
07:00 PM		32				32			32	<div></div>
07:15 PM		27				27			27	<div></div>
07:30 PM		21				21			21	<div></div>
07:45 PM		30				30			30	<div></div>
08:00 PM		17				17			17	<div></div>
08:15 PM		18				18			18	<div></div>
08:30 PM		14				14			14	<div></div>
08:45 PM		22				22			22	<div></div>
09:00 PM		24				24			24	<div></div>
09:15 PM		13				13			13	<div></div>
09:30 PM		8				8			8	<div></div>
09:45 PM		13				13			13	<div></div>
10:00 PM		5				5			5	<div></div>
10:15 PM		5				5			5	<div></div>
10:30 PM		1				1			1	<div></div>
10:45 PM		4				4			4	<div></div>
11:00 PM		3				3			3	<div></div>
11:15 PM		3				3			3	<div></div>
11:30 PM		5				5			5	<div></div>
11:45 PM		4				4			4	<div></div>
Day Total		2209				2209			2209	
% Weekday Average		100%								
% Week Average		100%				100%				
AM Peak 15-min Vol		11:30 AM 34				11:30 AM 34			11:30 AM 34	
PM Peak 15-min Vol		4:00 PM 90				4:00 PM 90			4:00 PM 90	
Comments:										

Disclaimer: The Michigan Department of Transportation (MDOT) works with individual agencies (cities/villages, counties, metropolitan planning organizations (MPOs), regional planning organizations (RPOs), and other areas of MDOT) to identify existing traffic count programs and/or traffic data. [... more](#)

List View

All DIRs

Report Center

Record

1

of 1

Goto Record

go

Location ID	47-5027	MPO ID	458
Type	SPOT	HPMS ID	
On NHS	No	On HPMS	No
LRS ID	0940303	LRS Loc Pt.	0.747
SF Group	Urban Non State (2024)	Route Type	
AF Group	NoFactor (2024)	Route	
GF Group	Urban Non State (2024)	Active	Yes
Class Dist Grp	NTL_5 (2024)	Category	Primary
Seas Clss Grp			
WIM Group			
QC Group	Default		
Funct'l Class	(5) Major Collector	Milepost	
Located On	CHALLIS RD		
Loc On Alias			
WEST OF	Bauer Rd		

More Detail

STATION DATA

Directions: 2-WAY EB WB

AADT								
	Year	AADT	DHV-30	K %	D %	PA	BC	Src
	2023	4,054 ³		10		3,945 (97%)	109 (3%)	Grown from 2022
	2022	3,967	404	10		3,851 (97%)	116 (3%)	
	2021	3,124 ³		12		2,934 (94%)	190 (6%)	Grown from 2020
	2020	2,826 ³		12		2,627 (93%)	199 (7%)	Grown from 2019
	2019	3,241	404	12		3,112 (96%)	129 (4%)	

1-5 of 8

VOLUME COUNT			
	Date	Int	Total
	Tue 8/2/2022	60	3,967
	Wed 3/27/2019	15	3,486
	Tue 3/26/2019	15	3,148

VOLUME TREND	
Year	Annual Growth
2023	2%
2022	27%
2021	11%
2020	-13%
2019	-19%
2018	1%
2017	4%

CLASSIFICATION			
	Date	Int	Total
No Data			

NOTES/FILES			
	Note	Date	

Scheme Summary

Control Data

Control Data and Model Parameters

Challis Road at Bauer Road	2024 Synthetic Flow Profile (veh)
Scheme-1	7.5 min Time Slice
Rodel-Win1	Queuing Delays (sec)
Right Hand Drive	Daylight conditions
AM Peak Hour	Peak 60/15 min Results
Full Geometry	Output flows: Vehicles
English Units (ft)	50% Confidence Level

Available Data

Entry Capacity Calibrated	No
Entry Capacity Modified	No
Crosswalks	No
Flows Factored	No
Approach/Exit Road Capacity Calibrated	No
Accidents	No
Accident Costs	No
Bypass Model	No
Bypass Calibration	No
Global Results	Yes

Operational Data

Main Geometry (ft)

Approach and Entry Geometry

Leg	Leg Names	Approach Bearing (deg)	Grade Separation G	Half Width V	Approach Lanes n	Entry Width E	Entry Lanes n	Flare Length L'	Entry Radius R	Entry Angle Phi
1	EB Challis	0	0	11.00	1	15.00	1	33.00	66.00	30.00
2	NB Bauer	90	0	11.00	1	15.00	1	33.00	66.00	30.00
3	WB Challis	180	0	11.00	1	15.00	1	33.00	66.00	30.00

Circulating and Exit Geometry

Leg	Leg Names	Inscribed Diameter D	Circulating Width C	Circulating Lanes nc	Exit Width Ex	Exit Lanes nex	Exit Half Width Vx	Exit Half Width Lanes nvx
1	EB Challis	131.00	20.00	1	15.00	1	11.00	1
2	NB Bauer	131.00	20.00	1	15.00	1	11.00	1
3	WB Challis	131.00	20.00	1	15.00	1	11.00	1

Capacity Modifiers and Capacity Calibration (veh/hr)

Leg	Leg Names	Entry Capacity		Entry Calibration		Approach Road			Exit Road		
		Capacity + or -	XWalk Factor	Intercept + or -	Slope Factor	V (ft)	Default Capacity	Calib Capacity	V (ft)	Default Capacity	Calib Capacity
1	EB Challis	0	1.000	0	1.000	12.00	1643	0	11.00	1643	0
2	NB Bauer	0	1.000	0	1.000	12.00	1643	0	11.00	1643	0
3	WB Challis	0	1.000	0	1.000	12.00	1643	0	11.00	1643	0

Traffic Flow Data (veh/hr)

2024 AM Peak Peak Hour Flows

Leg	Leg Names	Turning Flows				Flow Modifiers	
		U-Turn	Exit-2	Exit-1	Bypass	Trucks %	Flow Factor
1	EB Challis	0	99	68	0	2.0	1.00
2	NB Bauer	0	69	281	0	2.0	1.00
3	WB Challis	0	217	29	0	2.0	1.00

2024 AM Peak Synthetic Flow Profile - Timeslice 7.5 mins

Leg	Leg Names	Flow Ratios			Flow Times		
		Ratio 1	Ratio 2	Ratio 3	Time 1	Time 2	Time 3
1	EB Challis	0.750	1.125	0.750	0	30	60
2	NB Bauer	0.750	1.125	0.750	0	30	60
3	WB Challis	0.750	1.125	0.750	0	30	60

Operational Results

2024 AM Peak - 60 minutes

Flows and Capacity

Leg	Leg Names	Bypass Type	Flows (veh/hr)					Capacity (veh/hr)			
			Arrival Flow		Opposing Flow		Exit Flow	Capacity		Average VCR	
			Entry	Bypass	Entry	Bypass		Entry	Bypass	Entry	Bypass
1	EB Challis	None	167		217		98	1069		0.1562	
2	NB Bauer	None	350		99		285	1133		0.3089	
3	WB Challis	None	246		69		380	1149		0.2140	

Delays, Queues and Level of Service

Leg	Leg Names	Bypass Type	Average Delay (sec)			95% Queue (veh)		Level of Service		
			Entry	Bypass	Leg	Entry	Bypass	Entry	Bypass	Leg
1	EB Challis	None	3.93		3.93	0.56		A		A
2	NB Bauer	None	4.52		4.52	1.37		A		A
3	WB Challis	None	3.92		3.92	0.82		A		A

2024 AM Peak - 15 minutes

Flows and Capacity

Leg	Leg Names	Bypass Type	Flows (veh/hr)					Capacity (veh/hr)			
			Arrival Flow		Opposing Flow		Exit Flow	Capacity		Average VCR	
			Entry	Bypass	Entry	Bypass		Entry	Bypass	Entry	Bypass
1	EB Challis	None	188		245		110	1054		0.1786	
2	NB Bauer	None	395		112		321	1126		0.3504	
3	WB Challis	None	277		78		428	1145		0.2424	

Delays, Queues and Level of Service

Leg	Leg Names	Bypass Type	Average Delay (sec)			95% Queue (veh)		Level of Service		
			Entry	Bypass	Leg	Entry	Bypass	Entry	Bypass	Leg
1	EB Challis	None	4.00		4.00	0.56		A		A
2	NB Bauer	None	4.68		4.68	1.37		A		A
3	WB Challis	None	3.99		3.99	0.82		A		A

Global Results

Performance and Accidents

2024 AM Peak Global Performance

Parameter	Units	Entries	Bypasses	Total
Arrive Flows	veh/hr	763		763
Capacity	veh/hr	3352		3352
Average Delay	sec/veh	4.20		4.20
L.O.S. (Signal)	A – F	A		A
L.O.S. (Unsig)	A – F	A		A
Total Delay	veh.hrs	0.89		0.89

Scheme Summary

Control Data

Control Data and Model Parameters

Challis Road at Bauer Road	2024 Synthetic Flow Profile (veh)
Scheme-1	7.5 min Time Slice
Rodel-Win1	Queuing Delays (sec)
Right Hand Drive	Daylight conditions
PM Peak Hour	Peak 60/15 min Results
Full Geometry	Output flows: Vehicles
English Units (ft)	50% Confidence Level

Available Data

Entry Capacity Calibrated	No
Entry Capacity Modified	No
Crosswalks	No
Flows Factored	No
Approach/Exit Road Capacity Calibrated	No
Accidents	No
Accident Costs	No
Bypass Model	No
Bypass Calibration	No
Global Results	Yes

Operational Data

Main Geometry (ft)

Approach and Entry Geometry

Leg	Leg Names	Approach Bearing (deg)	Grade Separation G	Half Width V	Approach Lanes n	Entry Width E	Entry Lanes n	Flare Length L'	Entry Radius R	Entry Angle Phi
1	EB Challis	0	0	11.00	1	15.00	1	33.00	66.00	30.00
2	NB Bauer	90	0	11.00	1	15.00	1	33.00	66.00	30.00
3	WB Challis	180	0	11.00	1	15.00	1	33.00	66.00	30.00

Circulating and Exit Geometry

Leg	Leg Names	Inscribed Diameter D	Circulating Width C	Circulating Lanes nc	Exit Width Ex	Exit Lanes nex	Exit Half Width Vx	Exit Half Width Lanes nvx
1	EB Challis	131.00	20.00	1	15.00	1	11.00	1
2	NB Bauer	131.00	20.00	1	15.00	1	11.00	1
3	WB Challis	131.00	20.00	1	15.00	1	11.00	1

Capacity Modifiers and Capacity Calibration (veh/hr)

Leg	Leg Names	Entry Capacity		Entry Calibration		Approach Road			Exit Road		
		Capacity + or -	XWalk Factor	Intercept + or -	Slope Factor	V (ft)	Default Capacity	Calib Capacity	V (ft)	Default Capacity	Calib Capacity
1	EB Challis	0	1.000	0	1.000	12.00	1643	0	11.00	1643	0
2	NB Bauer	0	1.000	0	1.000	12.00	1643	0	11.00	1643	0
3	WB Challis	0	1.000	0	1.000	12.00	1643	0	11.00	1643	0

Traffic Flow Data (veh/hr)

2024 PM Peak Peak Hour Flows

Leg	Leg Names	Turning Flows				Flow Modifiers	
		U-Turn	Exit-2	Exit-1	Bypass	Trucks %	Flow Factor
1	EB Challis	0	81	97	0	2.0	1.00
2	NB Bauer	0	104	225	0	2.0	1.00
3	WB Challis	0	348	200	0	2.0	1.00

2024 PM Peak Synthetic Flow Profile - Timeslice 7.5 mins

Leg	Leg Names	Flow Ratios			Flow Times		
		Ratio 1	Ratio 2	Ratio 3	Time 1	Time 2	Time 3
1	EB Challis	0.750	1.125	0.750	0	30	60
2	NB Bauer	0.750	1.125	0.750	0	30	60
3	WB Challis	0.750	1.125	0.750	0	30	60

Operational Results

2024 PM Peak - 60 minutes

Flows and Capacity

Leg	Leg Names	Bypass Type	Flows (veh/hr)					Capacity (veh/hr)			
			Arrival Flow		Opposing Flow		Exit Flow	Capacity		Average VCR	
			Entry	Bypass	Entry	Bypass		Entry	Bypass	Entry	Bypass
1	EB Challis	None	178		348		304	998		0.1783	
2	NB Bauer	None	329		81		445	1143		0.2879	
3	WB Challis	None	548		104		306	1130		0.4848	

Delays, Queues and Level of Service

Leg	Leg Names	Bypass Type	Average Delay (sec)			95% Queue (veh)		Level of Service		
			Entry	Bypass	Leg	Entry	Bypass	Entry	Bypass	Leg
1	EB Challis	None	4.33		4.33	0.67		A		A
2	NB Bauer	None	4.35		4.35	1.23		A		A
3	WB Challis	None	6.08		6.08	2.98		A		A

2024 PM Peak - 15 minutes

Flows and Capacity

Leg	Leg Names	Bypass Type	Flows (veh/hr)					Capacity (veh/hr)			
			Arrival Flow		Opposing Flow		Exit Flow	Capacity		Average VCR	
			Entry	Bypass	Entry	Bypass		Entry	Bypass	Entry	Bypass
1	EB Challis	None	201		392		343	974		0.2060	
2	NB Bauer	None	371		91		502	1137		0.3262	
3	WB Challis	None	618		117		345	1123		0.5502	

Delays, Queues and Level of Service

Leg	Leg Names	Bypass Type	Average Delay (sec)			95% Queue (veh)		Level of Service		
			Entry	Bypass	Leg	Entry	Bypass	Entry	Bypass	Leg
1	EB Challis	None	4.46		4.46	0.67		A		A
2	NB Bauer	None	4.48		4.48	1.23		A		A
3	WB Challis	None	6.56		6.56	2.98		A		A

Global Results

Performance and Accidents

2024 PM Peak Global Performance

Parameter	Units	Entries	Bypasses	Total
Arrive Flows	veh/hr	1055		1055
Capacity	veh/hr	3271		3271
Average Delay	sec/veh	5.24		5.24
L.O.S. (Signal)	A – F	A		A
L.O.S. (Unsig)	A – F	A		A
Total Delay	veh.hrs	1.54		1.54

Level of Service Criteria for Stop Sign Controlled Intersections

The level of service criteria are given in Exhibit 20-2. As used here, control delay is defined as the total elapsed time from the time a vehicle stops at the end of the queue until the vehicle departs from the stop line; this time includes the time required for the vehicle to travel from the last-in-queue position to the first-in-queue position, including deceleration of vehicles from free-flow speed to the speed of vehicles in queue.

The average total delay for any particular controlled movement is a function three (capacity) factors: distribution of gaps in the major-street traffic stream, driver judgment in selecting gaps through which to execute the desired maneuvers, and the follow-up headways required by each driver in a queue.

The basic capacity model assumes gaps in the conflicting movements are randomly distributed. When traffic signals are present on the major street, upstream of the subject intersection, flows may not be random but will likely have some platoon structure. Although the procedures in this chapter provide a method for approximating the operations of a TWSC intersection with an upstream signal, the operations of such an intersection is arguably best handled by including it in a complete simulation

Exhibit 20-2. Level of Service Criteria for Stop-Controlled Intersections (Motor Vehicles)

LEVEL OF SERVICE	AVERAGE CONTROL DELAY (sec/veh)
A	≤ 10
B	$> 10 \text{ and } \leq 15$
C	$> 15 \text{ and } \leq 25$
D	$> 25 \text{ and } \leq 35$
E	$> 35 \text{ and } \leq 50$
F	> 50

Average total delay less than 10 sec/veh is defined as Level of Service (LOS) A. Follow-up times of less than 5 sec have been measured when there is no conflicting traffic for a minor street movement, so control delays of less than 10 sec/veh are appropriate for low flow conditions. A total delay of 50 sec/veh is assumed as the break point between LOS E and F.

The LOS criteria for TWSC intersections differ somewhat from the criteria used in Chapter 19 for signalized intersections, primarily because user perceptions differ among transportation facility types. The expectation is that a signalized intersection is designed to carry higher traffic volumes and will present greater delay than an unsignalized intersection. Additionally, several driver behavior considerations combine to make delays at signalized intersections less onerous than at unsignalized intersections. For example, drivers at signalized intersections are able to relax during the red interval, where drivers on the minor approaches to unsignalized intersections must remain attentive to the task of identifying acceptable gaps and vehicle conflicts. Also, there is often much more variability in the amount of delay experienced by individual drivers at unsignalized than signalized intersections. For these reasons, it is considered that the total delay threshold for any given level of service is less for an unsignalized intersection than for a signalized intersection.

LOS F exists when there are insufficient gaps of suitable size to allow a side street demand to cross safely through a major street traffic stream. This level of service is generally evident from extremely long total delays experienced by side street traffic and by queueing on the minor approaches. The method, however, is based on a constant critical gap size - that is, the critical gap remains constant, no matter how long the side street motorist waits. LOS F may also appear in the form of side street vehicles' selecting smaller-than-usual gaps. In such cases, safety may be a problem and some disruption to the major traffic stream may result. It is important to note that LOS F may not always result in long queues but may result in adjustments to normal gap acceptance behavior. The latter is more difficult to observe on the field than queueing, which is more obvious.

Source: Highway Capacity Manual, 6th Edition. Transportation Research Board, National Research Council

Level of Service for Signalized Intersections

Level of service for signalized intersections is defined in terms of delay, which is a measure of driver discomfort and frustration, fuel consumption, and lost travel time. LOS can be characterized for the entire intersection, each intersection approach, and each lane group. Specifically, level-of-service (LOS) criteria are stated in terms of the average stopped delay per vehicle. The criteria are given in Exhibit 19-8. Delay may be measured in the field or estimated using procedures presented later in this chapter. Delay is a complex measure and is dependent on a number of variables, including the quality of progression, the cycle length, the green ratio, and the v/c ratio for the lane group in question.

LOS A describes operations with a control delay of 10 s/veh or less. This level is typically assigned when the volume-to-capacity ratio is low and either progression is extremely favorable or the cycle length is very short. If LOS A is the result of favorable progression, most vehicles arrive during a green indication and travel through the intersection without stopping.

LOS B describes operations with control delay between 10 and 20 s/veh. This level is typically assigned when the volume-to-capacity ratio is low and either progression is highly favorable or the cycle length is short. More vehicles stop than with LOS A.

Exhibit 19.8. Level-of-Service Criteria for Signalized Intersections (Motorized Vehicles)

LEVEL OF SERVICE	STOPPED DELAY PER VEHICLE (SEC)
A	≤ 10.0
B	> 10.0 and ≤ 20.0
C	> 20.0 and ≤ 35.0
D	> 35.0 and ≤ 55.0
E	> 55.0 and ≤ 80.0
F	> 80.0

1. If the v/c ratio for a lane group exceeds 1.0, a LOS F is assigned to the individual lane group. LOS for approach-based and intersection-wide assessments are determined solely by the control delay.

LOS C describes operations with control delay between 20 and 35 s/veh. This level is typically assigned when progression is favorable or the cycle length is moderate. Individual *cycle failures* (i.e. one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear at this level. The number of vehicle stopping is significant, although many vehicles still pass through the intersection without stopping.

LOS D describes operations with control delay between 35 and 55 s/veh. This level is typically assigned when when the volume-to-capacity ratio is high and either progression is ineffective or the cycle length is long. Many vehicles stop and individual cycle failures are noticeable.




LOS E describes operations with control delay between 55 and 80 s/veh. This level is typically assigned when when the volume-to-capacity ratio is high, progression is unfavorable, and the cycle length is long. Individual cycle failures are frequent.

LOS F describes operations with control delay exceeding 80 s/veh or a volume-to-capacity ratio greater than 1.0. This level, considered to be unacceptable to most drivers, often occurs with over-saturation, that is, when arrival flow rates exceed the capacity of the intersection. This level is typically assigned when the volume-to-capacity ratio is high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.

Source: Highway Capacity Manual, 6th Edition. Transportation Research Board, National Research Council




HCM 7th TWSC
1: Challis Road & Site Drive

Future Conditions
Future AM

Intersection						
Int Delay, s/veh	0.8					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	3	266	109	8	24	10
Future Vol, veh/h	3	266	109	8	24	10
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	75	84	92	92	92
Heavy Vehicles, %	2	13	11	2	2	2
Mvmt Flow	3	355	130	9	26	11
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	138	0	-	0	495	134
Stage 1	-	-	-	-	134	-
Stage 2	-	-	-	-	361	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1445	-	-	-	534	915
Stage 1	-	-	-	-	892	-
Stage 2	-	-	-	-	705	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1445	-	-	-	532	915
Mov Cap-2 Maneuver	-	-	-	-	532	-
Stage 1	-	-	-	-	890	-
Stage 2	-	-	-	-	705	-
Approach	EB	WB		SB		
HCM Control Delay, s/v	0.07	0		11.32		
HCM LOS				B		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	16	-	-	-	607	
HCM Lane V/C Ratio	0.002	-	-	-	0.061	
HCM Control Delay (s/veh)	7.5	0	-	-	11.3	
HCM Lane LOS	A	A	-	-	B	
HCM 95th %tile Q(veh)	0	-	-	-	0.2	

HCM 7th TWSC
1: Challis Road & Site Drive

Future Conditions
Future PM

Intersection						
Int Delay, s/veh	0.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	10	125	344	28	16	6
Future Vol, veh/h	10	125	344	28	16	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	88	91	92	92	92
Heavy Vehicles, %	2	14	10	2	2	2
Mvmt Flow	11	142	378	30	17	7
Major/Minor	Major1	Major2		Minor2		
Conflicting Flow All	408	0	-	0	557	393
Stage 1	-	-	-	-	393	-
Stage 2	-	-	-	-	164	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	3.518	3.318
Pot Cap-1 Maneuver	1150	-	-	-	491	656
Stage 1	-	-	-	-	682	-
Stage 2	-	-	-	-	865	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1150	-	-	-	486	656
Mov Cap-2 Maneuver	-	-	-	-	486	-
Stage 1	-	-	-	-	675	-
Stage 2	-	-	-	-	865	-
Approach	EB	WB		SB		
HCM Control Delay, s/v	0.58	0		12.21		
HCM LOS				B		
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	128	-	-	-	523	
HCM Lane V/C Ratio	0.009	-	-	-	0.046	
HCM Control Delay (s/veh)	8.2	0	-	-	12.2	
HCM Lane LOS	A	A	-	-	B	
HCM 95th %tile Q(veh)	0	-	-	-	0.1	

Intersection: 1: Challis Road & Site Drive

Movement	EB	SB
Directions Served	LT	LR
Maximum Queue (ft)	11	49
Average Queue (ft)	0	21
95th Queue (ft)	5	46
Link Distance (ft)	1397	448
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

Network Summary

Network wide Queuing Penalty: 0

Intersection: 1: Challis Road & Site Drive

Movement	EB	SB
Directions Served	LT	LR
Maximum Queue (ft)	46	35
Average Queue (ft)	3	16
95th Queue (ft)	20	40
Link Distance (ft)	1397	448
Upstream Blk Time (%)		
Queuing Penalty (veh)		
Storage Bay Dist (ft)		
Storage Blk Time (%)		
Queuing Penalty (veh)		

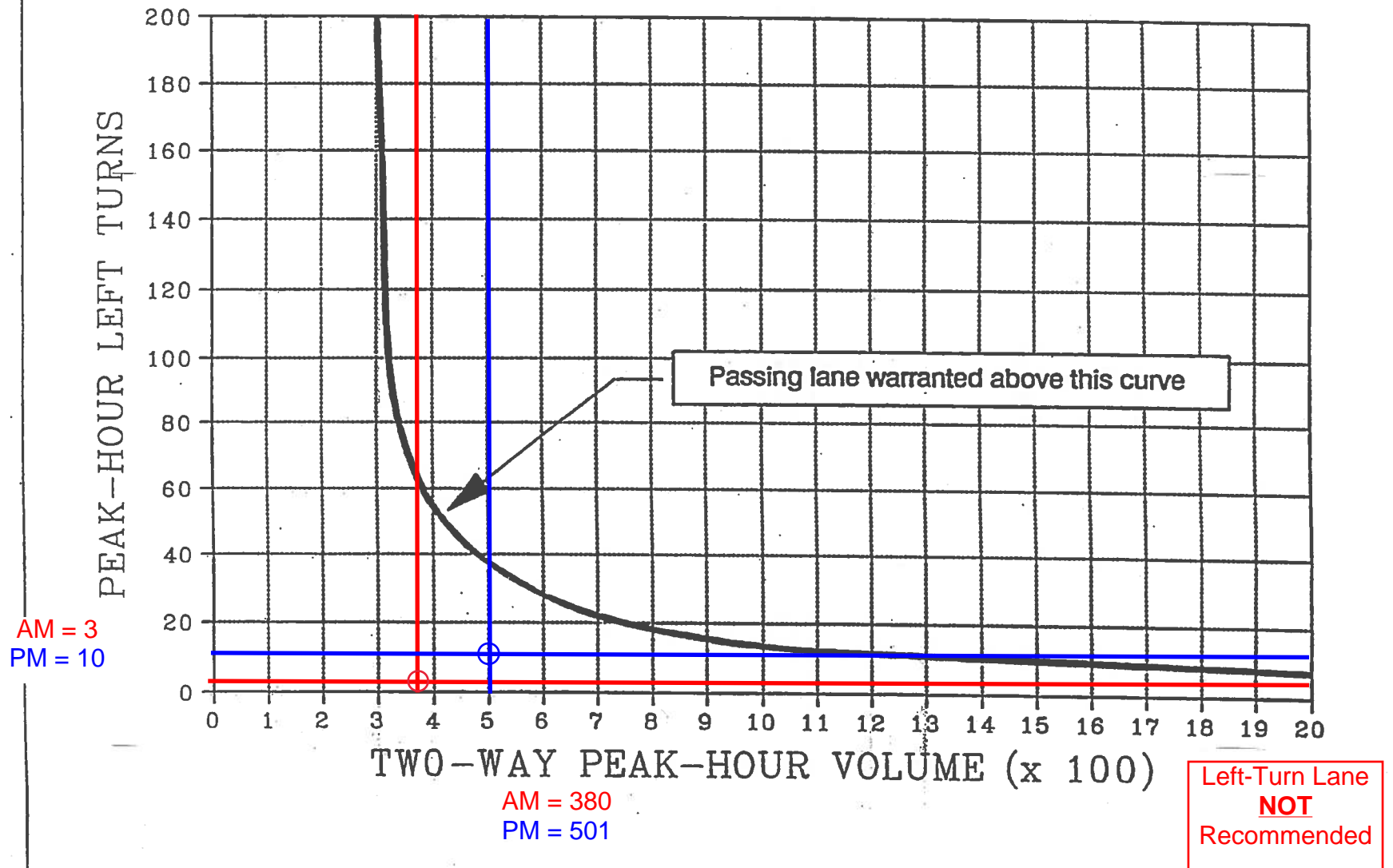
Network Summary

Network wide Queuing Penalty: 0

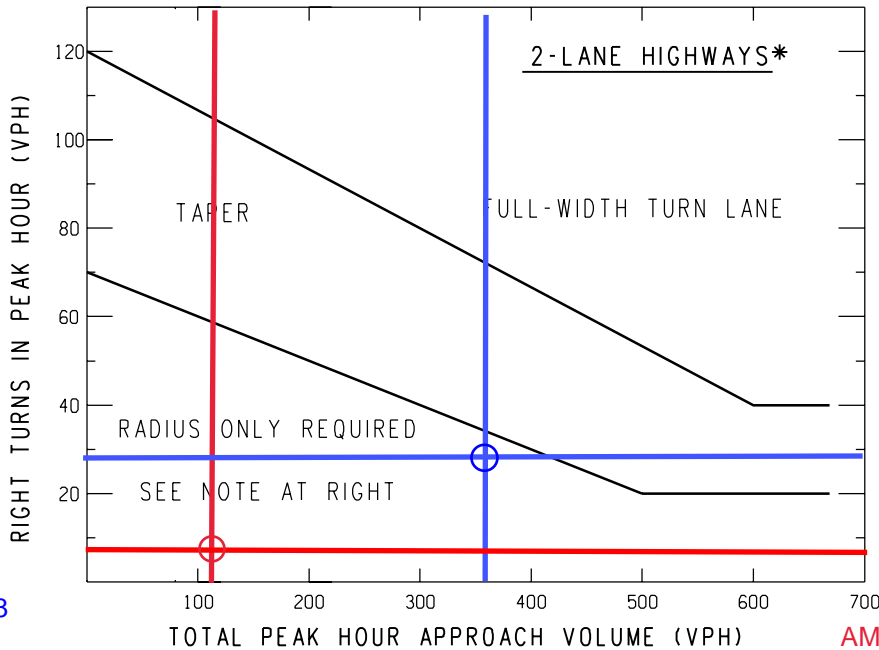
Challis Road & Site Drive

LEFT TURN PASSING LANE WARRANT

(Based on Total Development)



Challis Road & Site Drive



NOTE:

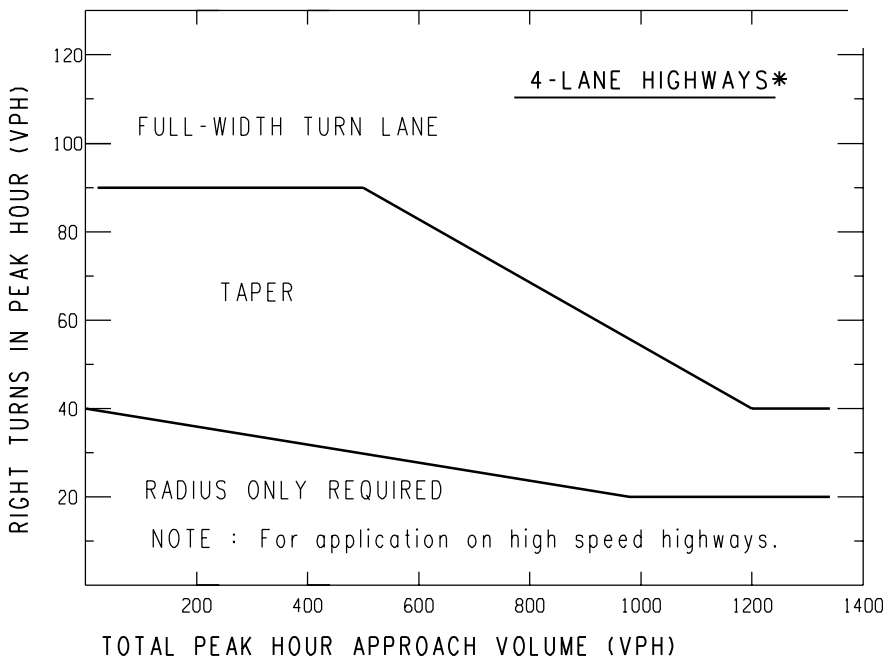
For posted speeds at or under 45 mph, peak hour right turns greater than 40 vph, and total peak hour approach less than 300 vph, adjust right turn volumes.

