

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS**

March 18, 2025

6:30 P.M.

AGENDA

Call to Order:

Pledge of Allegiance:

Introductions:

Conflict of Interest:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00*

p.m) OLD BUSINESS:

1. 25-02...A request by Gary Potts of Professional Permits, 1015 S Latson, seeking a variance from Article **16.1-number of allowed walls signs**, and **16.07.05 number of allowed directional signs** and other variances deemed necessary by the Zoning Board of Appeals, for multiple building signs and directional signs on site for a new car wash.

NEW BUSINESS:

1. 25-03...A request by Logan McAnallen, 5945 Hartford Way, for a side, rear and front yard variances and any other variances deemed necessary by the Zoning Board of Appeals, for the construction of a new single-family home.
2. 25-04...A request by Steve Zacharias, 770 Sunrise Park, for front and rear yard variances, and any other variances deemed necessary by the Zoning Board of Appeals, to build a new single-family home with a deck.
3. 25-05...A request by Culver's, 3900 E. Grand River, for sign variances, and any other variances deemed necessary by the Zoning Board of Appeals, for an additional menu board in the drive-thru lane.
4. 25-05...A request by Jill Bianco, 410 S. Hughes Road, for a waterfront variance, and any other variances deemed necessary by the Zoning Board of Appeals, to build a new single-family home.

ADMINISTRATIVE BUSINESS:

1. Approval of minutes for the February 18th, 2025 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment

<p>*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.</p>
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GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-02 Meeting Date: 2-18-25 @ 6:30pm

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Garry Potts % Professional Permits Email: gpotts@professionalpermits.com

Property Address: 1015 S Latson Rd Phone: 574-229-0635

Present Zoning: GCD Tax Code: 4711-04-300-017

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. **Variance requested/intended property modifications:** Mister Car Wash is seeking variances from Ch 16

of the zoning ordinance. Table 16.1 limits quantity of wall signs to 1 and we are requesting a total of 7 wall signs

with a total wall sign square footage of 189.7 sq ft where 100 sq ft is allowed by code.

16.07.05 limits the number of directional signs to one per driveway, we are proposing 6 directional signs.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

By limiting the site to 1 wall sign, you effectively eliminate the possibility of having proper lane identification signs on the canopy so that the customers know which lane to select. Unlimited members get to use 2 lanes and the other is for cash customers that pay at time of service. That process takes longer and risks the flow of traffic on the site.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The applicant did not draft the zoning ordinance and thus the restrictions imposed by the ordinance do not allow for the site to be used as a 'stay in your car' business. This site is not a typical retail business where the client parks their car and goes inside to transact business. It is a business model that has a track that moves the cars along and cannot have a backup or misdirection

The code fails to account for this type of business in the consideration of the sign allowances and need for multiple signs
Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Mister Car Wash has over 500 locations throughout the country and we cannot think of an instance in which the standard sign package and the granting of a variance for its sign package has resulted in any such impairment or danger. To the contrary, we can think of instances where the denial of a variance request for our signs has resulted in the endangerment of public safety.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The variance request strikes a balance between the standard sign package and the ordinance allowances. We see no way that this development and the requested sign variances will interfere with or discourage the appropriate development or use or value of adjacent properties and the surrounding neighborhood.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 01/13/2025

Signature: _____





MI 1495 Latson (Howell)
1015 S Latson Road Howell, Michigan 48843

Page 3

Pylon Sign A

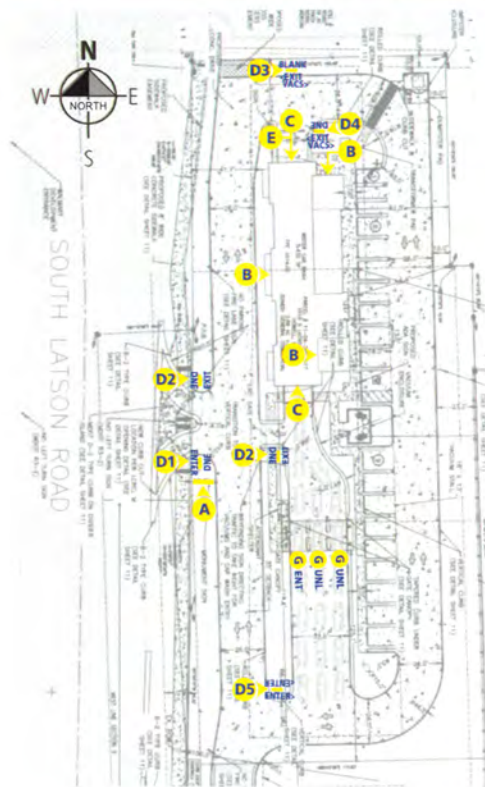


A 4'-8" x 7'-0" Routed & Backed Monumnet Sign @ 6' OAH - 28 sq. ft. of Sign Area

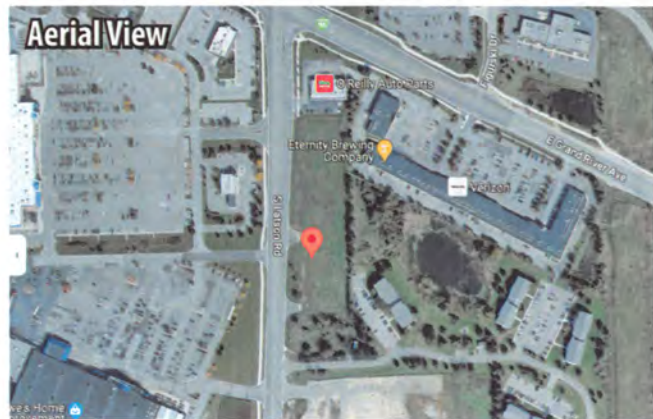


CORPORATE COLORS:			
PMS			
	PMS 123 C	PMS 2955 C	
VINYL			
	3630-125	3630-8119	
FLEX			
	Match 3M Color	Match 3M Color	

FILE#24-6-46-F-MISTR-A3	JY	Customer Approval
Scale: 3/8" = 1'-0"	Date: 11-14-2024	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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- A** 4'-7" x 7'-0" Monument Sign @ 6' OAH - 28 sqft
- B** 40" Mister Channel Letters (Opaque Center Sparkle)
- C** 7'-0" X 5'-7" Sparkle Logo - Channel Ltr. Construction
- D1** 1 qty., 3'-0" x 2'-0" Directional
- D2** 2 qty., 3'-0" x 2'-0" Directional
- D3** 1 qty., 3'-0" x 2'-0" Directional
- D4** 1 qty., 3'-0" x 2'-0" Directional
- D5** 1 qty., 3'-0" x 2'-0" Directional
- E** 15" EXIT Illuminated Informational Signage
- G** 1 qty., 18" Enter & 2 qty., 20" Unl. Members LED Illuminated Wayfinding Signage - Green indicator Dot



FILE#24-6-46-F-MISTR-S7

JY

Customer Approval

Scale: NTS

Date: 11-19-2024

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

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One Dualite Lane
Williamsburg, Ohio 45176

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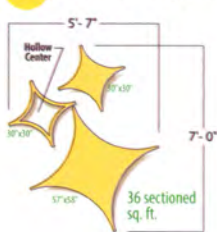
MI 1495 Latson (Howell)
1015 S Latson Road Howell, Michigan 48843

Page 4

South Entry Elevation

Sparkles should be centered up and down and left to right on the tunnel exit/entrance.

C 7'-0" x 5'-7" Sparkle on Tower of Tunnel Entrance - 40 sq ft

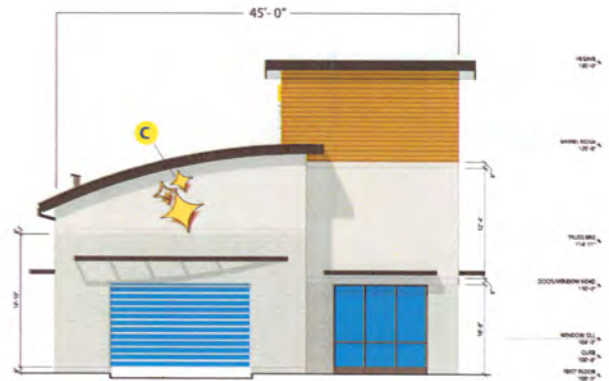


Side View

NEW HOLLOW SPARKLE SET

- Sparkles: Left Middle, Hollow with a Yellow outline, 2 remaining Sparkles are Yellow
- Black 1" Trim Cap - Black Returns
- LED Illumination - Principal Quick Mod 7100K White LEDs and Power Supplies

VINYL
3630-125



CAR WASH TUNNEL ENTRY ELEVATION - SOUTH

1/16"=1'-0"

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8119
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-B4

JY

Customer Approval

Scale: 3/16" = 1'-0"

Date: 11-14-2024

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

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Williamsburg, Ohio 45176

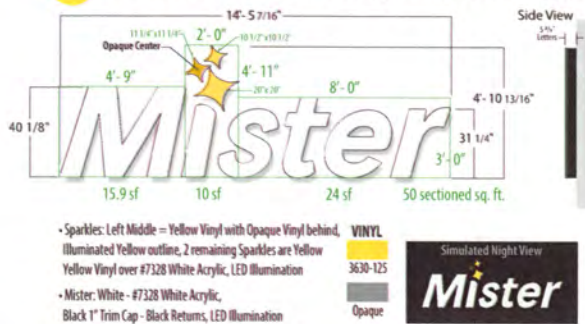
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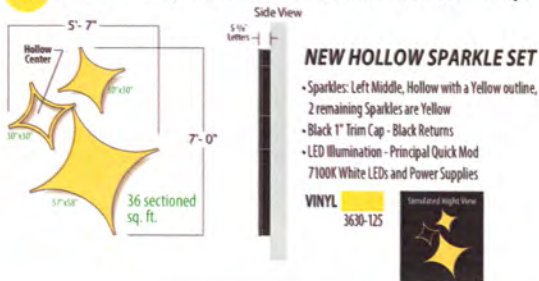
All Mister Letter Sets on Towers need to be on the same continuous plain (bottoms lined up).

B M40 4'-10 13/16" x 14'-5 7/16" - 50 sq. ft. - NEW OPAQUE CENTER SPARKLE



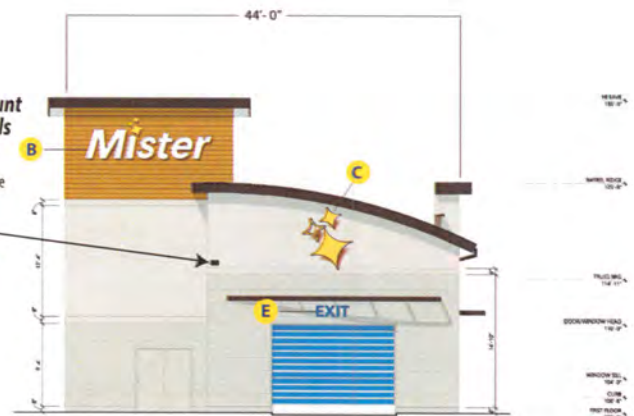
Sparkles should be centered up and down and left to right on the tunnel exit/entrance.

C 7'-0" x 5'-7" Sparkle on Tower of Tunnel Entrance - 40 sq ft



6" White Pin Mount Address Numerals
Scale: 3/8" = 1'-0"
1/4" thick Aluminum Pin-Mount, Painted White

NOTE: Exact Placement of Address Numerals TBD.



CAR WASH TUNNEL EXIT ELEVATION - NORTH

E 15" Illuminated Exit Letters - 8.4 sq ft



CORPORATE COLORS:

PMS	PMS 123 C	PMS 2955 C
VINYL	3630-125	3630-8119
FLEX	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-CS

JY

Customer Approval

Scale: 3/16" = 1'-0"

Date: 11-19-2024

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

Dualite

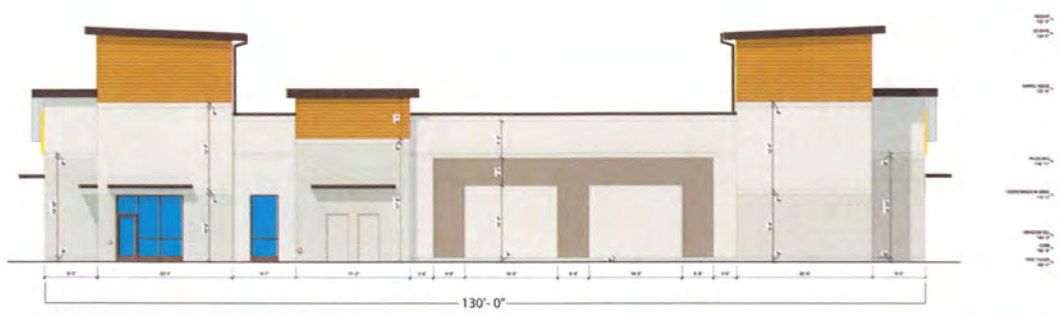
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












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No Signage on this Elevation.



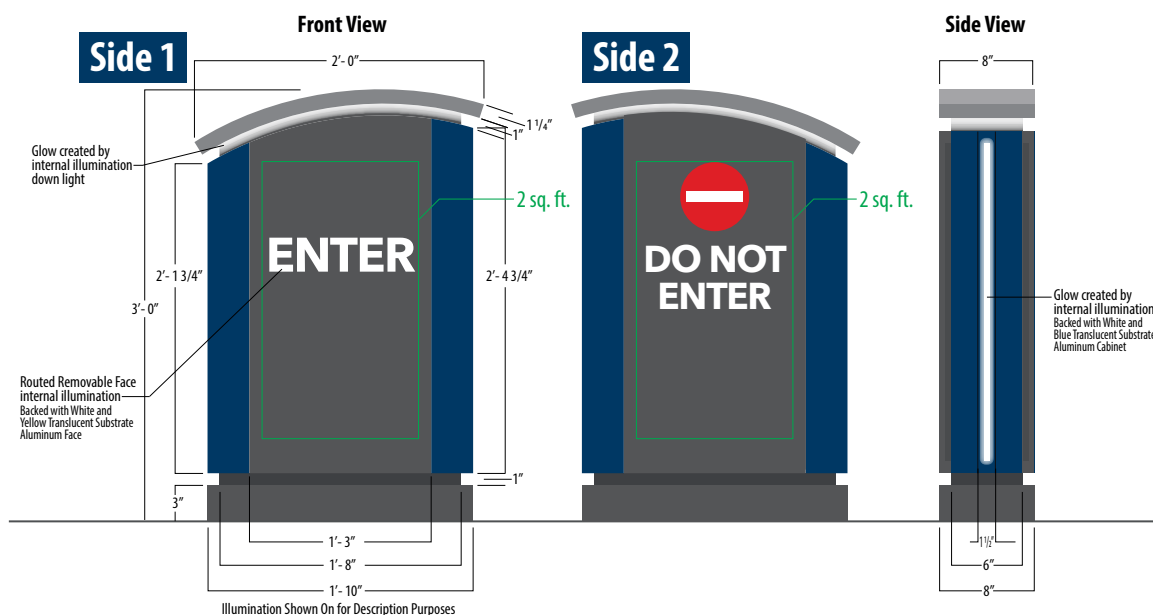
BUSINESS / MECHANICAL ELEVATION - EAST
3/16" = 1'-0"

CORPORATE COLORS:			
PMS			
	PMS 123 C	PMS 2955 C	
VINYL			
	3630-125	3630-8119	
FLEX			
	Match 3M Color	Match 3M Color	

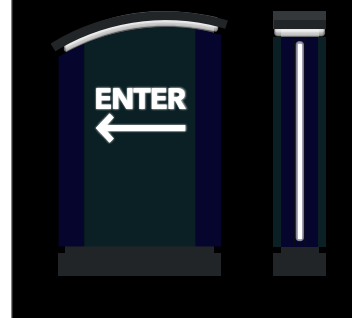
FILE#24-6-46-F-MISTR-D4	JY	Customer Approval
Scale: 3/16" = 1'-0"	Date: 11-14-2024	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection.
Sign contractor responsible for connecting wires within 5' of sign.

3'-0" x 2'-0" Directional Sign - 4 sq. ft.



Simulated Night Illumination - Example



DESCRIPTION

- Cap Painted 7665 Dark Gray (Wall Street)
- White LED Glow under top Blue cap of sign - Reveal Painted 7C Cool Gray (Morning Fog)
- Directional Copy and/or Arrows = White Vinyl First Surface Routed and Backed.
- DO NOT ENTER Symbol = Red Vinyl First Surface Routed and Backed.
- Inner Sign Body Aluminum (with Routed Direc. Copy) = 7665 Dark Gray (Wall Street)
- **NOTE Vertical Blue Lighting covered using Opaque Gray Vinyl that closely matches 7665 Dark Gray**
- Outer Cabinet Aluminum = Painted 2995 Blue with White Vertical Glow on Sides
- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart

Directional Sign = 9,600 lumens

Total = 9,600 lumens

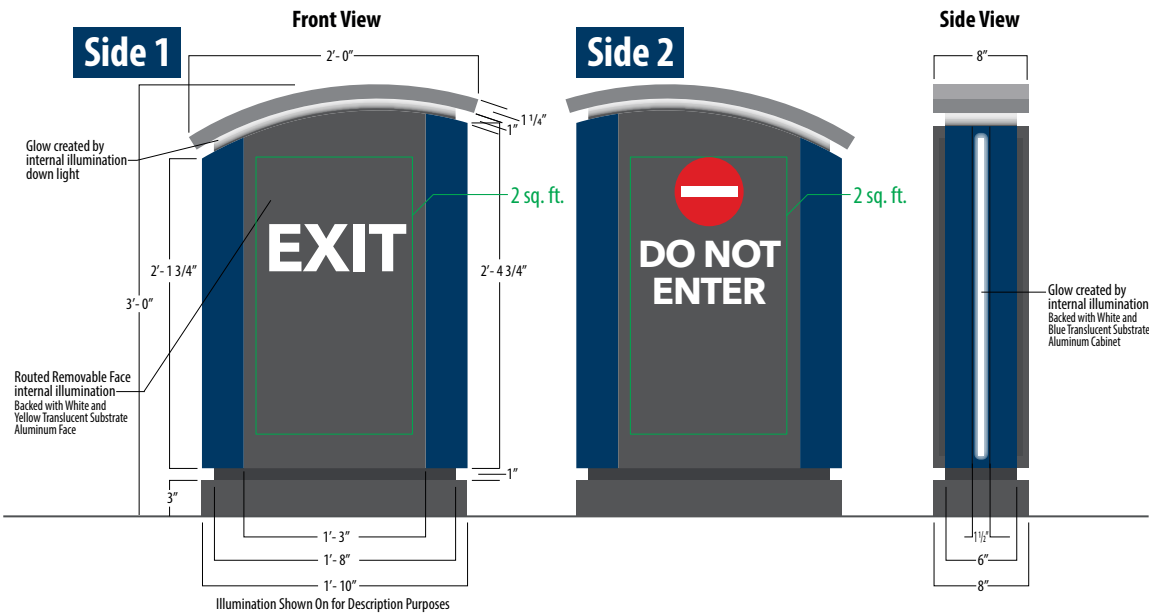
CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8335
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-F5	JY	Customer Approval
Scale: 3/4" = 1'-0"	Date: 3-10-2025	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection.
Sign contractor responsible for connecting wires within 5' of sign.

3'- 0" x 2'- 0" Directional Sign - 4 sq. ft.



DESCRIPTION

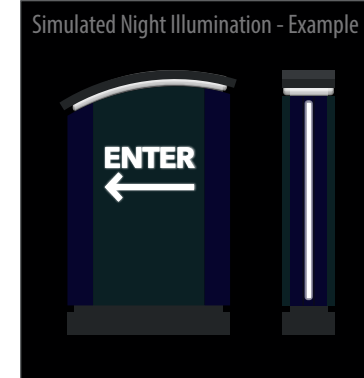
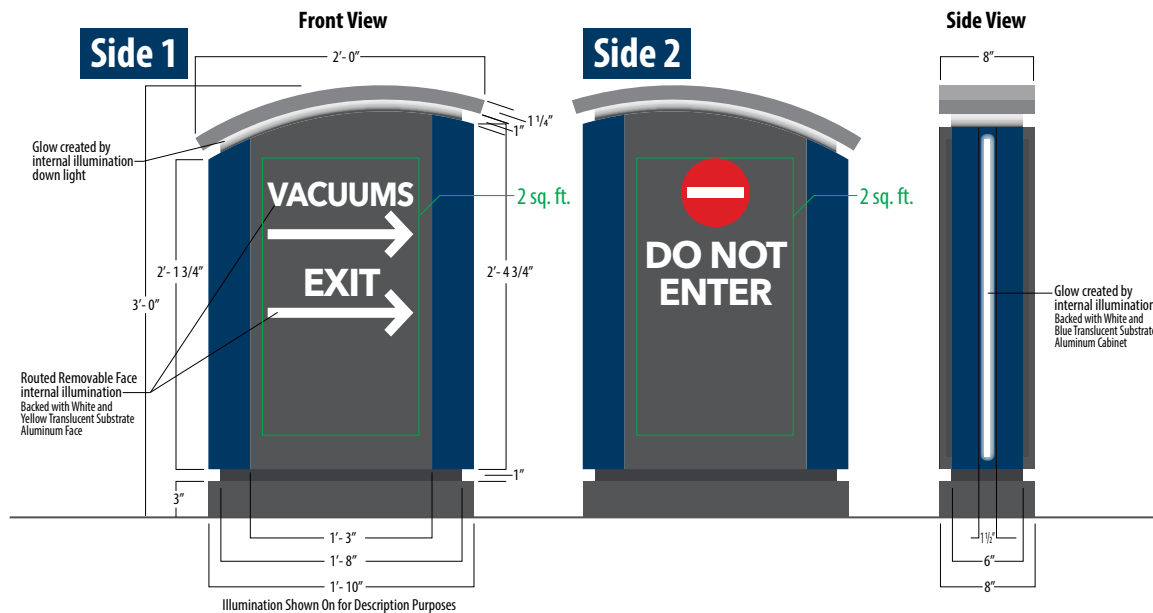
- Cap Painted 7665 Dark Gray (Wall Street)
- White LED Glow under top Blue cap of sign - Reveal Painted 7C Cool Gray (Morning Fog)
- Directional Copy and/or Arrows = White Vinyl First Surface Routed and Backed.
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- Inner Sign Body Aluminum (with Routed Direc. Copy) = 7665 Dark Gray (Wall Street)
- **NOTE Vertical Blue Lighting covered using Opaque Gray Vinyl that closely matches 7665 Dark Gray**
- Outer Cabinet Aluminum = Painted 2995 Blue with White Vertical Glow on Sides
- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart	
Directional Sign = 9,600 lumens	
Total = 9,600 lumens	

CORPORATE COLORS:			
PMS			
	PMS 123 C		PMS 2955 C
VINYL			
	3630-125		Custom Vinyl 3630-8335
FLEX			
	Match 3M Color		Match 3M Color

Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection.
Sign contractor responsible for connecting wires within 5' of sign.

3'-0" x 2'-0" Directional Sign - 4 sq. ft.