Adjust peak hour right turns = Peak hour right turns - 20

**RT Treatment
NOT
Recommended**

AM=8
MD=28

AM=115
MD=367



*If a center left-turn lane exists (i.e. 3 or 5 lane highway), subtract the number of left turns in approach volume from the total approach volume to get an adjusted total approach volume.

Sample Problem:

The Design Speed is 55 mph. The Peak Hour Approach Volume is 300 vph. The Number of Right Turns in the Peak Hour is 100 vph. Determine if a right turn lane is recommended.

Solution:

Figure indicates that the intersection of 300 vph and 100 vph is located above the upper trend line; thus, a right-turn lane may be recommended.

MDOT
Michigan Department of Transportation

TRAFFIC AND SAFETY
NOTE

TRAFFIC VOLUME GUIDELINES FOR RIGHT-TURN LANES AND TAPERS

DRAWN BY: MTS

CHECKED BY: JAT

08/05/2004

PLAN DATE:

604A

SHEET

2 OF 2

FILE: K:\DGN\ts notes\Note604A tsn.dgn

REV. 08/05/2004

ENGINEER/SURVEYOR



LAND DEVELOPMENT SERVICES

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WIXOM, MI 48393
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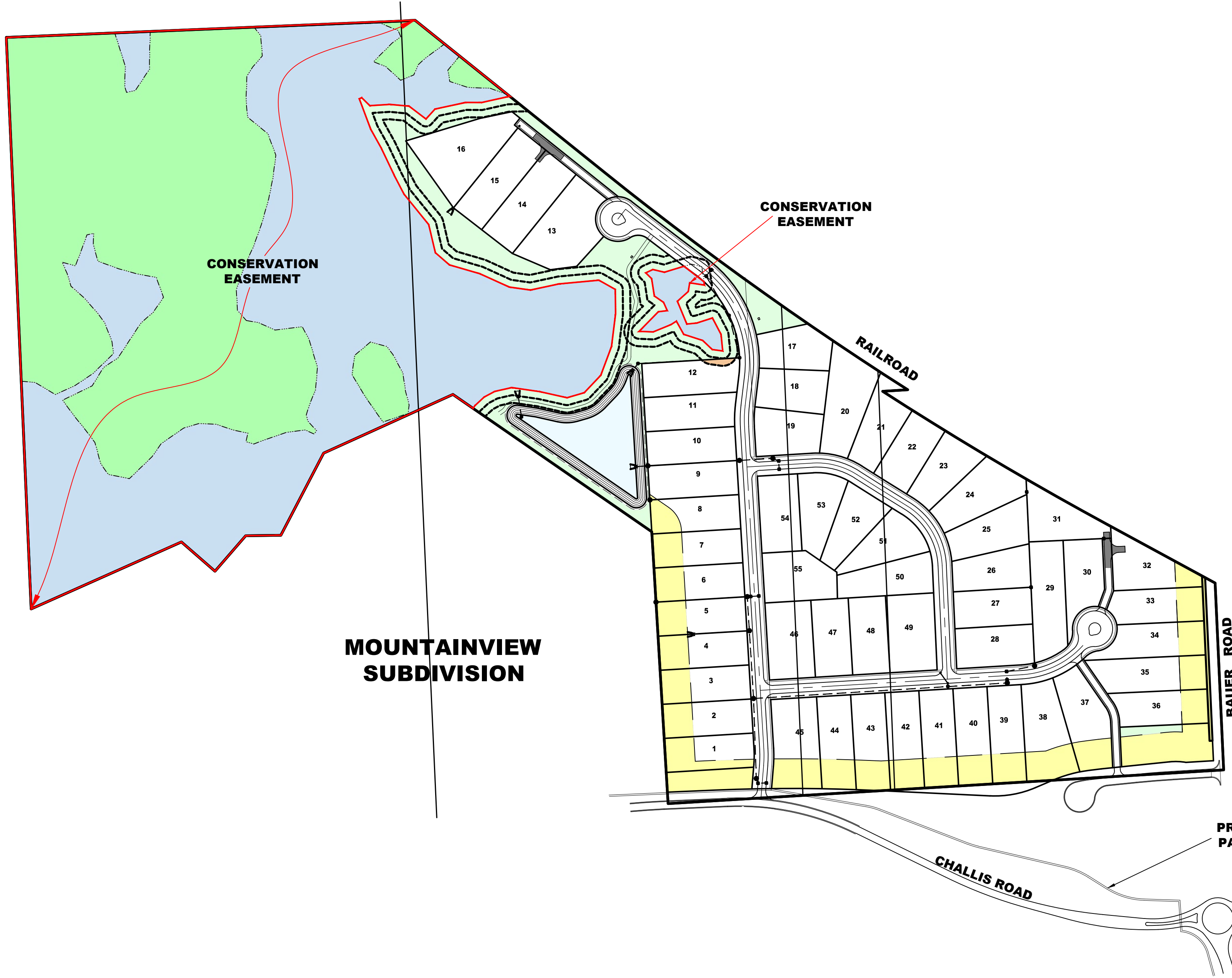
DEVELOPER/APPLICANT



PULTE HOMES OF MICHIGAN
2800 LIVERNOIS ROAD
BLDG D, SUITE 320
TROY, MI 48063
PHONE: (248) 647-2750

CONCEPTUAL CLUSTER R.P.U.D. PLAN LEGACY HILLS

SECTION 23, TOWN 2 NORTH, RANGE 5 EAST
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



SHEET INDEX

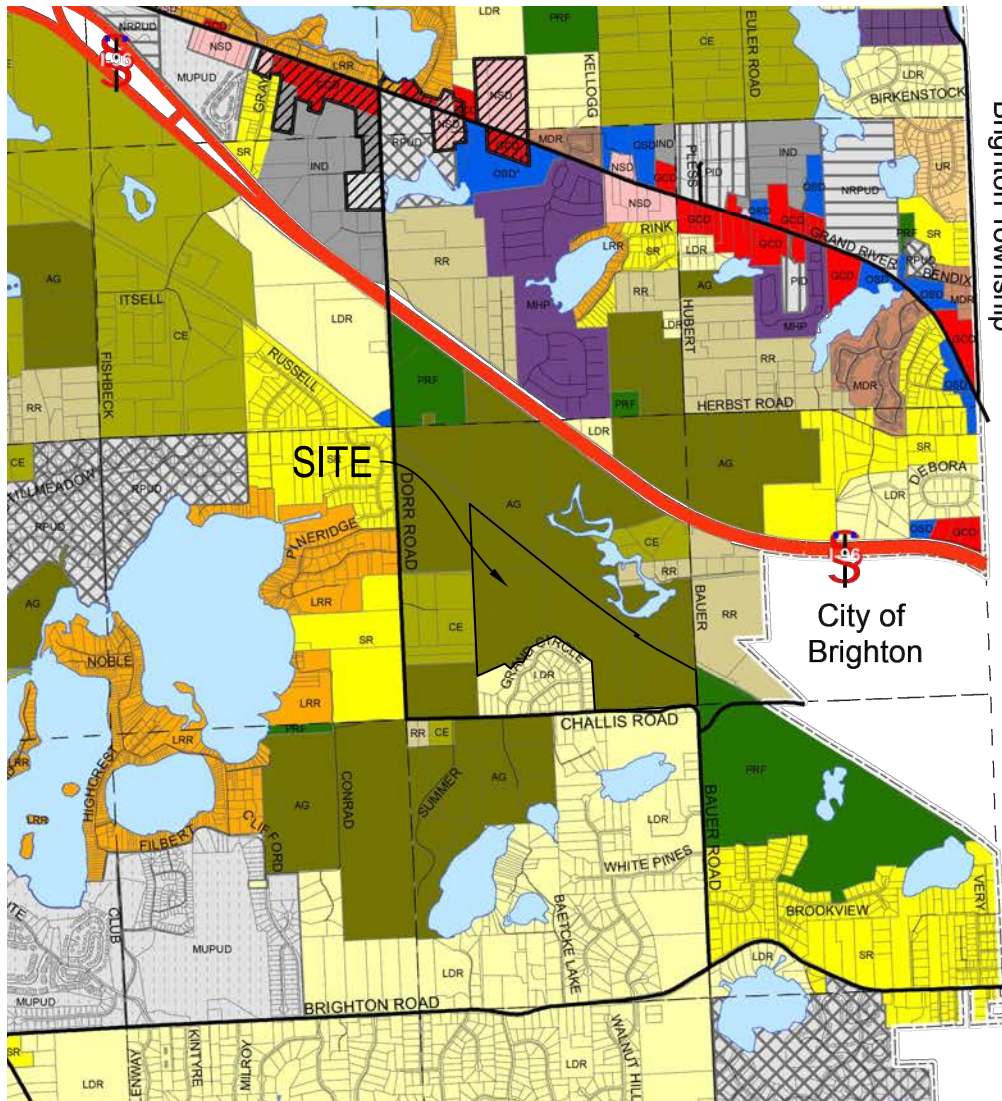
- C1 COVER
- C2 PARALLEL SITE PLAN
- C3 CONCEPTUAL SITE PLAN
- C4 BOUNDARY & TOPOGRAPHICAL SURVEY
- C5 EMERGENCY VEHICLE CIRCULATION PLAN

REFERENCE

CONCEPTUAL LANDSCAPE PLAN SHEETS 1-6

GENOA TOWNSHIP ZONING MAP & LEGEND

EXISTING ZONING: AG
PROPOSED ZONING: LDR
FINAL ZONING: PUD



Zoning Map
Genoa Charter Township
Livingston County, Michigan

Legend

- | | |
|------|-------------|
| AG | GC |
| CE | NS |
| RR | OS |
| LDR | NRPUD |
| SR | IND |
| LRR | PID |
| UR | PRF |
| MDR | MUPUD |
| HDR | RDPUD |
| RPUD | Town Center |
| MHP | CAPUD |
| RC | ICPUD |

SEPTIC & WELL NOTE:

ON-SITE SEPTIC AND INDIVIDUAL WELLS ARE PROPOSED TO SERVE EACH UNIT. WE HAVE CONCEPTUAL APPROVAL FOR WELL AND SEPTIC SYSTEMS FROM THE LCHD.

MORE THAN 120 TEST HOLES WERE COMPLETED CONFIRMING THE SOILS ARE SUITABLE TO SUPPORT ON-SITE SEPTIC SYSTEMS.

A HYDRO-GEOLOGICAL ANALYSIS WAS PERFORMED BY MCDOWELL AND ASSOCIATES CONFIRMING ADEQUATE QUALITY AND QUANTITY OF WATER FOR INDIVIDUAL WELLS.

THE AQUIFER ALSO YIELDED ADEQUATE FLOW CAPACITY FOR FIRE SUPPRESSION WELLS.

STORMWATER NOTE:

THE SITE GENERALLY DRAINS TO THE CENTRALLY LOCATED WETLAND AREA AND STORM WATER WILL BE DIRECTED TO A DETENTION BASIN WITH SEDIMENT REMOVED PRIOR TO THE REGULATED OUTLET INTO THE WETLAND.

GENERAL NOTES:

- A H.O.A. WILL BE SETUP FOR MAINTENANCE.
- CONSTRUCTION IMPROVEMENTS WILL BE SECURED BY A BOND.
- TREES AND WOODLANDS WILL BE PRESERVED AS SHOWN ON THE SITE PLAN.

PATHWAY NOTE:

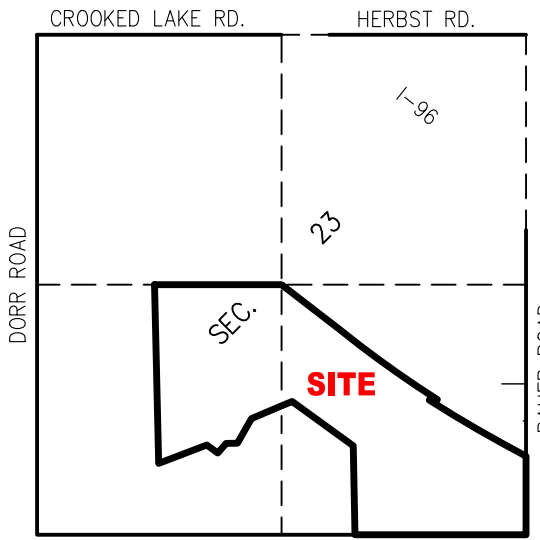
ACTIVE RECREATIONAL COMPONENT

LEGACY HILLS WILL INCLUDE A WALKING PATH TO THE NEW ROUNDABOUT THROUGH THE PUBLIC R.O.W. LOCATION TO BE FINALIZED DURING FINAL ENGINEERING. THE PATH WILL BEGIN ON THE EAST SIDE OF THE GRAND CIRCLE DRIVE ENTRANCE AND END AT THE ROUNDABOUT.

DIMENSIONAL DEVIATIONS

DESCRIPTION	REQUIRED	PUD PROVIDED
AREA FOR SEPTIC & WELL	43,560 S.F.	32,670 S.F.
CUL-DE-SAC LENGTH TO CENTER	1000 FT.	1055 FT.
WETLAND SETBACK	50 FT.	50 FT.*
MINIMUM LOT AREA-LDR	43,560 S.F.	32,670 S.F.
MINIMUM LOT WIDTH-LDR	150 FT.	115 FT.
MINIMUM SIDE YARD-LDR	30 FT.	20 FT.
SIDE YARD TOTAL-LDR	60 FT.	50 FT.

* Except where there is approved wetland impact, in those cases the proposed wetland buffer is less than 50' as noted on the construction documents.



VICINITY MAP
SEC. 23, T. 2 N., R. 5 E.
1" = 2000' ±

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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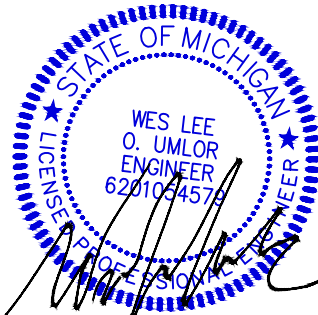
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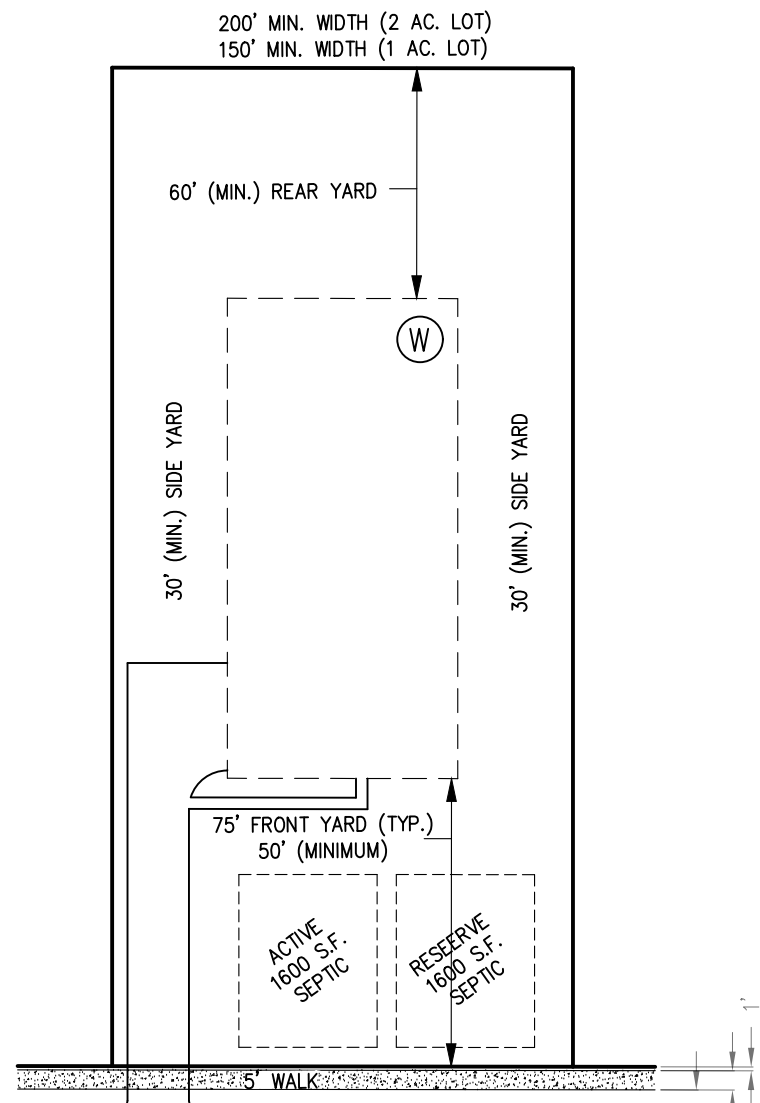
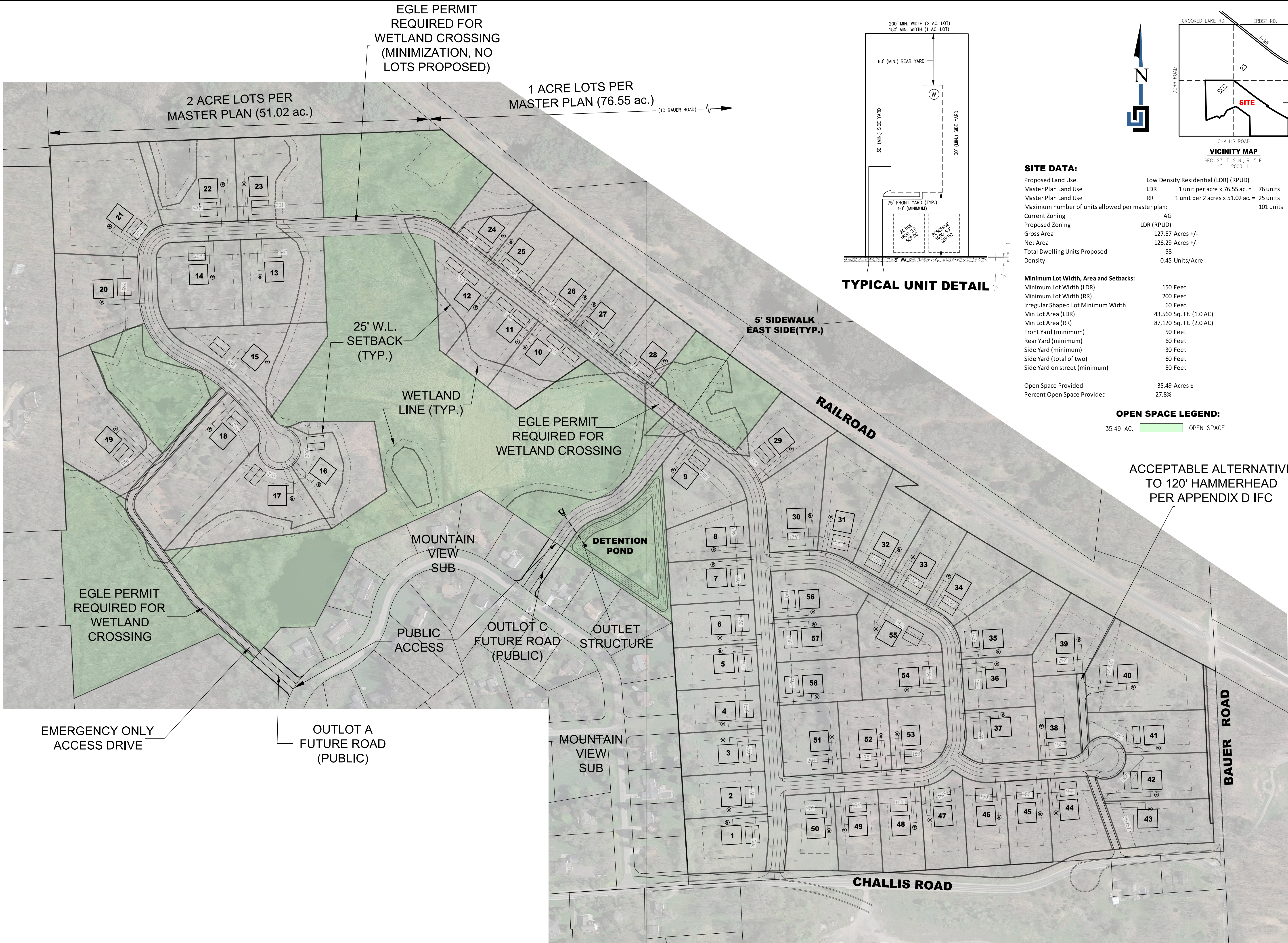
The UMLOR Group
LAND DEVELOPMENT SERVICES
49287 WEST ROAD WIXOM, MI 48393
TEL 248-773-7656 - FAX 866-690-4307

SECTION 23	T. 2 N., R. 5 E.
GENOA TOWNSHIP	LIVINGSTON CO., MICHIGAN

DATE: 8/26/2024
REVISIONS
9/27/2024
11/1/2024
12/16/2024
1/8/2025
3/5/2025

LEGACY HILLS	PULTE HOMES OF MICHIGAN 2800 LIVERNOIS ROAD, BLDG. D, SUITE 320 TROY, MICHIGAN 48063	COVER
CLIENT:		
DR BY: SA		
CK BY: SA		
SCALE: 0 125 250		
JOB NO. 231213		
SHEET NO. C1		
SHEET C1 OF 5		





TYPICAL UNIT DETAIL

SITE DATA:

Proposed Land Use	Low Density Residential (LDR) (RPUD)	
Master Plan Land Use	LDR	1 unit per acre x 76.55 ac. = 76 units
Master Plan Land Use	RR	1 unit per 2 acres x 51.02 ac. = 25 units
Maximum number of units allowed per master plan:	AG	101 units
Current Zoning	LDR (RPUD)	
Proposed Zoning		
Gross Area		127.57 Acres +/-
Net Area		126.29 Acres +/-
Total Dwelling Units Proposed		58
Density		0.45 Units/Acre

Minimum Lot Width, Area and Setbacks:

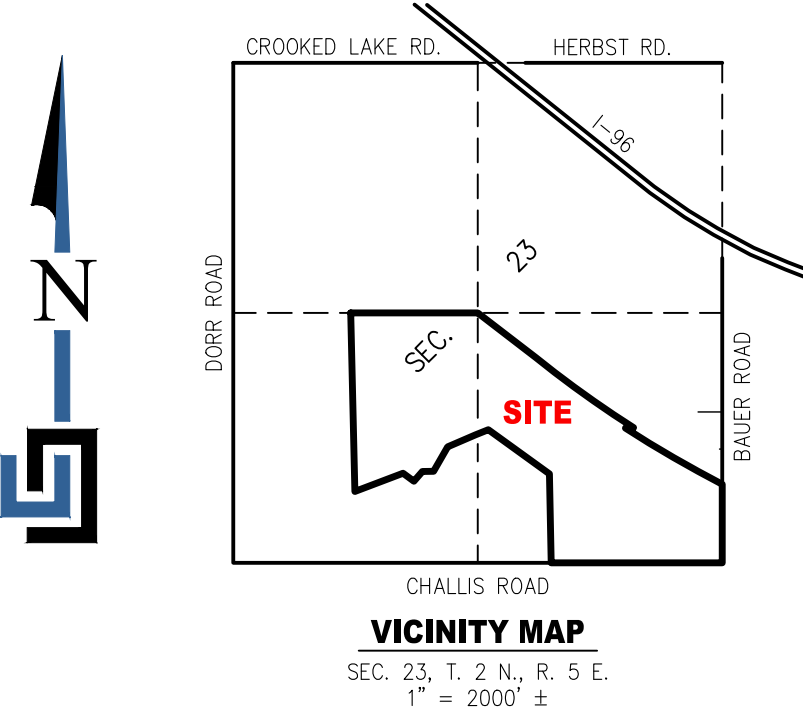
Minimum Lot Width (LDR)	150 Feet
Minimum Lot Width (RR)	200 Feet
Irregular Shaped Lot Minimum Width	60 Feet
Min Lot Area (LDR)	43,560 Sq. Ft. (1.0 AC)
Min Lot Area (RR)	87,120 Sq. Ft. (2.0 AC)
Front Yard (minimum)	50 Feet
Rear Yard (minimum)	60 Feet
Side Yard (minimum)	30 Feet
Side Yard (total of two)	60 Feet
Side Yard on street (minimum)	50 Feet