DESCRIPTION

- Cap Painted 7665 Dark Gray (Wall Street)
- White LED Glow under top Blue cap of sign - Reveal Painted 7C Cool Gray (Morning Fog)
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- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart

Directional Sign = 9,600 lumens

Total = 9,600 lumens

CORPORATE COLORS:

PMS PMS 123 C PMS 2955 C

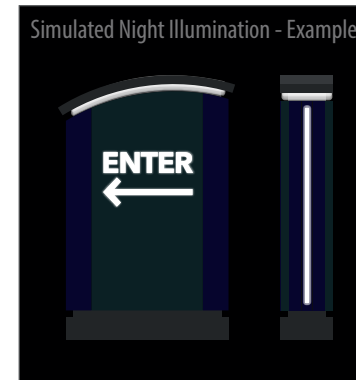
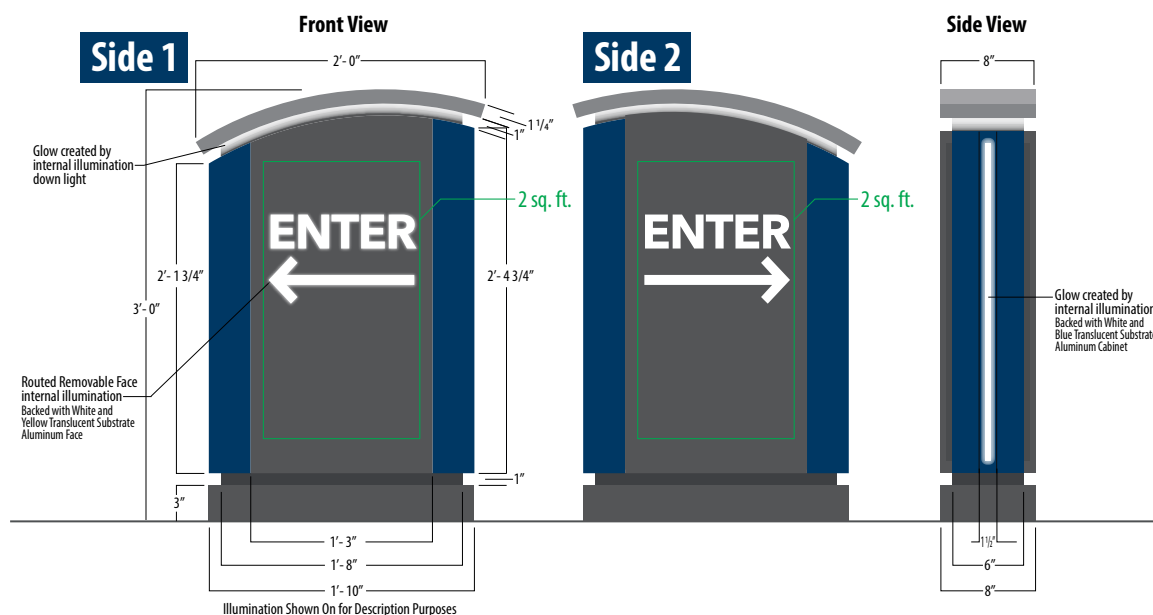
VINYL 3630-125 Custom Vinyl 3630-8335

FLEX Match 3M Color Match 3M Color

FILE#24-6-46-F-MISTR-16	JY	Customer Approval
Scale: 3/4" = 1'-0"	Date: 3-10-2025	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection.
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3'-0" x 2'-0" Directional Sign - 4 sq. ft.



DESCRIPTION

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- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart

Directional Sign = 9,600 lumens

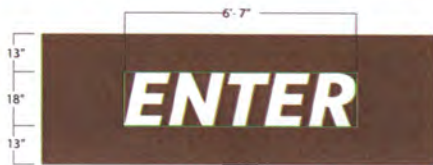
Total = 9,600 lumens

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8335
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-J6	JY	Customer Approval
Scale: 3/4" = 1'-0"	Date: 3-10-2025	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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G
ENT
9.9 sqft



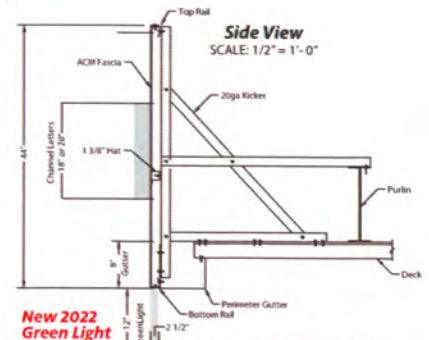
G
UM
11.9 sqft



NEW 2021 - 1 qty., 18" ENTER and 2 qty. 20" UNLIMITED MEMBER LANE LETTERS WITH GREEN INDICATOR DOT (Under Mount)

NEW 1-21 CHANNEL LETTER FONT STYLE: SOLITAIRE MVB PRO HEAVY ITALIC

White Letters with Black Sides and Trim-Cap - 3" deep Centered on 44" tall Canopy - Under Canopy Mounted Green Lights



New 2022 Green Light

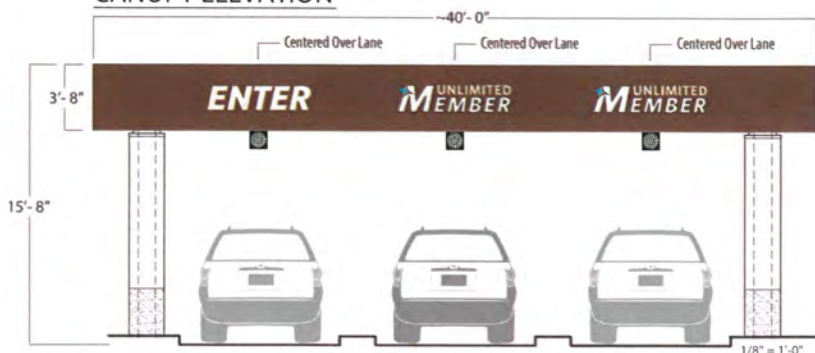
EXTERIOR MATERIAL KEY

	ALUMINUM EXTRUSION
	ACRYLIC
	VINYL
	FLEX
	TRIM CAP
	GREEN LIGHT
	GUTTER
	PURLIN
	DECK
	PRE-METER GUTTER
	BOTTOM RAIL
	TOP RAIL
	ZIGA KICKER
	ACM FAÇADE

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8119
FLEX		
	Match 3M Color	Match 3M Color

CANOPY ELEVATION



FILE#24-6-46-F-MISTR-K3

JY

Customer Approval

Scale: 1/4" = 1'-0"

Date: 11-14-2024

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

Dualite

One Dualite Lane
Williamsburg, Ohio 45176

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Customer Approved

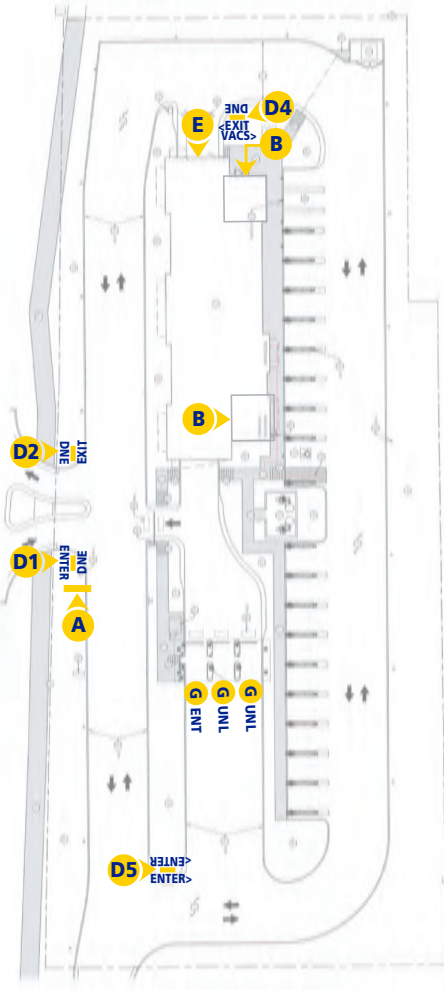
1-9-2025



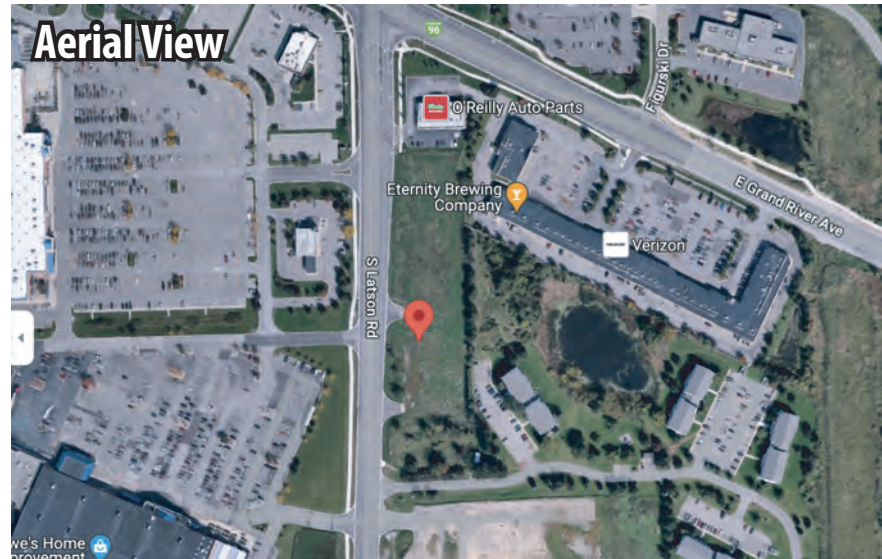
MI 1495 Latson (Howell), 1015 S Latson Road Howell, Michigan 48843








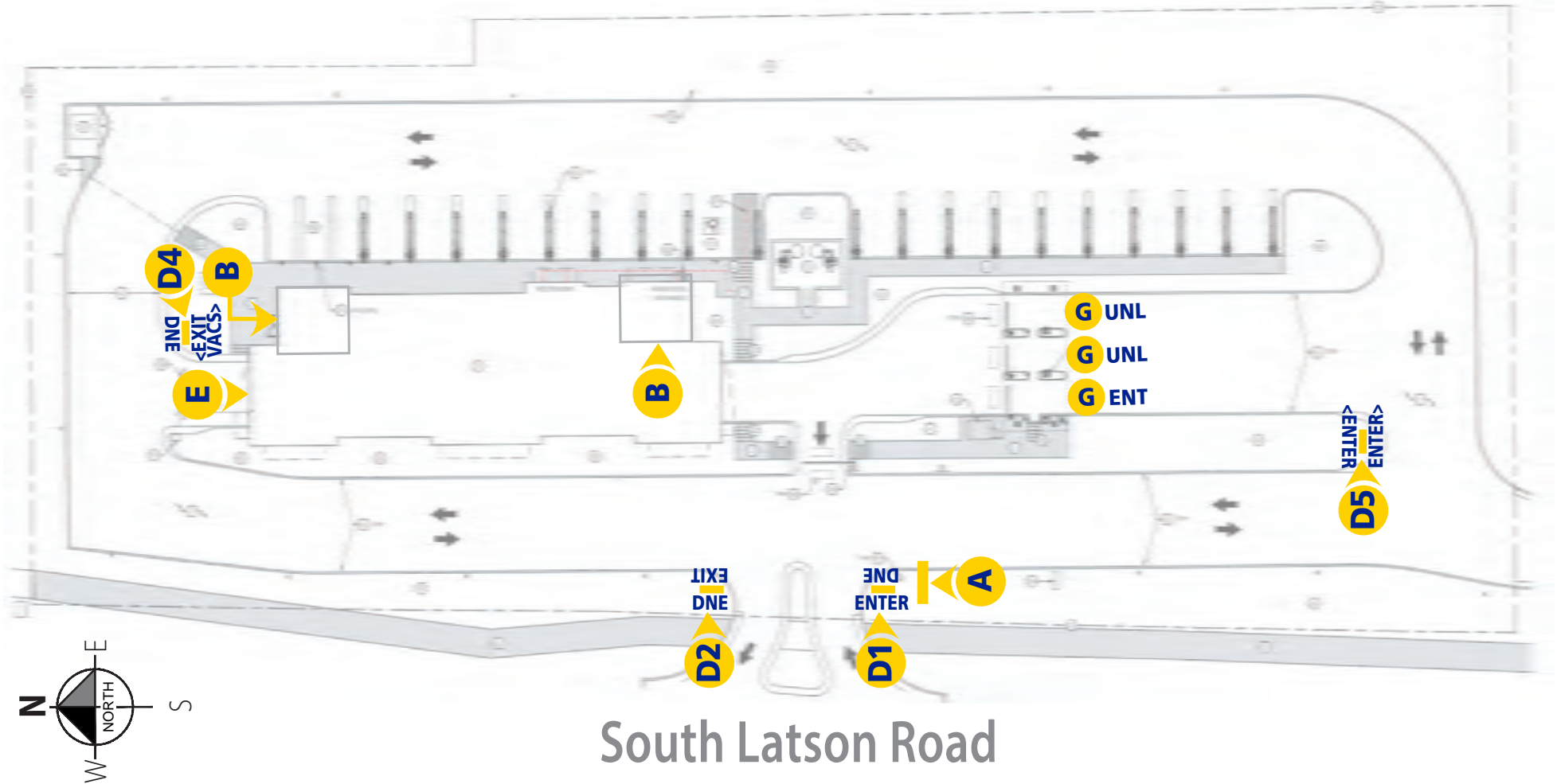
South Latson Road



- A** 4'-7" x 7'-0" Monument Sign @ 6' OAH - 28 sqft
- B** 36" Mister Channel Letters (Opaque Center Sparkle)
- D1** 1 qty., 3'-0" x 2'-0" Directional
- D2** 2 qty., 3'-0" x 2'-0" Directional
- D4** 1 qty., 3'-0" x 2'-0" Directional
- D5** 1 qty., 3'-0" x 2'-0" Directional
- E** 15" EXIT Illuminated Informational Signage
- G** 1 qty., 18" Enter & 2 qty., 20" Unl. Members LED Illuminated Wayfinding Signage - Green indicator Dot



FILE#24-6-46-F-MISTR-S10		JY	Customer Approval	
Scale: NTS	Date: 3-3-2025		Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.	
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FILE#24-6-46-F-MISTR-S10-A	JY	Customer Approval	
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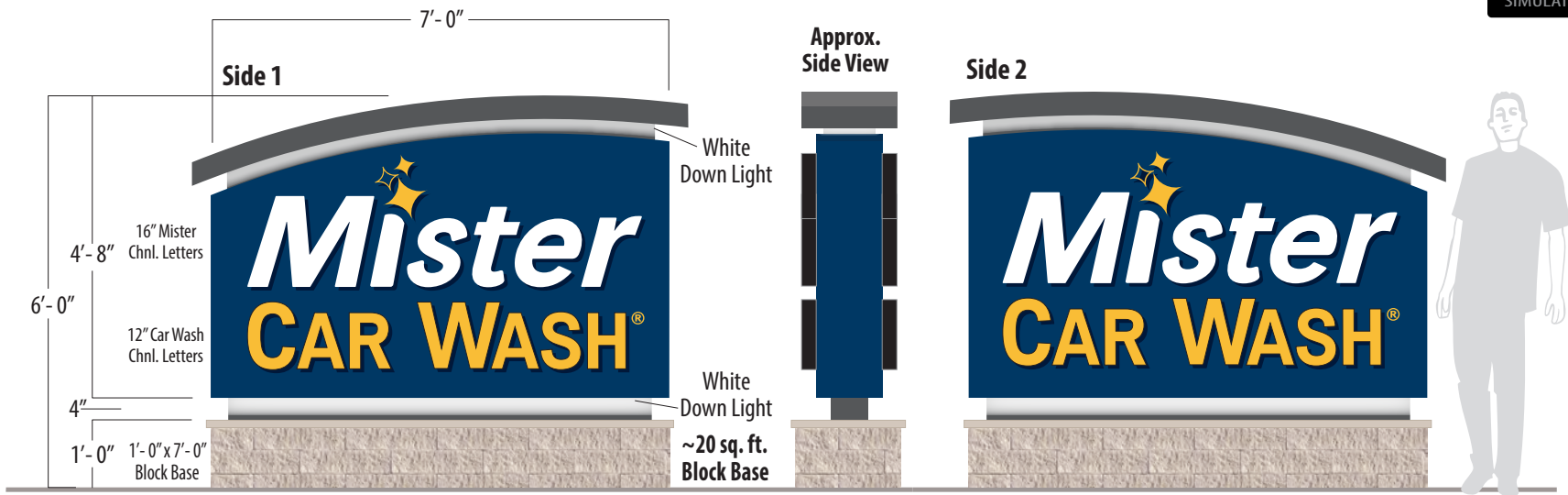
MI 1495 Latson (Howell)
1015 S Latson Road Howell, Michigan 48843

Page 4

Pylon Sign **A**



A 4'-8" x 7'-0" Standard Channel Letter Monumnet Sign @ 6' OAH - 28 sq. ft. of Sign Area



Lumen Chart	
Topper =	5,390 lumens
Topper =	9,555 lumens
Bottom Accent =	3,659 lumens
Total =	18,604 lumens

CORPORATE COLORS:	
PMS	PMS 123 C
PMS	PMS 2955 C
VINYL	3630-125
VINYL	3630-8119
FLEX	Match 3M Color
FLEX	Match 3M Color

FILE#24-6-46-F-MISTR-A4	JY	Customer Approval
Scale: 3/8" = 1'-0"	Date: 2-18-2025	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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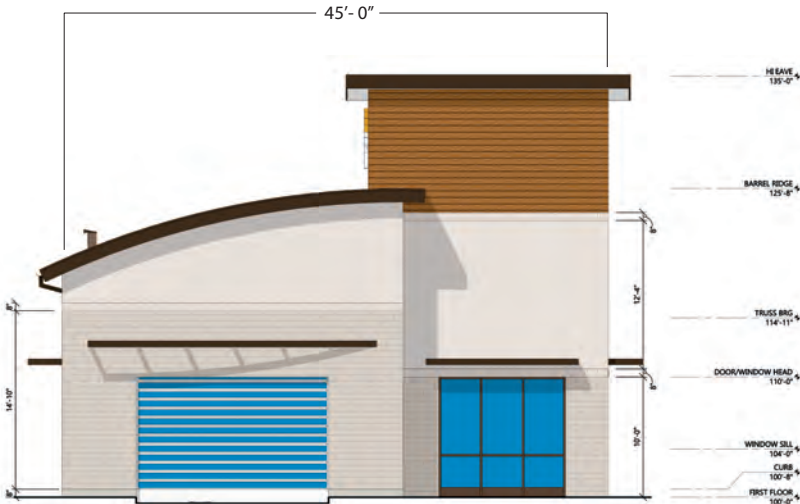


MI 1495 Latson (Howell)
1015 S Latson Road Howell, Michigan 48843

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South Entry Elevation

No Signage on this Elevation.



CAR WASH TUNNEL ENTRY ELEVATION - SOUTH

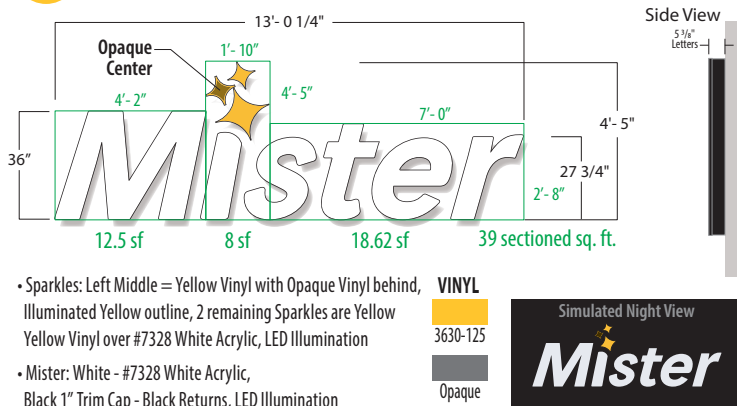
1/16" = 1'-0"

CORPORATE COLORS:			
PMS			
	PMS 123 C	PMS 2955 C	
VINYL			
	3630-125	3630-8119	
FLEX			
	Match 3M Color	Match 3M Color	

FILE#24-6-46-F-MISTR-B7	JY	Customer Approval	
Scale: 3/16" = 1'-0"	Date: 3-3-2025	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.	
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All Mister Letter Sets on Towers need to be on the same continuous plain (bottoms lined up).

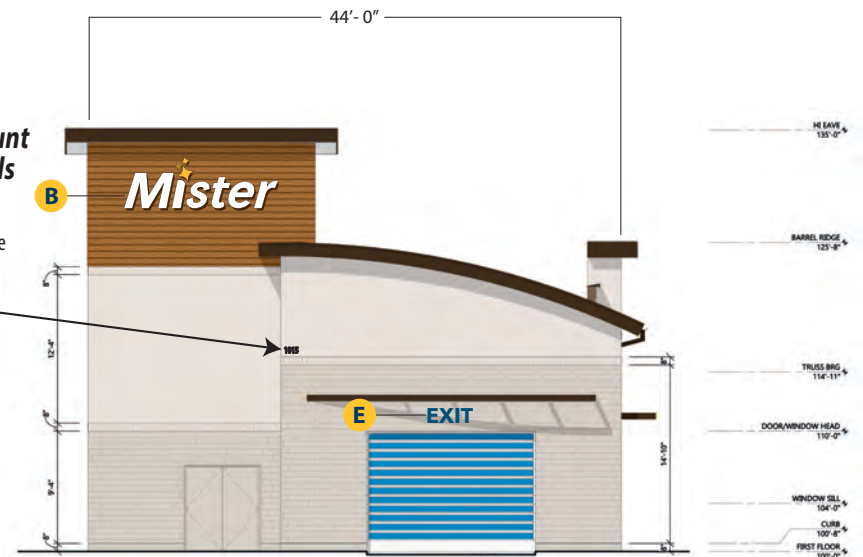
B M36 4'-5" x 13'-0 1/4" - 39 sq. ft. - NEW OPAQUE CENTER SPARKLE



6" White Pin Mount Address Numerals

Scale: 3/8" = 1'-0"
1/4" thick Aluminum
Pin-Mount, Painted White

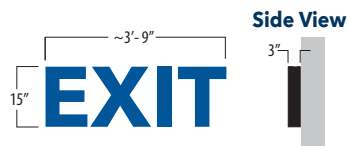
1015
NOTE: Exact Placement of Address Numerals TBD.



CAR WASH TUNNEL EXIT ELEVATION - NORTH

1/16" = 1'-0"

E 15" Illuminated Exit Letters - 8.4 sq ft



Blue Letters with Black Sides and Trim-Cap, Blue to match Blue Sparkle

Lumen Chart

Mister = 16,400 lumens

EXIT = 2,940 lumens

Total = 19,340 lumens

CORPORATE COLORS:

PMS PMS 123 C PMS 2955 C

VINYL 3630-125 Custom Vinyl 3630-8119

FLEX Match 3M Color Match 3M Color

FILE#24-6-46-F-MISTR-C9

JY

Customer Approval

Scale: 3/16" = 1'-0"

Date: 3-3-2025

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

Dualite

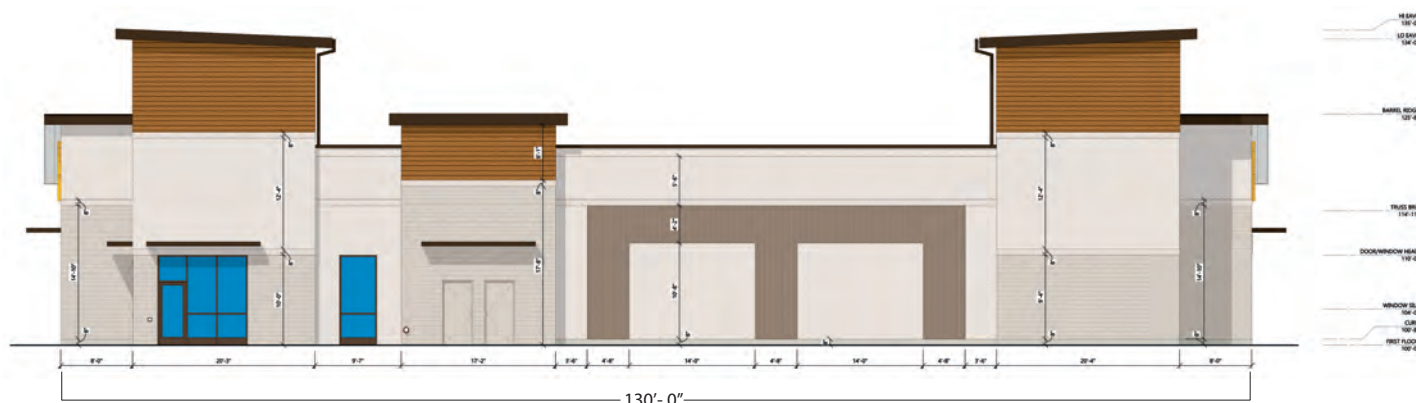
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No Signage on this Elevation.



BUSINESS / MECHANICAL ELEVATION - EAST

3/16" = 1'-0"

CORPORATE COLORS:

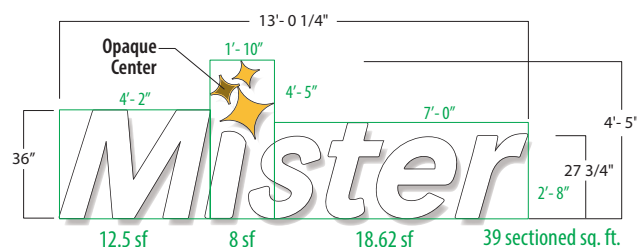
PMS PMS 123 C PMS 2955 C

VINYL 3630-125 Custom Vinyl 3630-8119

FLEX Match 3M Color Match 3M Color

FILE#24-6-46-F-MISTR-D4	JY	Customer Approval
Scale: 3/16" = 1'-0"	Date: 11-14-2024	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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B M36 4'-5" x 13'-0 1/4" - 39 sq. ft. - NEW OPAQUE CENTER SPARKLE



Side View
5 1/2"
Letters

• Sparkles: Left Middle = Yellow Vinyl with Opaque Vinyl behind, Illuminated Yellow outline, 2 remaining Sparkles are Yellow Vinyl over #7328 White Acrylic, LED Illumination

• Mister: White - #7328 White Acrylic, Black 1" Trim Cap - Black Returns, LED Illumination

VINYL 3630-125 Opaque

All Mister Letter Sets on Towers need to be on the same continuous plain (bottoms lined up).



TUNNEL WALL ELEVATION - WEST

3/64" = 1'-0"

Lumen Chart

Mister = 16,400 lumens

Total = 16,400 lumens

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8119
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-E6

JY

Customer Approval

Scale: 3/16" = 1'-0"

Date: 2-18-2025

Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

Dualite

One Dualite Lane
Williamsburg, Ohio 45176

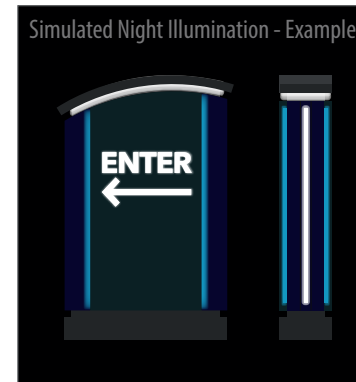
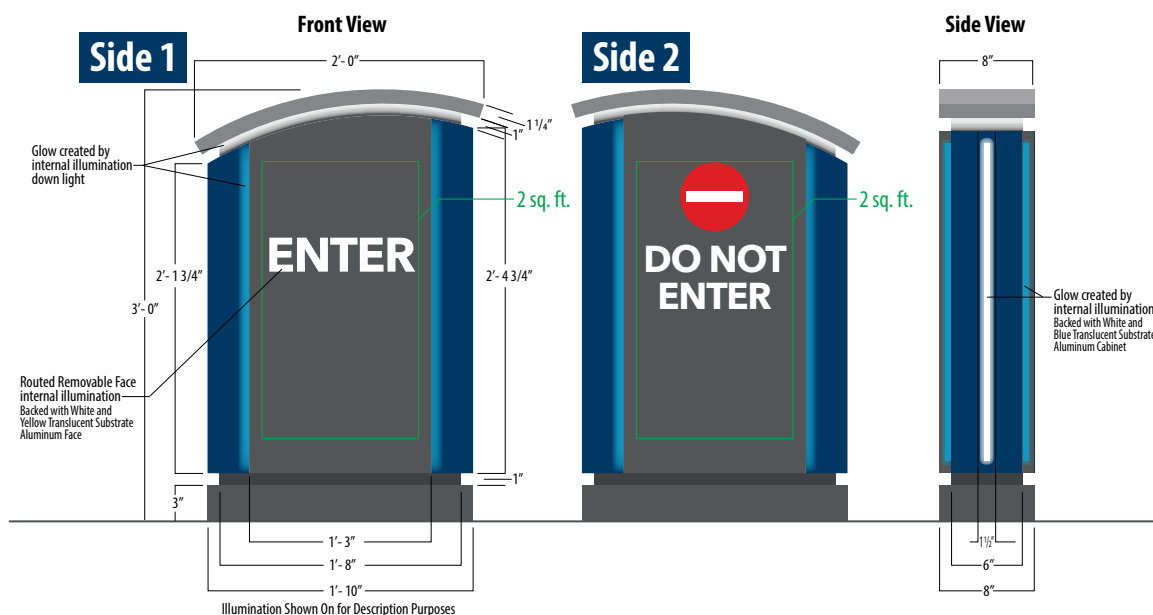
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Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection.
Sign contractor responsible for connecting wires within 5' of sign.

3'-0" x 2'-0" Directional Sign - 4 sq. ft.



DESCRIPTION

- Cap Painted 7665 Dark Gray (Wall Street)
- White LED Glow under top Blue cap of sign - Reveal Painted 7C Cool Gray (Morning Fog)
- Directional Copy and/or Arrows = White Vinyl First Surface Routed and Backed.
- DO NOT ENTER Symbol = Red Vinyl First Surface Routed and Backed.

- Inner Sign Body Aluminum (with Routed Direc. Copy) = 7665 Dark Gray (Wall Street) with Vertical Blue Glow
- Outer Cabinet Aluminum = Painted 2995 Blue with White Vertical Glow on Sides
- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart

Directional Sign = 9,600 lumens

Total = 9,600 lumens

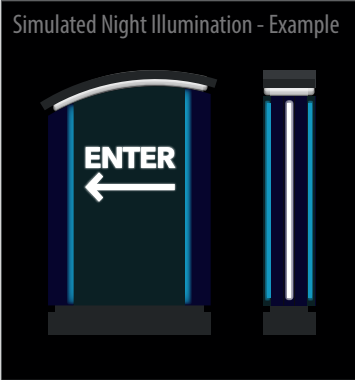
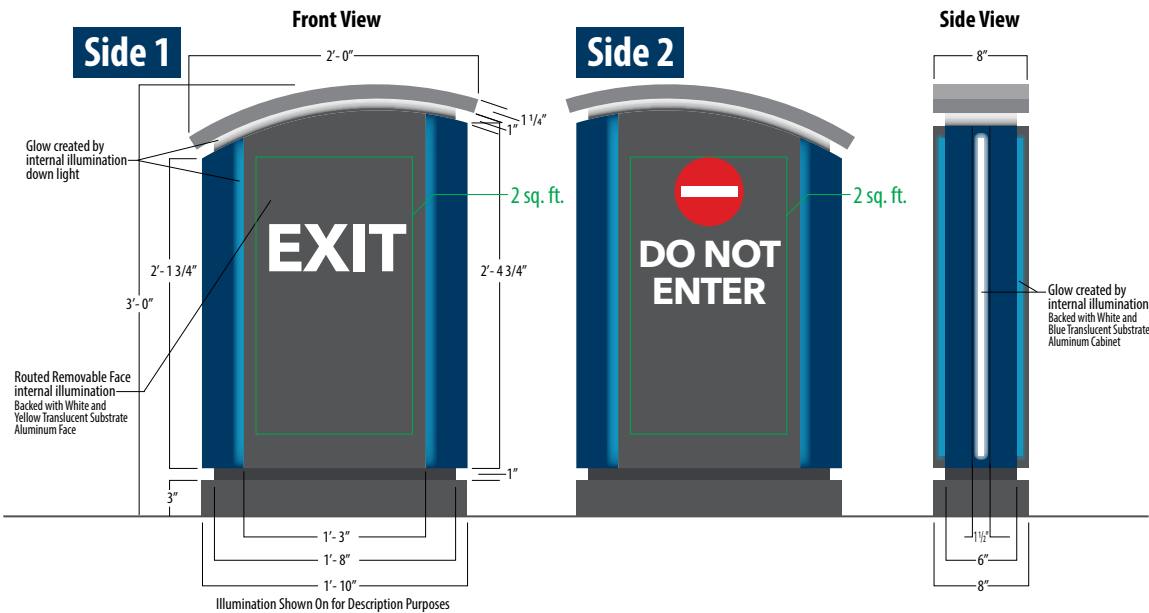
CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8335
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-F4	JY	Customer Approval
Scale: 3/4" = 1'-0"	Date: 2-18-2025	Note: Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.
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Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection.
Sign contractor responsible for connecting wires within 5' of sign.

3'- 0" x 2'- 0" Directional Sign - 4 sq. ft.



DESCRIPTION

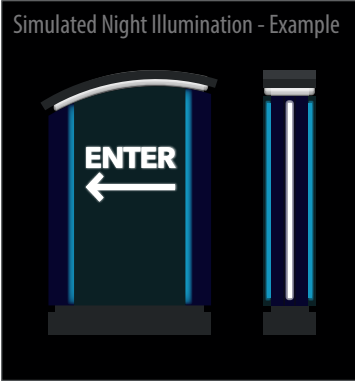
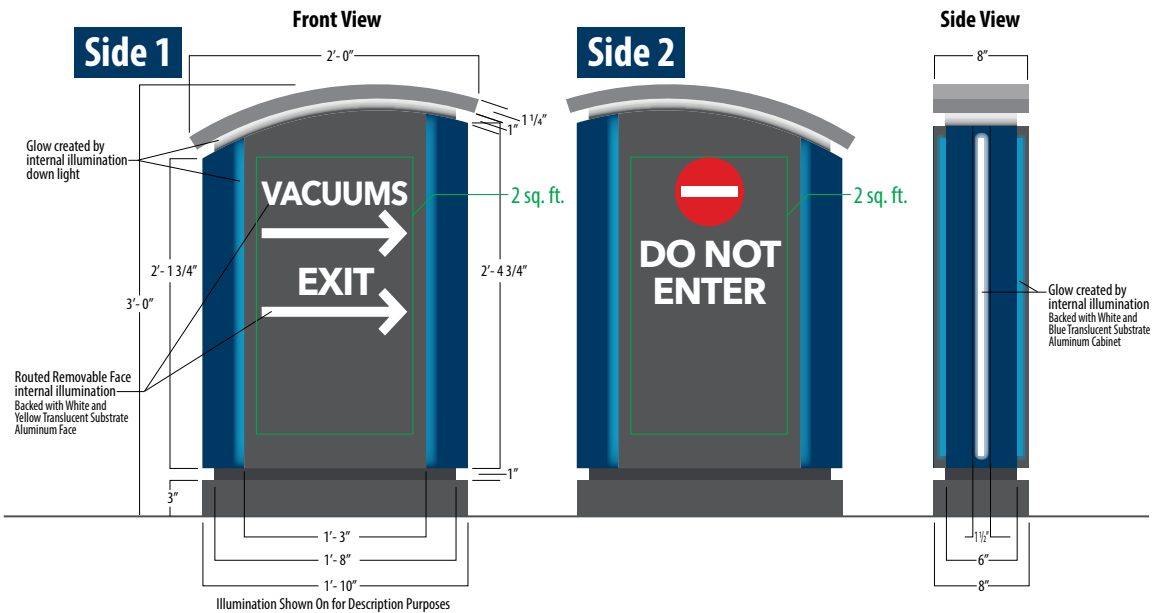
- Cap Painted 7665 Dark Gray (Wall Street)
- White LED Glow under top Blue cap of sign - Reveal Painted 7C Cool Gray (Morning Fog)
- Directional Copy and/or Arrows = White Vinyl First Surface Routed and Backed.
- DO NOT ENTER Symbol = Red Vinyl First Surface Routed and Backed.
- Inner Sign Body Aluminum (with Routed Direc. Copy) = 7665 Dark Gray (Wall Street) with Vertical Blue Glow
- Outer Cabinet Aluminum = Painted 2995 Blue with White Vertical Glow on Sides
- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart	
Directional Sign = 9,600 lumens	
Total = 9,600 lumens	

CORPORATE COLORS:			
PMS			
	PMS 123 C		PMS 2955 C
VINYL			
	3630-125		Custom Vinyl 3630-8335
FLEX			
	Match 3M Color		Match 3M Color

Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection. Sign contractor responsible for connecting wires within 5' of sign.

3'- 0" x 2'- 0" Directional Sign - 4 sq. ft.



DESCRIPTION

- Cap Painted 7665 Dark Gray (Wall Street)
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- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)

Lumen Chart

Directional Sign = 9,600 lumens
Total = 9,600 lumens

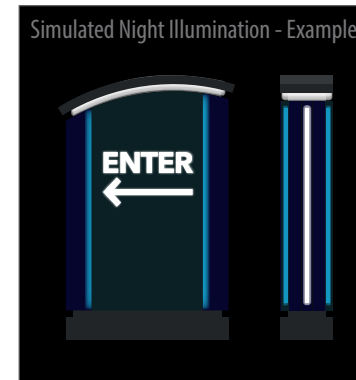
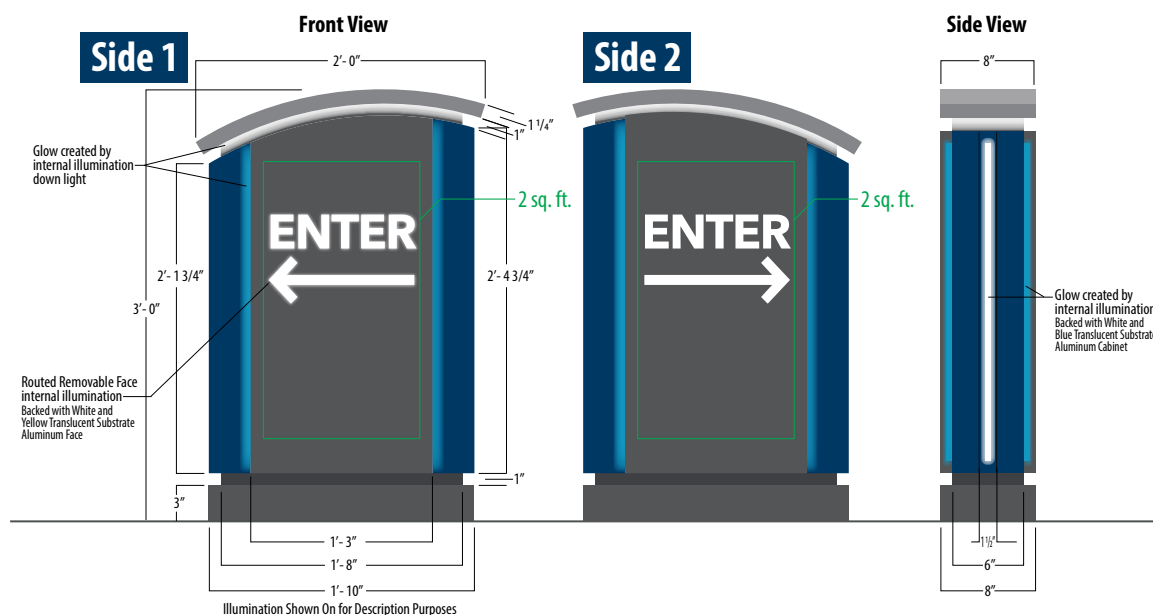
CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8335
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-15	JY	Customer Approval
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Directional Sign conduit should be stubbed down through match plate and stubbed out towards electrical connection. Sign contractor responsible for connecting wires within 5' of sign.

3'- 0" x 2'- 0" Directional Sign - 4 sq. ft.



DESCRIPTION

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- Outer Cabinet Aluminum = Painted 2995 Blue with White Vertical Glow on Sides
- Reveal Painted 7665 Dark Gray (Wall Street)
- Base Painted 7665 Dark Gray (Wall Street)







Lumen Chart

Directional Sign = 9,600 lumens

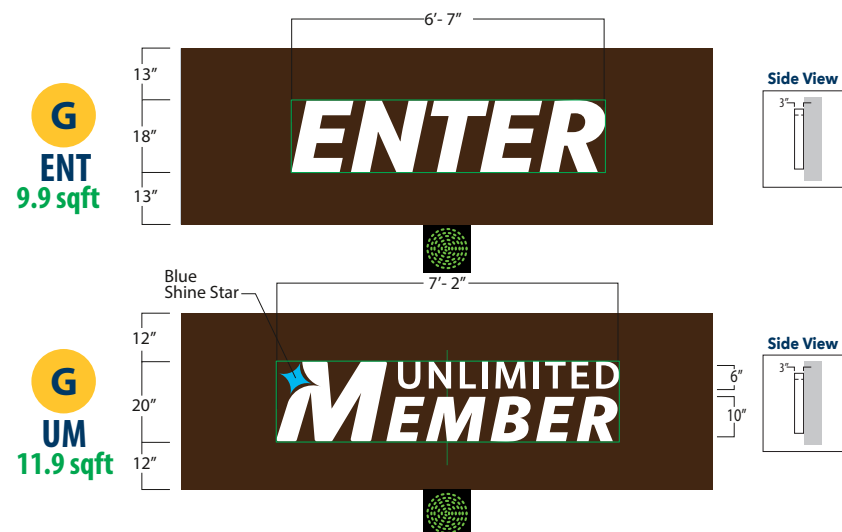
Total = 9,600 lumens

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8335
FLEX		
	Match 3M Color	Match 3M Color

FILE#24-6-46-F-MISTR-J5	JY	Customer Approval
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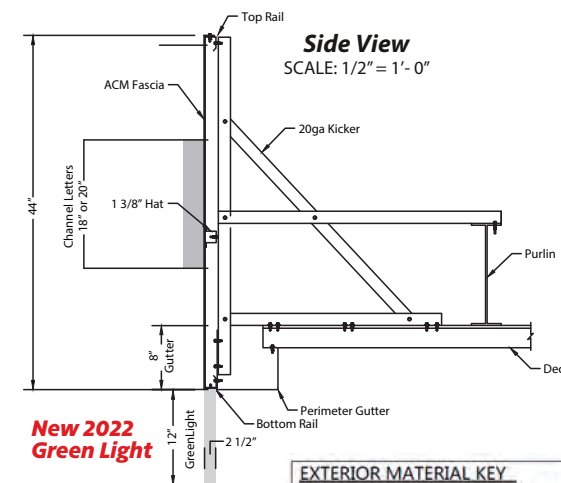
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NEW 2021 - 1 qty., 18" ENTER and 2 qty. 20" UNLIMITED MEMBER LANE LETTERS WITH GREEN INDICATOR DOT (Under Mount)

**NEW 1-21 CHANNEL LETTER FONT STYLE:
SOLITAIRE MVB PRO HEAVY ITALIC**

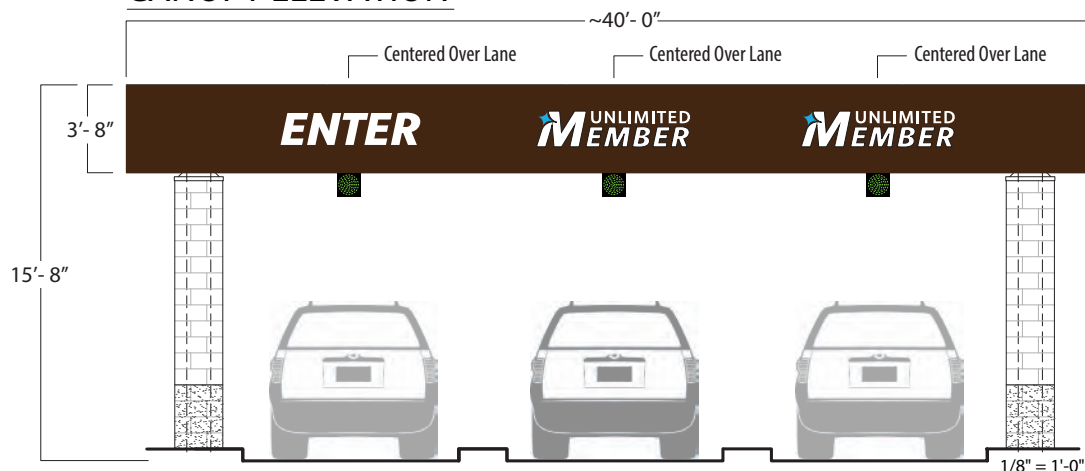
White Letters with Black Sides and Trim-Cap -
3" deep Centered on 44" tall Canopy -
Under Canopy Mounted Green Lights



EXTERIOR MATERIAL KEY

	STONE LETTERS MPL 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000
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CANOPY ELEVATION



Lumen Chart

ENTER = 6,142 lumens
UNL MEMBER = 9,521 lumens
Total = 15,663 lumens

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8119
FLEX		
	Match 3M Color	Match 3M Color



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

AMENDED

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: March 6, 2025-Amended
RE: ZBA 25-02

STAFF REPORT

File Number: ZBA#25-02
Site Address: 1015 S Latson-Mister Carwash
Parcel Number: 4711-09-100-042
Parcel Size: 1.58 Acres
Applicant: Garry Potts, Professional Permits
Property Owner: 1015 Latson Road LLC
Information Submitted: Application, site plan, conceptual drawings
Request: Sign Variance
Project Description: Applicant is requesting a variance for the number of signs allowed per the Ordinance
Zoning and Existing Use: GCD (General Commercial District)
Other:

Public hearing was published in the Livingston County Press and Argus on Sunday February 2, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Township Records, a Land Use was issued to construct a new automatic car wash
- The parcel is serviced by municipal sewer & water
- See Assessing Record Card.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Summary: The applicant is requesting a variance from **Article 16.1-** number of wall signs allowed, applicant is also requesting total wall sign square footage of 230 sq. feet whereas the Ordinance only allows for 100 sq. feet or 10% of the front façade, whichever is less.

Applicant is also requesting a variance from **Article 16.07.05-** number of directional signs allowed. Applicant is requesting to have 6 directional signs whereas the Ordinance allows for 1. Staff cannot find reason to allow the number of Directional Signs requested.

Staff is also concerned with the sign lighting per **Article 16.01.11-** Regulate the light emitted by signs to protect the Township's natural, existing, and desired dark skies. (as amended 11/02/20)

Staff does not see any issue with the Monument Sign (sign A on site plan), Informational Sign (sign E on site plan), or Wayfinding Signage (sign G on site plan).