Open Space Provided	35.49 Acres ±
Percent Open Space Provided	27.8%

OPEN SPACE LEGEND:

35.49 AC. OPEN SPACE

ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD
PER APPENDIX D IFC



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND ADORES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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The UMLOR Group

LAND DEVELOPMENT SERVICES

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TEL 248.773.7656 • FAX 866.690.1007

SECTION 23	T. 2 N., R. 5 E.
GENOA TOWNSHIP	LIVINGSTON CO., MICHIGAN
DATE: 8/26/2024	REVISIONS
	9/27/2024
	11/1/2024
	11/26/2024
	12/16/2024
	3/5/2025

LEGACY HILLS

CLIENT: PULTE HOMES OF MICHIGAN
2800 LIVERNOIS ROAD, BLDG. D, SUITE 320
TROY, MI 48063

PARALLEL SITE PLAN

DR BY: SF

CK BY: SA

P.M. SA

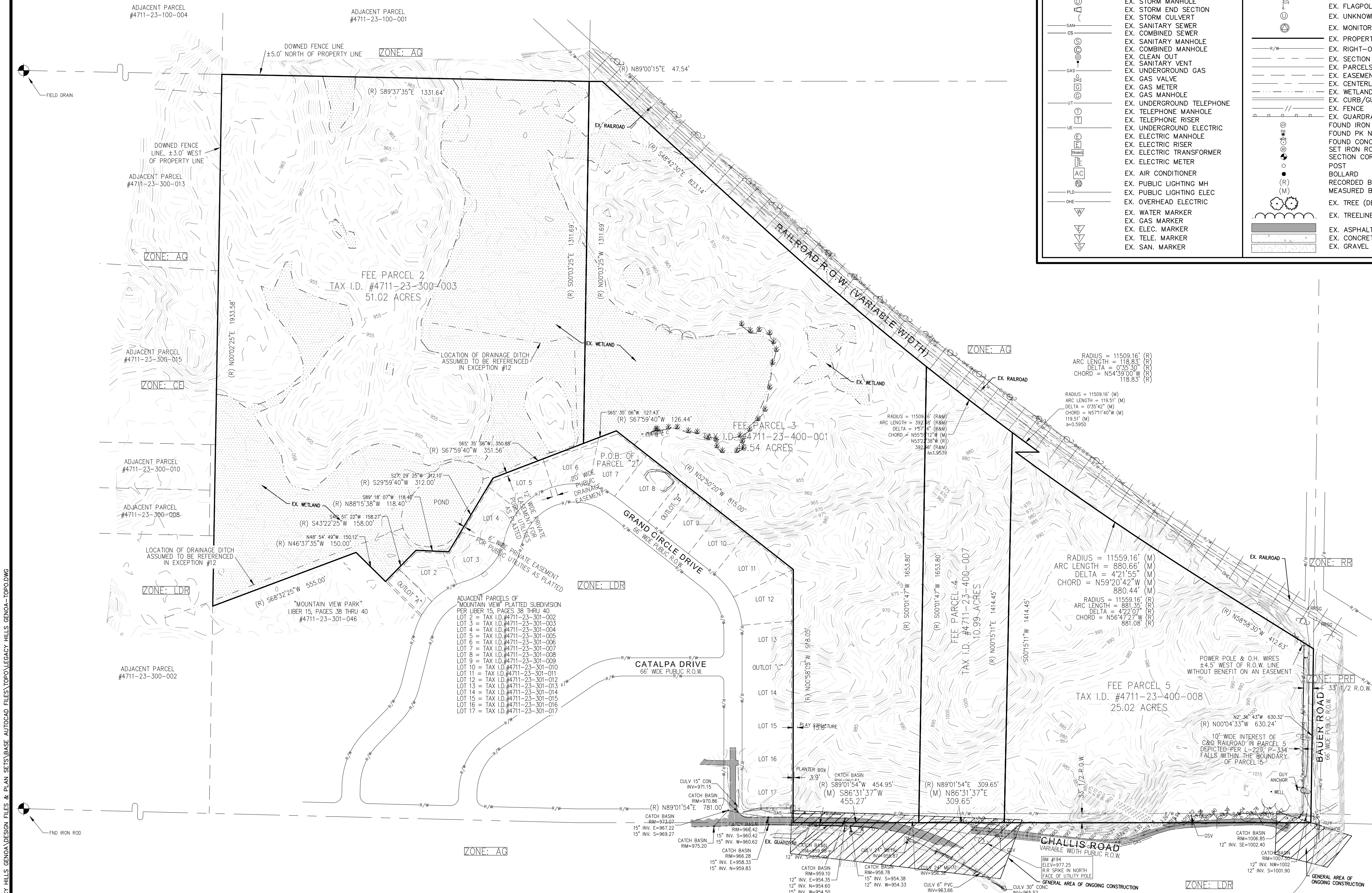
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JOB NO. 231213

SHEET NO. C2

SHEET C2OF 5

M:\UMLOR GROUP PROJECT FILES\GENOA\DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\TOPO\LEGACY HILLS GENOA-TOPODWG



LEGAL DESCRIPTION PER TITLE COMMITMENT

THE LAND IS DESCRIBED AS FOLLOWS: SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN

FEE PARCEL 1
PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 863.80 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 1461.36 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE; THENCE NORTH 88 DEGREES 35 MINUTES 45 SECONDS EAST 1342.09 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 30 SECONDS WEST 1213.73 FEET; THENCE NORTH 89 DEGREES 08 MINUTES 40 SECONDS WEST 550.68 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF THE OLD RAILWAY RIGHT OF WAY, AS VACATED, AND TO A POINT ON A CURVE, THENCE SOUTHEASTERLY 299.50 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 10 DEGREES 10 MINUTES 30 SECONDS, A RADIUS OF 1686.52 FEET AND A LONG CHORD BEARING SOUTH 48 DEGREES 02 MINUTES 35 SECONDS EAST 299.11 FEET TO THE P.T. OF THE CURVE, THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST 1393.08 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE TO THE SECTION LINE AND CENTERLINE OF CHALLIS ROAD; THENCE NORTH 89 DEGREES 23 MINUTES 35 SECONDS WEST 663.70 FEET ALONG SAID SECTION LINE AND CENTERLINE OF CHALLIS ROAD TO THE NORTHERLY RIGHT OF WAY LINE OF THE EXISTING C & O RAILWAY; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 104.80 FEET TO THE P.T. OF A CURVE; THENCE NORTHWESTERLY 608.48 FEET TO A POINT ON THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 01 MINUTES 45 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 58 DEGREES 27 MINUTES 37 SECONDS WEST 608.41 FEET TO A POINT ON THE CURVE; THENCE NORTH 32 DEGREES 01 MINUTES 30 SECONDS EAST 50.00 FEET TO A POINT ON A CURVE; THENCE NORTHWESTERLY 201.75 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01 DEGREE 00 MINUTES 00 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 58 DEGREES 28 MINUTES 30 SECONDS WEST 201.74 FEET TO THE P.T. OF THE CURVE; THENCE NORTH 58 DEGREES 58 MINUTES 30 SECONDS WEST 645.66 FEET TO THE POINT OF BEGINNING. EXCEPTING FROM THE SOUTHWEST 1/4 OF SECTION 24, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 118.40 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE WEST SECTION LINE; THENCE NORTH 58 DEGREES 58 MINUTES 30 SECONDS EAST 645.66 FEET TO THE POINT OF BEGINNING. THENCE NORTH 44 DEGREES 02 MINUTES 15 SECONDS EAST 651.25 FEET; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST 1393.08 FEET; THENCE NORTH 89 DEGREES 23 MINUTES 35 SECONDS WEST 663.70 FEET ALONG THE SECTION LINE; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 104.80 FEET TO THE P.T. OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 01 MINUTES 45 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 58 DEGREES 27 MINUTES 37 SECONDS WEST 608.41 FEET TO A POINT ON THE CURVE; THENCE NORTH 32 DEGREES 01 MINUTES 30 SECONDS EAST 50.00 FEET TO A POINT ON A CURVE; THENCE NORTHWESTERLY 201.75 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01 DEGREE 00 MINUTES 00 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 58 DEGREES 28 MINUTES 30 SECONDS WEST 201.74 FEET TO THE P.T. OF A CURVE AND THE POINT OF BEGINNING.

FEE PARCEL 2
PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH AND SOUTH 1/4 LINE, SAID POINT BEING NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 1376.04 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE SOUTH 67 DEGREES 59 MINUTES 40 SECONDS WEST 351.56 FEET; THENCE SOUTH 29 DEGREES 59 MINUTES 40 SECONDS WEST 312.00 FEET; THENCE NORTH 88 DEGREES 15 MINUTES 38 SECONDS WEST 118.40 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 25 SECONDS WEST 158.00 FEET; THENCE NORTH 46 DEGREES 37 MINUTES 35 SECONDS WEST 150.00 FEET; THENCE SOUTH 69 DEGREES 32 MINUTES 25 SECONDS WEST 555.00 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 25 SECONDS EAST 1933.58 FEET; THENCE SOUTH 89 DEGREES 37 MINUTES 35 SECONDS EAST 1331.64 FEET ALONG THE EAST AND WEST 1/4 LINE TO THE CENTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 03 MINUTES 25 SECONDS EAST 1331.64 FEET ALONG THE NORTH AND SOUTH 1/4 LINE TO THE POINT OF BEGINNING.

FEE PARCEL 3
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 309.65 FEET; THENCE NORTH 52 DEGREES 50 MINUTES 20 SECONDS WEST 819.00 FEET; THENCE SOUTH 67 DEGREES 59 MINUTES 40 SECONDS WEST 128.44 FEET TO THE NORTH AND SOUTH 1/4 LINE; THENCE ALONG SAID NORTH AND SOUTH 1/4 LINE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 1311.69 FEET TO THE CENTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 00 MINUTES 15 SECONDS EAST 47.54 FEET ALONG SAID NORTH AND SOUTH 1/4 LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE SOUTH 43 DEGREES 22 MINUTES 25 SECONDS WEST 158.00 FEET; THENCE NORTH 46 DEGREES 37 MINUTES 35 SECONDS WEST 150.00 FEET; THENCE SOUTH 69 DEGREES 32 MINUTES 25 SECONDS WEST 555.00 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 25 SECONDS EAST 1933.58 FEET; THENCE SOUTH 89 DEGREES 37 MINUTES 35 SECONDS EAST 1331.64 FEET ALONG THE EAST AND WEST 1/4 LINE TO THE CENTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 03 MINUTES 25 SECONDS EAST 1331.64 FEET ALONG THE NORTH AND SOUTH 1/4 LINE TO THE POINT OF BEGINNING.

FEE PARCEL 4
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF CHALLIS ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1235.95 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 309.65 FEET ALONG THE SECTION LINE; THENCE NORTH 00 DEGREES 15 MINUTES 11 SECONDS EAST 1414.45 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTHWESTERLY 392.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01 DEGREE 57 MINUTES 14 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 53 DEGREES 22 MINUTES 38 SECONDS WEST 392.46 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 47 SECONDS WEST 1653.80 FEET TO THE SOUTH LINE OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 01 MINUTES 54 SECONDS WEST 54.48 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

FEE PARCEL 5
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF CHALLIS ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1545.60 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1110.30 FEET ALONG THE SECTION LINE TO THE SOUTHEAST CORNER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 630.24 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTHWESTERLY 392.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01 DEGREE 57 MINUTES 14 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 53 DEGREES 22 MINUTES 38 SECONDS WEST 392.46 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 47 SECONDS WEST 1653.80 FEET TO THE SOUTH LINE OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 01 MINUTES 54 SECONDS WEST 54.48 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

EASEMENT PARCEL
TOGETHER WITH THE RIGHTS AND EASEMENTS AS CREATED, LIMITED AND DEFINED IN ACCESS AND UTILITY EASEMENT AGREEMENT RECORDED IN LIBER 4330, PAGE 940, LIVINGSTON COUNTY RECORDS.

LEGAL DESCRIPTION NOTE

NO CAPS OR CORES EXIST BETWEEN THE SUBJECT PROPERTIES.

BENCHMARK

BENCHMARK #194 (NAVD 88)

LOCATED IN UTILITY POLE SOUTH OF CHALLIS ROAD. (AREA UNDER ONGOING ROAD CONSTRUCTION AS OF 8-25-24, RAIL ROAD SPIKE IN NORTH FACE OF SAID UTILITY POLE)

ELEV: 977.25



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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LAND DEVELOPMENT SERVICES
19287 WEST ROAD WIXOM, MI 48393
TEL 248.773.7656 • FAX 866.690.1307

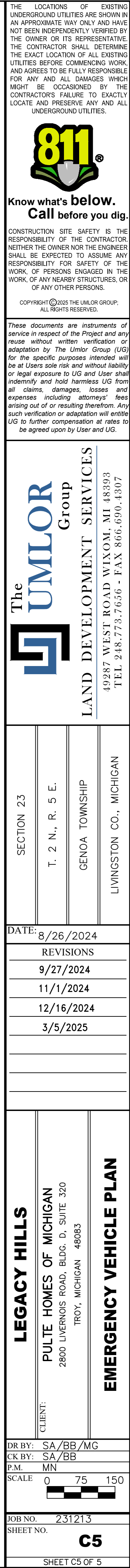
PART OF SECTIONS 23 & 24
TOWN 02 NORTH - RANGE 05 EAST
GENOA TOWNSHIP
LIVINGSTON COUNTY, MI

DATE: 8/26/24
REVISIONS

TOPOGRAPHIC SURVEY
CLIENT: PULTE HOMES OF MICHIGAN, LLC
2800 LIVERNOE BLVD. - BUILDING D - SUITE 220
TROY, MI 48063

DR BY: BDR
CK BY: ROM
P.M. MTN
SCALE: 0 100 200

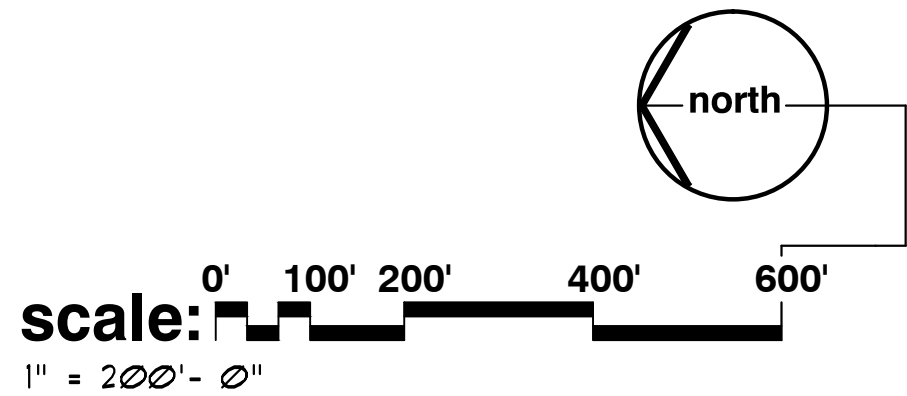
JOB NO. #231213
SHEET NO. C4
SHEET C4OF 5



overall landscape plan for:

The Legacy Hills - a planned single family community

Genoa Township, Michigan

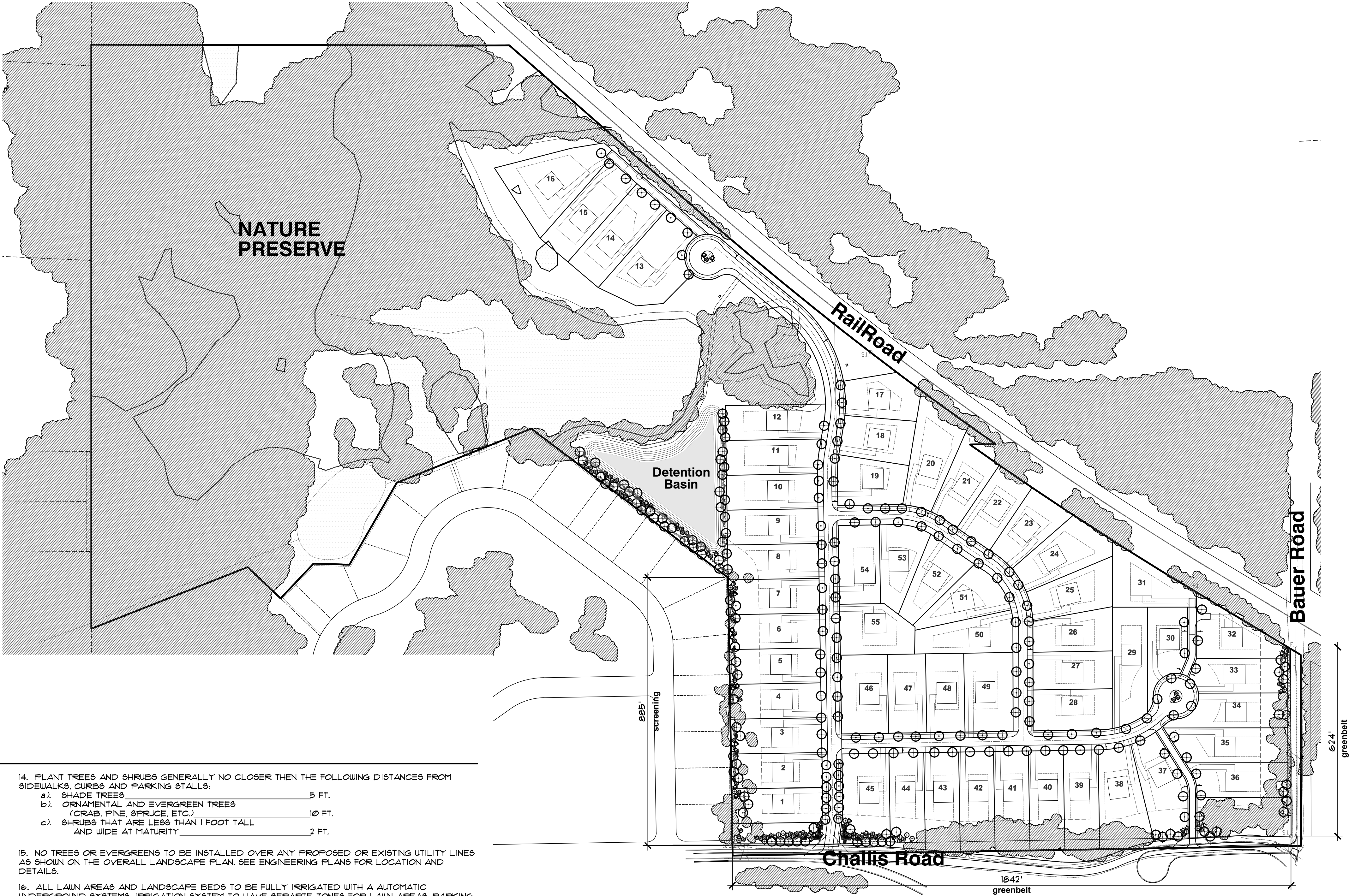


landscape requirements:

greenbelt (Challis Road)	REQUIRED	PROVIDED
TOTAL LIN.FT. OF GREENBELT FRONTAGE	1842±	57 + EXISTING TREES
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (1842 LIN.FT. / 40 LIN.FT. = 46.05 TREES)	46	
greenbelt (Bauer Road)	REQUIRED	PROVIDED
TOTAL LIN.FT. OF GREENBELT FRONTAGE	624±	15 + EXISTING TREES
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (624 LIN.FT. / 40 LIN.FT. = 15.6 TREES)	16	
street trees (interior residential streets)		
TOTAL NO. OF RESIDENTIAL UNITS PROVIDED	55	
TWO (2) 2 1/2" CANOPY TREES PER RESIDENTIAL UNIT (55 UNITS X 2 TREES = 110 TREES)	110	114
landscape screening	REQUIRED	PROVIDED
TOTAL LIN.FT. OF BOUNDARY FRONTAGE	885±	44 + EXISTING TREES
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 20 LIN.FT. (885' LIN.FT. / 20 LIN.FT. = 44.25 TREES)	44	
OR FOUR (4) SHRUBS PER 20 LIN.FT. (885' LIN.FT. / 20 LIN.FT. = 44.25 X 4-SHRUBS=177)	177	177
detention basin	REQUIRED	PROVIDED
TOTAL LIN.FT. OF POND PERIMETER	1602±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (1602 LIN.FT. / 50 LIN.FT. = 32.04 TREES)	32	65
TEN (10) SHRUBS PER 50 LIN.FT. (1604 LIN.FT. / 50 LIN.FT. = 32.04 X 10-SHRUBS=320.4)	320	320

general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY GENOA TOWNSHIP AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD BARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.



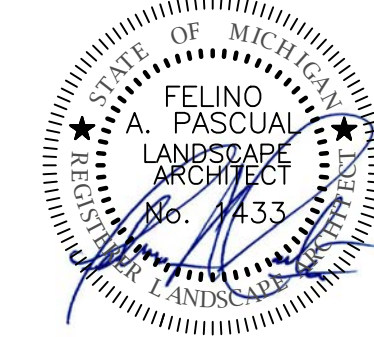
landscape sheet index

- LS-1 OVERALL LANDSCAPE PLAN VIEW
- LS-2 GENERAL PLANTING DETAIL PLAN
- LS-3 GENERAL PLANTING DETAIL PLAN
- LS-4 DETENTION PLANTING DETAIL PLAN
- LS-5 ENTRANCE PLANTING DETAIL MATERIAL LIST, PLANT DETAILS & LANDSCAPE NOTES
- LS-6 ENTRY SIGN MONUMENT WALL

street trees note:

STREET TREES TO BE INSTALLED A MINIMUM 10' TO 12' FROM THE EDGE OF THE ROAD. NO STREET TREES TO BE INSTALLED OVER PROPOSED OR EXISTING UNDERGROUND UTILITY. ALL STREET TREE TO BE PRUNED AND MAINTAINED A MINIMUM VERTICAL CLEARANCE OF 13 1/2 FEET ALONG THE LENGTH OF ROAD WAY AS REQUIRED PER BRIGHTON AREA FIRE AUTHORITY STANDARDS AND REQUIREMENTS. SEE SHT. LS-5 FOR DETAILS.

seal:



client:

LAUTREC

31550

Northwestern

HWY. Suite 200

Farmington Hills,

Michigan 48334

project:

**THE
LEGACY
HILLS**

project location:

Genoa Township,

Michigan

Challis Road & Bauer

Road

sheet title:

CONCEPTUAL
LANDSCAPE PLAN

job no./issue/revision date:

LS24.083.08 SPA 8-26-2024

LS24.083.09 TWP. COMMENTS 9-26-2024

LS24.083.10 site updates 10-31-2024

LS24.083.12 site updates 12-16-2024

drawn by:

JP,

checked by:

FP

date:

8-20-2024

notice:

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Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate. No guarantee is either expressed or implied as to the completeness of accuracy. Contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:

LS24.083.08

sheet no:

LS-1 of 6



DISTURBED AREAS TO RECEIVE
LAWN SEEDING ON FINISH GRADES
PROVIDE POSITIVE DRAINAGE

PROPOSED UNDERGROUND
UTILITIES-SEE ENGINEERING PLAN
FOR FINAL LOCATIONS, SIZES,
TYPES, ELEVATIONS AND DETAILS

HATCHING DENOTES EXISTING
WOODLAND AND VEGETATION

LIMITS OF WETLAND

25' WETLAND SETBACK LINE

SCALE: 1" = 60' - 0"

plant material list					
key	quant. LS-3	botanical name	common name	size	comments
		CANOPY TREES			
QB	5	QUERCUS 'BICOLOR'	SWAMP WHITE OAK	2 1/2" BB	
AR	3	ACER R. 'FRANKSRED'	RED SUNSET RED MAPLE	2 1/2" BB	
AF	6	ACER X. 'FREEMANII'	AUTUMN BLAZE RED MAPLE	2 1/2" BB	
LT	5	LIRIODENDRON TULIPIFERA	TULIP TREE	2 1/2" BB	
		EVERGREEN TREES			
PS	3	PINUS STROBUS	EASTERN WHITE PINE	8' BB	

street trees note:

STREET TREES TO BE INSTALLED A MINIMUM 10' TO 12' FROM THE
EDGE OF THE ROAD. NO STREET TREES TO BE INSTALLED OVER
PROPOSED OR EXISTING UNDERGROUND UTILITY. ALL STREET TREE
TO BE PRUNED AND MAINTAINED A MINIMUM VERTICAL CLEARANCE
OF 13 1/2 FEET ALONG THE LENGTH OF ROAD WAY AS REQUIRED PER
BRIGHTON AREA FIRE AUTHORITY STANDARDS AND REQUIREMENTS.
SEE SHT. L9-5 FOR DETAILS.

ADJACENT DETENTION BASIN
LANDSCAPE PLANTINGS. SEE SHT.
LS-4 FOR DETAILS

proposed
Detention Basin

basin construction notes

- PROPER CONSTRUCTION TECHNIQUES, PARTICULARLY INSTALLATION OF VEGETATION, ARE IMPORTANT TO THE SUCCESSFUL FUNCTIONING OF OPEN DETENTION BASINS, ESPECIALLY FOR CONSTRUCTED WETLAND TYPE OPEN DETENTION BASINS IN ORDER TO ESTABLISH A DENSE AND DIVERSE EMERGENT WETLAND PLANT COMMUNITY. GENERAL GUIDELINES FOR VEGETATION INSTALLATION INCLUDE:
1. IF EMERGENT PLANT STOCK IS PROPOSED IN THE POND ZONE, THE SUPPLIED PLUG MATERIAL MUST HAVE SUFFICIENT VEGETATIVE GROWTH EXTENDING OUT OF THE WATER ONCE PLANTED.
 2. SEED MUST BE PLANTED ABOVE THE PERMANENT WATER ELEVATION.
 3. ALL SEEDED AREAS SHOULD BE PROPERLY STABILIZED WITH A MUGH BLANKET PEGGED IN PLACE.
 4. DEPENDING ON THE TYPE OF VEGETATION, BARRIERS MAY BE REQUIRED FOR ONE YEAR TO PROTECT THE PLANTINGS (E.G., SNOW FENCE OR NETTING TO DETER WILDLIFE, PREVENT MOVING).
 5. IF DETENTION BASIN ARE COMPACTED, THE SLOPES MUST BE ROTOTILLED, 4" (FOUR) OF COMPOST OR TOPSOIL MUST BE ADDED
 6. "NO MOW ZONE" SIGNS MUST BE PLACED AROUND THE BASIN
 7. DETENTION BASIN NATIVE SEEDING TO BE PERFORMED IN EARLY SPRING OR LATE FALL. AQUATIC PLANTS SHOULD BE INSTALLED IN THE SUMMER AFTER THE COVER CROP HAS ESTABLISHED

lawn area:

800 LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A 800 NURSERY ON LOAM SOIL. 800 TO BE INSTALLED ON MINIMUM 4" TOPSOIL.

SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

- 5% PERENNIAL RYE GRASS
- 10% RED FESCUE
- 25% CHEWING FESCUE
- 60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED, PROVIDE A MINIMUM 4" TOP SOIL ON ALL SEEDED LAWN AREA

detention pond landscape requirement:

detention basin	REQUIRED	PROVIDED
TOTAL LIN.FT. OF POND PERIMETER	1602±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (1602 LIN.FT. / 50 LIN.FT. = 32.04 TREES)	32	65
TEN (10) SHRUBS PER 50 LIN.FT. (1604 LIN.FT. / 50 LIN.FT. = 32.04 X 10=SHRUBS=320.4)	320	320

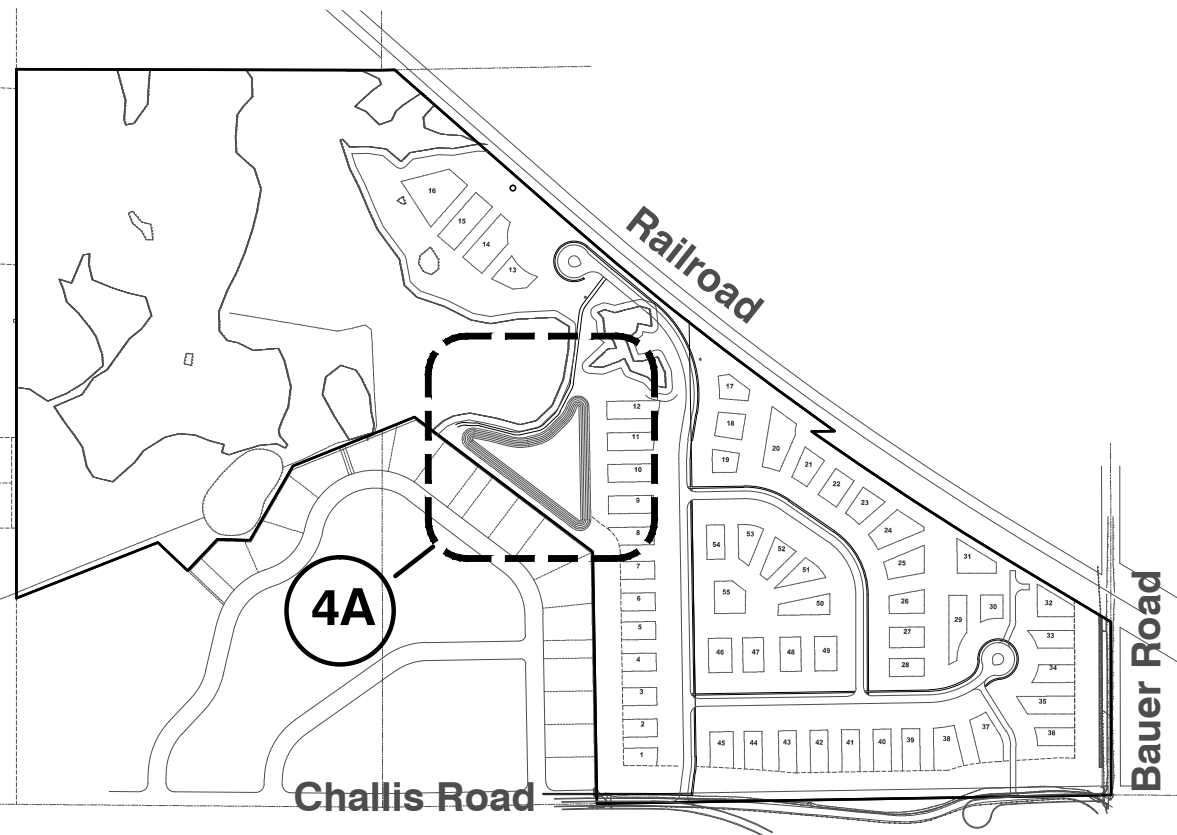
detention basin seed mix

A WETLAND SEED MIX FOR SATURATED SOILS IN A DETENTION POND OR FOR SEEDING A SATURATED BASIN. THIS MIX WILL TOLERATE HIGHLY FLUCTUATING WATER LEVELS AND POOR WATER QUALITY ASSOCIATED WITH URBAN STORMWATER WETLANDS AND PONDS. FOR DETENTION BASINS THAT EXPERIENCE LONG, DRY PERIODS, USE THE ECONOMY PRAIRIE SEED MIX IN THE UPPER THIRD TO HALF OF THE BASIN AREA IN COMBINATION WITH THIS MIX. THIS SEED MIX INCLUDES AT LEAST 10 OF 12 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 13 OF 17 NATIVE FORB SPECIES. APPLY AT 36.22 PLS POUNDS PER ACRE.

BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
BOLBOSCHOENUS FLUVIATILIS	RIVER BULRUSH	1.00
CAREX CRISTATELLA	CRESTED OVAL SEDGE	0.50
CAREX LURIDA	BOTTLEBRUSH SEDGE	3.00
CAREX VULPINOIDEA	BROWN FOX SEDGE	2.00
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	24.00
GLYCERIA STRIATA	FOWL MANNA GRASS	1.00
JUNCUS EFFUSUS	COMMON RUSH	1.00
LEERSIA ORYZOIDES	RICE CUT GRASS	1.00
PANICUM VIRGATUM	SWITCH GRASS	2.00
SCHOENOPLECTUS TABERNAEMONTANI	GREAT BULRUSH	3.00
SCIRPUS ATROVIRENS	DARK GREEN RUSH	2.00
SCIRPUS CYPERINUS	WOOL GRASS	1.00
	TOTAL	41.50

TEMPORARY COVER		
AVENA SATIVA	COMMON OAT	512.00
	TOTAL	512.00

FORBS		
ALISMA SUBCORDATUM	COMMON WATER PLANTAIN	2.50
ASCLEPIAS INCARNATA	SWAMP MILKWEED	2.00
BIDENS SPP. BIDENS	SPECIES	2.00
EUPATORIUM PERFOOLIATUM	COMMON BONESET	1.00
HELENIUM AUTUMNALE	SNEEZEWEED	2.00
IRIS VIRGINICA V. SHREVEI	BLUE FLAG	4.00
LYCOPUS AMERICANUS	COMMON WATER HOREHOUND	0.50
MIMULUS RINGENS	MONKEY FLOWER	1.00
PENTHORUM SEDOIDES	DITCH STONECROP	0.50
PERSICARIA SPP.	PINKWEED SPECIES	2.00
RUDBECKIA SUBTOMENTOSA	SWEET BLACK-EYED SUSAN	1.00
RUDBECKIA TRILOBA	BROWN-EYED SUSAN	1.50
SAGITTARIA LATIFOLIA	COMMON ARROWHEAD	1.00
SENNA HEBECARPA	WILD SENNA	2.00
SYMPHYOTRICHUM LANCEOLATUM	PANICLED ASTER	0.50
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	0.50
THALICTRUM DASycARPUM	PURPLE MEADOW RUE	2.00
	TOTAL	26.00



economy prairie seed mix

THIS PRAIRIE SEED MIX OFFERS AN ECONOMICAL WAY TO ESTABLISH A PRAIRIE. IN ADDITION TO NATIVE PRAIRIE GRASSES, FLOWERING SPECIES PROVIDE COLOR THROUGHOUT THE GROWING SEASON AND FOOD SOURCES FOR BIRDS AND BUTTERFLIES. ADDING SEED OR PLANT PLUGS AT A LATER DATE IS A WONDERFUL WAY TO INCREASE A PRAIRIE'S RICHNESS AND DIVERSITY. THIS SEED MIX INCLUDES AT LEAST 6 OF 7 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 10 OF 13 NATIVE FORB SPECIES. APPLY AT 40.95 PLS POUNDS PER ACRE.

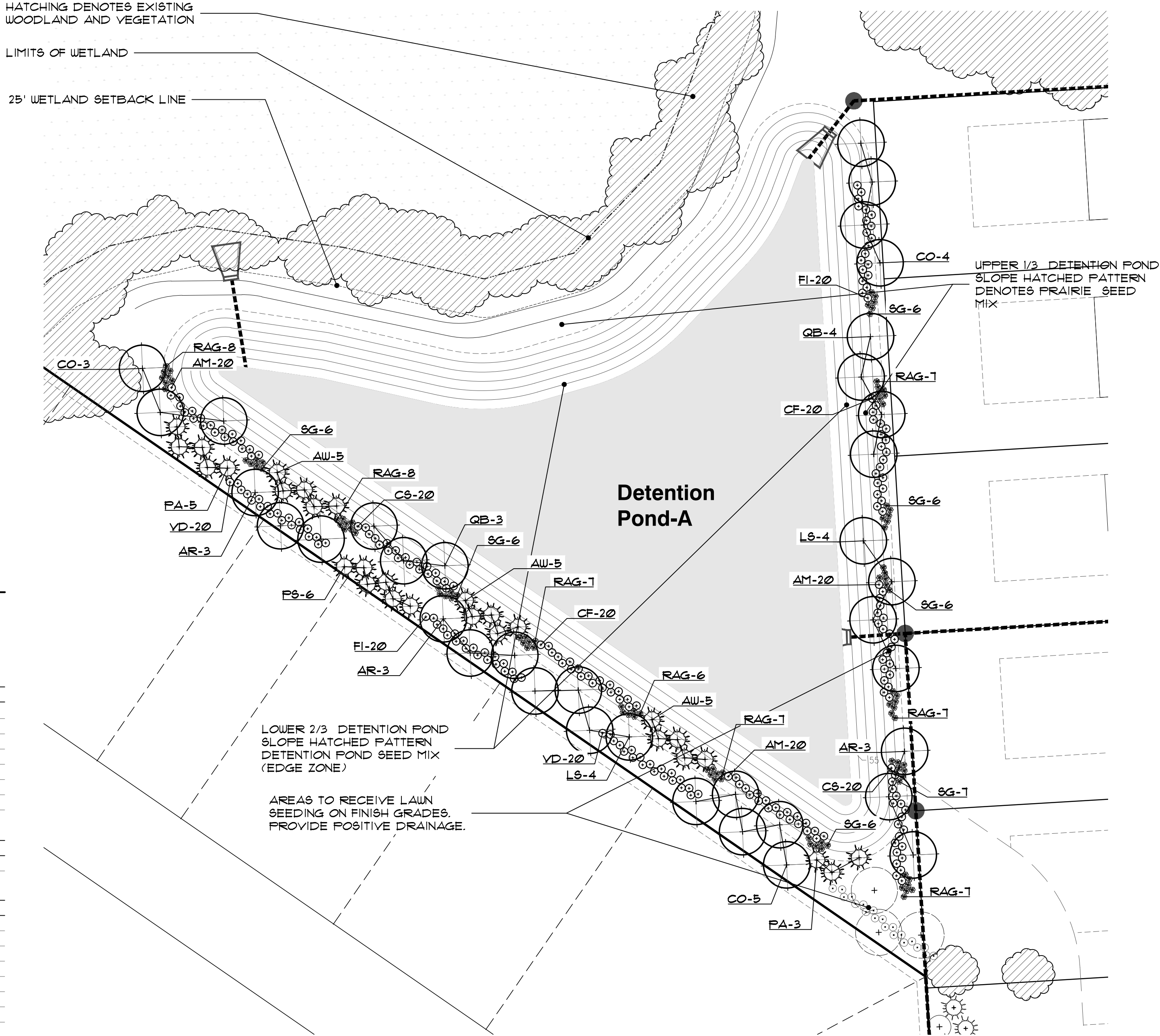
BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
ANDROPOGON GERARDII	BIG BLUESTEM	12.00
BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA	16.00
CAREX SPP.	PRAIRIE SEDGE SPECIES	3.00
ELYMUS CANADENSIS	CANADA WILD RYE	24.00
PANICUM VIRGATUM	SWITCH GRASS	2.50
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	32.00
SORGHASTRUM NUTANS	INDIAN GRASS	12.00
	TOTAL	101.50

TEMPORARY COVER		
AVENA SATIVA	COMMON OAT	512.00
	TOTAL	512.00

FORBS		
ASCLEPIAS SYRIACA	COMMON MILKWEED	1.00
ASCLEPIAS TUBEROSA	BUTTERFLY WEED	1.00
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	10.00
COREOPSIS LANCEOLATA	SAND COREOPSIS	6.00
ECHINACEA PURPUREA	BROAD-LEAVED PURPLE CONEFLOWER	8.00
HELIOPSIS HELIANTHOIDES	FALSE SUNFLOWER	0.25
MONARDA FISTULOSA	WILD BERGAMOT	0.50
PENSTEMON DIGITALIS	FOXGLOVE BEARD TONGUE	1.00
RATIBIDA PINNATA	YELLOW CONEFLOWER	4.00
RUDBECKIA HIRTA	BLACK-EYED SUSAN	8.00
SOLIDAGO SPECIOSA	SHOWY GOLDENROD	0.50
SYMPHYOTRICHUM LAEVE	SMOOTH BLUE ASTER	1.00
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	0.50
	TOTAL	41.75

plant material list

key	quant.	botanical name	common name	size	comments
		CANOPY AND EVERGREEN TREES			
GB	9	ACER RUBRUM	RED MAPLE	2 1/2" BB	
GB	1	QUERCUS 'BICOLOR'	SWAMP WHITE OAK	2 1/2" BB	
LS	8	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 1/2" BB	
CO	12	CELTIS OCCIDENTALIS	HACKBERRY	2 1/2" BB	
PS	6	PINUS STROBUS	EASTERN WHITE PINE	8' BB	
AW	15	ABIES CONCOLOR	CONCOLOR WHITE FIR	8' BB	
PA	8	PICEA ABIES	NORWAY SPRUCE	8' BB	
		SHRUBS			
RAG	51	VIBURNUM D. 'SYNNESTVEDT'	GRO LOW FRAGRANT SUMAC	5" CONT.	42" O.C. SPACING
VD	40	VIBURNUM D. 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	5" CONT.	60" O.C. SPACING
CS	40	CORNUS STOLONIFERA	REDTWIG DOGWOOD	5" CONT.	60" O.C. SPACING
CF	40	CORNUS FLAVIRAMEA	YELLOWTWIG DOGWOOD	5" CONT.	60" O.C. SPACING
FI	40	FORSYTHIA INTERMEDIA	BORDER FORSYTHIA	5" CONT.	60" O.C. SPACING
SG	43	SPIREA X.B. BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	5" CONT.	42" O.C. SPACING
IV	60	ILEX VERTICILLATA	MICHIGAN HOLLY	5" CONT.	60" O.C. SPACING



4A detention pond-A planting detail

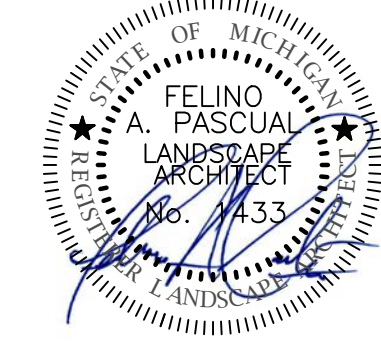
SCALE: 1" = 30' - 0"

hatch pattern legend

- AREAS TO RECEIVE IRRIGATION AND SOD, MAINTAINED AND MOWED WEEKLY
- AREAS TO RECEIVE PRAIRIE SEED MIX. (NO MOWED AREA)
- AREAS TO RECEIVE LAWN SEEDING
- AREAS TO RECEIVE DETENTION POND SEED MIX

FP A
FELINO A. PASCUAL
and ASSOCIATES
Community Land Planner and
registered Landscape Architect
24333 Orchard Lake Rd, Suite G
Farmington Hills, MI 48336
ph. (248) 557-5588
fax. (248) 557-5416

seal:



client:

LAUTREC

31550

Northwestern
HWY. Suite 200
Farmington Hills,
Michigan 48334

project:

**THE
LEGACY
HILLS**

project location:

Genoa Township,
Michigan
Challis Road & Bauer
Road

sheet title:

DETENTION
LANDSCAPE PLANTING
DETAIL PLAN

job no./issue/revision date:

- LS24.083.08 SPA 8-26-2024
- LS24.083.09 TWP. COMMENTS 9-26-2024
- LS24.083.10 site updates 10-31-2024
- LS24.083.12 site updates 12-16-2024

drawn by:

JP,

checked by:

FP

date:

8-20-2024

notice:

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Do Not scale drawings. Use
figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:

LS24.083.08

sheet no:

LS-4 of 6

GENERAL NOTES:

1. PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE GENOA TOWNSHIP AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
2. PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING SEASON.
3. PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. 1 GRADE NORTHERN NURSERY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
4. MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
5. CALL MISS DIG AT 1-800-482-TITI PRIOR TO ANY CONSTRUCTION.

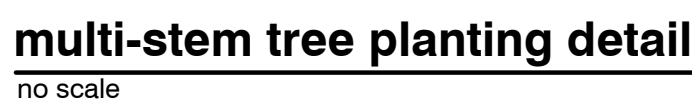
1. TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
2. DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.
3. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDING.
4. REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.

1. SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
2. DO NOT PRUNE TERMINAL LEADER PRUNE ONLY DEAD OR BROKEN BRANCHES.
3. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

1. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.

2. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.

3. ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE REPLACEMENT OF DISCARDING PLANTS SHALL BE BETWEEN MARCH 1 AND NOVEMBER 15, OR UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED PLANT MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL. IT IS INTENDED TO REPLACE.

[illegible]

1550
Northwestern
HWY. Suite 200
Farmington Hills,
Michigan 48334

THE LEGACY HILLS

Genoa Township,
Michigan
Hallis Road & Bauer
Road

ENTRANCE SIGN
MONUMENT

\$24.083.08	SPA	8-26-2024
\$24.083.09	TWP. COMMENTS	9-26-2024
\$24.083.10	site updates	10-31-2024
\$24.083.12	site updates	12-16-2024

1. LOCATE AND STAKE ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ANY ADJUSTMENTS WITH LANDSCAPE ARCHITECT.
2. ALL ENTRY WALL LIGHTING SHALL BE CONTROLLED WITH A "PHOTO-EYE" SWITCH. ALL LIGHTING SHALL BE SHIELDED FROM PUBLIC ROW'S AND ADJACENT PROPERTIES.
3. SEE LANDSCAPE PLAN FOR PROPOSED PLANTINGS ADJACENT TO PROPOSED ENTRY SIGN MONUMENT ON SHT. L-5-5
4. VERIFY SOIL BEARING CAPACITY PRIOR TO ENTRY SIGN MONUMENT & PIER CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL ENTRY MONUMENT & PIER FOOTING DESIGN.
5. SIGNAGE TEXT AND LOGO TO BE METAL PRISMATIC DIMENSIONAL LETTERS. PRIOR TO SIGN INSTALLATION, PERMITS TO BE OBTAINED PER GENOA TOWNSHIP REQUIREMENTS AND APPROVALS.
6. ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION.

1. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 10000 P.S.I. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED TO THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
2. MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. # 2 @ 2' MIN. U.O.N. SHALL BE 3500 P.S.I. MIN. U.O.N.
EXPOSED CONCRETE SHALL BE 4000 P.S.I. WITH 6% ± 1% ENTRAINED AIR U.O.N.
3. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
4. PROVIDE DOWELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL WALLS UNLESS OTHERWISE NOTED.
5. PROVIDE MINIMUM 3" CONCRETE COVER FOR REINFORCEMENT BARS BELOW GRADE AND MINIMUM 2" CONCRETE COVER FOR REINFORCEMENT BARS ABOVE GRADE.



(2-CONDITIONS)

NOTE:
LIGHT TO BE SHIELD FROM PUBLIC ROW
AND LAMPS SHALL NOT BE VISIBLE
FROM NORMAL VIEWING ANGLES



Legacy Hills

Deer Valley



CT2M-MI1



EC2P



EC3U



NC2H

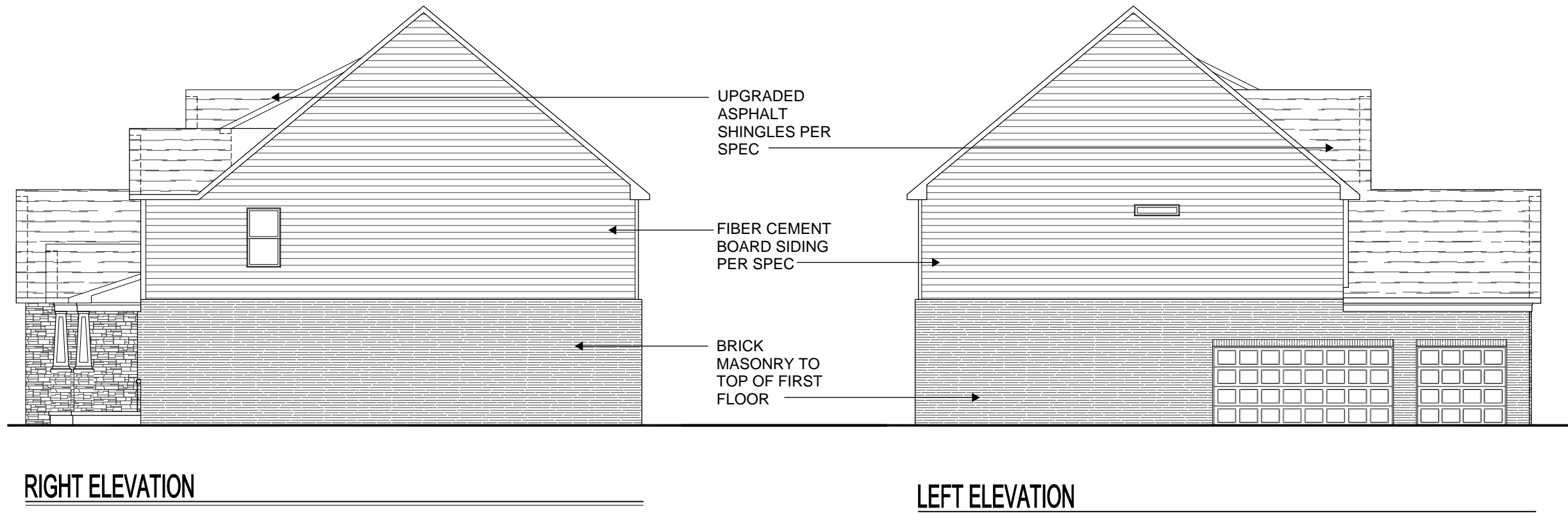


FH2A



PR2N

PLOTTED: November 17, 2024 / Kevin Roessler / DEER VALLEY-EL-NC2H-FULL.DWG



*TYPICAL AND REPRESENTATIVE

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry First Floor
3 Car Side Entry

PRODUCTION MANAGER Rick Storker		
INITIAL RELEASE DATE: 11/17/2024		
CURRENT RELEASE DATE: 12/01/2021		
REV #	DATE	DESCRIPTION
△		
△		
△		
△		
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GARAGE HANDING
Left

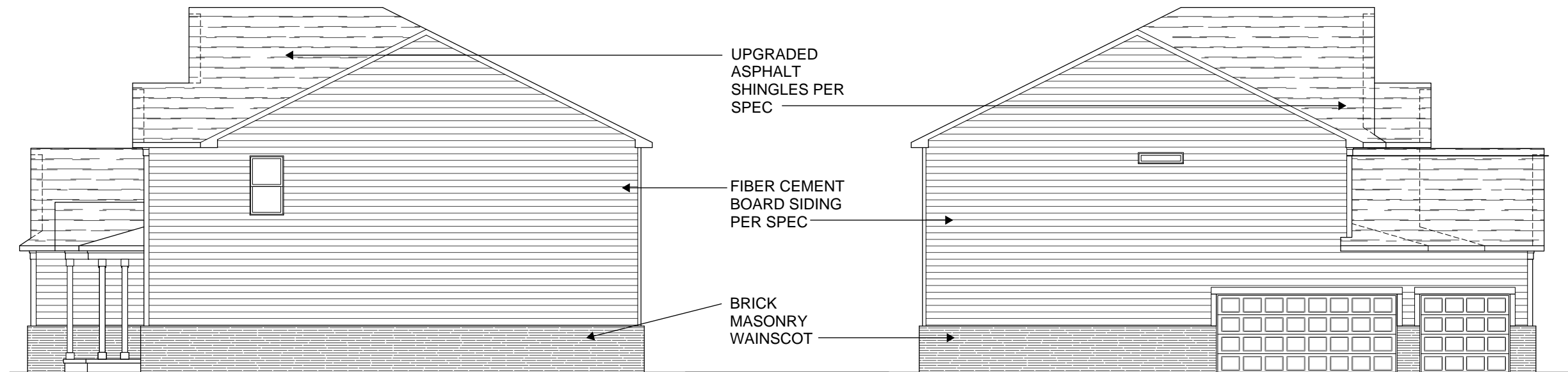
PLAN NAME
Deer Valley
NPC PLAN NUMBER
-
LAWSON PLAN ID
-

SHEET
A3-NC2H
3SB.1

PLOTTED: November 17, 2024 / Kevin Roessler / DEER VALLEY-EL-FH2AWAINSCOT.DWG



REAR ELEVATION



LEFT ELEVATION

ION

*TYPICAL AND REPRESENTATIVE

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1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry Wainscot

3 Car Side Entry

PRODUCTION MANAGER Rick Storker		
INITIAL RELEASE DATE: 11/17/2024		
CURRENT RELEASE DATE: 12/01/2021		
REV #	DATE	DESCRIPTION
△		
△		
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△		
△		