Variance Requests

Wall Signs	Sq. Footage	No. of Signs
Ordinance	100 sq. ft	1
Requested	230 sq. ft	5
Variance Amount	130 sq. ft	4

Directional Signs	No. of Signs
Ordinance	1
Requested	6
Variance Amount	5

Original Submittal-February 2025

Wall Signs	Sq. Footage	No. of Signs
Ordinance	100 sq. ft	1
Requested	78 sq. ft	2
Variance Amount	0 sq. ft	1

Directional Signs	No. of Signs
Ordinance	1
Requested	4
Variance Amount	3

Amended Submittal-March 2025

The following is the section of the Zoning Ordinance that the variance is being requested from:

16.01.01 Recognize that the proliferation of signs is unduly distracting to motorists and pedestrians, creates a traffic hazard, and reduces the effectiveness of signs needed to direct and warn the public. Too many signs can overwhelm the senses, impair sightlines and vistas, create confusion, reduce desired uniform traffic flow, create potential for accidents, affect the tranquility of residential areas, impair aesthetics and degrade the quality of a community. (as amended 11/02/20)

16.01.11 Regulate the light emitted by signs to protect the Township's natural, existing, and desired dark skies. (as amended 11/02/20)

16.07.05 Directional Signs: No more than one (1) directional sign shall be permitted per approved driveway, with a maximum sign area of four (4) square feet per sign, and a maximum height of three (3) feet. Any area of a directional sign that includes an establishments name, symbol or logo shall be calculated as part of the allowable monument sign square footage, as specified in table 16.1. (as amended 11/02/20)

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

(a) Practical Difficulty/Substantial Justice –Strict compliance with the ordinance would prevent the applicant from installing the number of signs they typically have on their buildings and around their site. Staff believes that granting the variance would not serve substantial justice, as it could negatively impact the aesthetic character of the district and introduce excessive signage that could distract drivers.; the applicant has not demonstrated a sufficient hardship to justify an exception to the Ordinance.

(b) Extraordinary Circumstances – Due to the limited width of the parcel, the applicant faced restrictions on the building's orientation on the lot, thus making it more difficult for sign placement. However, staff does believe the number of signs being requested is a self-created issue. **Staff does notice the applicant's willingness to table this matter and come back asking for a lesser amount of signage to be approved. Applicant did work with staff to propose what he believes is the least amount necessary.**

Per Table 16.1 (2) b.

The Planning Commission shall permit two wall signs for establishments located on a lot which under certain circumstances, where obstructed views and building orientation, require additional visibility. The total collective sign area of the two signs may not exceed one-hundred (100) square feet. (as amended 11/02/20)

(c) Public Safety and Welfare –Too many signs can overwhelm the senses, impair sightlines and vistas, create confusion, reduce desired uniform traffic flow, create potential for accidents, affect the tranquility of residential areas, impair aesthetics and degrade the quality of a community.

(d) Impact on Surrounding Neighborhood – The proposed variance may have some impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. Staff notes that too many signs can overwhelm the senses, impair sightlines and vistas, create confusion, reduce desired uniform traffic flow, create potential for accidents, and impair aesthetics and degrade the quality of the community.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. To allow for (2) “Mister” channel letter wall signs (sign B) one on North Elevation & one on West Elevation not to be more than 100 square feet in size total.
2. Directional signs may only have the verbiage lit, no blue accent lighting down the sides or sparkle logo.
3. To allow for (3) Directional Signs, each one not to be larger than 4 square feet in size.
4. No additional signage permitted in the future.



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.			
Property Address		Class: COMMERCIAL-VACANT		Zoning: GCD		Building Permit(s)		Date	Number	Status	
1015 S LATSON RD		School: HOWELL PUBLIC SCHOOLS				Commercial		10/29/2024	P24-170		
Owner's Name/Address		P.R.E. 0%									
		MAP #: V24-12									
1015 LATSON ROAD LLC 29200 NORTHWESTERN HWY STE 450 SOUTHFIELD MI 48034		2025 Est TCV 688,250 TCV/TFA: 0.00									
		X	Improved		Vacant	Land Value Estimates for Land Table 2003.2003 COMMERCIAL LAND					
		Public Improvements			* Factors *						
					Description	Frontage	Depth	Front	Depth	Rate %Adj. Reason	Value
					MAIN CORRIDOR		68825	SqFt	10.00000	100	688,250
					1.58 Total Acres		Total Est. Land Value =			688,250	
Tax Description											
SEC 4 & 9 T2N R5E COMM AT NW COR TH N87*18'40"E 56.81 TO POB TH NW'LY ALONG ARC OF A CURVE LEFT CHORD BEARING N00*15'46"W 159.36 FT TH N88*33'52"E 150.45 FT TH S01*15'25"E 125 FT TH N88*33'52"E 12.94 FT TH S01*14'18"E 30.69 FT TH S01*46'21"E 260.49 FT TH S88*33'38"W 177.83 FT TH N01*07'25"E93.36 FT TH N'LY ALONG ARC OF A CURVE LEFT CHORD BEARING N00*39'26"E 163.71 FT TO POB CONT 1.58 AC M/L SPLIT/COMBINED ON 07/19/2024 FROM 4711-04-300-017, 4711-09-100-004; Comments/Influences											
SPLIT/COMBINED ON 07/19/2024 FROM 4711-04-300-017, 4711-09-100-004; Split/Comb. on 07/19/2024 completed 07/19/2024 Duffy ; Parent Parcel(s): 4711-04-300-017, 4711-09-100-004; Child Parcel(s): 4711-09-100-042, 4711-09-100-043; -----											

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # _____ Meeting Date: _____

☐ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Logan McAnallen Email: Logan@cardenhomes.com

Property Address: 5945 Hartford Way, Brighton Phone: 517-282-2861

Present Zoning: RPUD Tax Code: 4711-36-301-247

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Reduce the side yard setback requirements from 20' on each side to 14' on the west side of the lot, and 15' on the east side of the lot.

Reduce either the rear setback (building & deck limit) or front yard setback by 6', or reduce each by 3'.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The current setback requirements on this relatively smaller/narrow lot creates a small building envelope that significantly hinders the home that can be built on the site. The additional space we've requested will make a large impact to the layout and exterior elevation and allow us to build a home that is in-line with the surround property values.

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Along with the lot being narrow, the angle of the shoreline further impedes the building envelope from the rear of the house. This is also challenged by the side entry garage requirement as it requires the house to be pushed further back on the site, consuming a significant amount of the building envelope.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

The relatively small amount of additional building space we are requesting along with our plan to use only a portion of it would result in no impact to the surrounding properties. The house spacing would still be more than adequate for safety and enjoyment. The variance would be virtually un-noticable when walking/driving along Hartford way.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The vairance would not negatively impact the neighboring properties. The variance would allow us to build a home that is more in-line with has been built throughout Pine Creek and would further improve the values of the surrounding properties.

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 2-14-2025

Signature: Logan McAnallen

MCANALLEN RESIDENCE

PROPOSED 5377 SQ. FT. PLAN + 603 SQ. FT. BONUS

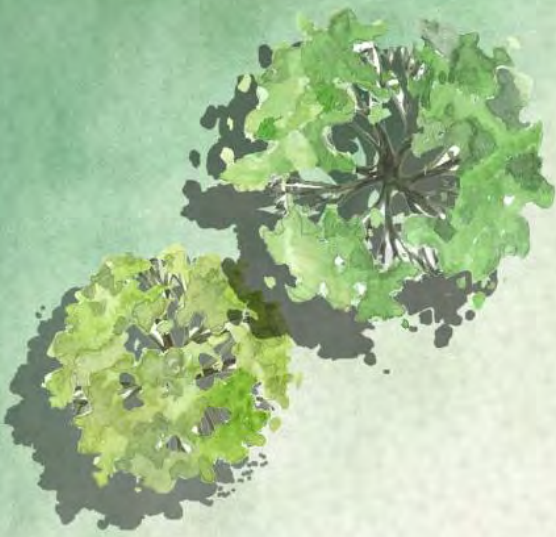
2-11-2025

PHASE 1

VERSION 3

PHASE 2 APPROXIMATE 60 DAYS ONCE APPROVED





SECOND FLOOR

2507 SQ FT

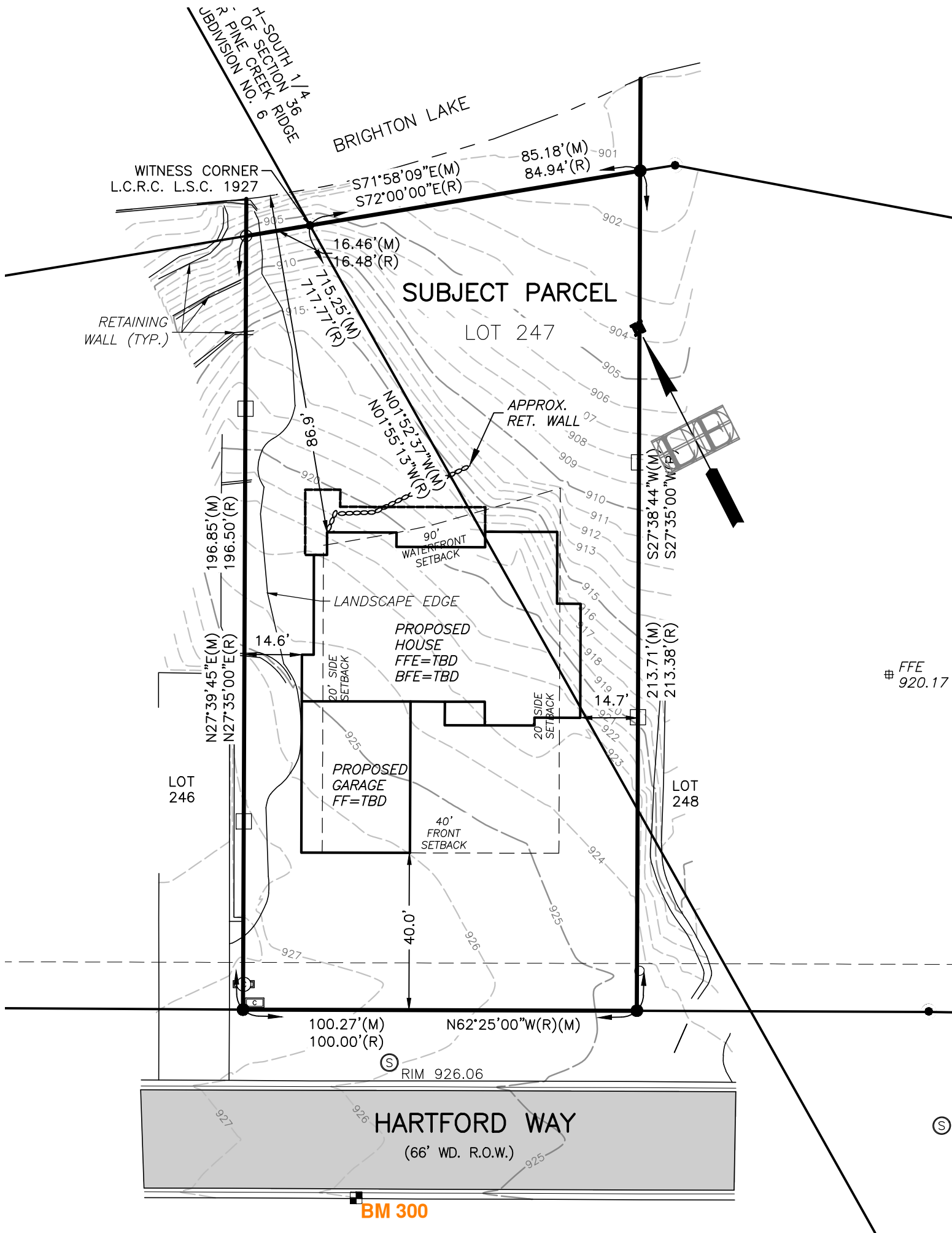
9' CLG

2 X 6 EXTERIOR WALLS



PROPOSED STREET ELEVATION

PRELIMINARY PLOT PLAN



CURRENT ZONING: RPUD
RESIDENTIAL PLANNED UNIT
DEVELOPEMENT)

MIN. LOT AREA: 18,700 S.F.
MIN. LOT WIDTH: 65 FEET
MIN. SETBACK REQUIREMENT
FRONT = 40 FEET
SIDES = 20 FEET
REAR = 90 FEET

LEGAL DESCRIPTION SUBJECT PARCEL

Lot 247 of “PINE CREEK RIDGE SUBDIVISION NO. 6” as recorded in Liber 38 of Plats, on
Pages 16, Livingston County Records.
Tax Id #4711-36-301-247
5945 Hartford Way

Bearings were established from the plat of “PINE CREEK RIDGE SUBDIVISION NO. 6” as
recorded in Liber 38 of Plats, on Pages 16, Livingston County Records.



LIVINGSTON ENGINEERING

CIVIL ENGINEERING SURVEYING PLANNING

3300 S. OLD U.S., BRIGHTON, MI 48114

INTERNET: WWW.LIVINGSTONENG.COM

PHONE: (810) 225-7100 FAX: (810) 225-7699

CLIENT
CARDEN HOMES

0'	30'	60'
SCALE 1"=30'	JOB No. 24183	
SHEET No. 1 of 1	DRAWN JDM	

DATE 02/17/2025	
REV.	
CREW ME	
CHECK	

DESCRIPTION 247
PINE CREEK RIDGE NO. 6
SEC 36 T2N-R5E
GENOA TOWNSHIP
LIVINGSTON COUNTY



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: March 5, 2025
RE: ZBA 25-03

STAFF REPORT

File Number: ZBA# 25-03
Site Address: 5945 Hartford Way
Parcel Number: 4711-36-301-247
Parcel Size: .47 Acres
Applicant: Logan McAnallen
Property Owner: Same as Applicant
Information Submitted: Application, site plan, conceptual drawings
Request: Dimensional Variance
Project Description: Applicant is requesting a side yard, and waterfront yard setback variance to construct a new home.
Zoning and Existing Use: RPUD (Residential Planned Unit Development) Single Family Dwelling is located on the property.

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday March 2, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per assessing records the lot is currently vacant.
- The parcel is serviced by public water and public sewer through the City of Brighton
- See Assessing Record Card

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Summary

The proposed project is to construct a new home with a rear deck and retaining wall, the proposed home would require side yard and waterfront setback variances. The applicant does not currently have the exact dimensions of the retaining wall but stated it would likely be around 6' tall.

Variance Requests

The following is the section of the Zoning Ordinance that the Size variance is being requested from:

Table 3.04.01 (RPUD District):

Required Shoreline Setback:	90'	Required Side Yard Setback:	20'
Proposed Front Yard Setback:	86.9'	Proposed Side Yard Setback:	14' West
			15' East
Proposed Variance Amount:	3.1'	Proposed Variance Amount:	6' West
			5' East

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the zoning ordinance and PUD Agreement would prevent the construction of the proposed home, however it does not prevent the use of the property. The property is a conforming lot in the Residential Planned Unit Development. Staff could only find one other home in the vicinity that has requested a variance. Other homes in the area seem to have been built within the required setbacks.
- (b) Extraordinary Circumstances** – The lot is narrower than other lots in the area. It is also noted that the shoreline is angled, creating a smaller building envelope than others on the waterfront. Though the applicant is requesting multiple variances so it appears that the request may not least amount necessary.
- (c) Public Safety and Welfare** – The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. If the variance is granted the home would be complimentary to other homes in the vicinity.

(e) Recommended Conditions

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Retaining walls will require a land use permit, if retaining walls are over 3' tall they must be designed by a licensed engineer, must follow all guidelines set by Article 11.04.03 (j), and shall not alter the overall natural topography of the land.

2. The deck on the back of home may not extend more than 15' into the required waterfront yard.
3. Home must be guttered with downspouts.



Sat Apr 6 2024

Imagery © 2025 Nearmap, HERE

50 ft

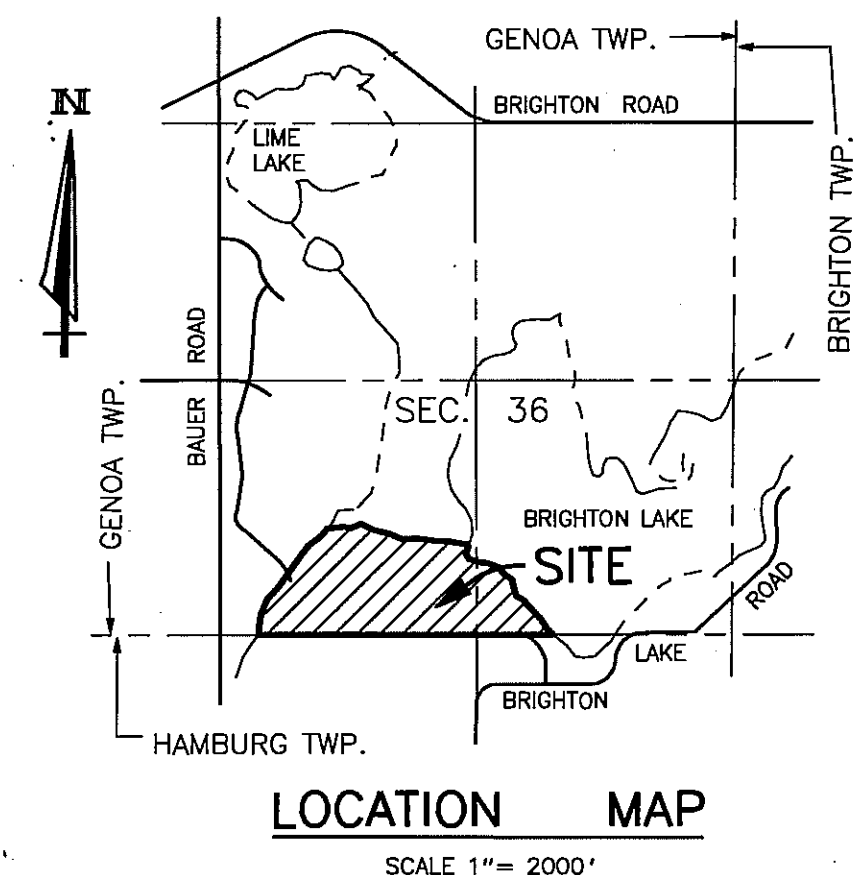
Nearmap

PINE CREEK RIDGE SUBDIVISION NO. 6

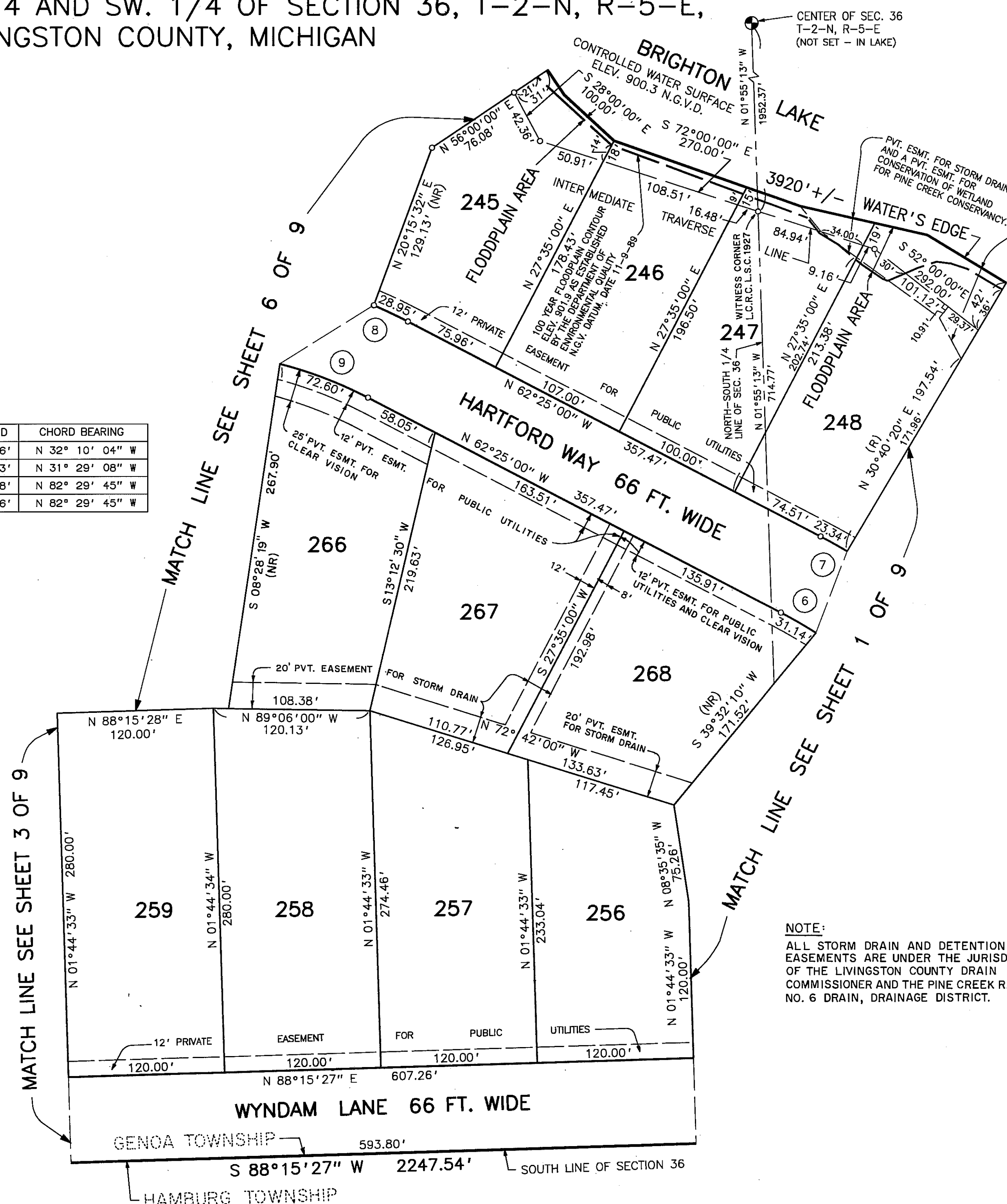
A PART OF THE SE. 1/4 AND SW. 1/4 OF SECTION 36, T-2-N, R-5-E,
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

LIBER PAGE
SHEET 2 OF 9 SHEETS

SCALE 1" = 60'



CURVE	ARC	RADIUS	CENTRAL ANGLE	CHORD	CHORD BEARING
6	387.51'	367.00'	60° 29' 51"	369.76'	N 32° 10' 04" W
7	467.51'	433.00'	61° 51' 44"	445.13'	N 31° 29' 08" W
8	268.44'	383.00'	40° 09' 30"	262.98'	N 82° 29' 45" W
9	222.18'	317.00'	40° 09' 30"	217.66'	N 82° 29' 45" W

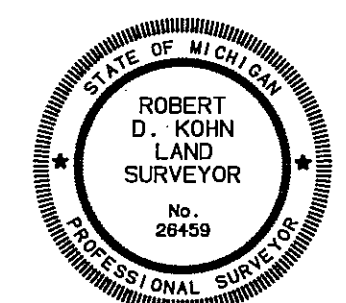


LEGEND

- ALL DIMENSIONS ARE GIVEN IN FEET.
- CURVILINEAR MEASUREMENTS ARE ARC DISTANCES.
- THE SYMBOL "o" INDICATES A SET MONUMENT WHICH IS A ONE-HALF (1/2) INCH DIAMETER STEEL BAR THIRTY SIX (36) INCHES LONG, ENCASED IN CONCRETE FOUR (4) INCHES IN DIAMETER.
- LOT CORNERS HAVE BEEN MARKED WITH STEEL BARS ONE-HALF (1/2) INCH IN DIAMETER, AND EIGHTEEN (18) INCHES IN LENGTH.
- (R) INDICATES A RADIAL LINE.
- (NR) INDICATES A NON RADIAL LINE.
- L INDICATES A RIGHT ANGLE.
- BEARINGS ARE IN RELATION TO THE TRUE MERIDIAN, AS DETERMINED BY POLARIS OBSERVATION, DATE 11/13/1984.
- DENOTES FOUND MONUMENT 1/2 INCH STEEL BAR ENCASED IN CONCRETE 4 INCHES IN DIAMETER.

THIS PLAT IS SUBJECT TO RESTRICTIONS AS REQUIRED BY ACT 288 OF 1967 AS AMENDED ON CERTAIN LOTS WITH RESPECT TO THE REQUIREMENTS OF THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY WHICH ARE RECORDED IN LIBER 2493, PAGES 0050 OF RECORDS OF THIS COUNTY.

NOTE:
ALL STORM DRAIN AND DETENTION EASEMENTS ARE UNDER THE JURISDICTION OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER AND THE PINE CREEK RIDGE NO. 6 DRAIN, DRAINAGE DISTRICT.



Robert D. Kohn

Giffels-Webster Engineers Inc.
ENGINEERS - SURVEYORS - PLANNERS
2871 BOND STREET ROCHESTER HILLS MICHIGAN
(248) 852-3100

UNPLATTED

Grantor	Grantee	Sale Price		Sale Date	Inst. Type	Terms of Sale		Liber & Page	Verified By	Prcnt. Trans.				
BLACK WING LLC	KENNEDY DAVID	1		10/08/2024	QC	21-NOT USED/OTHER		2024R-018228	BUYER/SELLER	0.0				
KENNEDY DAVID	MCANALLEN LOGAN	475,000		10/08/2024	WD	03-ARM'S LENGTH		2024R-018889	BUYER/SELLER	100.0				
RH FINANCIAL LLC	BLACK WING LLC	1		03/06/2014	QC	21-NOT USED/OTHER		2014R-005951	BUYER/SELLER	100.0				
MAGDEVSKI, SONJA & DOBRILA	RH FINANCIAL LLC	385,000		02/28/2014	WD	03-ARM'S LENGTH		2014R-005950	BUYER/SELLER	100.0				
Property Address		Class: RESIDENTIAL-VACANT			Zoning: RPUD		Building Permit(s)		Date	Number	Status			
5945 HARTFORD WAY		School: BRIGHTON AREA SCHOOLS												
		P.R.E. 0%												
Owner's Name/Address		MAP #: V25-03												
MCANALLEN LOGAN 1044 LONG LEAF CT BRIGHTON MI 48116		2025 Est TCV 400,000												
		Improved	X	Vacant	Land Value Estimates for Land Table 4022.4022 PINE CREEK/ALJOANN									
		Public Improvements			* Factors *									
Tax Description		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.			Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value	
SEC 36 T2N R5E PINE CREEK RIDGE #6 LOT 247					<Site Value C> C LAKE FRONT			400000		100		400,000		
Comments/Influences					108 Actual Front Feet, 0.00 Total Acres			Total Est. Land Value =		400,000				
		Topography of Site												
		Level Rolling Low High Landscaped Swamp Wooded Pond X Waterfront Ravine Wetland Flood Plain			Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value			
					2025	200,000	0	200,000			200,000S			
					2024	175,000	0	175,000			161,860C			
					2023	175,000	0	175,000		175,000A	154,153C			
					2022	160,000	0	160,000		160,000A	146,813C			
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan														



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION

2911 DORR ROAD | BRIGHTON, MICHIGAN 48116

(810) 227-5225 | FAX (810) 227-3420

Case # 25-04 Meeting Date: 3-18-25 @ 6:30

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: STEVE ZACHARIAS Email: ZACHARIAS STEVE @ YAHOO.COM

Property Address: 710 SUNDASH PARK ST Phone: 248-321-7898

Present Zoning: LRR Tax Code: 4711-09-201-112

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: CHANGE FRONT AND REAR SET BACKS, REGARDING HOUSE AND DECK

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

TOP ROAD AREA IS THE MOST FLAT, DEMO EXISTING HOUSE
PRIOR APPROVAL FOR SINGLE FAMILY RESIDENCE EXPIRED

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

WE WOULD LIKE TO COMBINE THE LOTS, DEMO TWO OLD COTTAGES
AND REPLACE WITH ONE

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

COMBINING LOTS, DEMO 2 EXISTING UNITS AND REPLACING
WITH ONE WELL ENHANCE AREA

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

REPLACING TWO VERY OLD HOUSES WITH 1

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 2/12/2025

Signature: Jim Rogers

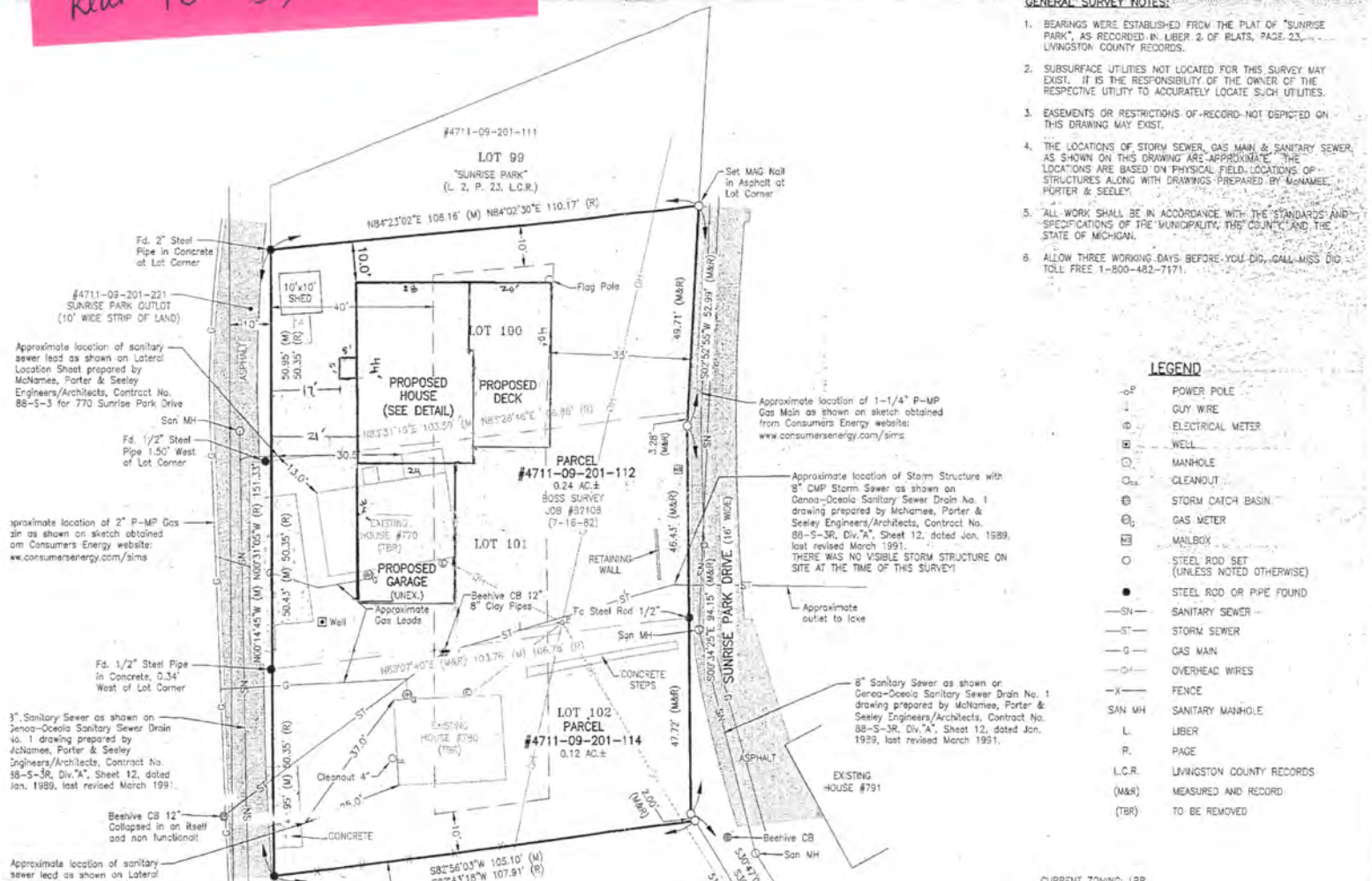
LRR

Front: 35' asking for 17'

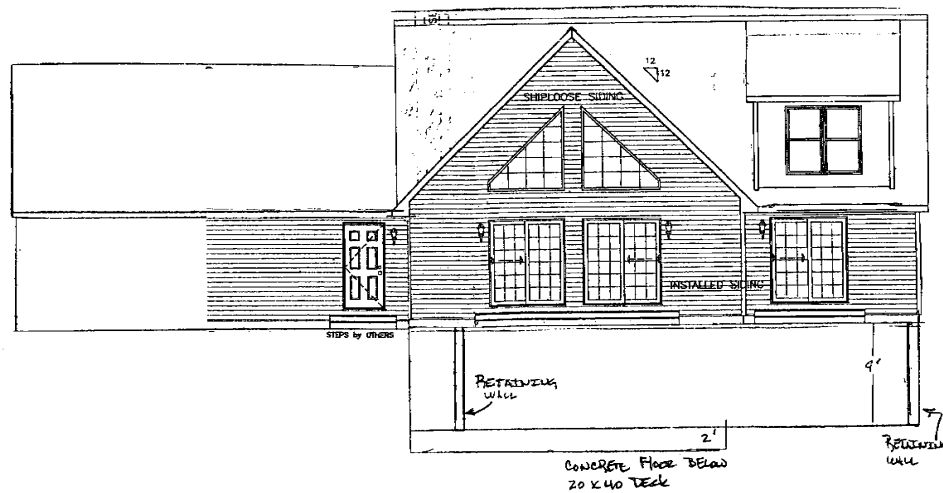
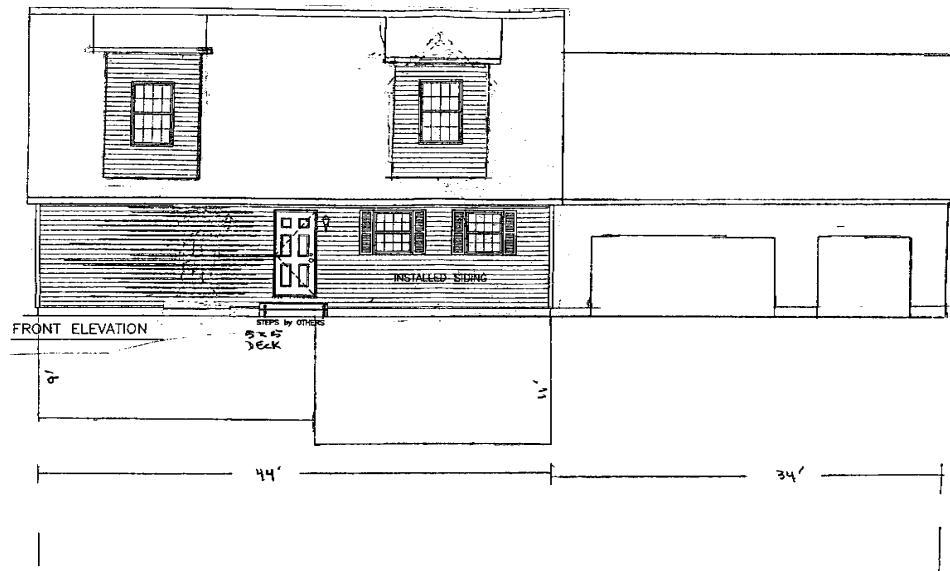
Side: 10' - asking for 10'

Rear: 40' asking for 35'

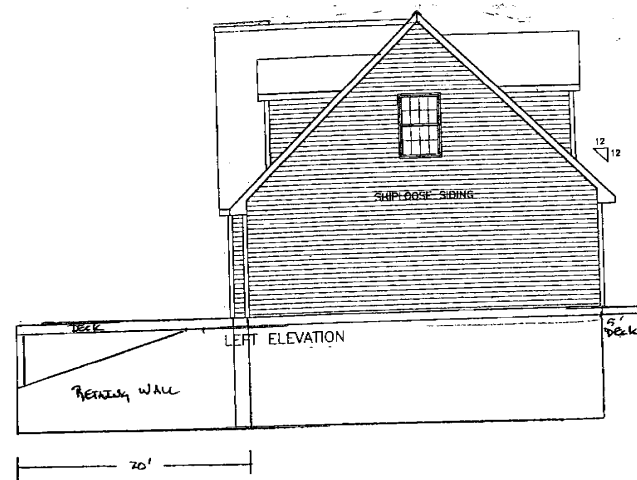
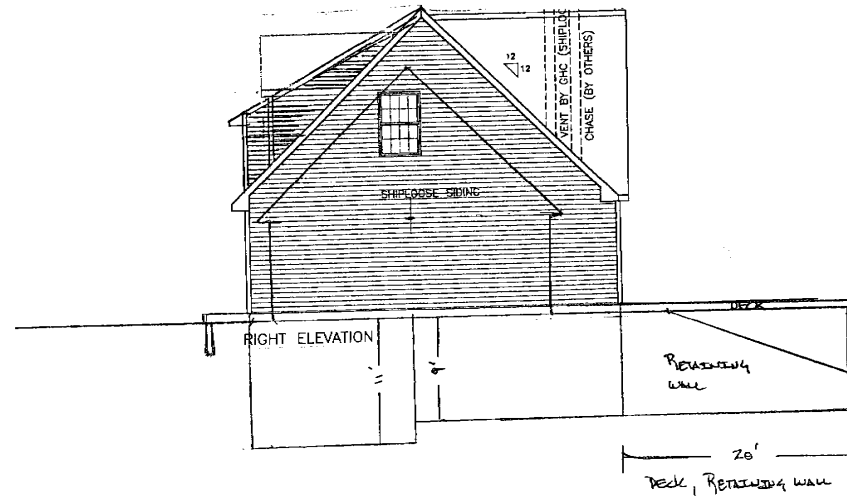
$35 - 17 = 18$ variance
 Rear $40 - 35 = 5$ variance



CURRENT ZONING: LRR



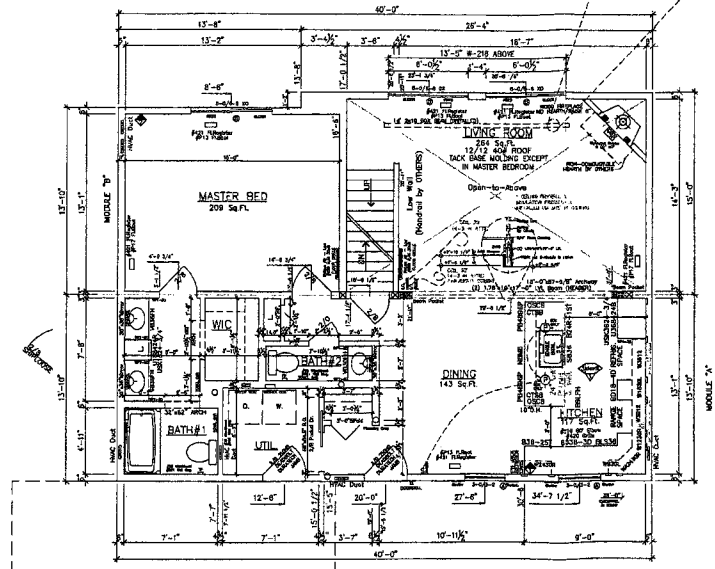
SCALE 1/8"



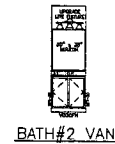
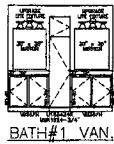
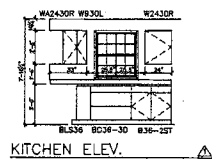
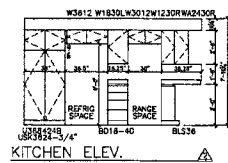
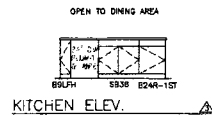
VINYL 250 W/ GRILLES			
① 3-0/3-2	DN	36.5"x36.5"	
② 3-4/5-0	DN	40.5"x40.5"	EGRESS (6.6)
③ 6-8/5-0	DW2	80.5"x40.5"	EGRESS (6.6)
④ 6-0/6-8	6 SGO	72.5"x80"	EGRESS (6.6)
⑤ 3-0/5-0	DN	36.5"x60.5"	EGRESS

ADVANTAGE SPECS

1. 2x10 Joist Framing @ 16" o.c.
 2. 1/2" Dia. Rods @ 18" o.c. (10'-0" to 19'-0")
 3. PLTR FOS Founcels
 4. No KILLION SUFFETS
 5. Deter Lockets

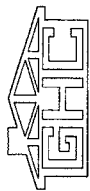


FLOOR PLAN (BASEMENT) 28x40 RIVERVIEW...11036
 1150 SQ.FT.(1st FL.) + 522 SQ.FT.(2nd FL.) = 1672 TOTAL SQ.FT.
 SCALE 1/8" = 1'-0"



DRN 2-10-15 KSL
 REV 03/17/15
 11-1-15 KSL
 12-1-15 KSL

GENERAL HOUSING CORPORATION
 OFFICE
 4650 E. WILDER RD. 4644 FRASER RD.
 BAY CITY, MI 49706 BAY CITY, MI 49706



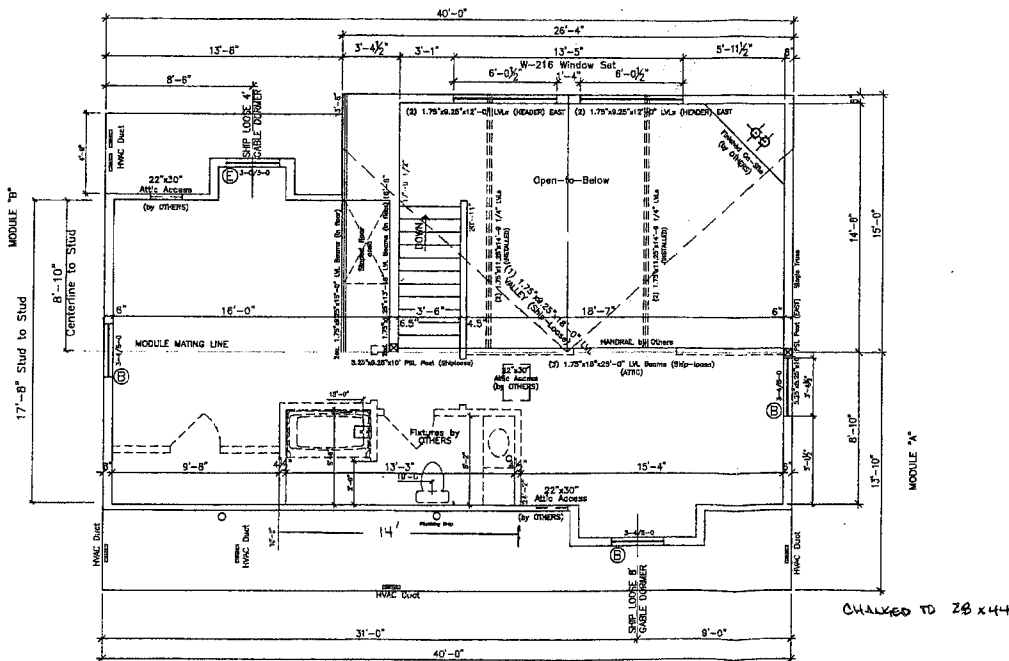
MODEL #6037
 TITLE RIVERVIEW 28x40...11036
 Basement, End Kitchen, R.H.
 FLOOR PLAN...1/4 12-8-15 1/4
 SHEET A-2 of 6

CHANGED TO 28x44 #6037

VINYL 250 W/ GRILLES			
(A)	3-0/3-2	DH	36.5"x36.5"
(B)	3-4/3-0	DH	40.5"x60.5"
(C)	6-6/3-0	DHx2	80.5"x60.5"
(D)	6-0/6-8	6'SGD	72.5"x80"
(E)	3-0/3-0	DH	36.5"x60.5"
			EGRESS (6.6)
			EGRESS (6.6x2)
			EGRESS

ADVANTAGE SPEEDS

- (partial listing)
- 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.
 - 2000 Ft. Planning to 16%.



DRN

2-10-15 KSL

REV

10/4/18 AS

REV

09/30/20 CAM

REV

11/3/20 CAM

REV

11/3/20 CAM

REV

12-1-20 KSL

GENERAL HOUSING CORPORATION

OFFICE: 4650 E. WILDER RD. 4844 FRASER RD. BAY CITY, MI 48706

PLANT: BAY CITY, MI 48706

CHALKED TO 28 x 44

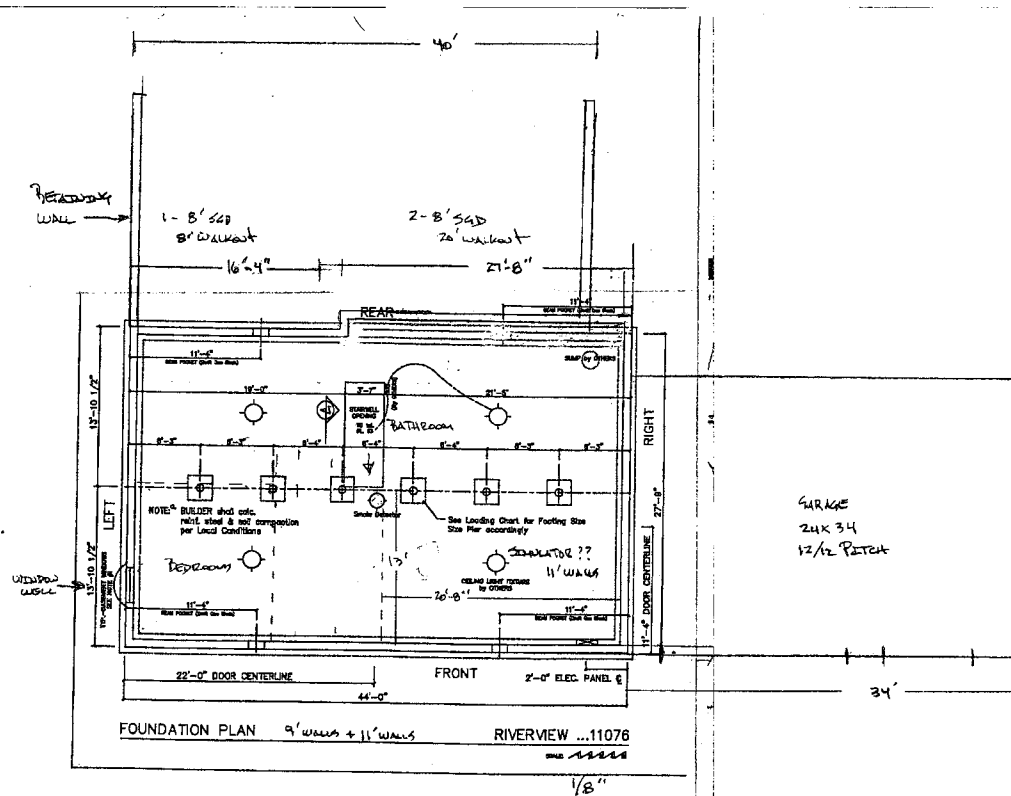
at Housing Corp.

TITLE

INTERVIEW 28x40...11036

Assessment, End Kitchen, R.H.

DOOR PLAN...1/4"





Genoa Township

2911 Dorr Rd. Brighton, MI 48116

Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

Planning & Zoning

Land Use Waiver

Demolition

PW24-155

Issued: 11/13/2024

Expires: 11/13/2025

LOCATION	OWNER	APPLICANT
770 SUNRISE PARK ST 4711-09-201-112 Zoning: LRR	ZACHARIAS FAMILY TRUST 49276 HARVEST DR PLYMOUTH MI 48170 Phone: (248) 321 7878 E-mail: zachariassteve@yahoo.com	EBI/ General Housing Corp 10454 Grand River Brighton MI 48116 Phone: (810) 227 8180 E-mail:

Work Description: Demolition of single family home

Construction Value: \$6,000.00

Total Square Feet:

Comments/ THIS IS A LAND USE WAIVER ONLY. IT IS THE APPLICANT'S
Conditions: RESPONSIBILITY TO CONTACT THE LIVINGSTON COUNTY BUILDING
DEPARTMENT TO DETERMINE IF BUILDING PERMITS ARE NECESSARY
PRIOR TO STARTING ANY WORK.