GARAGE HANDING
Left

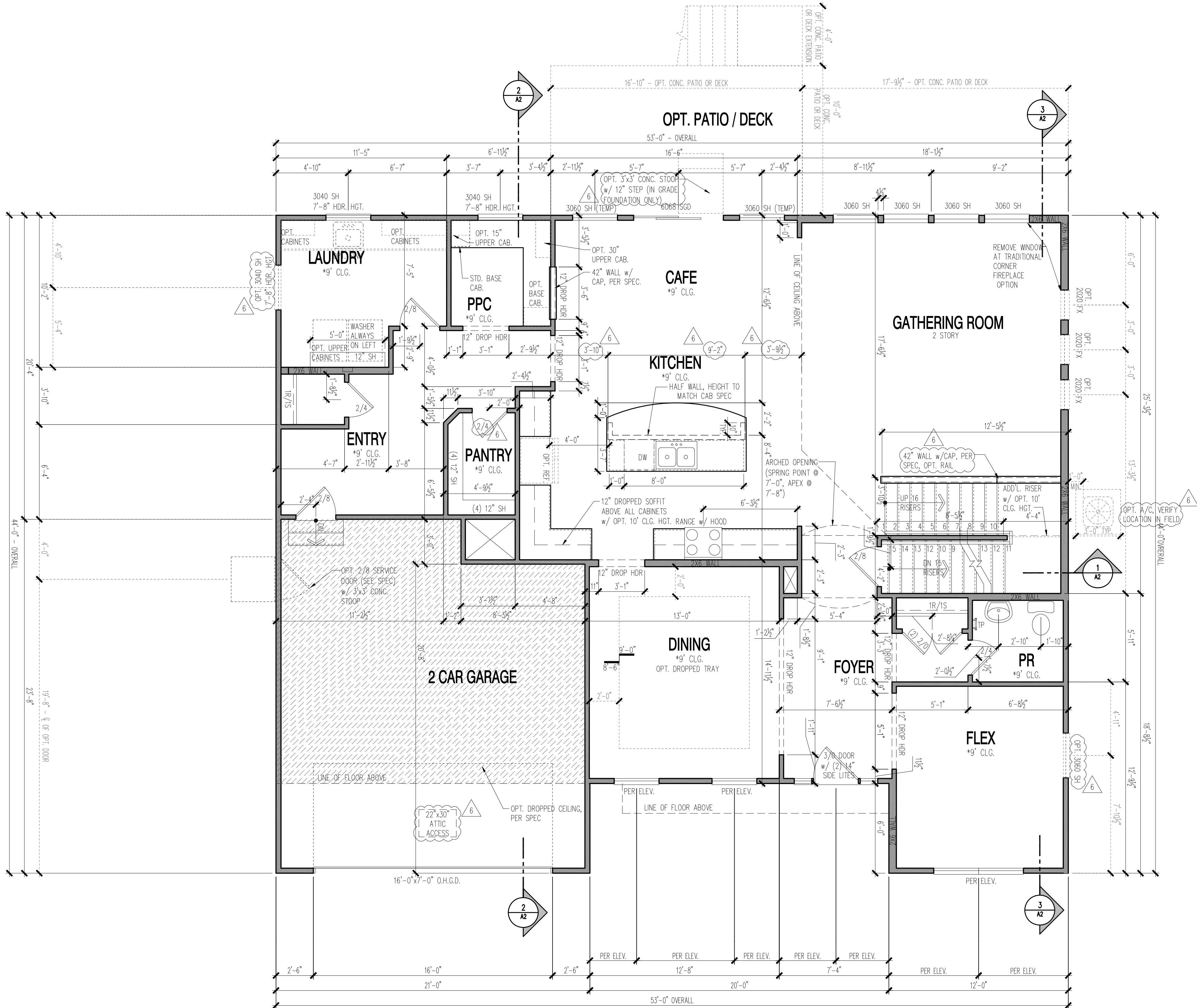
PLAN NAME
Deer Valley
NPC PLAN NUMBER
LAWSON PLAN ID

SHEET
A3FH2A
3SB.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
2. ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
3. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
4. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY. ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
7. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE 1/2" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
9. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
10. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
11. BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7 SF CLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"
* OPT. 10' CLG W/ RAISED CEILING HEIGHT UPGRADE OPTION

PRODUCT MANAGER RICK STARKEY	
INITIAL RELEASE	
DATE: 08/04/2014	
REV#	DATE/DESCRIPTION
Δ	02/06/2015
Δ	01/04/2016
Δ	04/29/2016
Δ	11/14/2016
Δ	12/01/2017
Δ	05/10/2019
Δ	
Δ	

GARAGE HANDING
Garage Left

SPECIFICATION LEVEL

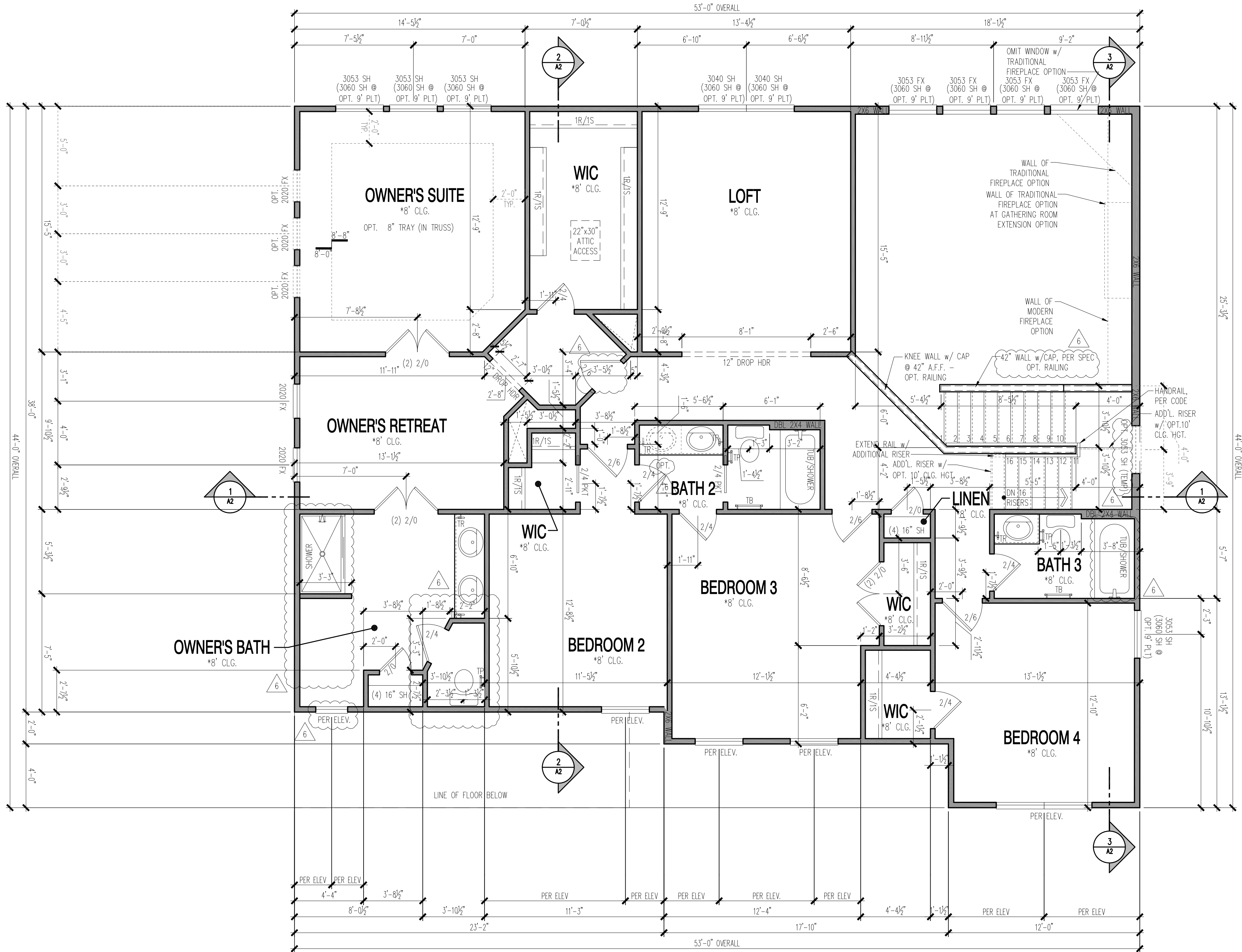
PLAN NAME
Deer Valley
NPC CHILD NUMBER
2107.300.00.CPM

SHEET
A1
4-1.1

FLOORPLAN NOTES

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12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"
* OPT. 9" CLG w/ RAISED CEILING HEIGHT UPGRADE OPTION

Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173



Second Floor Plan
4" Exterior Walls

PRODUCT MANAGER
RICK STARKEY
INITIAL RELEASE
DATE: 08/04/2014

REV#	DATE/DESCRIPTION
02/06/2015	REVISIONS
01/04/2016	PLAN REVISIONS
04/29/2016	PCR REVISIONS
11/14/2016	PLAN REVISIONS
12/01/2017	PCR REVISIONS
05/10/2019	PCR REVISIONS

GARAGE HANDING
Garage Left

SPECIFICATION LEVEL

PLAN NAME
Deer Valley
NPC CHILD NUMBER
2107.300.00.CPM

SHEET
A1
4-2.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS. 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS. (c) Copyright 2019 PulteGroup, Inc.

Legacy Hills

Rockwall



CT2M-MI1



EC3S-MI1



HR3S-MI1

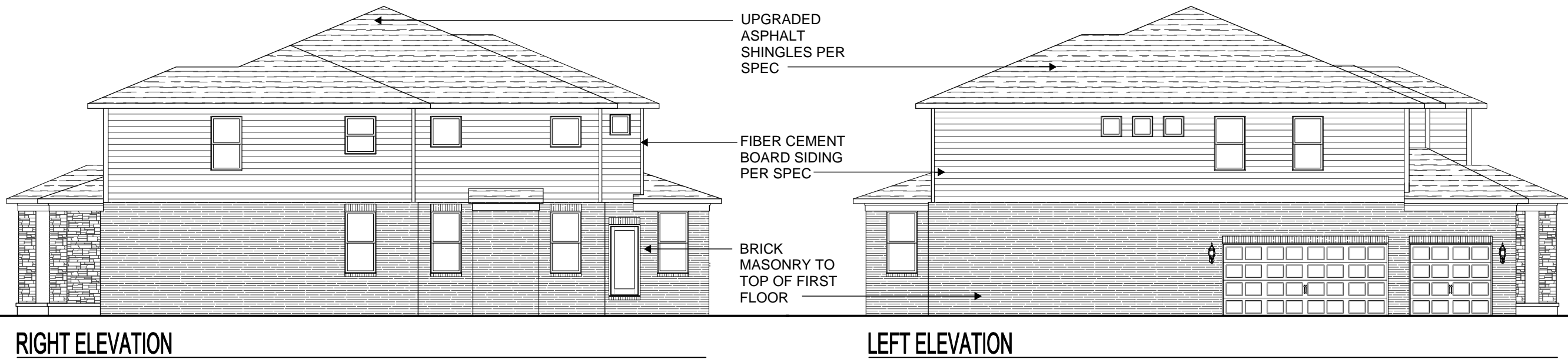
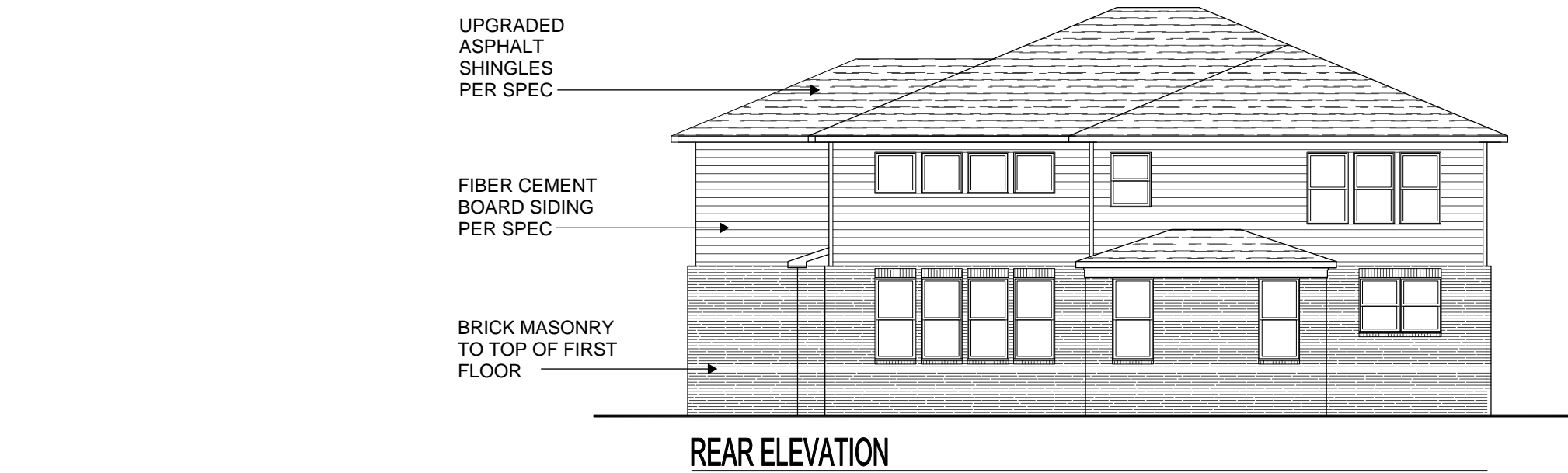


NC3H



PR2N-MI1

PLOTTED: November 17, 2024 / Kevin Roessler / 2054-ROCKWALL-CZ-BASE-EL-PR2N-M1.DWG



*TYPICAL AND REPRESENTATIVE

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry First Floor
3 Car Side Entry

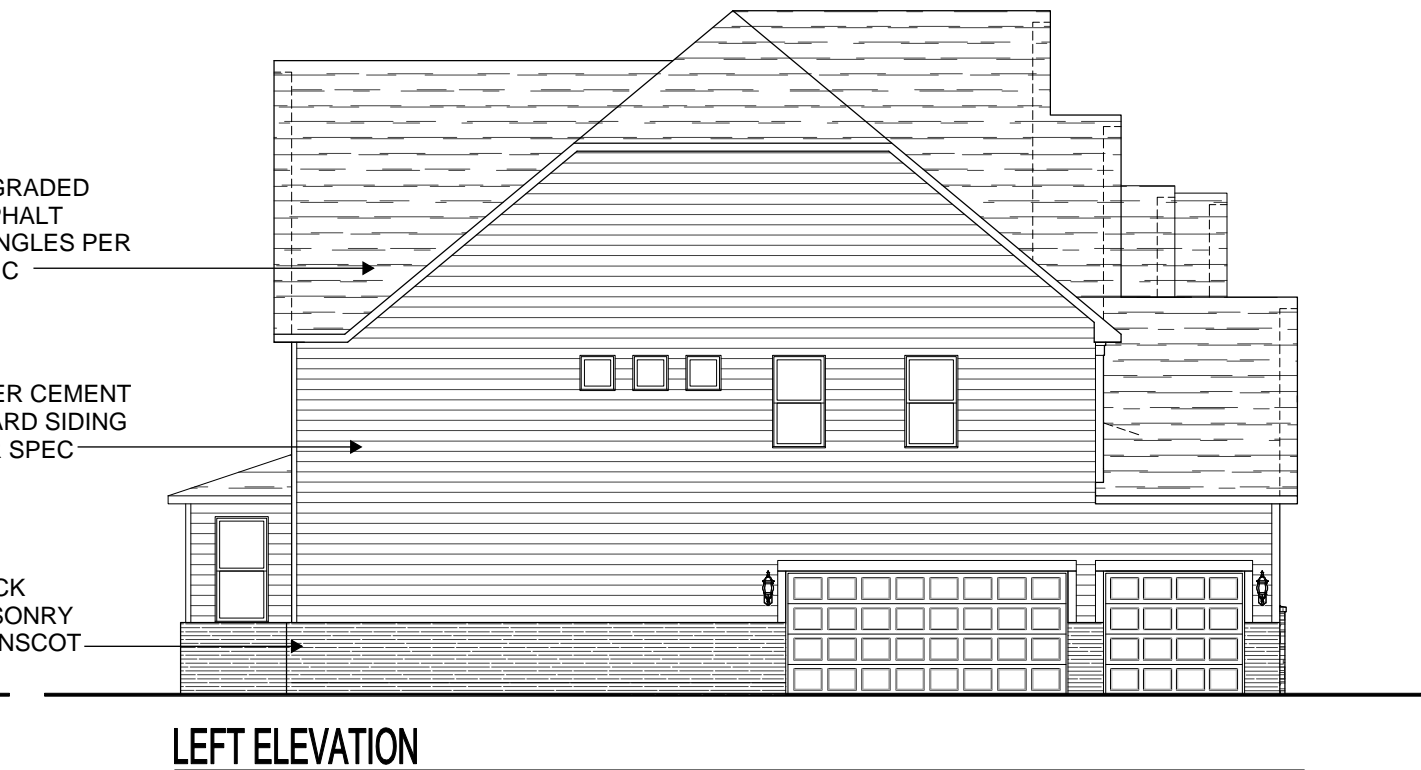
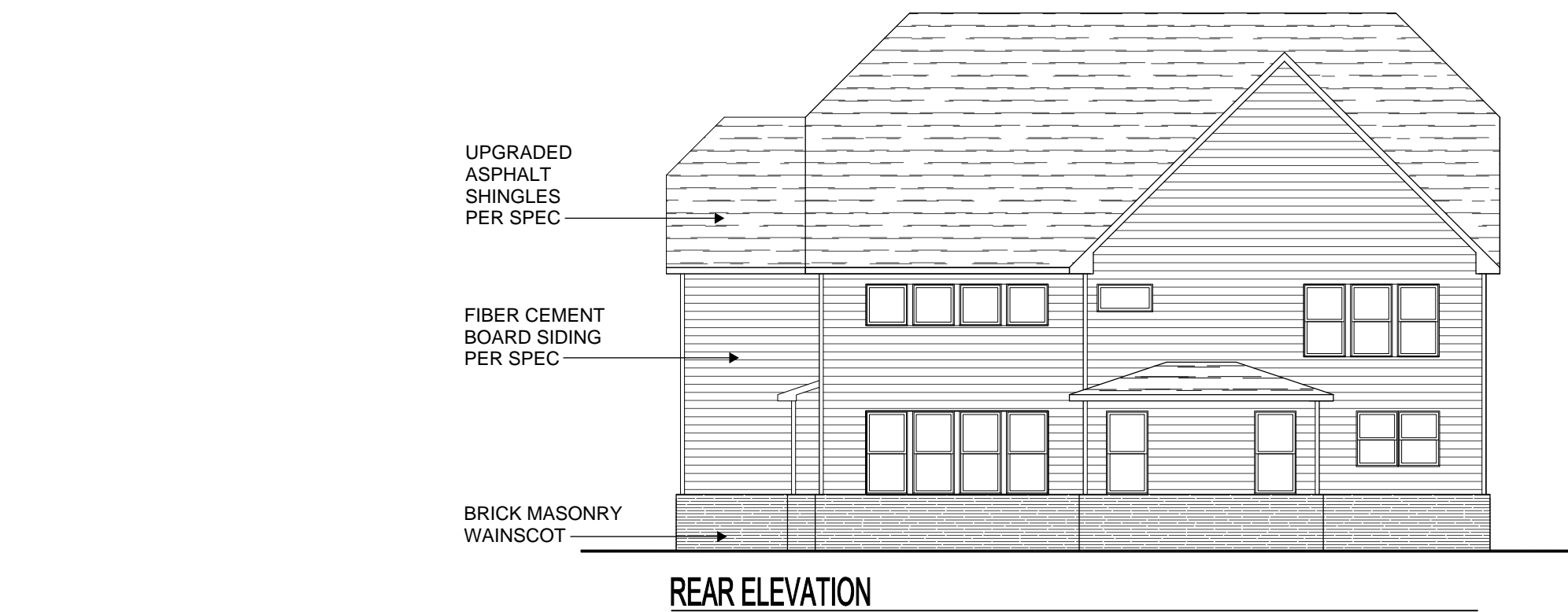
PRODUCTION MANAGER Rick Storkey	
INITIAL RELEASE DATE:	11/17/2024
CURRENT RELEASE DATE:	
REV #	DATE / DESCRIPTION
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GARAGE HANDING
Left

PLAN NAME
Rockwall
NPC PLAN NUMBER
LAWSON PLAN ID

SHEET
A3-PR2N-M11
3SB.1

PLOTTED: November 17, 2024 / Kevin Roessler / 2054-ROCKWALL-C2-BASE-EL-NC3H.DWG



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Schaumburg, Illinois 60173



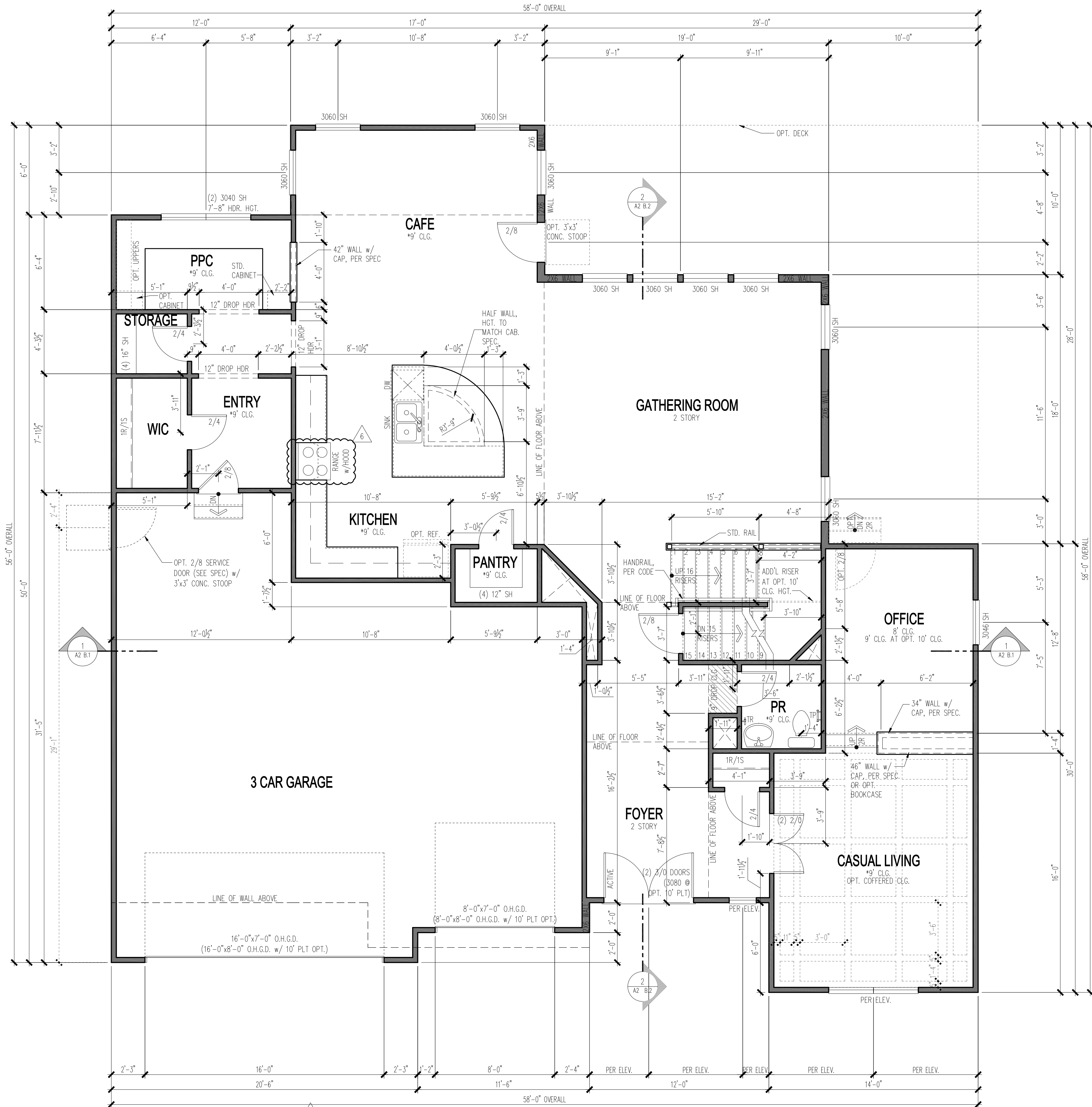
Typical Sides and Rears - Masonry Wainscot
3 Car Side Entry

PRODUCTION MANAGER Rick Storker	
INITIAL RELEASE DATE: 11/17/2024	
CURRENT RELEASE DATE:	
REV #	DATE / DESCRIPTION
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△	
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GARAGE HANDING Left	
PLAN NAME Rockwall	
NPC PLAN NUMBER	
LAWSON PLAN ID	
SHEET A3-NC3H	
3SB.1	

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

- ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
- ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
- PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
- PROVIDE 1/8" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
- ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
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- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
*OPT. 10' CLG w/ RAISED CEILING HEIGHT UPGRADE OPTION

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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Schaumburg, Illinois 60173



First Floor Plan
4" Exterior Walls

REV #	DATE	DESCRIPTION
1	02/06/2015	
2	04/06/2015	
3	04/17/2015	
4	01/04/2016	PLAN REVISIONS
5	04/29/2016	POR REVISIONS
6	11/14/2016	PLAN REVISIONS
7		
8		
9		
10		

GARAGE HANDING
Left

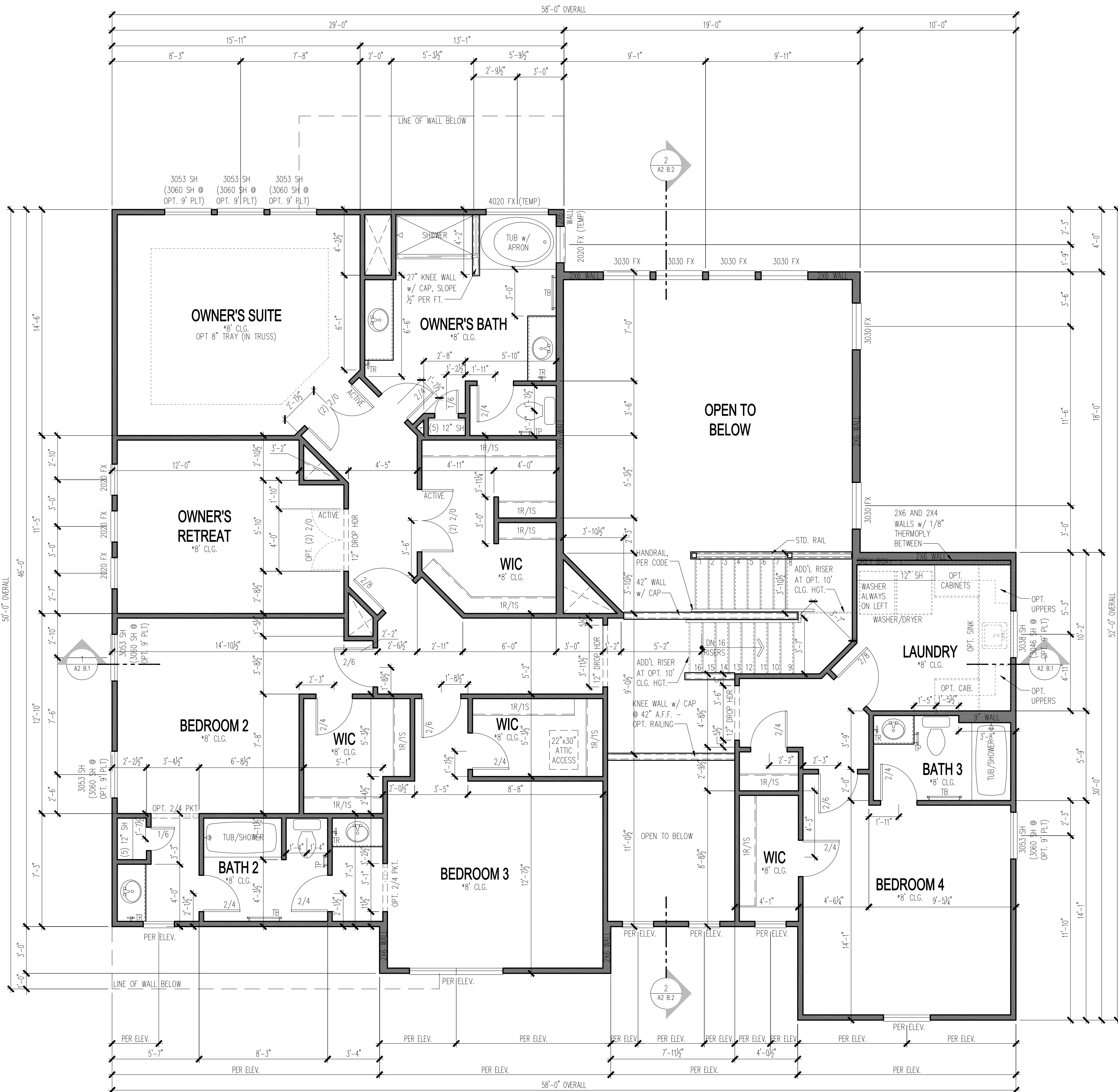
PLAN NAME
Rockwall
PLAN NUMBER
2054.300.00.CPM
LAWSON PLAN ID
--

SHEET
A1
4-1.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

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- FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"
*OPT. 9" CLG w/ RAISED CEILING HEIGHT UPGRADE OPTION

Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173



Second Floor Plan

4th Exterior Walls

REV #	DATE	DESCRIPTION
1	02/06/2015	
2	04/06/2015	
3	04/17/2015	
4	01/04/2016	PLAN REVISIONS
5	04/29/2016	PCR REVISIONS
6	11/14/2016	PLAN REVISIONS
7		
8		
9		
10		

GARAGE HANDING
Left

PLAN NAME
Rockwall
WIC PLAN NUMBER
2054.300.00.CPM
LAWSON PLAN ID
11

SHEET
A1
4-2.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34" SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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Legacy Hills

Skyview



CR2G-MI1



EC3W-MI1



LC2A-MI1



NC3H



PR2H-MI1

PLOTTED: November 17, 2024 / Kevin Roessler / 2056-SKYVIEW-CZ-BASE-EL-NC3H.DWG

UPGRADED
ASPHALT
SHINGLES
PER SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK MASONRY
TO TOP OF FIRST
FLOOR

REAR ELEVATION

UPGRADED
ASPHALT
SHINGLES PER
SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK
MASONRY TO
TOP OF FIRST
FLOOR

RIGHT ELEVATION

LEFT ELEVATION

*TYPICAL AND REPRESENTATIVE

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Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry First Floor
3 Car Side Entry

PRODUCTION MANAGER Rick Storker	
INITIAL RELEASE DATE: 11/17/2024	
CURRENT RELEASE DATE:	
REV #	DATE / DESCRIPTION
△	
△	
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GARAGE HANDING
Left

PLAN NAME
Skyview
NPC PLAN NUMBER
LAWSON PLAN ID

SHEET
A3-NC3H
3SB.1

PLOTTED: November 17, 2024 / Kevin Roessler / 2056-SKYVIEW-C2-BASE-EL-LC2A-WILD.DWG

UPGRADED
ASPHALT
SHINGLES
PER SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK MASONRY
WAINSCOT



REAR ELEVATION

UPGRADED
ASPHALT
SHINGLES PER
SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK
MASONRY
WAINSCOT



RIGHT ELEVATION



LEFT ELEVATION

*TYPICAL AND REPRESENTATIVE

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry Wainscot

3 Car Side Entry

PRODUCTION MANAGER Rick Storker		
INITIAL RELEASE DATE: 11/17/2024		
CURRENT RELEASE DATE:		
REV #	DATE	DESCRIPTION
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△		

GARAGE HANDING
Left

PLAN NAME
Skyview
NPC PLAN NUMBER

LAWSON PLAN ID
-

SHEET
A3-LC2A-M11

3SB.1

GENERAL SPECIFICATIONS

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4. PROVIDE SEPARATELY IDENTIFIED DWELLING GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE 3/4" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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SCALE: $1/4'' = 1'-0''$

* OPT. 10' CLG w/ RAISED CEILING HEIGHT UPGRADE OPTION

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1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



First Floor Plan

4" Exterior Walls

PRODUCTION MANAGER	
Rick Storkley	
INITIAL RELEASE DATE: 08/04/2014	
CURRENT RELEASE DATE: 04/29/2016	
REV #	DATE / DESCRIPTION
1	02/20/2015 PLAN REVISIONS
2	01/04/2016 PLAN REVISIONS
3	04/29/2016 PCR REVISIONS
4	11/14/2016 PLAN REVISIONS
5	-
6	-
7	-
8	-
9	-
10	-

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PLAN NAME
Skyview
NPC PLAN NUMBER
2056.300.00.CPM
LAWSON PLAN ID

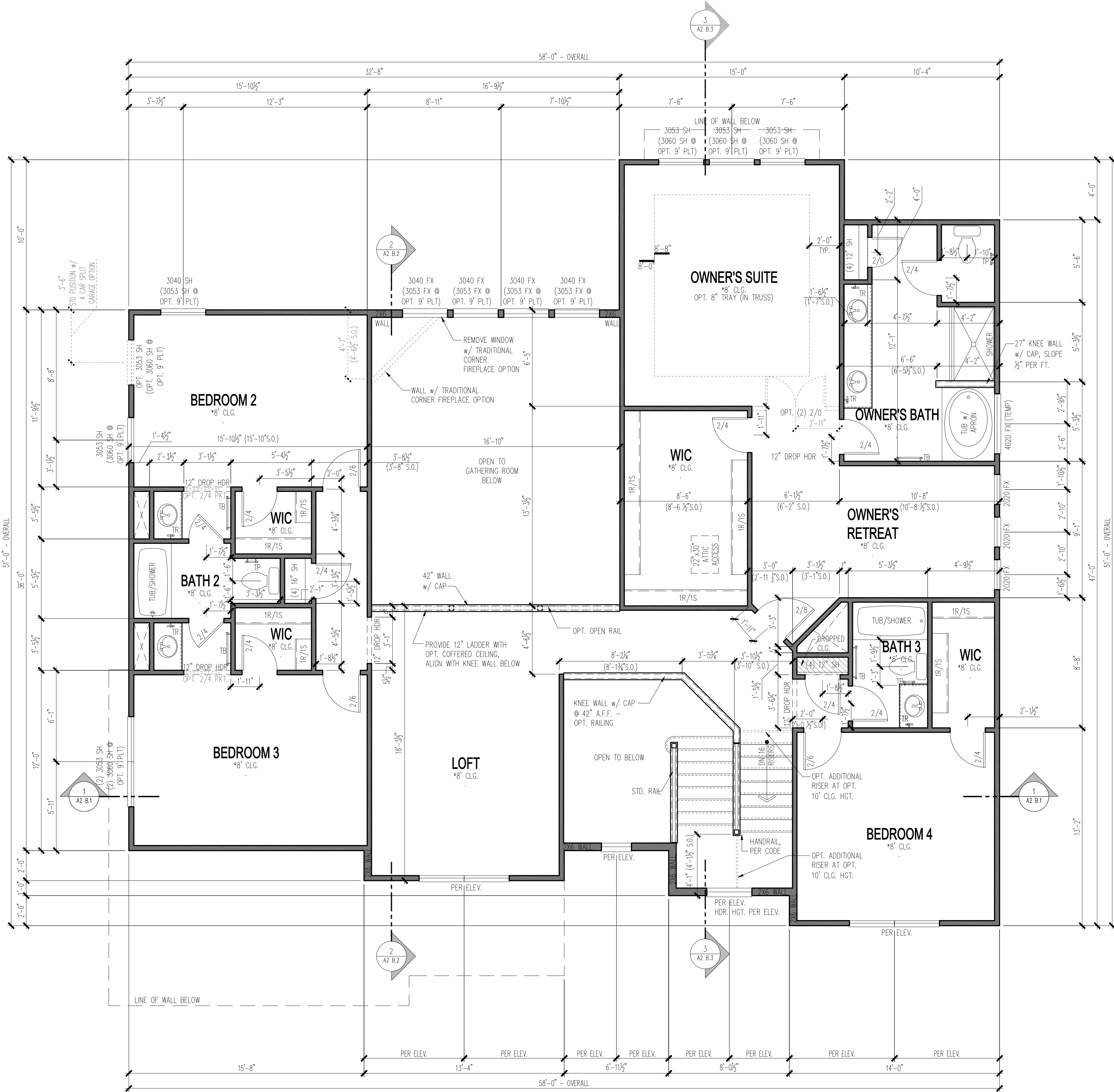
SHEET

4-1.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

* OPT. 9' CLG w/ RAISED CEILING HEIGHT UPGRADE OPTION

Midwest Zone Office

1900 E. Golf Road, - Suite 300

Schaumburg, Illinois 60173



Second Floor Plan

4th Exterior Walls

PRODUCTION MANAGER	Rick Starkey
INITIAL RELEASE DATE:	08/04/2014
CURRENT RELEASE DATE:	04/29/2016

REV #	DATE / DESCRIPTION
1	02/20/2015
2	01/04/2016
3	04/29/2016
4	11/14/2016
5	
6	
7	
8	
9	
10	
11	
12	

GARAGE HANDING

Left

PLAN NAME

Skyview

WIC PLAN NUMBER

2056.300.00.CPM

LAWSON PLAN ID

SHEET

A1

4-2.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34" SHEETS - 11x17 SHEETS REPRESENT 1/2" SCALE PLOTS

Legacy Hills

Woodside



HR3U



HR2F



CT2U



CR2L



NC2L



HR3S

PLOTTED: November 17, 2024 / Kevin Roessler / WOODSIDE-EL-NC24FUL.DWG

UPGRADED
ASPHALT
SHINGLES
PER SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK MASONRY
TO TOP OF FIRST
FLOOR

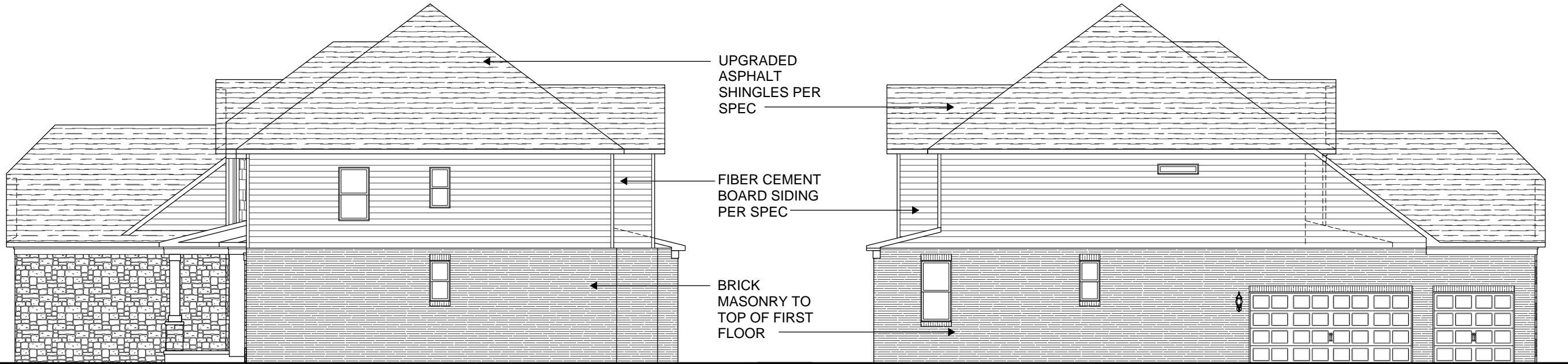


REAR ELEVATION

UPGRADED
ASPHALT
SHINGLES PER
SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK
MASONRY TO
TOP OF FIRST
FLOOR



RIGHT ELEVATION

LEFT ELEVATION

*TYPICAL AND REPRESENTATIVE

(c) Copyright Pulte Home Corporation - 2024

Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry First Floor
3 Car Side Entry

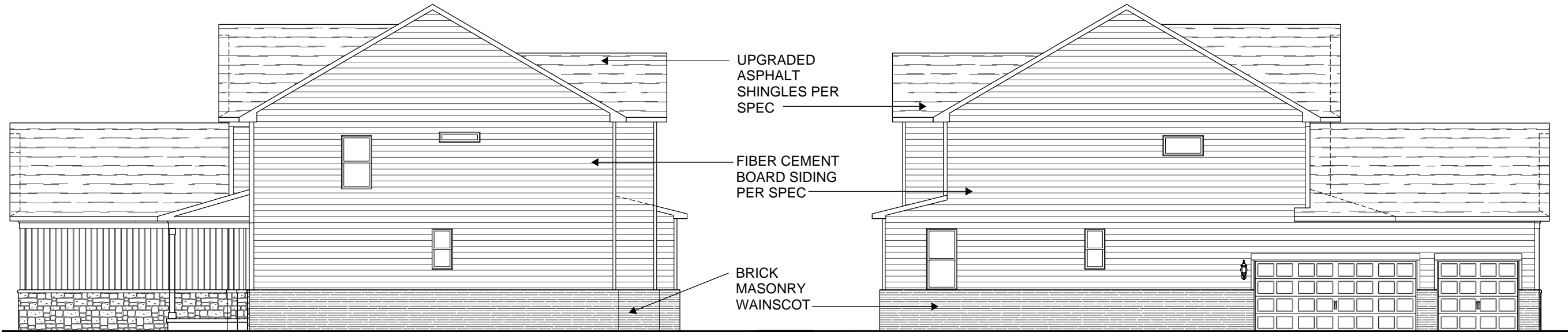
PRODUCTION MANAGER Rick Storker		
INITIAL RELEASE DATE: 11/17/2024		
CURRENT RELEASE DATE: 12/01/2021		
REV #	DATE	DESCRIPTION
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GARAGE HANDING
Left

PLAN NAME
Woodside
NPC PLAN NUMBER
-
LAWSON PLAN ID
-

SHEET
A3-CT2U
3SB.1

PLOTTED: November 17, 2024 / Kevin Roessler / WOODSIDE-EL-FH2AWAINSCOT.DWG



RIGHT ELEVATION

LEFT ELEVATION

UPGRADED
ASPHALT
SHINGLES
PER SPEC

FIBER CEMENT
BOARD SIDING
PER SPEC

BRICK MASONRY
WAINSCOT

REAR ELEVATION

*TYPICAL AND REPRESENTATIVE

(c) Copyright Pulte Home Corporation - 2024

Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Typical Sides and Rears - Masonry Wainscot

3 Car Side Entry

PRODUCTION MANAGER Rick Storker		
INITIAL RELEASE DATE: 11/17/2024		
CURRENT RELEASE DATE: 12/01/2021		
REV #	DATE	DESCRIPTION
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GARAGE HANDING
Left

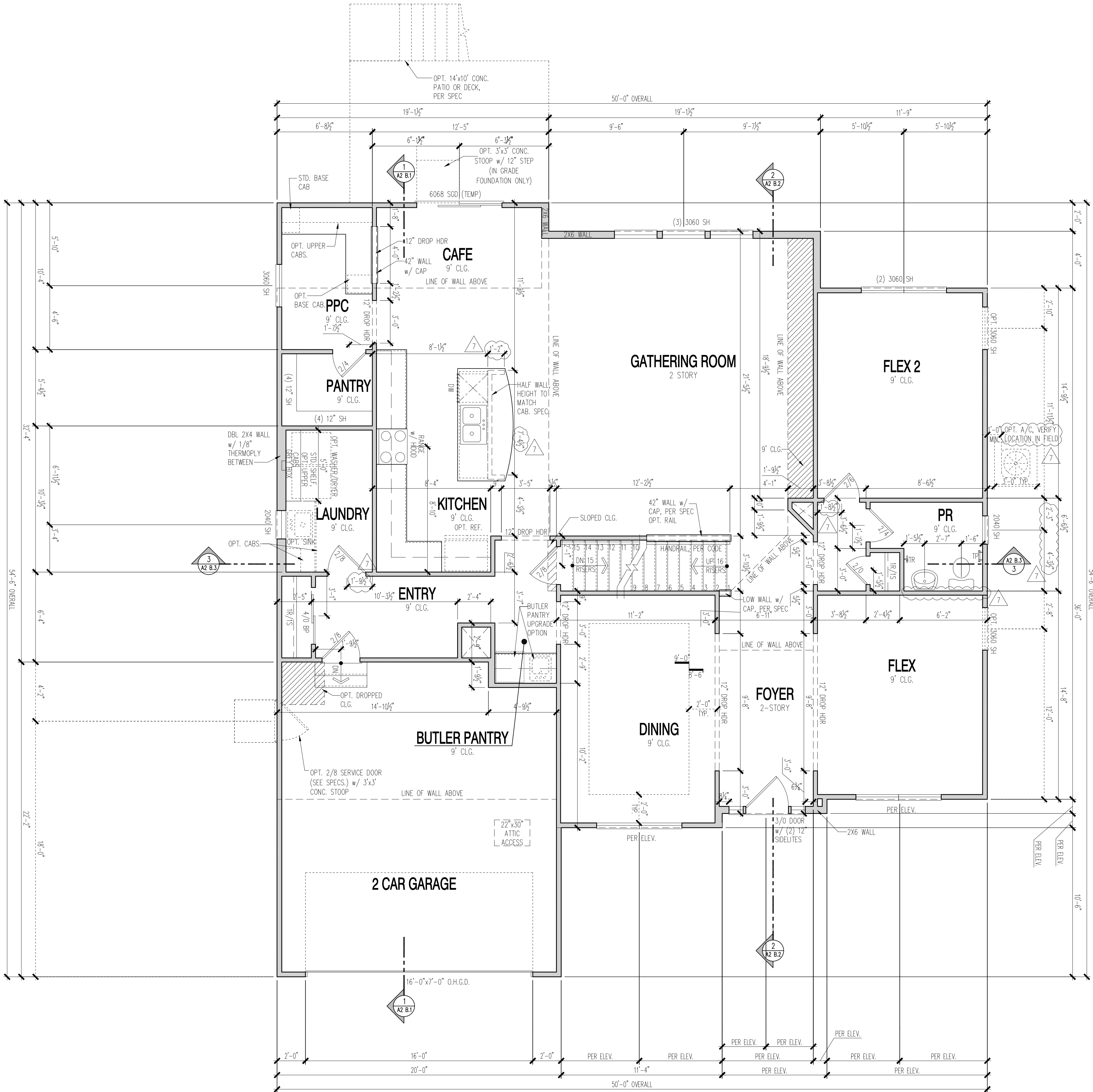
PLAN NAME
Woodside
NPC PLAN NUMBER
-
LAWSON PLAN ID
-

SHEET
A3-HR2F
3SB.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
11. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-LEVEL WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" WALLS

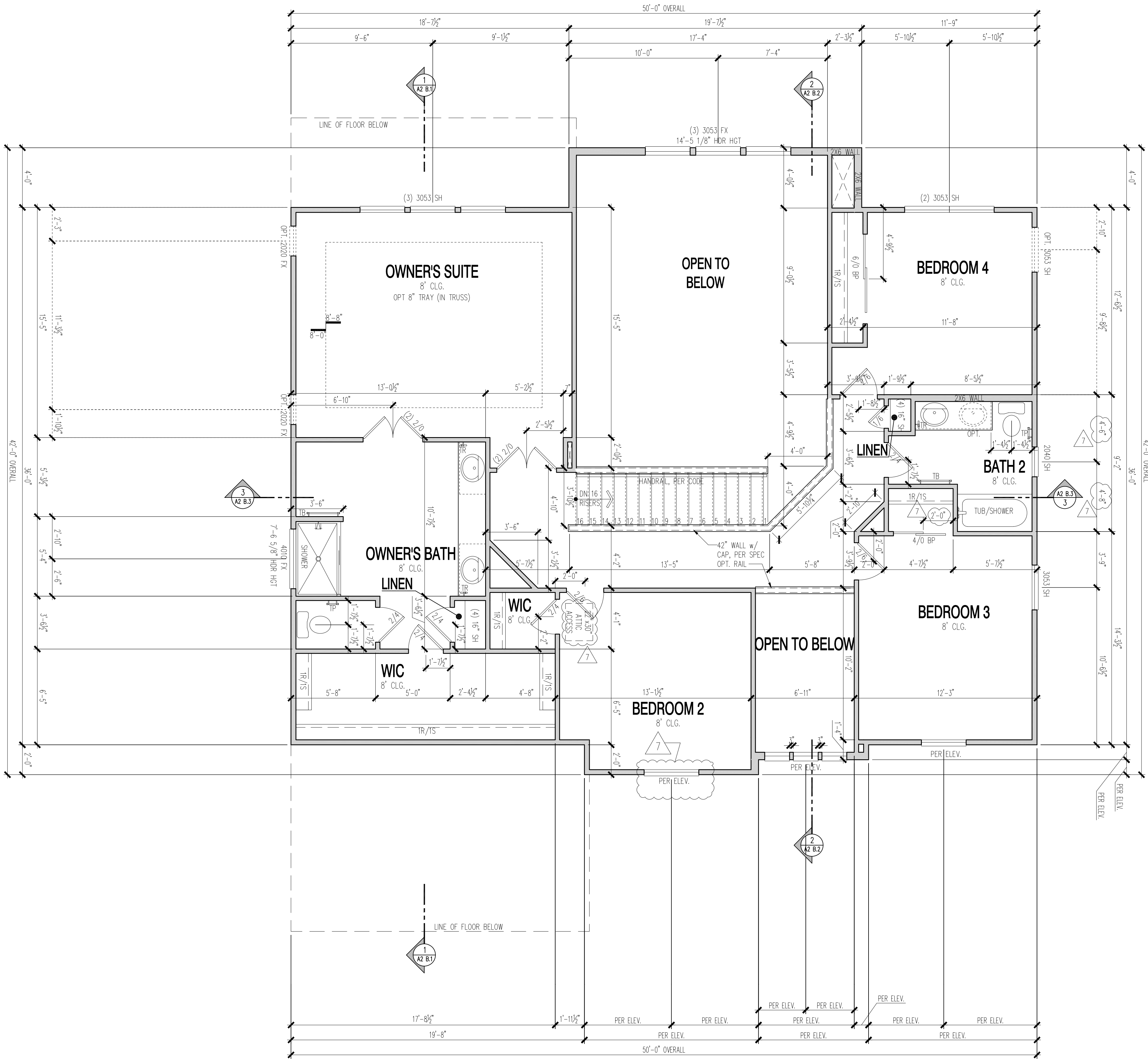
SCALE: 1/4" = 1'-0"

PRODUCT MANAGER Rick Storkey	
INITIAL RELEASE	
DATE:	11/14/2014
REV#	DATE/DESCRIPTION
1	01/26/2015
2	03/12/2015
3	12/15/2015
4	03/11/2016
5	11/14/2016
6	12/01/2017
7	05/10/2019

FLOORPLAN NOTES

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SECOND FLOOR PLAN - 4" WALLS

SCALE: 1/4" = 1'-0"

PRODUCT MANAGER Rick Storkey	
INITIAL RELEASE	
DATE: 11/14/2014	
REV#	DATE/DESCRIPTION
1	01/26/2015
2	03/12/2015
3	12/15/2015
4	PLAN REVISIONS
5	03/11/2016
6	PCR REVISIONS
7	11/14/2016
8	PLAN REVISIONS
9	12/01/2017
10	PCR REVISIONS
11	05/10/2019
12	PCR REVISIONS



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: March 13, 2025
RE: Fiscal Year 2024-2025 Final Budget Adjustments

Attached please find a copy of the fiscal year 2024/2025 budget showing activity, current budget amount, and proposed final amendments. The proposed amendments to this current budget are highlighted in either green or yellow shading. The budget also includes a "Mortensen Column" which describes the reason for any notable changes. I look forward to discussing this with you on Monday. If you are satisfied with the budget amendments, I have provided the following motion for your consideration:

(Requires Roll Call)

Moved by _____ and supported by _____ to approve the year-end budget amendments for Fiscal Year 2024/2025 involving budget fund numbers: 101, 202, 208, 212, 249, 401, 402, 464, and 532