Flood Plain: NA

Permit Item	Permit Fee	Fee Basis	Item Total
-------------	------------	-----------	------------

Fee Total: \$0.00
Amount Paid: \$0.00
Balance Due: \$0.00

Issuance of this waiver confirms the applicants certification that all information and data attached to and made part of this waiver are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this waiver as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This waiver authorizes on-site inspections by an official representative of Genoa Charter Township. This waiver is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.



Genoa Township

2911 Dorr Rd. Brighton, MI 48116

Phone: 810.227.5225 Fax: 810.227.3420 www.genoa.org

Planning & Zoning

Land Use Waiver

Demolition

PW24-156

Issued: 11/13/2024

Expires: 11/13/2025

LOCATION	OWNER	APPLICANT
780 SUNRISE PARK 4711-09-201-114 Zoning: LRR	ZACHARIAS FAMILY TRUST 49276 HARVEST DR PLYMOUTH MI 48170 Phone: (248) 321 7878 E-mail: zachariassteve@yahoo.com	EBI/ General Housing Corp 10454 Grand River Brighton MI 48116 Phone: (810) 227 8180 E-mail:

Work Description: Demolition of home. Any accessory buildings on property must also be removed.

Construction Value: \$5,000.00

Total Square Feet:

Comments/ Conditions: **THIS IS A LAND USE WAIVER ONLY. IT IS THE APPLICANT'S RESPONSIBILITY TO CONTACT THE LIVINGSTON COUNTY BUILDING DEPARTMENT TO DETERMINE IF BUILDING PERMITS ARE NECESSARY PRIOR TO STARTING ANY WORK.**

Flood Plain: NA

Permit Item	Permit Fee	Fee Basis	Item Total
-------------	------------	-----------	------------

Fee Total: \$0.00
Amount Paid: \$0.00
Balance Due: \$0.00

Issuance of this waiver confirms the applicants certification that all information and data attached to and made part of this waiver are true and accurate and to the best of the applicants knowledge and belief. The applicant has certified that the proposed work has been authorized by the owner of record and that the applicant has been authorized by the owner to obtain this waiver as the authorized agent. The applicant has agreed to conform to all applicable laws, codes and ordinances of the State of Michigan, Livingston County and Genoa Township. The applicant acknowledges that private covenants and restrictions are potentially enforceable by private parties. This waiver authorizes on-site inspections by an official representative of Genoa Charter Township. This waiver is valid for a period of 12 months from the date of issue and the applicant agrees that any modifications must be approved by Genoa Township.

20 0 10 20
SCALE: 1 INCH = 20 FEET

FOR THE

PROPOSED HOUSE DETAIL:

34.25'

27.25'

15.50'

5.00'

PROPOSED HOUSE

PROPOSED DECK

6.75'

18.00'

6.75'

2.50'

15.50'

0.00'

6.85'

31.00'

24.92'

PROPOSED GARAGE

1.00'

12.00'

28.00'

33.00'

33.00'

North arrow pointing towards the bottom-left corner.

10 0215 444 240

GENERAL SURVEY NOTES

1. BEARINGS WERE ESTABLISHED FROM THE PLAT OF "SUNRISE PARK", AS RECORDED IN LIDER 2 OF PLATS, PAGE 23, LIVINGSTON COUNTY RECORDS.
2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
3. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
4. THE LOCATIONS OF STORM SEWER, GAS MAIN & SANITARY SEWER AS SHOWN ON THIS DRAWING ARE APPROXIMATE. THE LOCATIONS ARE BASED ON EXISTING FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAWINGS PREPARED BY McNAMEE, PORTER & SEELY.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
6. ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MGS DIG TOLL FREE 1-800-482-7171.

LEGEND

- POWER POLE
- GUY WIRE
- ELECTRICAL METER
- WELL
- MANNHOLE
- CLEANOUT
- STORM CATCH BASIN
- GAS METER
- MAILBOX
- STEEL ROD SET (UNLESS NOTED OTHERWISE)
- STEEL ROD OR PIPE FOUND
- SAN. MH
- ST. — STORM SEWER
- G — GAS MAIN
- OVERHEAD WIRES
- FENCE
- SAN. MH
- L — UNDER
- P — PACE
- L.C.R. — LIVINGSTON COUNTY RECORDS
- (M&R) — MEASURED AND RECORDED
- (BRR) — TO BE REMOVED

CURRENT ZONING: LRR (LAKESHORE RESIDENTIAL)

MINIMUM SETBACK REQUIREMENTS:

- FRONT = 35 FEET
- REAR = 10 FEET
- REAR = 40 FEET
- MINIMUM LOT AREA = 12,800 SQ. FT.
- MINIMUM LOT WIDTH = 50 FEET
- MAXIMUM LOT COVERAGE = 33% BLDG. 50% IMP. SUR.
- MAXIMUM BUILDING HT. = 25 FEET OR (2) STORIES

In the LRR Zoning District one of the side yards may be reduced to a minimum of the (5) feet where all of the following are met:

- (1) The other side yard must be at least ten (10) feet.
- (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet.

780

PARCEL #4711-09-201-114 (780 SUNRISE PARK DR.)
LOT 102 OF "SUNRISE PARK", A SUBDIVISION OF PART OF THE
NORTHEAST 1/4 OF SECTION 9 AND A PART OF THE SOUTHEAST
1/4 OF SECTION 4, T2N-R5E, CENOA TOWNSHIP, LIVINGSTON
COUNTY, MICHIGAN, AS RECORDED IN LIBER 2 OF PLATS, PAGE
23, LIVINGSTON COUNTY RECORDS.

1. DRAININGS WERE ESTABLISHED FROM THE PLAT OF "SENIOR PINE", AS RECORDED IN LOER 2 OF PLATS, PAGE 23, LAMARSON COUNTY RECORDS.
2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY TO SECURE THE NECESSARY RECORDS TO DETERMINE THE EXISTING UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
3. ASSIGNMENTS OR RESTRICTIONS OF RECORD NOT DEPENDENT ON THE DRAINAGE WAY EXIST.
4. THE LOCATIONS OF STORM SEWER, GAS MAIN & SANITARY SEWER MAINS FOR THIS DRAINAGE ARE APPROPRIATE. THE LOCATIONS ARE BASED ON PHYSICAL FIELD LOCATIONS OF STRUCTURES ALONG WITH DRAININGS PREPARED BY McMANEE, PORTER & SODLEY.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
6. ALLOW THREE WORKING DAYS BEFORE YOU DIG, CALL MISS DIG TOLL FREE 1-800-462-7171.

1	PURER POLE
2	OUT WARE
3	ELECTRICAL METER
4	WELL
5	MANHOLE
6	CLEANOUT
7	STORM CATCH BASIN
8	GAS METER
9	MAILBOX
10	STEEL ROD SET (UNLESS NOTED OTHERWISE)
11	STEEL ROD OR PIPE FOUND
12	SAINTARY SEWER
13	STORM SEWER
14	GAS MAIN
15	OVERHEAD WIRES
16	FENCE
17	SANITARY MANHOLE
18	LINER
19	PAGE
20	LIVINGSTON COUNTY RECORDS
21	MEASURED AND RECORD
22	TO BE REMOVED

CURRENT ZONING: LRR
(LAKE SHORE RESORT RESIDENTIAL)
MINIMUM SETBACK REQUIREMENTS:
FRONT = 35 FEET
SIDES = 10 FEET
REAR = 40 FEET
MINIMUM LOT AREA = 12,800 SQ.F.
MINIMUM LOT WIDTH = 80 FEET
MAXIMUM LOT COVERAGE = 35%
MAXIMUM BUILDING HT. = 25 FEET

In the LRR Zoning District one of the side yards may be reduced to a minimum of five (5) feet where all of the following are met:

- (1) The other side yard must be at least ten (10) feet.
- (2) The distance between the building and any building on the adjacent lot shall be no less than ten (10) feet.
- (3) The roof shall have gutters. (as amended 3/5/10)



IN OF DOSSING UNDERGROUND WOLVES AS
THE ONLY APPROPRIATE, NO QUARTER
ED AS TO THE COMPLETENESS ON ACCORD
SHALL BE EXCLUSIVELY RESPONSIBLE FOR
CARBON AND ELIMINATION OF DOSSING VOLUMES
SESSIONS IN THE FIELD PRIOR TO
ACTION SHALL NOTIFY THE DIRECTOR 5 MIN
IF THE LOCATION OR DEPTH DIFFERS
NAME.

3 WORKING DAYS
BEFORE THAT I DIG
CALL MISS DIG
1-800-422-7171
DIG

FOR THE CHIEF OF WORKING PAPER

LE BOSS Engineering
Engineers Surveyors Planners Landscape Architects

HOWELL; MI. 48843
517.546.4836 FAX 517.548.1670

**932 SUNRISE PARK DRIVE
HOWELL, MI 48843
517-546-6587**

PLOT PLAN

[illegible]

DRAWN BY:	AEB
FIELD CREW	RR/CZ
CHECKED BY:	
SCALE	1" = 20'
JOB NO.	21-520
DATE	1-18-22

SHEET NO.
1 OF 1



**LIVINGSTON COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH DIVISION**

2300 E. Grand River, Suite 102 * Howell, Michigan 48843-7578
(517) 546-9858 * (517) 546-9853

www.lchd.org

Application for EH Review of Property Additions and Modifications

Residential ☒

Commercial ☐

Review Permit # _____

LOCATION OF PROPERTY <i>Please Print or Type</i>		
Address	City/Village	Zip
Township <u>GENOA</u>	Tax Code#	Section

A. OWNER	
Name <u>ZACHARIAS, TERE + STEVE</u>	Phone
Address <u>49276 HARVEST DR</u>	
City/State/Zip <u>PLYMOUTH, MI 48170</u>	E-Mail <u>ZACHARIASSTEVE@YAHOO.COM</u> <u>TERE.ZACHARIAS@YAHOO.COM</u>

CONTRACTOR (if applicable)	
Name <u>EBI, INCORPORATED</u>	Phone <u>810-227-8180</u>
Address <u>10454</u>	
City/State/Zip <u>GRAND RIVER MI 48816</u>	E-Mail <u>EBI.ROGER@ATT.NET</u>

Please answer the following questions that apply to your project:	
Sanitary service: municipal (city sewer) <input type="checkbox"/>	private septic system <input type="checkbox"/>
If septic: distance from project to septic _____ ft.	Accessible for maintenance after project? yes <input type="checkbox"/> no <input type="checkbox"/>
Water supply: municipal (city water) <input type="checkbox"/> private well <input type="checkbox"/>	If well: casing (pipe) diameter: 4" <input type="checkbox"/> 5" <input type="checkbox"/> Other <input type="checkbox"/>
If private well: distance from project to well _____ ft.	Accessible for maintenance after project? yes <input type="checkbox"/> no <input type="checkbox"/>
Proposed demolition? yes <input type="checkbox"/> no <input type="checkbox"/>	Rebuilding after demolition: yes <input type="checkbox"/> no <input type="checkbox"/>
Constructing an accessory structure? (garage, pole barn, pool, deck, etc.) yes <input type="checkbox"/> no <input type="checkbox"/>	Plumbing installed? yes <input type="checkbox"/> no <input type="checkbox"/>
Increasing living space in home? yes <input type="checkbox"/> no <input type="checkbox"/>	If yes: original ft ² _____ proposed ft ² _____
Adding additional bedrooms? yes <input type="checkbox"/> no <input type="checkbox"/>	If yes: original bedrooms _____ proposed bedrooms _____
Municipal hook-up only: Sewer yes <input type="checkbox"/> no <input type="checkbox"/>	Water yes <input type="checkbox"/> no <input type="checkbox"/> Converting to irrigation yes <input type="checkbox"/> no <input type="checkbox"/>
PROJECT DESCRIPTION: (include as applicable: type of living space, type of structure, increase in living space, alteration to structure, roof changes, etc.) Let us know, in as much detail as possible, your proposal	
<u>FORMERLY 780 SUNRISE PARK ST.</u>	

All proposals must include a complete and accurate site plan (with dimensions), and include all existing and proposed structures, location of roads, easements, steep slopes, surface water, wetlands, well and septic systems. Include project plans and/or existing and proposed floor plans and elevations if an increase in living space or a complete interior remodeling is proposed.

The undersigned, property owner or representative, certifies the accuracy of the completed application and attached documents. The undersigned acknowledges any deviation from the submitted application will void LCHD approval.

Applicant's Signature _____

Printed Name _____

Date _____

***** For Office Use Only *****

Receipt # _____ Amount \$ _____ Check/Appv # _____ Payer _____



**LIVINGSTON COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH DIVISION**

2300 E. Grand River, Suite 102, Howell, Michigan 48843-7578
Phone (517) 546-9858 Fax (517) 546-9853 www.lchd.org

**Application for Sewage Disposal and/or Water Supply Facilities For
Single, Two Family, Industrial, Commercial & Multiple Family Dwellings**

Residential ☒ New Construction ☐ Irrigation ☐ Septic Permit # _____
Commercial ☐ Replacement ☒ Tank Only ☐ Well Permit # _____

LOCATION OF BUILDING

Please Print or Type

Address 770/780 sunrise park st.	City/Village Howell	Zip 48843
Township Genoa	Tax Code #	Section 9
Subdivision	Lot/Parcel #	Acreage
Directions		

Residential only:

Geothermal Heating/Cooling: yes ☐ no ☒ Type: _____ If yes, must be included on site plan

Is plumbing elevation lower than the septic tank making it necessary to install a sewage lift pump? yes ☐ no ☒

Number of Bedrooms (Required) _____ Den/office proposed yes ☐ no ☐

Commercial only: Business Name:

Premise Usage	# of Employees/Occupants
Max. Est. Daily Wastewater Flow	How determined

OWNER

Name TERE AND STEVE ZACHARIAS	Phone 248-321-7878
Address 49276 HARVEST DR	ZACHARIAS STEVE @ 44400.COM
City/State/Zip Plymouth, MI 48170	E-Mail TERE ZACHARIAS @ 44400.COM

CONTRACTOR for Sewage Disposal System

Name	Phone
Address	
City/State/Zip	E-Mail

CONTRACTOR for Water Supply

Name ADAMS WELL DRILLING	Phone
Address	
City/State/Zip	E-Mail

BUILDER

Name EBI, INCORPORATED	Phone 810-227-8180
Address 10454 GRAND RIVER RD	
City/State/Zip BRIGHTON, MI 48116	E-Mail EBI.ROGER @ ATT.NET

I hereby apply for this permit and have authorization to do so. I understand this is a construction permit only and the sewage disposal system and/or well is not to be put into service until final written approval has been granted. I further state the information given herein is accurate and complete.

Applicant's Signature

Date

***** For Office Use Only *****

Receipt # _____ Amount \$ _____ Check/Appv # _____ Payer _____

GENOA TOWNSHIP
2911 DORR RD
BRIGHTON, MI 48116

Received From:

Date: 02/12/2025 Time: 11:52:17 AM
Receipt: 135073
Cashier: cash

4711-09-201-112
770 SUNRISE PARK
EBI INC.

Batch: 020125	
ITEM REFERENCE	AMOUNT
ZBA APPLICATION FEE	
APPLICATION FEE	\$215.00
TOTAL	\$215.00
CHECK 13124	\$215.00
Total Tendered:	\$215.00
Change:	\$0.00

HAVE A GOOD DAY

Have a great day!



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: February 25, 2025
RE: ZBA 25-04

File Number: ZBA#25-04

Site Address: 770 Sunrise Park Street

Parcel Number: 4711-09-201-112/11-09-201-114

Parcel Size: 0.369 acres

Applicant: Steve Zacharias

Property Owner: Same as applicant

Information Submitted: Application, site plan, building plans

Request: Dimensional Variance

Project Description: Applicant is requesting a front yard and rear yard setback variance to construct a new home.

Zoning and Existing Use: LRR (Lake Resort Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday March 3, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Township records, the existing homes on both parcels are set to be demolished and lots combined.
- See Record Cards.
- The property is serviced by public sewer and a private well.
- The parcel does not require a grinder pump. Utility Dept. approval is not required.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Summary

The applicant is proposing to combine two lots (11-09-201-112 & 11-09-201-114), demolish the existing two homes and accessory buildings and construct a new home with attached garage and rear deck. Applicant is requesting a front yard and rear yard setback. The proposed home does not require a height variance.

Applicant has consulted with staff to determine the least amount necessary for a variance request.

Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

Section 03.04.01: Residential Schedule of Area and Bulk Requirements.

Required Front Yard Setback:	35'	Required Rear Yard Setback:	40'
Proposed Front Yard Setback:	17'	Proposed Rear Yard Setback:	35'
Proposed Variance Amount:	18'	Proposed Variance Amount:	5'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** – Strict compliance with the front yard setback would prevent the applicant from constructing the new home. There are several homes in the vicinity that have reduced setbacks. Granting of this variance would do substantial justice to the applicant and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and in the vicinity of the subject parcel.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the topography of the lot. There is a steep drop-off on the east side of the property that limits the buildable area. There is also an 8" Livingston County Drain for storm sewer that bisects the lot. The variance request appears to be the least amount necessary and provides for adequate parking on the lot. The variance request is not self-created.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- (d) Impact on Surrounding Neighborhood** – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The proposed new home will be an improvement of what was previously on both lots. It will also do away with a non-conforming lot (780 Sunrise Park).

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval:

1. Parcels must be combined.
2. Structure must be guttered with downspouts.
3. Any retaining walls must comply with Article 11.04.03 (J) Retaining walls section of the Zoning Ordinance.
4. Building height cannot exceed 25 feet.

Mr. Clarke stated he would like to build a pole barn. He has wetlands and woods in the rear of his property and the septic field is in the front. The proposed location is the only place where it can be built. He is one of the few residents on their road that does not have a pole barn. He has spoken to his neighbors and none are against it.

Chairman Rassel noted that one neighbor sent a letter in opposition to the variance.

Board Member McCreary suggested the structure be moved further to the south so that it is less in the sight line of the neighbor to the west. Mr. Clarke stated none of his neighbors will be able to see the barn outside of any of their windows. He did not want to remove trees; however, he would agree to that. Board Member Kreutzberg agrees with Board Member McCreary's suggestion due to the size of the proposed structure.

The call to the public was made at 7:22 with no response.

Board Member Rockwell is not in favor of approving the variances because of the size of the structure. It could be made smaller and comply with the setbacks. Board Members McCreary and Kreutzberg agree. Mr. Clarke reiterated that he will be willing to move the building further to the south or construct a 60 x 30 barn and eliminate the need for one variance.

The Board suggested tabling this item this evening to allow the applicant to return with a revised plan.

Moved by Board Member McCreary, seconded by Board Member Kreutzberg, to table Case #22-16, at the application's request, until the August 16, 2022 Zoning Board of Appeals Meeting. **The motion carried unanimously.**

3. 22-18...A request by Tim Chouinard and Teri and Steve Zacharias, 770 Sunrise Park, for a rear yard setback variance to demolish two existing structures and construct a new single-family home.

Mr. Chouinard stated the topography and the depth of the lots are causing the need for the variance. The lot would not be buildable without a variance. They will be combining the properties and removing both of the structures, which will decrease the number of residences on the street. The retaining walls will be within the setback requirements and he will obtain the appropriate approval.

Board Member McCreary wants to ensure that erosion will be controlled during construction. Mr. Chouinard stated they will be installing silt fencing. He explained where the home will be located in relation to the slope on the property.

The call to the public was made at 7:46 pm with no response.

Moved by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #22-18 for Tim Chouinard on behalf of Teri and Steve Zacharias of 770 and 780 Sunrise Park Drive (Parcel #'s 4711-09-201-112 and 4711-09-201-114), for a rear yard setback variance of 25.7 feet from the required 40 feet, for a setback of 14.3 feet to demolish three existing structures and construct a new single-family home, based on the following findings of fact:

- Strict compliance with the setback would unreasonably prevent and restrict use of the property or cause it to be unbuildable.
- The variance will provide substantial justice, is the least necessary, and would make the property consistent with outer properties and homes in the area as there are several homes with reduced rear-yard setbacks. The variance is necessary due to the topography and shape of the lot, narrow building envelope, and location of the storm drain. The need for the variance is not self-created.
- The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets or increase the danger of fire or threaten public safety, comfort, morals or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and the surrounding neighborhood.

This approval is conditioned upon the following:

1. The two lots must be combined prior to issuance of land use permit.
2. Structure must be guttered with downspouts.
3. Any retaining walls must comply with Article 11.04.03 (J) Retaining Walls section of the Zoning Ordinance.
4. Any steps or stairs installed to access the lake or Sunrise Park Drive must comply with Article 11.04.03 (g) and (h) of the Zoning Ordinance.
5. Building height cannot exceed 25 feet.
6. Must receive approval from the Livingston County Drain Commissioner's office prior to land use permit issuance.
7. The survey must be corrected to depict the covered deck prior to land use permit issuance.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the June 21, 2022 Zoning Board of Appeals meeting.

Moved by Board Member McCreary, seconded by Board Member Ledford, to approve the minutes of the June 21, 2022 meeting as presented. **The motion carried unanimously.**

2. Correspondence - There were no correspondence this evening.
3. Member Discussion - There were no items to discuss this evening.

Genoa Township Zoning Board of Appeals Meeting
July 19, 2022
Approved Minutes

4. Adjournment - **Moved** by Board Member McCreary, seconded by Board Member Ledford, to adjourn the meeting at 7:52 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary



Sat Apr 6 2024

Imagery © 2025 Nearmap, HERE

20 ft

Nearmap

Approval
This plat was approved by the Genoa Township Board at a meeting held June 7 1923
Lillian L. Latham Township Clerk

This plat was approved on the 15 day of June 1923
William L. Latham Judge of Probate
John C. Latham County Clerk
Pearl M. Latham County Treasurer

Register's Office } S. S.
Livingston County }
Received for record this 20th
day of June A. D. 1923 at 4
o'clock PM and recorded in Liber
Two of Plate
on Page 23
G. J. Dunning Register.

SUNRISE PARK

GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN
A Subdivision of A Part of the NE 1/4 of Sec. 9 and SE 1/4 of Sec. 4 T21 N R5 E.

Dedication

Know ALL MEN BY THESE PRESENTS, That we Ernest Lawson as proprietor, and Kathryn M. Lawson his wife, have caused the land embraced in the annexed plat to be surveyed, laid out and platted to be known as "Sunrise Park" Genoa Township, Livingston County, Michigan. As shown on said plat, and that the paths, drives, land, and boulevard, as shown on said plat, are hereby dedicated to the lot owners.

Signed and Sealed in Presence of
W. J. Gault
G. H. Dunning

Ernest J. Lawson (LS)
Kathryn M. Lawson (LS)

STATE OF MICHIGAN } S. S.
County of Livingston }
On this 4th day of June 1923 before me, a Notary Public in and for said County, personally came the above named Ernest J. Lawson and Kathryn M. Lawson, his wife, known to me to be the persons who executed the above dedication and acknowledged the same to be their free act and deed.
My Commission expires Jan 31st 1927. Notary Public Livingston Co. Mich.
Grant J. Dunning

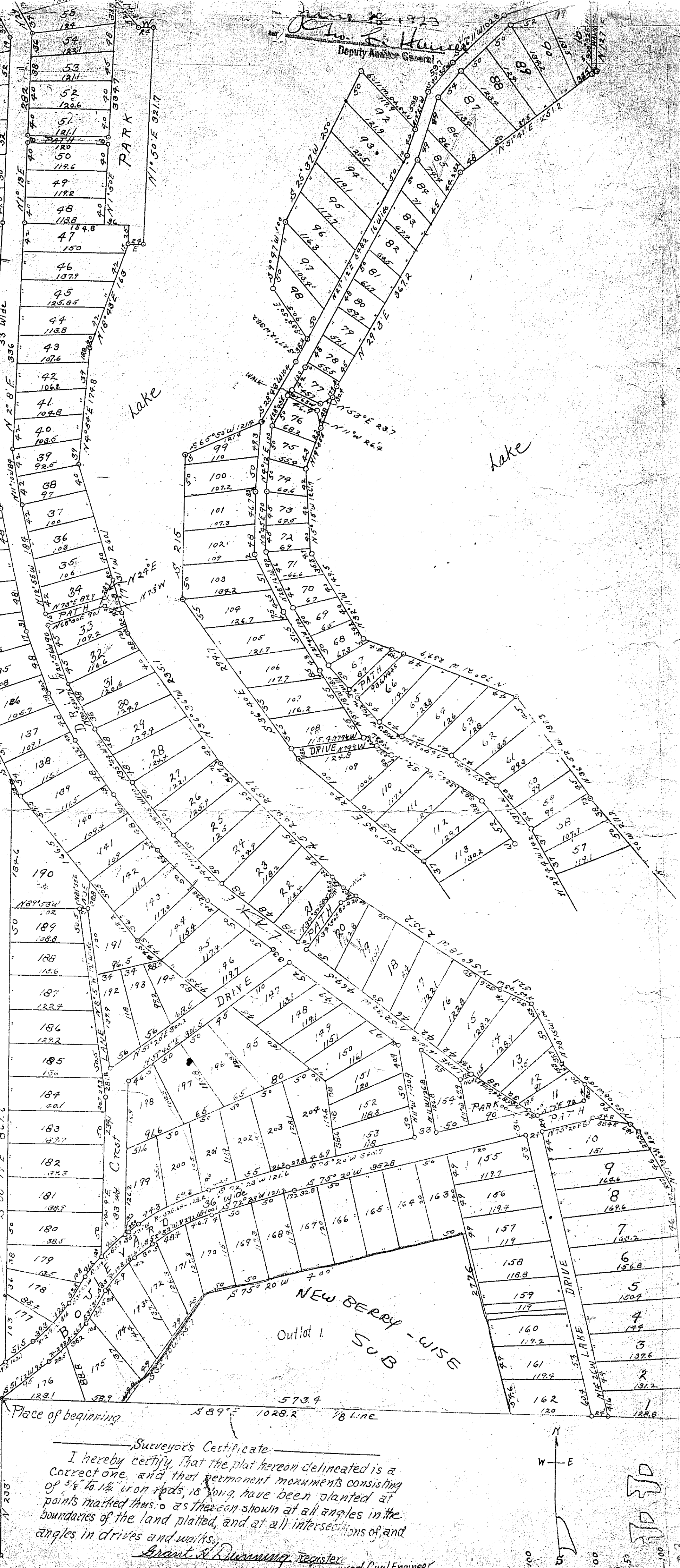
Description of Land Platted

Beginning at the center of the NE 1/4 of Sec. 9 T21 N R5 E Mich; thence S89°E 1028.2' on 1/2 line; thence N6°10'W 345.5'; N3°36'W 100'; N50°08'W 154'; N28°15'W 100'; N65°43'W 52'; N56°18'W 275.2'; N45°20'W 259.7'; N36°36'W 235.1'; N7°31'W 260.1'; N7°52'E 174.8'; N18°46'E 163'; E 24'; N1°50'E 321.7'; W 24'; N4°50'W 211.2'; N36°52'W 187.3'; N70°21'W 239.9'; N23°11'W 149.5'; N5°15'W 126.7'; N19°55'E 130.4'; N29°3'E 367.2'; N1°19'E 251.2'; S72°20'W 145.5'; S46°11'W 102.8'; S40°35'W 59.7'; N43°45'W 117.9'; S25°37'W 250'; S0°47'W 100'; S3°50'E 90.5'; S27°12'W 38.2'; S28°43'W 104'; S65°50'W 121.4'; S215'; S36°40'E 294.7'; S31°35'E 240'; S37°39'E 140'; S4°26'; S12°45'E 271.5'; S27°10'E 146.5'; S00°17'E 861.6'; S52°49'W 506'; S14°51'W 215'; S60°E 104'; N23° to place of beginning.

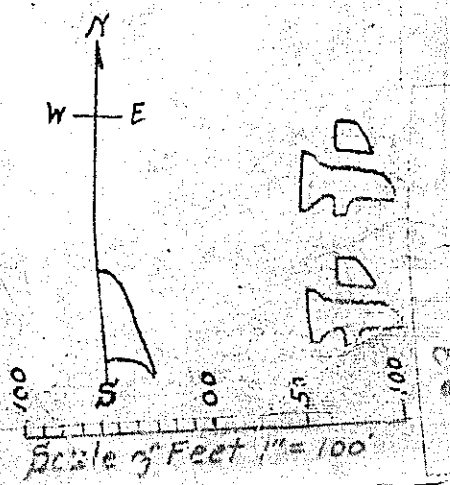
County Treasurer's Certificate


I hereby certify, that there are no tax liens or titles held by the State on the lands described above, and that there are no tax liens or titles held by individuals on said lands, for the five years preceding the 15th day of June 1923, and that the taxes for said period of five years are paid, as shown by the records on this office.
Pearl M. Latham
Livingston County Treasurer.

GRAND RIVER ROAD



Surveyor's Certificate
I hereby certify, that the plat hereon delineated is a correct one, and that permanent monuments consisting of 5/8 to 1 1/2 iron rods, 16 long, have been planted at points marked thus: o as thereon shown at all angles in the boundaries of the land platted, and at all intersections of, and angles in drives and walks.
Grant J. Dunning Register
Red Civil Engineer



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.						
WRIGHT, NORMAN	ZACHARIAS FAMILY TRUST	227,000	06/11/2021	WD	19-MULTI PARCEL ARM'S LEN	2021R-030820	BUYER/SELLER	100.0						
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: LRR		Building Permit(s)		Date	Number	Status				
770 SUNRISE PARK ST		School: HOWELL PUBLIC SCHOOLS		Demolition		11/13/2024		PW24-155						
Owner's Name/Address		P.R.E. 0%												
ZACHARIAS FAMILY TRUST 49276 HARVEST DR PLYMOUTH MI 48170		MAP #: V25-04												
		2025 Est TCV 131,446 TCV/TFA: 187.78												
		X	Improved		Vacant	Land Value Estimates for Land Table 4301.4301 LAKE CHEMUNG NON LAKE FRONT								
		Public Improvements			* Factors *									
Tax Description		Dirt Road Gravel Road Paved Road Storm Sewer Sidewalk Water Sewer Electric Gas Curb Street Lights Standard Utilities Underground Utils.			Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value	
SEC. 9 T2N, R5E, SUNRISE PARK LOTS 100 AND 101					A NON LF	50.00	109.00	1.0000	1.0000	900	100			45,000
Comments/Influences					B NONLF SURPLUS	50.00	109.00	1.0000	1.0000	630	100			31,500
					100 Actual Front Feet, 0.25 Total Acres Total Est. Land Value = 76,500									
		Topography of Site												
		Level												
		Rolling												
		Low												
		High												
		Landscaped												
		Swamp												
		Wooded												
		Pond												
		Waterfront												
		Ravine												
		Wetland												
		Flood Plain												
		X	REFUSE		Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/ Other	Taxable Value			
The Equalizer. Copyright (c) 1999 - 2009. Licensed To: Township of Genoa, County of Livingston, Michigan		Who	When	What	2025	38,300	27,400	65,700			65,700S			
		JB	09/15/2022	INSPECTED	2024	50,000	25,900	75,900			75,900S			
		JB	09/17/2018	INSPECTED	2023	50,000	24,500	74,500			74,500S			
					2022	45,000	29,400	74,400			74,400S			

Building Type		(3) Roof (cont.)		(11) Heating/Cooling		(15) Built-ins		(15) Fireplaces		(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood		Oil Coal		Elec. Steam		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area	Type	Year Built: Car Capacity: Class: Exterior: Brick Ven.: Stone Ven.: Common Wall: Foundation: Finished ?: Auto. Doors: Mech. Doors: Area: % Good: Storage Area: No Conc. Floor:
X	Wood Frame		(4) Interior	X	Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Class: D -10 Effec. Age: 55 Floor Area: 700 Total Base New : 87,221 Total Depr Cost: 39,247 Estimated T.C.V: 54,946					
Building Style: D			Drywall Paneled											
Yr Built 0		Remodeled 0			Ex	X	Ord		Min					
Condition: Good		Trim & Decoration			Size of Closets									
Room List			Lg	X	Ord		Small							
	Basement 1st Floor 2nd Floor 1 Bedrooms		Doors:		Solid	X	H.C.							
(1) Exterior			(5) Floors		(12) Electric			0 Amps Service						
X	Wood/Shingle Aluminum/Vinyl Brick Insulation		Kitchen: Other: Other:		No./Qual. of Fixtures			Ex. X Ord. Min			Cost Est. for Res. Bldg: 1 Single Family D (11) Heating System: Forced Air w/ Ducts Ground Area = 700 SF Floor Area = 700 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=45/100/100/100/45 Building Areas		Cls D-10 Blt 0	
(2) Windows			(6) Ceilings		No. of Elec. Outlets			Many X Ave. Few			Stories Exterior Foundation Size Cost New Depr. Cost			
X	Many Avg. Few	X	Large Avg. Small		(13) Plumbing			Average Fixture(s)			1 Story Siding Crawl Space 480			
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens			(7) Excavation		1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			1 Story Siding Slab 160			Total: 74,973 33,735			
(3) Roof			(8) Basement		1 Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			1 Story Siding Slab 60			Other Additions/Adjustments			
X	Gable Hip Flat		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor		(14) Water/Sewer			Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic			Plumbing Extra Sink 1 672 302 Water/Sewer Public Sewer 1 1,217 548 Water Well, 200 Feet 1 10,359 4,662 Totals: 87,221 39,247			
X	Asphalt Shingle		(9) Basement Finish		Lump Sum Items:			Notes:			ECF (4305 SUNRISE PARK NON LAKEFRONT) 1.400 => TCV: 54,946			
Chimney: Brick			(10) Floor Support											
			Joists: Unsupported Len: Cntr.Sup:											

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Case # 25-05

Meeting Date: March 18, 2025 @ 6:30 pm
in Boardroom



PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Springfield Sign - Lora Trent Email: loram@springfieldsign.com

Property Address: 3900 E Grand River Ave. Howell, MI Phone: 417-862-2454

Present Zoning: NRPU Tax Code: 4711-05-400-066

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Culver's would like to seek approval for an additional menu board to be placed in their drive thru lane with the sign area of 46.29 sq. ft. (actual copy area of 38.39 sq. ft.) Per Code 16.07.07 - Menu board: Up to two (2) menu board signs shall be permitted per drive-through order lane. Each menu board shall be a maximum of twenty (20) square feet.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Please see attached

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Please see attached

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Please see attached

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Please see attached

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 2/13/2025 Signature: Lora Trent



ADDRESS
4825 E Kearney St
Springfield, MO 65803
CONTACT US
800.845.9927
springfieldsign.com

**Culver's of Howell, MI
3900 E Grand River Ave.
Howell, MI 48843**

Genoa Charter Township - Planning & Zoning Commission

Sign Variance Request

We are seeking variance approval for one additional menu board to match the current existing menu board (that was approved during Culver's site plan approval in 2015) to be placed in Culver's drive through lane with the sign area of 46.29 sq. ft. (actual copy area 38.39 sq. ft.) that would be tailored to the specific needs to provide current consumer education to Culver's extensive menu. Culver's Franchising Systems (CFS) provides a Brand Standard menu board (MB-DT-46) for all of its locations nationwide. Per code Article 16 Sign Standards 16.07.07 Menu Board: Up to two (2) menu boards signs shall be permitted per drive-through order lane.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel. **Unnecessary hardships include: 1) Incompatibility with the Culver's Franchise System Brand Standards; 2) Limitation of the displayed point of purchase (menu) information; 3) It limits the distribution and display of system wide information; 4) affects the efficient operation of the drive through. Culver's offers so much more than just burgers that customers will not be able to easily view the entirety of Culver's extensive menu. Deleted products, or information about them, will result from any reduction in the size of the Brand Standard Menu Board. Incomplete product identification carries through to education of the consumer, which can translate to longer times in the drive through and potential traffic congestion. Granting approval will improve consumer product education, while enhancing movement in an efficient clean clutter free drive through, improving the implementation of signage with respect to the intent of Article 16 sign Standards 16.07.07**



SPRINGFIELD SIGN

design | build | install | service

ADDRESS

4825 E Kearney St
Springfield, MO 65803

CONTACT US

800.845.9927
springfieldsign.com

We are respectfully asking you to review our request, see our need, and approve our sign request.

Kind Regards,

Lora Trent

Lora Trent
Springfield Sign
4825 E Kearney St.
Springfield, MO 65083
loram@springfieldsign.com
417.862.2454



SPRINGFIELD **SIGN**

design | build | install | service

ADDRESS
4825 E Kearney St
Springfield, MO 65803

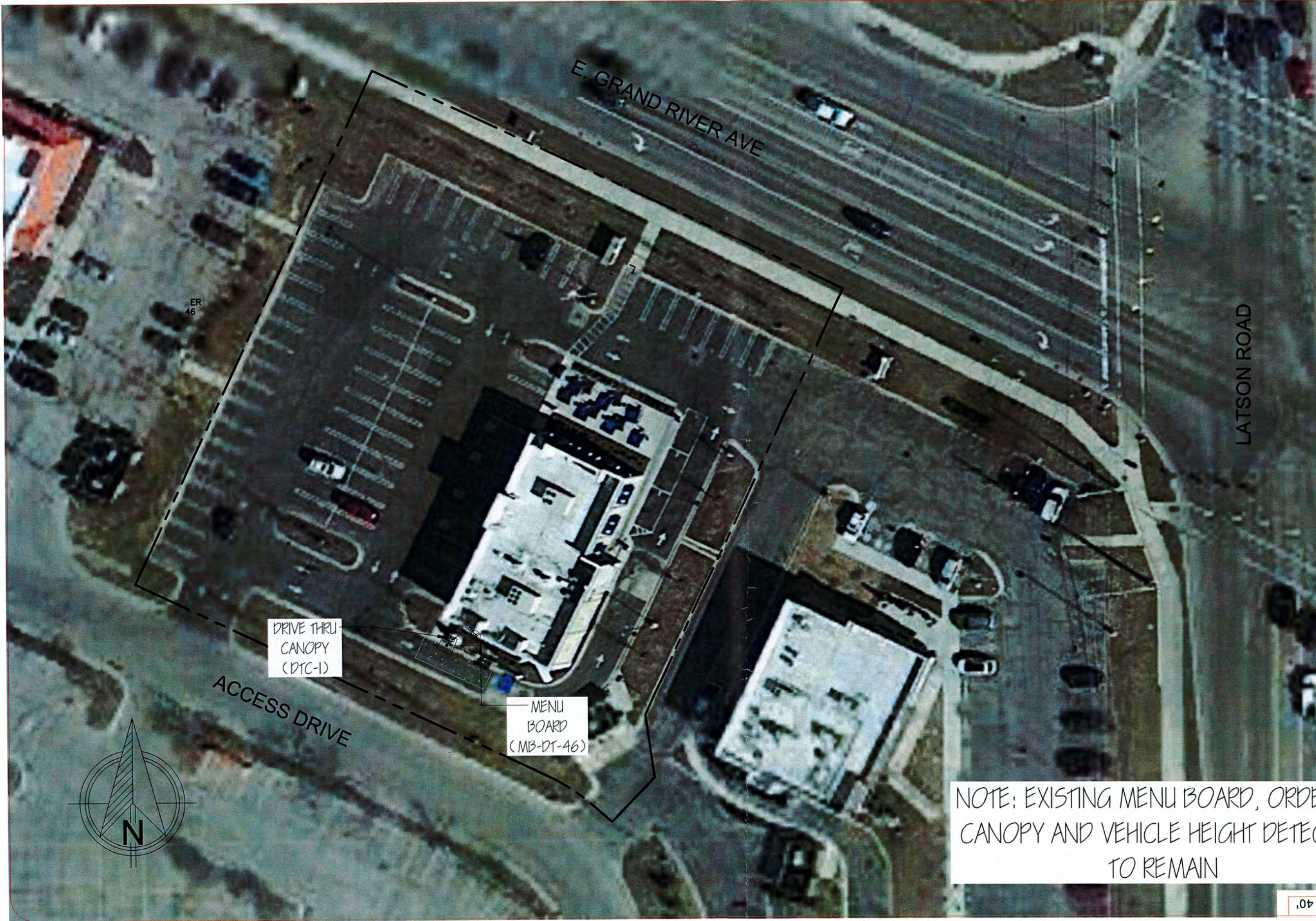
CONTACT US
800.845.9927
springfieldsign.com

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant. **The plight of the landowner is due to circumstances unique to the property not created by the landowner; and the variance, if granted, will not alter the essential character of the locality. Culver's Franchising Systems (CFS) provides a brand standard menu board to all its locations nationwide. Customers will not be able to easily view the entirety of Culver's extensive menu, which will cause delays in the operation of the drive-thru, potential traffic congestion due to more time spent per order due to questions, lack of clarity, etc. Our request should be found to be reasonable and customary as we provide easy and pleasant communication. Approval then reduces clutter, creating a more efficient and thereby safer traffic flow, while improving community appearance.**

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa. **The granting of this Variance will not adversely affect the public's health, safety, morals, order, convenience, prosperity, or general welfare in which this property is located. The granting of the Variance will not adversely affect the rights of adjacent landowners or residents. The proposed request will not impair an adequate supply of light and air to the adjacent property or substantially increase the congestion of the public streets. Or increase the danger of fire, or endanger the public safety, or substantially diminish or impair the property values within the neighborhood. Granting this request will improve community appearance, and present better consumer product education. Our request is harmonious to the overall intent of the sign regulations.**

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. **The granting of this variance will not adversely affect the rights of the adjacent property owners or residents, nor will it discourage the appropriate development, or continued use. Approval of our request will provide proper identification, visual knowledge, efficient movement through the drive through lane, while decreasing traffic congestion which then provides public safety.**

We firmly believe that the requested sign variance 16.07.07 of Article 16 Sign Standards for Culver's Brand Standard menu boards is crucial for our community's success, the base of our business, and aligns with the interest of Genoa Township.



LOCATION:

HOWELL, MI.

Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
3900 E. GRAND RIVER AVE.
HOWELL, MI. 48843
DRIVE THRU PLACEMENT PLAN

Project No.: 57142
Drawn By: CLH
Reviewed By: MW
Date: 2-13-25
Sheet Number:

1 OF 1

SCALE 1" = 40'

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

NOTE: ANY DEVIATION GREATER THAN TOLERANCES GIVEN IN THE TABLE MUST BE APPROVED BY SPRINGFIELD SIGN & NEON IN WRITING. SSN WILL SEEK OUT C.F.S.I. APPROVAL FOR CHANGE.

MENU BOARD FOOTING TO BE LOCATED PER G.C./ SURVEYOR OF RECORD, BALANCE OF FOOTINGS SIMILARLY LOCATED OR PER THE D1-D6 TABLE GIVEN. EITHER METHOD MUST CONFIRM TOLERANCES AND DIMENSIONS ABOVE.

NOTE: SURVEYOR/ G.C. OF RECORD SHALL STAKE ALL FOOTING CENTER LOCATIONS. IF THIS CANNOT BE DONE, USE LAYOUT SEQUENCE GIVEN BELOW.

WITH EITHER METHOD, EITHER BY SURVEYOR OR LAYOUT SEQUENCE, THE DIMENSIONS WITH ABOVE STATED TOLERANCES MUST BE CONFIRMED BY SIGN INSTALLER. ANY DEVIATIONS MUST BE PRESENTED TO SPRINGFIELD SIGN & NEON IN WRITING. SPRINGFIELD SIGN & NEON WILL RESOLVE THE CONFLICT SO THAT INSTALLER CAN PROCEED.

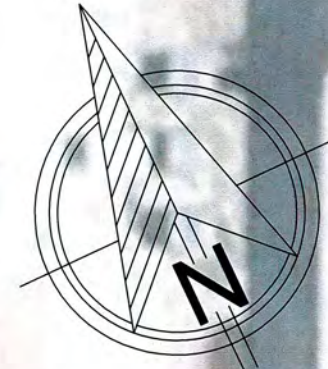
LAYOUT SEQUENCE

VERIFY GENERAL FIELD (AS-BUILT) CONDITIONS TO MATCH PROVIDED DRAWINGS. DON'T GUESS-CALL WITH ANY QUESTIONS.

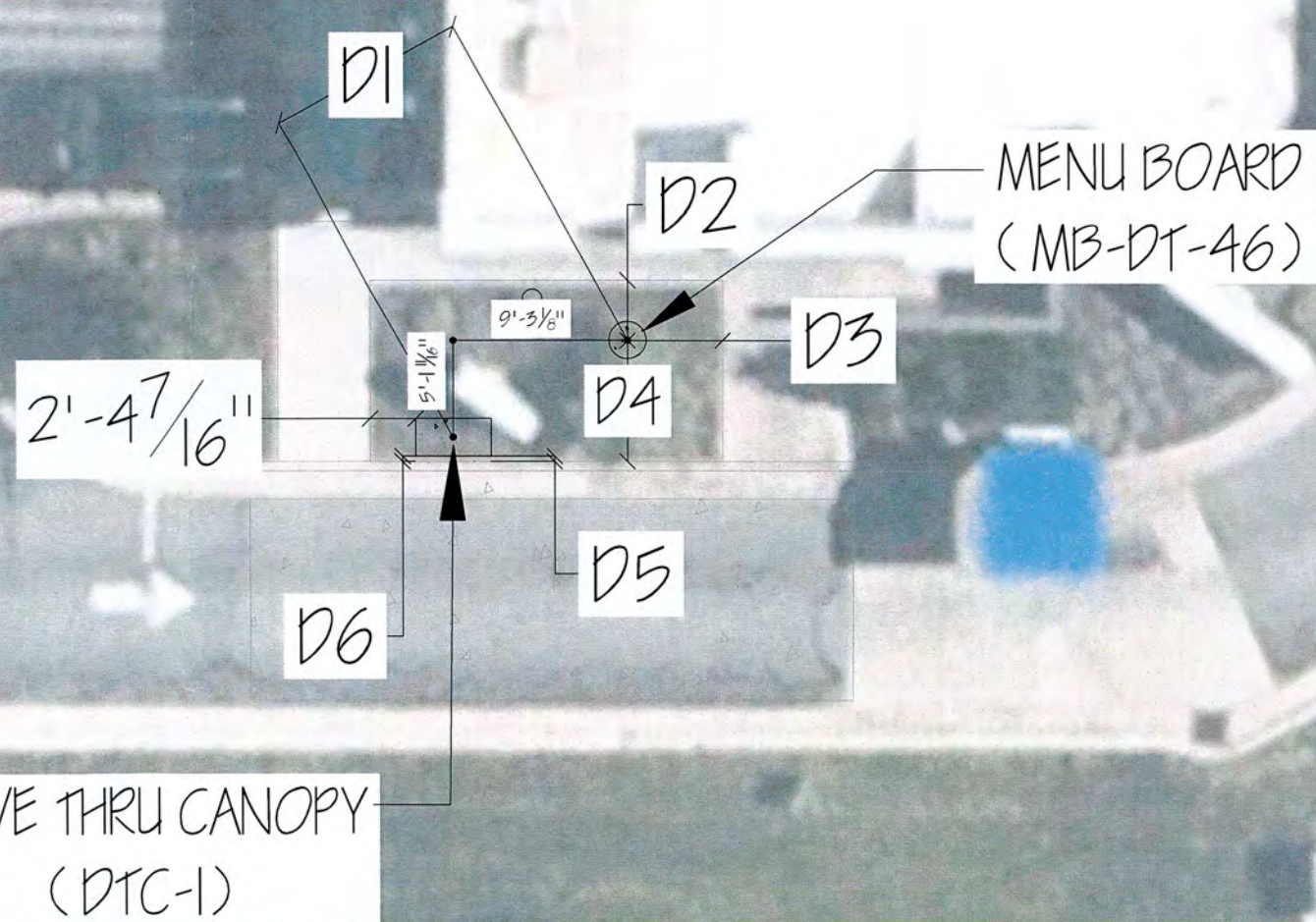
-LOCATE THE CENTER POINT OF THE PRIMARY MENU BOARD FOOTING WITH DIMENSIONS D2 & D3
-USE DIMENSIONS D1 & D5 TO POSITION THE OTHER FOOTING, (CANOPY) RELATIVE TO THE MENU BOARD FOOTING

-ROTATE THE PLACEMENT (USING D1 & D5) AROUND THE MENU BOARD FOOTING UNTIL DIMENSIONS D4 & D6 ARE CONFIRMED. ALL POINTS SHOULD BE STAKED AND READY TO LAY OUT.