Sincerely,



Kelly VanMarter

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	
INCREASE		ACTIVITY	AMENDED	REQUESTED	
DECREASE					
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
Fund 101 - GENERAL FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
101-000-402-001	CURRENT REAL PROP TAX	875,815	1,220,000	1,220,000	
101-000-411-001	DELINQ TAX - PERSONAL & REAL	0	1,000	1,000	
101-000-434-002	TRAILER FEES	3,091	3,600	3,600	
101-000-448-001	COLLECT FEES/EXCESS OF ROLL	402,040	430,000	430,000	
101-000-448-002	COLLECTION FEE - SCHOOLS	24,498	25,000	25,000	
101-000-451-024	ADMIN FEE/UTILITY-OPERATING	103,879	59,359	59,359	Journal entries will adjust activity to budget
101-000-452-001	INTEREST-SPECIAL ASSESSMENTS	28,664	15,494	28,664	higher interest rates
101-000-476-001	CABLE FRANCHISE	329,008	390,000	330,000	reduced cable customers
101-000-476-002	LICENSE & PERMITS	19,972	20,000	20,000	
101-000-476-004	CABLE FRANCHISE PEG FUND	8,830	0	8,830	new line item
101-000-567-001	CEMETERY REVENUE	0	400	400	
101-000-572-001	METRO ACT REVENUE	17,488	21,700	21,700	
101-000-573-001	LCSA-PPT REIMBURSEMENT	25,576	20,200	25,576	
101-000-574-002	STATE SHARED REVENUE	2,301,882	2,346,759	2,346,759	
101-000-608-000	CHARGES FOR SERV-APPL FEES	75,318	60,000	80,000	due to busy Planning Commission docket
101-000-609-000	CHARGES FOR SERVICES- FOIA/PRINTING	752	500	752	
101-000-626-032	ADM FEE LIQUOR LAW	2,705	3,790	3,790	
101-000-631-000	REFUSE COLLECTION FEES	1,366,590	1,348,457	1,366,590	new homes
101-000-657-001	ORDINANCE FINES	0	1,500	1,500	
101-000-665-001	INTEREST	48,670	65,000	154,000	there is additional \$104,982 still scheduled
101-000-671-000	OTHER REVENUE	63,575	1,000	63,575	Pine Creek Ridge Legal Reimbursement
101-000-672-000	TAXES ON LAND TRANSFER	149,905	145,000	149,905	
101-000-682-000	ELECTION REIMBURSEMENTS	132,881	122,861	132,881	
101-000-698-202	TRANSFER IN - SAD RESIDUAL BALANCE	0	500	500	
101-000-699-249	MMRMA REIMBURSEMENT	10,186	10,000	10,186	
101-000-699-464	TRANSFER IN FROM ARPA FUND #464	289,969	266,683	289,969	
Totals for dept 000 - REVENUE		6,281,294	6,578,803	6,774,536	
TOTAL ESTIMATED REVENUES		6,281,294	6,578,803	6,774,536	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	Mortensen Column Notes
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	
APPROPRIATIONS					
Dept 101 - TOWNSHIP BOARD					
101-101-702-014	TRUSTEES/SECRETARY WAGES & SALARIES	35,713	40,000	40,000	
101-101-861-000	TRUSTEES MILEAGE & TRAVEL EXPENSE	1,735	3,000	3,000	
101-101-910-000	TRUSTEES PRO DEV/CONFERENCE/DUES	15,093	15,000	16,000	new officials training
101-101-955-000	TRUSTEES MISCELLANEOUS	46	100	100	
Totals for dept 101 - TOWNSHIP BOARD		52,587	58,100	59,100	
Dept 171 - TOWNSHIP SUPERVISOR					
101-171-702-014	TWP SUPERVISOR SALARY	65,866	70,000	70,000	
101-171-861-000	SUPERVISOR MILEAGE & TRAVEL EXPENSE	62	500	500	
101-171-910-000	SUPERVISOR PRO DEV/CONFERENCE/DUES	894	500	900	new official training
101-171-955-000	SUPERVISOR MISCELLANEOUS	11	500	500	
Totals for dept 171 - TOWNSHIP SUPERVISOR		66,833	71,500	71,900	
Dept 172 - TOWNSHIP MANAGER					
101-172-702-014	TWP MANAGER SALARY	153,280	160,000	160,000	
101-172-703-000	MANAGER DEPT WAGES & SALARIES	46,850	48,500	48,500	
101-172-861-000	MANAGER DEPT MILEAGE & TRAVEL EXPENSE	0	1,000	1,000	
101-172-910-000	MANAGER DEPT PRO DEV/CONFERENCE/DUES	2,284	4,000	4,000	
101-172-955-000	MANAGER DEPT MISCELLANEOUS	0	1,000	1,000	
Totals for dept 172 - TOWNSHIP MANAGER		202,414	214,500	214,500	
Dept 191 - ACCOUNTING & FINANCE					
101-191-703-000	ACCT DEPT WAGES & SALARIES	79,092	91,000	91,000	
101-191-801-000	ACCOUNTING CONSULTANT (PHP)	10,720	30,000	30,000	
101-191-801-001	FINANCIAL CONSULTING (PFM)	1,200	1,200	1,200	
101-191-861-000	ACCT DEPT MILEAGE & TRAVEL EXPENSE	0	100	100	
101-191-910-000	ACCT DEPT PRO DEV/CONFERENCE/DUES	0	100	100	
101-191-955-000	ACCT DEPT MISCELLANEOUS	0	500	1,200	
Totals for dept 191 - ACCOUNTING & FINANCE		91,012	122,900	123,600	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	Mortensen Column Notes
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	
Dept 215 - TOWNSHIP CLERK					
101-215-702-014	TWP CLERK SALARY	59,449	58,755	63,500	adjusted to reflect wage restoration
101-215-703-000	CLERKS DEPT WAGES & SALARIES	49,121	65,000	52,000	
101-215-861-000	CLERKS DEPT MILEAGE & TRAVEL EXPENSE	0	0	0	
101-215-910-000	CLERKS DEPT PRO DEV/CONFERENCE/DUES	455	700	700	
101-215-955-000	CLERKS DEPT MISCELLANEOUS	0	100	100	
Totals for dept 215 - TOWNSHIP CLERK		109,025	124,555	116,300	
Dept 223 - AUDIT					
101-223-801-000	AUDIT SERVICES (MANER COSTERISAN)	29,900	34,000	34,000	
Totals for dept 223 - AUDIT		29,900	34,000	34,000	
Dept 228 - INFORMATION TECHNOLOGY					
101-228-703-000	IT DEPT WAGES & SALARIES	75,240	81,000	81,000	
101-228-861-000	IT DEPT MILEAGE & TRAVEL EXPENSE	0	500	500	
101-228-910-000	IT DEPT PRO DEV/CONFERENCE/DUES	0	200	200	
101-228-955-000	IT DEPT MISCELLANEOUS	0	500	500	
Totals for dept 228 - INFORMATION TECHNOLOGY		75,240	82,200	82,200	
Dept 247 - BOARD OF REVIEW					
101-247-702-014	BOARD OF REVIEW SALARIES	537	4,000	4,000	
101-247-791-000	BD OF REV PUBLICATIONS	623	1,100	1,100	
101-247-861-000	BD OF REV MILEAGE & TRAVEL EXPENSE	0	100	100	
101-247-910-000	BD OF REV PRO DEV/CONFERENCE/DUES	0	540	540	
101-247-955-000	BD OF REV MISCELLANEOUS	0	500	500	
101-247-964-000	REFUNDS & CHARGEBACKS	3,886	5,000	5,000	
Totals for dept 247 - BOARD OF REVIEW		5,046	11,240	11,240	
Dept 253 - TOWNSHIP TREASURER					
101-253-702-014	TREASURER SALARY	65,868	69,000	69,000	
101-253-703-000	TREASURERS DEPT WAGES & SALARIES	105,141	110,000	110,000	
101-253-861-000	TREASURERS DEPT MILEAGE & TRAVEL EXPENSE	557	750	750	
101-253-910-000	TREASURERS DEPT PRO DEV/CONFERENCE/DUES	10	500	500	
101-253-955-000	TREASURERS DEPT MISCELLANEOUS	108	500	500	
Totals for dept 253 - TOWNSHIP TREASURER		171,684	180,750	180,750	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	Mortensen Column Notes
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	
Dept 257 - ASSESSING DEPARTMENT					
101-257-702-014	ASSESSING SALARIES	247,628	266,000	266,000	
101-257-703-000	ASSESSING WAGES & SALARIES INTERN	2,580	10,000	10,000	
101-257-803-000	ASSESSING LEGAL	15,453	15,000	18,000	MTT cases
101-257-861-000	ASSESSING MILEAGE & TRAVEL EXPENSE	0	500	500	
101-257-910-000	ASSESSING PRO DEV/CONFER/DUES/SUB	2,535	5,000	5,000	
101-257-955-000	ASSESSING MISCELLANEOUS	273	500	500	
Totals for dept 257 - ASSESSING DEPARTMENT		268,469	297,000	300,000	
Dept 261 - GENERAL GOVERNMENT					
101-261-703-000	UNALLOCATED WAGES & SALARIES	0	2,000	2,000	
101-261-709-000	EMPLOYER'S SHARE SS & MEDICARE	93,596	110,000	110,000	
101-261-709-001	CELLPHONE REIMBURSEMENT	5,047	5,800	5,800	
101-261-709-002	WORKERS COMP	11,054	11,000	11,055	Increased the limits which increases the cost however this figure needs a reclass which will take it to \$11,054.01
101-261-718-001	RETIREMENT	92,076	155,000	155,000	
101-261-718-002	HEALTH/LIFE INSURANCE	351,994	320,000	375,000	FY does not align with benefit year. 7% increase effective Dec.1, 2024
101-261-718-003	WELLNESS	2,796	8,000	8,000	
101-261-718-004	EHIM RESERVE	50,000	50,000	50,000	
101-261-750-000	SUPPLIES	20,317	25,000	25,000	
101-261-750-001	POSTAGE	19,738	30,000	20,000	
101-261-751-000	EQUIP / SOFTWARE / SOFTWARE MAINTENANCE	81,648	125,000	90,000	delayed BSA online
101-261-752-000	WEBSITE MAINTENANCE	1,750	20,000	1,800	delayed website upgrade
101-261-791-000	SUBSCRI/PUBLICATIONS/MEMBERS	12,820	6,000	13,000	MTA Online Pass Subscription \$1900, GoGOV app \$4800, Board minutes publications
101-261-802-000	CONTRACTUAL SERVICES / CONSULTING	814	10,000	1,000	
101-261-802-001	TWP VEHICLE EXPENSES	207	2,000	2,000	
101-261-861-000	UNALLOCATED MILEAGE & TRAVEL EXPENSE	0	100	100	
101-261-941-000	CONTINGENCY	9,561	30,000	10,000	
101-261-955-000	UNALLOCATED MISCELLANEOUS	3,128	3,000	3,700	Recuiting Expenses for Zoning Official and bank fees
Totals for dept 261 - GENERAL GOVERNMENT		756,546	912,900	883,455	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
		THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
GL NUMBER	DESCRIPTION				
Dept 262 - ELECTIONS					
101-262-703-001	WAGES- PART TIME OFFICE WORKERS	60,363	60,000	60,363	
101-262-703-002	SCANNERS, CHAIRPERSON & POLL WORKERS	59,700	55,000	59,700	
101-262-703-004	TRAINING: \$45<4 HRS - \$90>4 HRS	3,690	3,195	5,000	
101-262-703-005	WAGES - RECEIVING BOARD- \$200 PER DIEM	1,200	1,600	1,600	
101-262-751-001	ELECTION OFFICE SUPPLIES/EQUIPMENT	20,504	20,000	20,504	
101-262-791-000	ELECTION PUBLICATIONS	288	1,500	1,500	
101-262-802-001	ELECTION MEETING FEES	750	1,200	1,200	
101-262-802-002	BALLOT TESTING	11,723	10,000	11,723	
101-262-802-003	LIVINGSTON COUNTY CLERK	17,899	9,000	17,899	
101-262-802-004	CHURCH / SCHOOL CLEANUP/SETUP/ TAKE DOWN	5,100	4,500	5,500	
101-262-802-005	ELECTION BREAKFAST / DINNER	2,240	1,800	2,240	
101-262-861-001	ELECTION MILEAGE & TRAVEL	876	650	876	
101-262-901-001	POSTAGE FOR APPLICATIONS	0	0	0	
101-262-901-002	POSTAGE FOR MAILING BALLOTS	6,172	5,820	8,000	
101-262-901-003	POSTAGE FOR MAILING NEW I.D. CARDS	0	100	300	
101-262-955-000	ELECTION MISCELLANEOUS	3,366	3,332	3,366	
Totals for dept 262 - ELECTIONS		193,871	177,697	199,771	
Dept 265 - BUILDING & GROUNDS					
101-265-740-000	INSURANCE - PROP LIAB/VEHICLE	52,614	53,000	53,000	
101-265-802-000	BUILDING & GROUNDS CONTRACTUAL SERVICES	0	1,000	1,000	
101-265-850-000	PHONE/INTERNT/CABLE/ALARM	26,784	30,000	30,000	
101-265-920-001	UTIL:ELECTRICITY & NAT.GAS	24,919	23,000	28,500	increased utility rates
101-265-934-060	REPAIRS & MAINTENANCE	80,680	130,000	90,000	unused funds
101-265-955-000	BUILDING & GROUNDS MISCELLANEOUS	1,389	5,000	5,000	
Totals for dept 265 - BUILDING & GROUNDS		186,386	242,000	207,500	
Dept 266 - LEGAL SERVICES					
101-266-803-000	GENERAL TOWNSHIP LEGAL FEES	48,128	50,000	50,000	
101-266-803-001	LITIGATION LEGAL FEES	40,632	100,000	50,000	unused funds
Totals for dept 266 - LEGAL SERVICES		88,760	150,000	100,000	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
		THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
GL NUMBER	DESCRIPTION				
Dept 270 - HUMAN RESOURCES					
101-270-703-000	HR WAGES & SALARIES	19,644	20,500	20,500	
101-270-802-000	HR CONTRACTUAL SERVICES	0	1,500	1,500	
101-270-861-000	HR MILEAGE & TRAVEL EXPENSE	0	100	100	
101-270-910-000	HR PRO DEV/CONFERENCE/DUES	0	500	500	
101-270-955-000	HR MISCELLANEOUS	0	500	500	
Totals for dept 270 - HUMAN RESOURCES		19,644	23,100	23,100	
Dept 445 - DRAINS AT LARGE					
101-445-802-000	CONTRACTUAL SERVICES - LIVINGSTON COUNTY	34,490	25,000	34,490	
Totals for dept 445 - DRAINS AT LARGE		34,490	25,000	34,490	
Dept 521 - REFUSE COLLECTION					
101-521-802-000	REFUSE CONTRACTUAL SERVICES	1,559,232	1,557,576	1,560,000	new homes
Totals for dept 521 - REFUSE COLLECTION		1,559,232	1,557,576	1,560,000	
Dept 567 - CEMETERY					
101-567-703-002	CEMETERY MAINTENANCE	8,094	8,000	8,094	
Totals for dept 567 - CEMETERY		8,094	8,000	8,094	
Dept 701 - PLANNING & ZONING					
101-701-702-014	PLANNING COMMISSION SALARIES	18,607	27,563	27,563	
101-701-702-015	ZONING BOARD WAGES	12,956	16,538	16,538	
101-701-703-000	PLANNING & ZONING WAGES & SALARIES	182,816	254,100	191,000	recruitment wage budgeted high
101-701-791-000	PLANNING & ZONING PUBLICATIONS	6,453	3,000	7,500	busy year - PC cases
101-701-802-000	PLANNING & ZONING CONTRACTUAL SERVICES	18,692	30,000	20,000	unused funds
101-701-861-000	PLANNING & ZONING MILEAGE & TRAVEL EXP	146	2,500	2,500	
101-701-910-000	PLANNING & ZONING PRO DEV/CONFERENCE/DUE	3,019	10,000	10,000	
101-701-946-001	REVIEW SERVICES - PLANNING	44,550	45,000	50,000	busy year - PC cases
101-701-946-002	REVIEW SERVICES - ENGINEERING	39,826	40,000	44,000	busy year - PC cases
101-701-946-003	REVIEW SERVICES - PUBLICATIONS/POSTAGE	1,494	3,000	3,000	
101-701-946-004	REVIEW SERVICES - ROUTING	964	2,000	2,000	
101-701-946-005	REVIEW SERVICES - LEGAL/RECORDING FEES	14,831	10,000	20,000	busy year - PC cases
101-701-955-000	PLANNING & ZONING MISCELLANEOUS	20	1,000	1,000	
Totals for dept 701 - PLANNING & ZONING		344,374	444,701	395,101	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENERAL FUND #101

3/12/25

		2024-25	2024-25	2024-25	Mortensen Column Notes
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	
Dept 728 - ECONOMIC DEVELOPMENT					
101-728-880-000	COMMUNITY PROMOTION - CONTRIBUTION	23,283	24,000	24,000	
101-728-880-001	COMMUNITY OUTREACH	0	0	0	
Totals for dept 728 - ECONOMIC DEVELOPMENT		23,283	24,000	24,000	
Dept 900 - CAPITAL OUTLAY FUNCTION					
101-900-970-000	CAPITAL OUTLAY > \$5,000	14,300	50,000	15,000	
101-900-975-000	CAPITAL OUTLAY < \$5,000	7,729	10,000	10,000	
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		22,029	60,000	25,000	
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES					
101-965-995-208	TRANSFER OUT- FUND #208 - PARKS & REC	850,000	850,000	850,000	
101-965-995-249	TRANSFER OUT- FUND #249 - BLDG RESERVE	550,000	550,000	550,000	
101-965-995-401	TRANSFER OUT- FUND #401 - ROAD IMPROVE	1,000,000	1,000,000	1,000,000	
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		2,400,000	2,400,000	2,400,000	
TOTAL APPROPRIATIONS		6,708,919	7,221,719	7,054,101	
NET OF REVENUES/APPROPRIATIONS - FUND 101		(427,624)	(642,916)	(279,565)	
BEGINNING FUND BALANCE		3,715,692	3,715,692	3,715,692	
ENDING FUND BALANCE		3,288,068	3,072,776	3,436,127	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

SAD FUND #202

3/12/25

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2024-25 ACTIVITY THRU 03/31/25	2024-25 AMENDED BUDGET	2024-25 REQUESTED BUDGET	Mortensen Column Notes
Fund 202 - SAD ROADS AND LAKES					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
202-000-452-001	INTEREST	58,035	45,000	62,000	
202-000-699-000	TRANSFER IN - FUND # 101	0	0	0	
Totals for dept 000 - REVENUE		58,035	45,000	62,000	
Dept 448 - STREETLIGHTS					
202-448-628-005	WHITE PINES LIGHTING -SAD PRINCIPAL	961	795	961	
Totals for dept 448 - STREETLIGHTS		961	795	961	
Dept 478					
202-478-628-005	HOMESTEAD (S22-31) -SAD PRINCIPAL	13,986	13,986	13,986	
202-478-665-001	HOMESTEAD (S22-31) -INTEREST	2,243	2,238	2,243	
Totals for dept 478 -		16,229	16,224	16,229	
Dept 484					
202-484-628-005	EARL LAKE (W18-25) -SAD PRINCIPAL	21,245	18,803	21,245	
Totals for dept 484 -		21,245	18,803	21,245	
Dept 485					
202-485-628-005	NOVEL ESTATES (W18-25) -SAD PRINCIPAL	10,964	10,964	10,964	
Totals for dept 485 -		10,964	10,964	10,964	
Dept 489					
202-489-628-005	BLACK OAKS (W21-30) -SAD PRINCIPAL	713	922	922	
202-489-665-001	BLACK OAKS (W21-30) -INTEREST	129	129	129	
Totals for dept 489 -		842	1,051	1,051	
Dept 490					
202-490-628-005	DARLENE DR (W21-30) -SAD PRINCIPAL	2,867	2,867	2,867	
202-490-665-001	DARLENE DR (W21-30) -INTEREST	771	402	771	
Totals for dept 490 -		3,639	3,269	3,638	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

SAD FUND #202

3/12/25

		2024-25	2024-25	2024-25	Mortensen Column Notes
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	
<hr/>					
Dept 491					
202-491-628-005	ELMHURST (S20-26) -SAD PRINCIPAL	7,612	7,612	7,612	
202-491-665-001	ELMHURST (S20-26) -INTEREST	638	457	638	
Totals for dept 491 -		8,250	8,069	8,250	
Dept 492					
202-492-628-005	MCNAMARA (S23-32) -SAD PRINCIPAL	16,539	13,947	16,539	
202-492-665-001	MCNAMARA (S23-32) -INTEREST	2,565	2,546	2,565	
Totals for dept 492 -		19,104	16,493	19,104	
Dept 494					
202-494-628-005	STILLRIVER (S23-32) -SAD PRINCIPAL	9,220	9,220	9,220	
202-494-665-001	STILLRIVER (S23-32) -INTEREST	1,241	1,659	1,659	
Totals for dept 494 -		10,462	10,879	10,879	
Dept 495					
202-495-628-005	TIMBERVIEW PRIV (W23-32)-SAD PRINCIPLE	3,795	3,795	3,795	
202-495-665-001	TIMBERVIEW PRIV (W23-32)-INTEREST	683	683	683	
Totals for dept 495 -		4,478	4,478	4,478	
Dept 496					
202-496-628-005	CRYSTAL VALLEY (S24-33) - SAD PRINCIPLE	50,708	36,900	50,708	
202-496-665-001	CRYSTAL VALLEY (S24-33) - INTEREST	7,085	7,380	7,380	
Totals for dept 496 -		57,793	44,280	58,088	
Dept 497					
202-497-628-005	GRAND RAVINE (W24-38) -SAD PRINCIPLE	18,886	12,276	18,886	
202-497-665-001	GRAND RAVINE (W24-38) -INTEREST	1,047	1,535	1,535	
Totals for dept 497 -		19,933	13,811	20,421	
Dept 498					
202-498-628-005	LAKEWOOD KNOLL (W24-38) -SAD PRINCIPLE	113,441	57,900	113,441	
202-498-665-001	LAKEWOOD KNOLL (W24-38) -INTEREST	4,213	5,790	5,790	
Totals for dept 498 -		117,653	63,690	119,231	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

SAD FUND #202

3/12/25

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2024-25 ACTIVITY THRU 03/31/25	2024-25 AMENDED BUDGET	2024-25 REQUESTED BUDGET	Mortensen Column Notes
Dept 499					
202-499-628-005	MILROY MYSTIC LK (W24-34) - SAD PRINC	67,514	55,600	67,514	
202-499-665-001	MILROY MYSTIC LK (W24-34) - INTEREST	1,469	2,780	2,780	
Totals for dept 499 -		68,983	58,380	70,294	
Dept 570 - LAKE IMPROVEMENTS					
202-570-628-005	LK CHEMUNG (W23-27) -SAD PRINCIPAL	47,523	48,222	48,222	
Totals for dept 570 - LAKE IMPROVEMENTS		47,523	48,222	48,222	
Dept 571					
202-571-628-005	PARDEE LK (W21-25) -SAD PRINCIPAL	22,396	22,396	22,396	
Totals for dept 571 -		22,396	22,396	22,396	
Dept 572					
202-572-628-005	GRAND BEACH (W21-25) -SAD PRINCIPAL	14,354	14,125	14,354	
Totals for dept 572 -		14,354	14,125	14,354	
Dept 573					
202-573-628-005	E/W CROOKED LK (S23-27) -SAD PRINCIPAL	17,980	18,414	18,414	
Totals for dept 573 -		17,980	18,414	18,414	
Dept 575					
202-575-628-005	BAETCKE LK (S23-27) -SAD PRINCIPAL	7,600	7,600	7,600	
Totals for dept 575 -		7,600	7,600	7,600	
Dept 576					
202-576-628-005	EARL LAKE (W24-29) - SAD PRINCIPLE	2,441	2,789	2,789	
Totals for dept 576 -		2,441	2,789	2,789	
TOTAL ESTIMATED REVENUES		530,865	429,732	540,608	
APPROPRIATIONS					
Dept 223 - AUDIT					
202-223-801-000	AUDIT	2,500	5,000	5,000	
Totals for dept 223 - AUDIT		2,500	5,000	5,000	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

SAD FUND #202

3/12/25

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2024-25 ACTIVITY THRU 03/31/25	2024-25 AMENDED BUDGET	2024-25 REQUESTED BUDGET	Mortensen Column Notes
<hr/>					
Dept 448 - STREETLIGHTS					
202-448-801-075	WHITE PINES LIGHTING -PROJECT EXPENSE	726	895	895	
Totals for dept 448 - STREETLIGHTS		726	895	895	
Dept 478					
202-478-802-000	HOMESTEAD (S22-31) -ANNUAL MAINT. EXP	2,900	3,100	3,100	
Totals for dept 478 -		2,900	3,100	3,100	
Dept 487					
202-487-801-075	EDWIN DR (S19-23) -PROJECT EXPENSE	2,645	3,800	3,800	
Totals for dept 487 -		2,645	3,800	3,800	
Dept 496					
202-496-801-075	CRYSTAL VALLEY (S24-33) - PROJECT EXP	132,920	134,920	134,920	
Totals for dept 496 -		132,920	134,920	134,920	
Dept 497					
202-497-801-075	GRAND RAVINE (W24-38) -PROJECT EXP	223,004	223,136	223,136	
Totals for dept 497 -		223,004	223,136	223,136	
Dept 498					
202-498-801-075	LAKEWOOD KNOLL (S24-38) -PROJECT EXP	747,460	1,014,000	750,000	LCRC invoice came in low
Totals for dept 498 -		747,460	1,014,000	750,000	
Dept 499					
202-499-801-075	MILROY MYSTIC LK (W24-34) - PROJECT EXP	615,970	619,000	619,000	
Totals for dept 499 -		615,970	619,000	619,000	
Dept 570 - LAKE IMPROVEMENTS					
202-570-801-075	LK CHEMUNG (W23-27) -PROJECT EXPENSE	42,057	55,000	43,000	
Totals for dept 570 - LAKE IMPROVEMENTS		42,057	55,000	43,000	
Dept 571					
202-571-801-075	PARDEE LK (W21-25) -PROJECT EXPENSE	17,466	22,700	22,700	
Totals for dept 571 -		17,466	22,700	22,700	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

SAD FUND #202

3/12/25

		2024-25	2024-25	2024-25	Mortensen Column Notes
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	
Dept 572					
202-572-801-075	GRAND BEACH (W21-25) -PROJECT EXPENSE	15,643	13,508	15,643	Prepaid 2025 Contract minus muck treatment
Totals for dept 572 -		15,643	13,508	15,643	
Dept 573					
202-573-801-075	E/W CROOKED LK (S23-27) -PROJECT EXPENSE	17,018	15,000	17,018	Minor overage-reduces remaining balance.
Totals for dept 573 -		17,018	15,000	17,018	
Dept 575					
202-575-801-075	BAETCKE LK (S23-27) -PROJECT EXPENSE	7,000	7,000	7,000	
Totals for dept 575 -		7,000	7,000	7,000	
Dept 576					
202-576-801-075	EARL LAKE (W24-29) - PROJECT EXPENSE	1,366	2,264	2,264	
Totals for dept 576 -		1,366	2,264	2,264	
Dept 852 - TRANSFER TO OTHER FUNDS					
202-852-995-101	SAD INTEREST TRANSFER OUT TO 101	28,664	8,000	28,664	
202-852-999-402	TRANSFER OUT TO PINE CREEK RD IMPROVEMENT	413,550	413,550	413,550	
Totals for dept 852 - TRANSFER TO OTHER FUNDS		442,214	421,550	442,214	
Dept 906					
202-906-956-000	MISC EXPENSE	510	600	600	
Totals for dept 906 -		510	600	600	
TOTAL APPROPRIATIONS		2,271,399	2,541,473	2,290,290	
NET OF REVENUES/APPROPRIATIONS - FUND 202		(1,740,534)	(2,111,741)	(1,749,682)	
BEGINNING FUND BALANCE		2,446,247	2,446,247	2,446,247	
ENDING FUND BALANCE		705,713	334,506	696,565	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

PARKS & REC FUND #208

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
		THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
GL NUMBER	DESCRIPTION				
Fund 208 - PARK/RECREATION FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
208-000-434-001	FARM LEASE REVENUE	2,778	2,800	2,800	
208-000-665-001	INTEREST	17,477	6,000	18,000	
208-000-699-101	TRANSFER IN FROM GF #101 OPERATING	850,000	850,000	850,000	
Totals for dept 000 - REVENUE		870,255	858,800	870,800	
TOTAL ESTIMATED REVENUES		870,255	858,800	870,800	
APPROPRIATIONS					
Dept 223 - AUDIT					
208-223-801-000	AUDIT	200	500	500	
Totals for dept 223 - AUDIT		200	500	500	
Dept 536					
208-536-972-100	LAND FOR RECREATION	354,425	355,000	355,000	
Totals for dept 536 -		354,425	355,000	355,000	
Dept 751 - PARKS & RECREATION					
208-751-934-006	PARK PLANNING/ENGINEERING	0	100,000	0	unused
208-751-934-007	HAPRA	93,375	124,500	93,375	millage eliminates Twp. Contribution
208-751-934-010	B-BALL BENCHES PICNIC TABLE CHARGERS	0	0	0	
208-751-934-011	BOARDWALK/RAILING IMPROVEMENTS	15,731	30,000	16,000	unused
208-751-934-013	SECURITY UPGRADES	12,302	50,000	12,500	unused funds
208-751-934-015	REPAIR/REPLACE RUBBER- POUR IN PLACE	0	13,200	0	unused funds
208-751-934-017	NORTH SOCCER FIELD DRAINAGE REPAIR	0	60,000	0	moved to 25/26 budget
208-751-934-019	WAYFINDING SIGNAGE	0	2,000	0	moved to 25/26 budget
208-751-934-020	BRIGHTON ROAD CLEANUP	0	0	0	
208-751-934-060	PATH / PARK MAINTENANCE	118,618	175,000	145,000	unused funds
208-751-934-061	EQUIPMENT REPLACEMENT	3,020	5,000	5,000	
Totals for dept 751 - PARKS & RECREATION		243,046	559,700	271,875	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

3/12/25					
INCREASE			2024-25	2024-25	2024-25
DECREASE			ACTIVITY	AMENDED	REQUESTED
GL NUMBER	DESCRIPTION		THRU 03/31/25	BUDGET	BUDGET
Mortensen Column Notes					

Dept 906					
208-906-956-000	MISC EXPENSE		1,140	1,000	1,200
Pet waste bags and bank fees					
Totals for dept 906 -			1,140	1,000	1,200

TOTAL APPROPRIATIONS			598,811	916,200	628,575

NET OF REVENUES/APPROPRIATIONS - FUND 208			271,444	(57,400)	242,225
BEGINNING FUND BALANCE			813,904	813,904	813,904

ENDING FUND BALANCE			1,085,348	756,504	1,056,129

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

LIQUOR LAW FUND #212

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
GL NUMBER	DESCRIPTION	THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
Fund 212 - LIQUOR LAW ENFORCEMENT					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
212-000-574-001	STATE SHARED REV LIQUOR LAW	17,923	16,700	17,923	
212-000-665-001	INTEREST	85	20	94	
Totals for dept 000 - REVENUE		18,008	16,720	18,017	
TOTAL ESTIMATED REVENUES		18,008	16,720	18,017	
APPROPRIATIONS					
Dept 330 - LIQUOR LAW ENFORCEMENT					No changes in Fund 212 due to year end Journal Entries.
212-330-702-013	LIQUOR LAW ENF WAGES	7,002	9,336	9,336	
212-330-709-009	EMPLOYER'S SHARE FICA	543	724	724	
212-330-715-002	RETIREMENT	701	933	933	
212-330-801-070	AUDITING EXPENSE	200	500	500	
212-330-803-070	LIQUOR LAW ADM FEE/GENOA TWP.	2,705	3,605	3,605	
212-330-860-070	VEHICLE EXPENSE	0	1,545	1,545	
Totals for dept 330 - LIQUOR LAW ENFORCEMENT		11,151	16,643	16,643	
TOTAL APPROPRIATIONS		11,151	16,643	16,643	
NET OF REVENUES/APPROPRIATIONS - FUND 212		6,857	77	1,374	
BEGINNING FUND BALANCE		5,064	5,064	5,064	
ENDING FUND BALANCE		11,921	5,141	6,438	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

3/12/25					
INCREASE			2024-25	2024-25	2024-25
DECREASE			ACTIVITY	AMENDED	REQUESTED
GL NUMBER	DESCRIPTION		THRU 03/31/25	BUDGET	BUDGET
Mortensen Column Notes					
Fund 249 - BUILDING AND GROUNDS FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
249-000-665-001	INTEREST		10,915	1,440	11,500
249-000-699-000	OPERATING TRANSFER IN #101		550,000	550,000	550,000
Totals for dept 000 - REVENUE			560,915	551,440	561,500
TOTAL ESTIMATED REVENUES			560,915	551,440	561,500
APPROPRIATIONS					
Dept 265 - BUILDING & GROUNDS					
249-265-801-000	AUDIT		0	250	250
249-265-955-000	MISCELLANEOUS EXP		899	1,500	1,500
249-265-981-007	ASPHALT REPLACE, REPAIRS & RESEALING		0	50,000	0
249-265-981-008	SECURITY UPGRADES		4,137	100,000	5,000
249-265-981-012	TWP BOARD ROOM UPGRADES		5,580	50,000	6,000
249-265-981-013	TWP HALL CUBICLE/CARPET DESIGN		0	10,000	0
249-265-981-014	HERBST HOME OFFICE RENOVATION		156,724	400,000	160,000
249-265-981-015	WAYFINDING SIGNS		0	3,000	3,000
Totals for dept 265 - BUILDING & GROUNDS			167,340	614,750	175,750
TOTAL APPROPRIATIONS			167,340	614,750	175,750
NET OF REVENUES/APPROPRIATIONS - FUND 249			393,575	(63,310)	385,750
BEGINNING FUND BALANCE			480,571	480,571	480,571
ENDING FUND BALANCE			874,146	417,261	866,321

move to 25/26 budget
unused funds
unused funds
move to 25/26 budget
unused funds

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

ROAD IMPROVEMENT FUND #401

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
		THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
GL NUMBER	DESCRIPTION				
Fund 401 - ROAD IMPROVEMENT FUND					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
401-000-665-001	INTEREST	27,892	22,800	29,000	
401-000-699-000	OPERATING TRANSFER IN	1,000,000	1,000,000	1,000,000	
Totals for dept 000 - REVENUE		1,027,892	1,022,800	1,029,000	
TOTAL ESTIMATED REVENUES		1,027,892	1,022,800	1,029,000	
APPROPRIATIONS					
Dept 223 - AUDIT					
401-223-801-000	AUDIT	200	500	500	
Totals for dept 223 - AUDIT		200	500	500	
Dept 446 - ROAD PROJECTS					
401-446-804-000	DUST CONTROL/CHLORIDE	80,034	95,000	80,100	unused funds
401-446-812-002	KELLOGG - LIMESTONE G.C. TO MCCLEMENS	125,000	125,000	125,000	
401-446-812-003	KELLOGG - GRAVEL G.R. TO MCCLEMENS	105,000	105,000	105,000	
401-446-812-004	EULER GRAVEL	90,000	90,000	90,000	
401-446-812-005	MCCLEMENS LIMESTONE	127,000	127,000	127,000	
401-446-812-006	CHALLIS/BAUER ROUNDABOUT	500,000	500,000	500,000	
401-446-812-007	CHILSON ROAD-BECK TO GRAND RIVER	310,885	600,000	311,000	Tw. Portion was 50% in PPP
Totals for dept 446 - ROAD PROJECTS		1,337,919	1,642,000	1,338,100	
Dept 906					
401-906-956-000	MISC EXPENSE	600	600	600	
Totals for dept 906 -		600	600	600	
TOTAL APPROPRIATIONS		1,338,719	1,643,100	1,339,200	
NET OF REVENUES/APPROPRIATIONS - FUND 401		(310,827)	(620,300)	(310,200)	
BEGINNING FUND BALANCE		996,973	996,973	996,973	
ENDING FUND BALANCE		686,146	376,673	686,773	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

PINE CREEK CONSTRUCTION FUND #402

3/12/25

INCREASE

DECREASE

GL NUMBER	DESCRIPTION	2024-25 ACTIVITY THRU 03/31/25	2024-25 AMENDED BUDGET	2024-25 REQUESTED BUDGET	Mortensen Column Notes
Fund 402 - PINE CREEK CONSTRUCTION FUND					
				New Fund	
ESTIMATED REVENUES					
Dept 000 - REVENUE					
402-000-665-001	INTEREST	82,902	0	82,902	
402-000-671-000	PREPAID ASSESSMENTS	1,088,138	0	1,088,138	
402-000-671-001	LAKE VILLAS/TWP CONTRIBUTION	457,198	0	457,198	
402-000-699-202	TRANSFER OUT SAD ROAD & LAKES	2,861,704	0	2,861,704	
Totals for dept 000 - REVENUE		4,489,942	0	4,489,942	
TOTAL ESTIMATED REVENUES		4,489,942	0	4,489,942	
APPROPRIATIONS					
Dept 266 - LEGAL SERVICES					
402-266-803-000	SAD LEGAL FEES	70,862	0	70,862	
Totals for dept 266 - LEGAL SERVICES		70,862			
Dept 441 - PUBLIC WORKS					
402-441-801-076	BONDING EXPENSE	88,093	0	88,093	
Totals for dept 441 - PUBLIC WORKS		88,093	0	88,093	
Dept 906					
402-906-956-000	MISC EXPENSE	781	0	781	
402-906-991-001	PRINCIPAL ON LONG TERM DEBT	0	0	0	
402-906-992-001	INTERST ON LONG TERM DEBT	0	0	0	
Totals for dept 906 -		781	0	781	
TOTAL APPROPRIATIONS		159,736	0	88,874	
NET OF REVENUES/APPROPRIATIONS - FUND 402		4,330,206	0	4,401,068	
BEGINNING FUND BALANCE		45,551	45,551	45,551	
ENDING FUND BALANCE		4,375,757	45,551	4,446,619	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

ARPA FUND #464

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
		THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
GL NUMBER	DESCRIPTION				
Fund 464 - GENOA TOWNSHIP ARPA					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
464-000-665-001	INTEREST	11,851	1,000	11,851	
Totals for dept 000 - REVENUE		11,851	1,000	11,851	
TOTAL ESTIMATED REVENUES		11,851	1,000	11,851	
APPROPRIATIONS					
Dept 521 - REFUSE COLLECTION					
464-521-802-000	ADDITIONAL RECYCLING EXPENSES	259,854	224,000	259,854	
Totals for dept 521 - REFUSE COLLECTION		259,854	224,000	259,854	
Dept 900 - CAPITAL OUTLAY FUNCTION					
464-900-977-001	BROADBAND	112,500	112,500	112,500	
Totals for dept 900 - CAPITAL OUTLAY FUNCTION		112,500	112,500	112,500	
Dept 906					
464-906-956-000	MISC EXPENSE	600	600	600	
Totals for dept 906 -		600	600	600	
Dept 965 - TRANSFERS OUT & OTHER FINANCING USES					
464-965-995-101	TRANSFER OUT - FUND #101 - GENERAL FUND	30,115	34,631	30,115	
Totals for dept 965 - TRANSFERS OUT & OTHER FINANCING USES		30,115	34,631	30,115	
TOTAL APPROPRIATIONS		403,069	371,731	403,069	
NET OF REVENUES/APPROPRIATIONS - FUND 464		(391,218)	(370,731)	(391,218)	
BEGINNING FUND BALANCE		88,819	88,819	(281,912)	
ENDING FUND BALANCE		(302,399)	(281,912)	(673,130)	

March 17, 2025 Township Board
Proposed Amendments to the Fiscal Year 2024-2025 Budget

GENOA O-P TO G-O DEBT FUND #532

3/12/25

		2024-25	2024-25	2024-25	
		ACTIVITY	AMENDED	REQUESTED	
		THRU 03/31/25	BUDGET	BUDGET	Mortensen Column Notes
GL NUMBER	DESCRIPTION				
Fund 532 - GENOA OP-GO CONVERSION DEBT					
ESTIMATED REVENUES					
Dept 000 - REVENUE					
532-000-665-001	INTEREST	14,717	15,000	15,000	
532-000-699-592	TRANSFER IN OP OPER # 592	359,802	358,000	359,802	
Totals for dept 000 - REVENUE		374,519	373,000	374,802	
TOTAL ESTIMATED REVENUES		374,519	373,000	374,802	
APPROPRIATIONS					
Dept 223 - AUDIT					
532-223-801-000	AUDIT		1,000	1,000	
Totals for dept 223 - AUDIT		0	1,000	1,000	
Dept 906					
532-906-956-000	AGENT FEES	500	550	550	
532-906-956-001	MISC EXPENSE	600	450	650	
532-906-991-001	PRINCIPAL ON LONG TERM DEBT	330,000	330,000	330,000	
532-906-992-001	INTEREST ON LONG TERM DEBT	38,994	79,987	38,994	
Totals for dept 906 -		370,094	410,987	370,194	
TOTAL APPROPRIATIONS		370,094	410,987	370,194	
NET OF REVENUES/APPROPRIATIONS - FUND 532		4,425	(37,987)	4,608	
BEGINNING FUND BALANCE		(4,035,095)	(4,035,095)	(4,073,082)	
ENDING FUND BALANCE		(4,030,670)	(4,073,082)	(4,068,474)	



2911 Dorr Road
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810.227.3420 fax
genoa.org

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Trustees,

In the Clerks Department we are short staffed. We need to have help and train an assistant in advance, someone who knows the elections process and working the State Qualified Voter File. During an election there are temporary part time employees who don't know 100% elections and we don't have time to train during the elections. This is how mistakes happen.

Genoa has the 2nd largest election with 9 precincts & 18,411 voters, AV counting board and early voting. We have the staff of jurisdictions with 2-4 precincts. We are setting ourselves up for failure. We are growing. I need to hire a full time Clerk's Assistant to help with the daily tasks of the Clerk's Department, learn the QVF and to help with the elections. Please allow the Clerk's Department to hire 1 full time employee in accordance with the new Job Description.

Thank you,

Janene Deaton
Clerk

For your consideration, I offer the following motion for approval:

Moved by _____ and supported by _____ to allow the Clerk to hire 1 full time Clerk's Assistant.

Genoa Township Job Description

JOB TITLE: Clerk's Assistant
(Full-time, Hourly, Non -exempt)

RATE OF PAY: \$20.00 to \$23.00 DOQ

JOB SUMMARY:

Under the supervision of the Township Clerk, assists in performing the statutory and non- statutory functions of the office, varied administrative tasks, secretarial, and clerical tasks including preparing and maintaining accurate records and reports pertaining to the department. Provides residents/visitors with a positive first impression on behalf of the Township and Department. This position is public-facing and requires exceptional attention to detail, excellent customer service skills, accuracy and efficiency in work and must be able to meet high demands during elections. Must be able to work overtime as needed during elections. Election experience is preferred but not required.

PRIMARY DUTIES & RESPONSIBILITIES

Greets individuals in person and answers and handles all telephone calls, providing information and assistance or directing individual so the appropriate department of staff member in a warm and professional way.

Certified Qualified Voter File Specialist: Performs a variety of tasks in support of the Township's Voter Registration process. Duties include, but are not limited to, daily maintenance & updating of voter registration records on the Michigan State Qualified Voter File (QVF) & in Clerk files. Includes processing of voter registration master cards & ID cards. Maintains active and in active voter registration files.

Performs a variety of tasks in support of the Township elections process. Duties include but are not limited to, assist with voter education, distribution & processing of absentee ballots, performing Election Day assignments, assisting with the resolution of voter issues, updating election history in the Qualified Voter File as well as other various election related tasks.

Assist with the maintenance of the Departments filing system for a variety of records, reports and general correspondence relating to the Clerk Office including the Township Boards Minutes database, Maintenance and retrieval of Township archives on an as needed basis.

Assists in the cemetery responsibilities including resident assistance in the purchase of their lots, deed preparation, working closely with the cemetery Sexton and Clerk to aid in the upkeep of the cemetery mapping.

Required Knowledge, Skills, Abilities and Minimum Qualifications:

The requirements listed below are representative of the knowledge, skills, abilities and minimum qualifications necessary to perform the essential functions of the position. Reasonable accommodations may be made to enable individuals with disabilities to perform the job.

Requirements include the following:

- High school diploma with additional college-level or vocational training in secretarial science, office management or a similar field, and two years of experience in a responsible clerical position.

- Ability to type with speed and accuracy.
- Demonstrated proficiency in Microsoft Suite applications including word processing, spreadsheet, and data base use.
- Ability to gain proficiency in department-specific software applications including Qualified Voter File training or other State of Michigan required learning.
- Ability to use basic office equipment such as telephone, calculator, photocopier, facsimile and email/internet/world wide web for search, information and data transfer and file in alphabetical order.
- Ability to establish and maintain effective working relationships and use good judgment, initiative and resourcefulness when dealing with employees, professional contacts and the public in a variety of situations.

Physical Demands and Work Environment:

The physical demands and work environment characteristics described here are representative of those an employee encounters while performing the essential functions of the job. Reasonable accommodations may be made to enable individuals with disabilities to perform the essential functions.

While performing the duties of this job, the employee is regularly required to communicate in person and by telephone, read regular and small print, view and produce written and electronic documents and enter data on a computer keyboard with repetitive keystrokes. The employee must be mobile in an office setting, stand, sit, stoop and kneel, use hands to finger, handle, or feel and reach with hands and arms. The employee must occasionally lift and/or move heavy files and other items. The employee must be able to travel to and from worksites and election locations as needed.

The typical work environment of this job is a business office setting where the noise level is quiet and sometimes moderate.



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SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Township Manager

DATE: March 13, 2025

RE: Euler Road Rehabilitation Project Agreement – Grand River to gravel

Please find attached the Project Agreement from the Livingston County Road Commission for a repaving project involving Euler Road which is located north of Grand River avenue east of Pless Drive.



This project will include milling and repaving a 4-inch section of the existing 0.43 miles of asphalt from Grand River Avenue to the end of the pavement. The overall project cost is \$250,000 which will be shared 50/50 with the Road Commission under the 2025 Pavement Preservation Program (PPP). This project is included in the Road Improvement Fund budget and the following motion is provided for your consideration:

Moved by _____ and **supported** by _____ to approve a \$125,000 project agreement with the Livingston County Road Commission to reconstruct approximately 0.43 miles of Euler Road from Grand River Avenue to the end of pavement through the Pavement Preservation Program (PPP) with the Township's cost up to 50% of the project costs, not to exceed \$125,000 from Road Improvement Fund #401-446-812-008.

Sincerely,


Kelly VanMarter

P R O J E C T A G R E E M E N T
J O B N U M B E R: 489.05.5182BW

This Agreement made and entered into this _____ day of _____, 2025 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

W I T N E S S E T H

The Township has selected the following road to be improved as described below:

**EULER ROAD
GRAND RIVER TO END OF PAVEMENT
APPROXIMATELY 0.43 MILES
4.0" MILL AND 4.0" HOT MIX ASPHALT
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Engineer's opinion of cost of the project is \$250,000. The Township shall pay up to 50% of the project cost, not to exceed \$125,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
KEVIN T. SPICHER, SUPERVISOR

JANENE DEATON, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE

MEMORANDUM

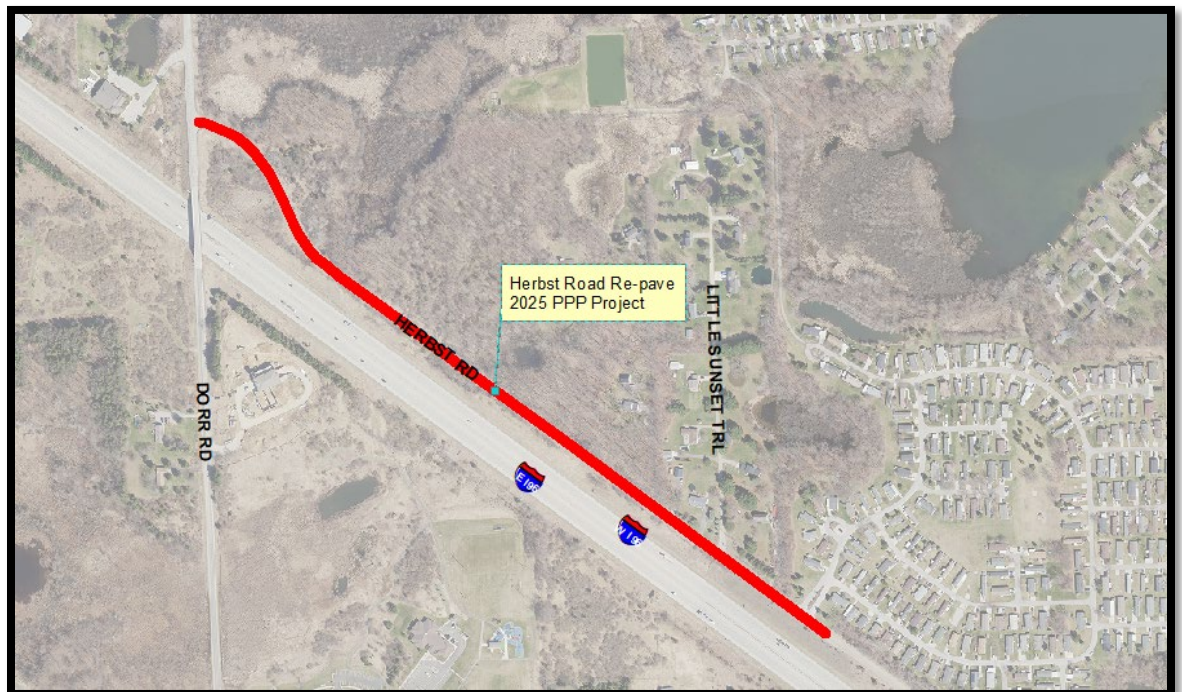
TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Township Manager

DATE: March 13, 2025

RE: Herbst Road Rehabilitation Project Agreement – Dorr Road to gravel

Please find attached the Project Agreement from the Livingston County Road Commission for a repaving project involving Herbst Road which is located east of Dorr Road, north of I-96.



This project will include milling and repaving a 4-inch section of the existing 0.63 miles of asphalt from Dorr Road to the end of the pavement. The overall project cost is \$295,000 which will be shared 50/50 with the Road Commission under the 2025 Pavement Preservation Program (PPP). This project is included in the Road Improvement Fund budget and the following motion is provided for your consideration:

Moved by _____ **and supported by** _____ to approve a \$147,500 project agreement with the Livingston County Road Commission to reconstruct approximately 0.63 miles of Herbst Road from Dorr Road to the end of pavement through the Pavement Preservation Program (PPP) with the Township's cost up to 50% of the project costs, not to exceed \$147,500 from Road Improvement Fund #401-446-812-013

Sincerely,



Kelly VanMarter

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

P R O J E C T A G R E E M E N T
J O B N U M B E R: 489.05.5181BW

This Agreement made and entered into this _____ day of _____, 2025 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

W I T N E S S E T H

The Township has selected the following road to be improved as described below:

**HERBST ROAD
DORR TO END OF PAVEMENT
APPROXIMATELY 0.63 MILES
4.0" MILL AND 4.0" HOT MIX ASPHALT
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Engineer's opinion of cost of the project is \$295,000. The Township shall pay up to 50% of the project cost, not to exceed \$147,500.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
KEVIN T. SPICHER, SUPERVISOR

JANENE DEATON, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE



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genoa.org

SUPERVISOR

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CLERK

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TREASURER

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TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: March 13, 2025
RE: Beck Road Limestone Improvements – Project Agreement

Please find attached the Project Agreement from the Livingston County Road Commission for a gravel road improvement project involving Beck Road from Chilson Road to Fisk Road.



This project will include limestone resurfacing, tree work, limited drainage and other necessary related work for approximately 5,165 feet of Beck Road from Chilson Road to Fisk Road. The overall project cost is \$147,000 which is included in the Road Improvement Fund budget and the following motion is provided for your consideration:

Moved by _____ and **supported** by _____ to approve a project agreement with the Livingston County Road Commission for limestone resurfacing, tree work, limited drainage and other necessary related work for approximately 5,165 feet of Beck Road from Chilson Road to Fisk Road with the Township's cost not to exceed \$147,000 from Road Improvement Fund #401-446-812-010

Sincerely,


Kelly VanMarter

PROJECT AGREEMENT

JOB NUMBER: 489.05.5183BV

This Agreement made and entered into this _____ day of _____, 2025 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

WITNESSETH

The Township has selected the following road to be improved as described below:

BECK ROAD
(CHILSON ROAD TO FISK ROAD)
APPROXIMATELY 5,165 FEET
LIMESTONE RESURFACING, TREE WORK, LIMITED DRAINAGE
ALTOGETHER WITH THE NECESSARY RELATED WORK

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$147,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
KEVIN SPICHER, SUPERVISOR

JANENE DEATON, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE



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810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees
FROM: Kelly VanMarter, Township Manager
DATE: March 13, 2025
RE: Crooked Lake Road Limestone Improvements – Project Agreement

Please find attached the Project Agreement from the Livingston County Road Commission for a gravel road improvement project involving Crooked Lake Road from Chilson Road to Fisk Road.



This project will include limestone resurfacing, tree work, limited drainage and other necessary related work for approximately 7,440 feet of Crooked Lake Road from Chilson Road to Fisk Road. The overall project cost is \$181,000 which is included in the Road Improvement Fund budget and the following motion is provided for your consideration:

Moved by _____ and **supported** by _____ to approve a project agreement with the Livingston County Road Commission for limestone resurfacing, tree work, limited drainage and other necessary related work for approximately 7,440 feet of Crooked Lake Road from Chilson Road to Fisk Road with the Township's cost not to exceed \$181,000 from Road Improvement Fund #401-446-812-011.

Sincerely,


Kelly VanMarter

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

P R O J E C T A G R E E M E N T

J O B N U M B E R: 489.05.5184BV

This Agreement made and entered into this _____ day of _____, 2025 by and between the TOWNSHIP of GENOA, Livingston County, Michigan, hereinafter referred to as "TOWNSHIP" and the BOARD OF COUNTY ROAD COMMISSIONERS OF THE COUNTY OF LIVINGSTON, hereinafter referred to as "ROAD COMMISSION."

W I T N E S S E T H

The Township has selected the following road to be improved as described below:

**CROOKED LAKE ROAD
(CHILSON ROAD TO FISK ROAD)
APPROXIMATELY 7,440 FEET
LIMESTONE RESURFACING, TREE WORK, LIMITED DRAINAGE
ALTOGETHER WITH THE NECESSARY RELATED WORK**

The parties agree as follows:

1. The Township shall pay the Road Commission 100% of the cost of the project, as follows: \$181,000.
 - A. The balance shall be paid promptly as invoiced.
 - B. The Road Commission shall furnish the Township with a final breakdown of its actual expenses upon completion of the project.
 - C. The Township will not withhold payments because of any set-off, counterclaim, or any other claim which it may have against the Road Commission arising out of this or any other matter. If there is a dispute over the balance due upon completion, the Township will pay the amount claimed by the Road Commission, and such payment shall not be a waiver by the Township of any claims it may have arising from this contract and the completion of the project.
2. All work shall be performed in a good workmanlike manner and in accordance with plans and specifications adopted by the Road Commission.
3. The work will be completed within the current contract year, unless the parties otherwise so agree.
4. In the event the project cannot be completed due to circumstances beyond the control of the Road Commission, and through no fault of the Road Commission, the contract price for later completion will be subject to renegotiation.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the date and year first above written.

TOWNSHIP OF GENOA

BY: _____
KEVIN SPICHER, SUPERVISOR

JANENE DEATON, CLERK

**BOARD OF COUNTY ROAD COMMISSIONERS
OF THE COUNTY OF LIVINGSTON**

BY: _____
STEVEN J. WASYLK, MANAGING DIRECTOR

SARAH R. NEWTON, DIRECTOR OF FINANCE

From: [Candie Hovarter](#)
To: [Kelly VanMarter](#)
Subject: Document Shredding Event
Date: Tuesday, March 11, 2025 10:50:31 PM

Hi Kelly,

I was thinking an event for Genoa Township members to have their personal documents shredded at the township hall. I also would like the documents to be recycled. They do offer that service at Recycle Livingston and they charge by the pound and it is taken off site. I was thinking after April 15 so anytime after that and I would prefer a Tuesday or Thursday. I appreciate your help with this. It could be a networking opportunity, service and something for Todd's app.

Thank you!

Candie