* DIMENSION	MEASUREMENT	DEVIATION ALLOWED (TOLERANCE)
D1	10'-7 1/8"	+ / - 2" MAXIMUM
D2	3'-2 3/8"	+ / - 2" MAXIMUM
D3	5'-1"	+ / - 2" MAXIMUM
D4	6'-5 3/16"	+ / - 1" MAXIMUM
D5	3 1/2"	+ / - 2" MAXIMUM
D6	3 1/2"	+ / - 2" MAXIMUM



NOTE: EXISTING MENU BOARD, ORDERING CANOPY AND VEHICLE HEIGHT DETECTOR TO REMAIN



LOCATION:
HOWELL, MI.

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
P (608) 643-7980
SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454



MENU BOARD
(MB-DT-46)

3'-5³/₁₆"

9'-3¹/₈"

11'-1⁵/₈"

DRIVE THRU
CANOPY
(DTC-1)

NOTE: EXISTING MENU BOARD, ORDERING
CANOPY AND VEHICLE HEIGHT DETECTOR
TO REMAIN

SCALE 1" = 10'

LOCATION:

HOWELL, MI.

Client:

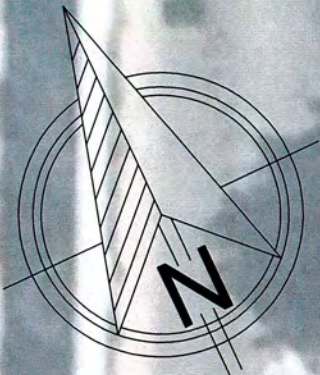
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
P (608) 643-7980

SPRINGFIELD SIGN

4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

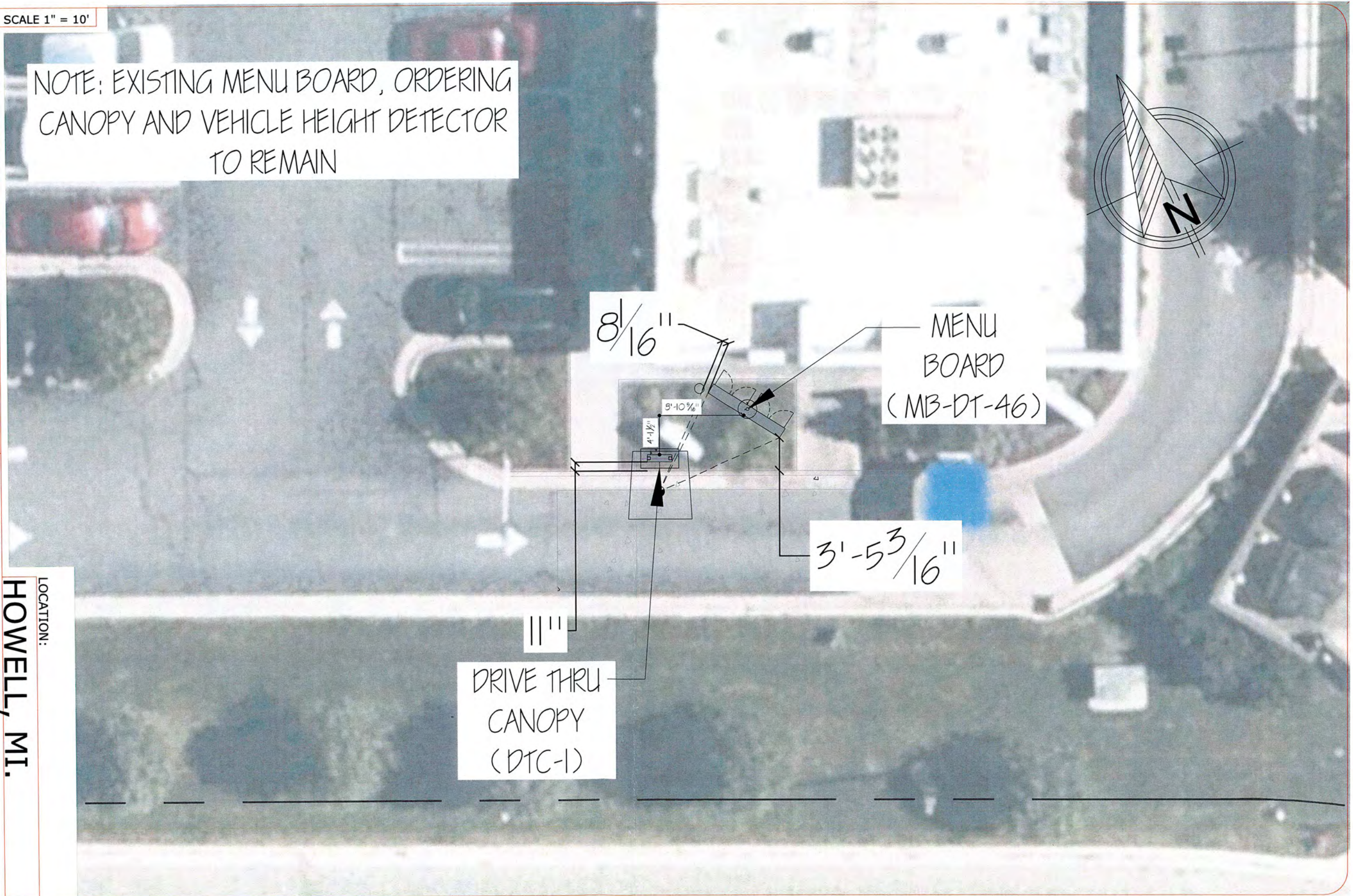
Project No.: 57142
Drawn By: CLH
Reviewed By: MW
Date: 10-23-24
Sheet Number:
2 OF 3

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT



SCALE 1" = 10'

NOTE: EXISTING MENU BOARD, ORDERING CANOPY AND VEHICLE HEIGHT DETECTOR TO REMAIN



LOCATION:

HOWELL, MI.

Client:

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
P (608) 643-7980

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Project No.: 57142
Drawn By: CJH
Reviewed By: MW
Date: 10-23-24
Sheet Number:
3 OF 3

CULVER FRANCHISING SYSTEM, INC.
DRIVE THROUGH/MENU BOARD
LAYOUT

MB-DT-46 EXTERIOR MENU BOARD

INDIANAPOLIS, IN

Blue Outdoor Drive-Thru Menu Board

MB-DT-46

Standard Menu Board for Drive-Thru Lane

LED Internal Illumination

POP Graphic panels must be purchased separately

POPP-Out magnet access panels included for easy in & out of POP panels

“-CS” option for 160mph coastal wind standards available

Locking rear access doors (4)



Culver's

PANELS INDIVIDUAL V.O.
TOTAL = 38.39 SQ. FT.

SCALE: 3/8" = 1'

*SCALE AND COLORS NOT REPRESENTATIVE FROM EMAIL ATTACHMENTS
*ALL MEASUREMENTS ARE APPROXIMATE

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ENVIRONMENTALLY RESPONSIBLE



SPRINGFIELD SIGN

www.springfieldsign.com

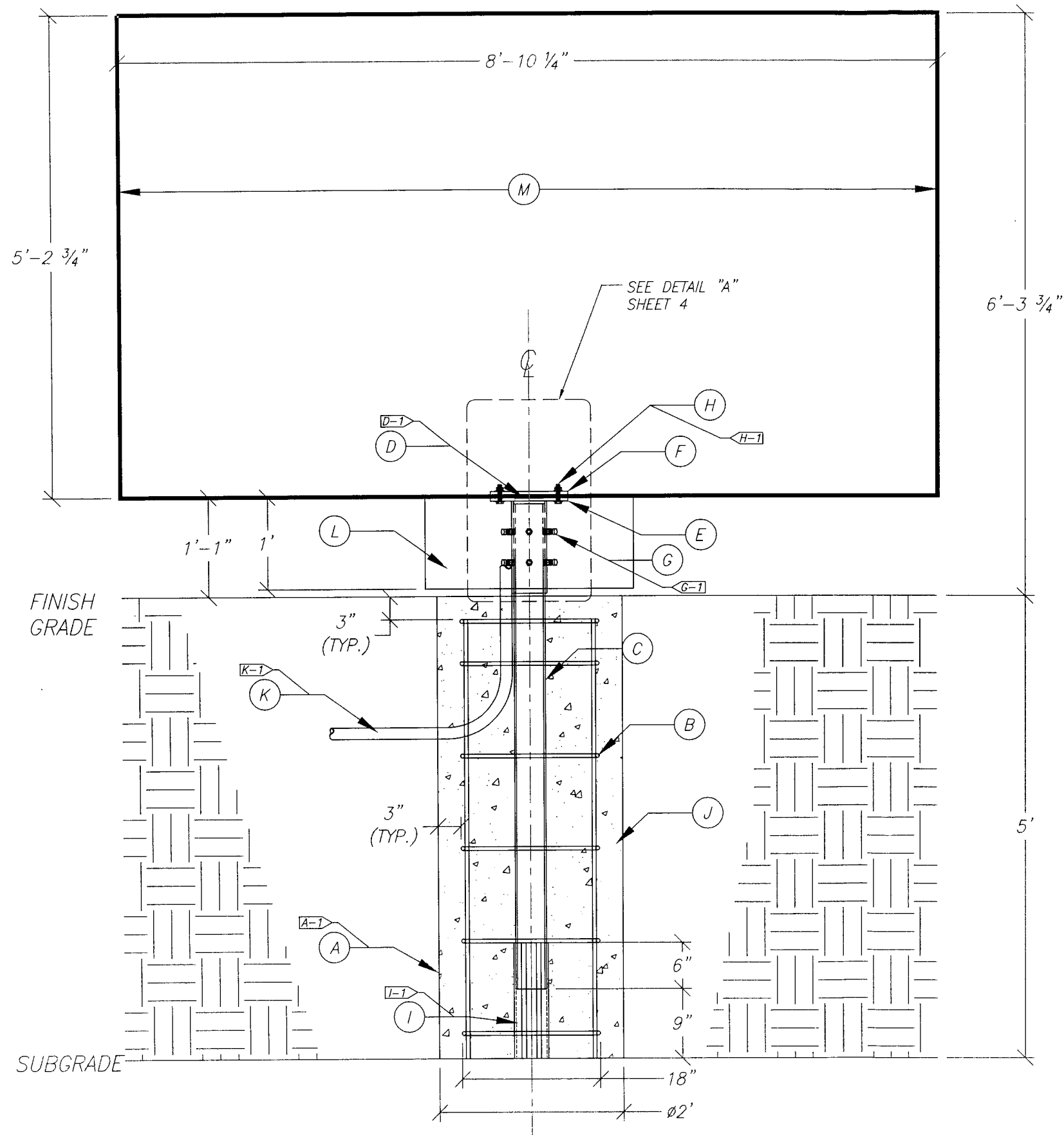
SALES PERSON:
MARK WESSELL

DESIGNED BY:
J KRÖEGER

A0:
49669

DATE CREATED / REVISION HISTORY

04/16/24 - NEW
4/19/24 - Permitting
10/16/24 - Height to 6'



DRIVE-THROUGH MENU BOARD		
① AUGER		
SIZE:		24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
A-1		NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
② REBAR REINFORCING		
SIZE:		#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SPACING:		TO BE DETERMINED ON SITE BY ENGINEER
③ STEEL PIPE		
MATERIAL:		3 1/2" SCHEDULE 40
FINISH:		SAND SMOOTH APPLY RED OXIDE PRIMER
④ STEEL PIPE		
MATERIAL:		4" SCHEDULE 40
FINISH:		SAND SMOOTH APPLY RED OXIDE PRIMER
D-1		WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
⑤ OUTSIDE BASE MOUNTING PLATE		SEE SHEET 5
MATERIAL:		5/8" PLATE STEEL
⑥ INSIDE BASE MOUNTING PLATE		SEE SHEET 5
MATERIAL:		5/8" PLATE STEEL
⑦ PIPE BOLTS		
MATERIAL:		1/2" x 1 3/4" BOLTS / NUTS
G-1		6 PLACES
⑧ MOUNTING PLATE BOLTS		
MATERIAL:		1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1		4 PLACES
⑨ BASE PIPE SUPPORT		
MATERIAL:		1" STEEL ANGLE-3 PLACES
I-1		WELDED TO BASE PIPE
⑩ BACKFILL		
MATERIAL:		2500 PSI CONCRETE OR AS PER ENGINEERING
⑪ ELECTRICAL PRIMARY		
K-1		CONDUIT, SWEEP THROUGH FOOTING
⑫ SIGN SKIRT		
MATERIAL:		0.063" ROUTED ALUMINUM
⑬ MAIN MENU BOARD		
PART #:		MB-DT-46

SCALE 3/4" = 1'

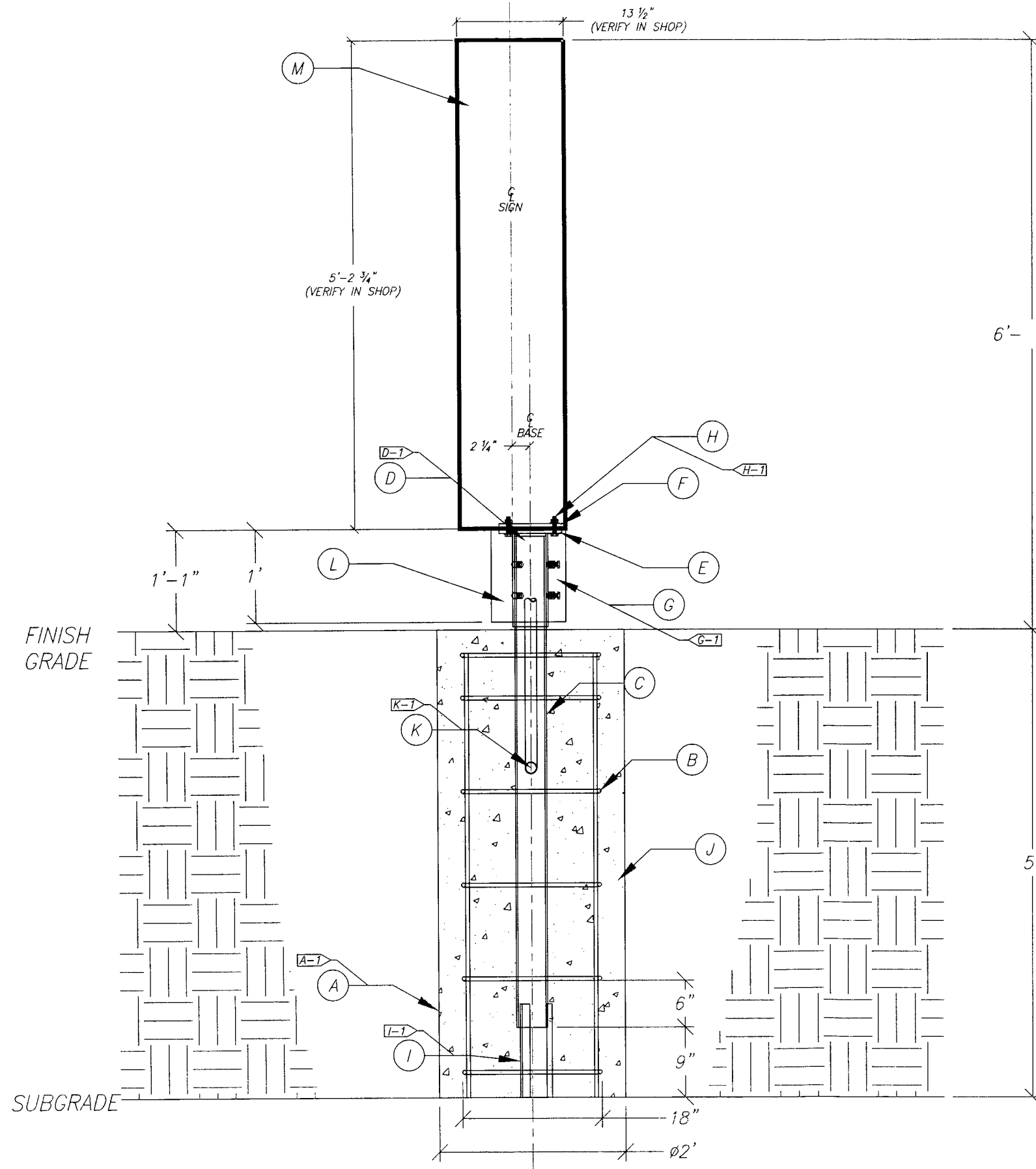
LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
FRONT VIEW

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:
1 OF 5



DRIVE-THROUGH MENU BOARD	
Ⓐ AUGER	
SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ REBAR REINFORCING	
SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES
Ⓘ BASE PIPE SUPPORT	
MATERIAL:	1" STEEL ANGLE-3 PLACES
I-1	WELDED TO BASE PIPE
Ⓢ BACKFILL	
MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓣ ELECTRICAL PRIMARY	
K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ SIGN SKIRT	
MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ MAIN MENU BOARD	
PART #:	MB-DT-46

SCALE 3/4" = 1'

LOCATION:
CULVER'S

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

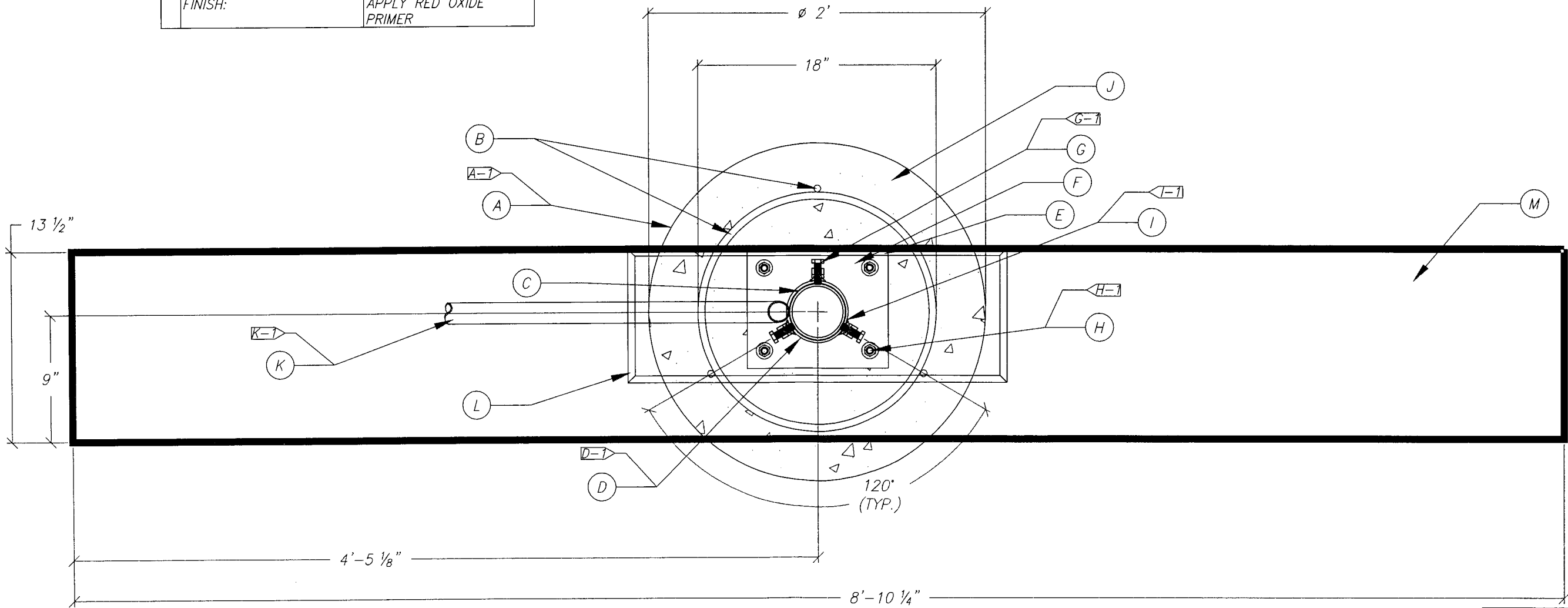
CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
SIDE VIEW

Project Number: 9902
Drawn By: DEN
Reviewed By: MW
Date: 7-25-17
Sheet Number:
2 OF 5

DRIVE-THROUGH/MAIN MENU BOARD		
(A) AUGER		
SIZE:		24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
A-1		NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
(B) REBAR REINFORCING		
SIZE:		#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SPACING:		TO BE DETERMINED ON SITE BY ENGINEER
(C) STEEL PIPE		
MATERIAL:		3 1/2" SCHEDULE 40
FINISH:		SAND SMOOTH APPLY RED OXIDE PRIMER

(D) STEEL PIPE		
MATERIAL:		4" SCHEDULE 40
FINISH:		SAND SMOOTH APPLY RED OXIDE PRIMER
D-1		WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
(E) OUTSIDE BASE MOUNTING PLATE		
MATERIAL:		SEE SHEET 5
(F) INSIDE BASE MOUNTING PLATE		
MATERIAL:		5/8" PLATE STEEL
(G) PIPE BOLTS		
MATERIAL:		1/2" x 1 3/4" BOLTS / NUTS
G-1		6 PLACES

(H) MOUNTING PLATE BOLTS		
MATERIAL:		1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1		4 PLACES
(I) BASE PIPE SUPPORT		
MATERIAL:		1" STEEL ANGLE-3 PLACES
I-1		WELDED TO BASE PIPE
(J) BACKFILL		
MATERIAL:		2500 PSI CONCRETE OR AS PER ENGINEERING
(K) ELECTRICAL PRIMARY		
K-1		CONDUIT, SWEEP THROUGH FOOTING
(L) SIGN SKIRT		
MATERIAL:		0.063" ROUTED ALUMINUM
(M) MAIN MENU BOARD		
PART #:		MB-DT-46



SCALE 1/8" = 1"

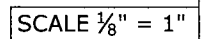
LOCATION: **CULVER'S**

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD
TOP VIEW

Project Number: 9902
Drawn By: DEN
Reviewed By: RW
Date: 7-25-17
Sheet Number: 3 OF 5



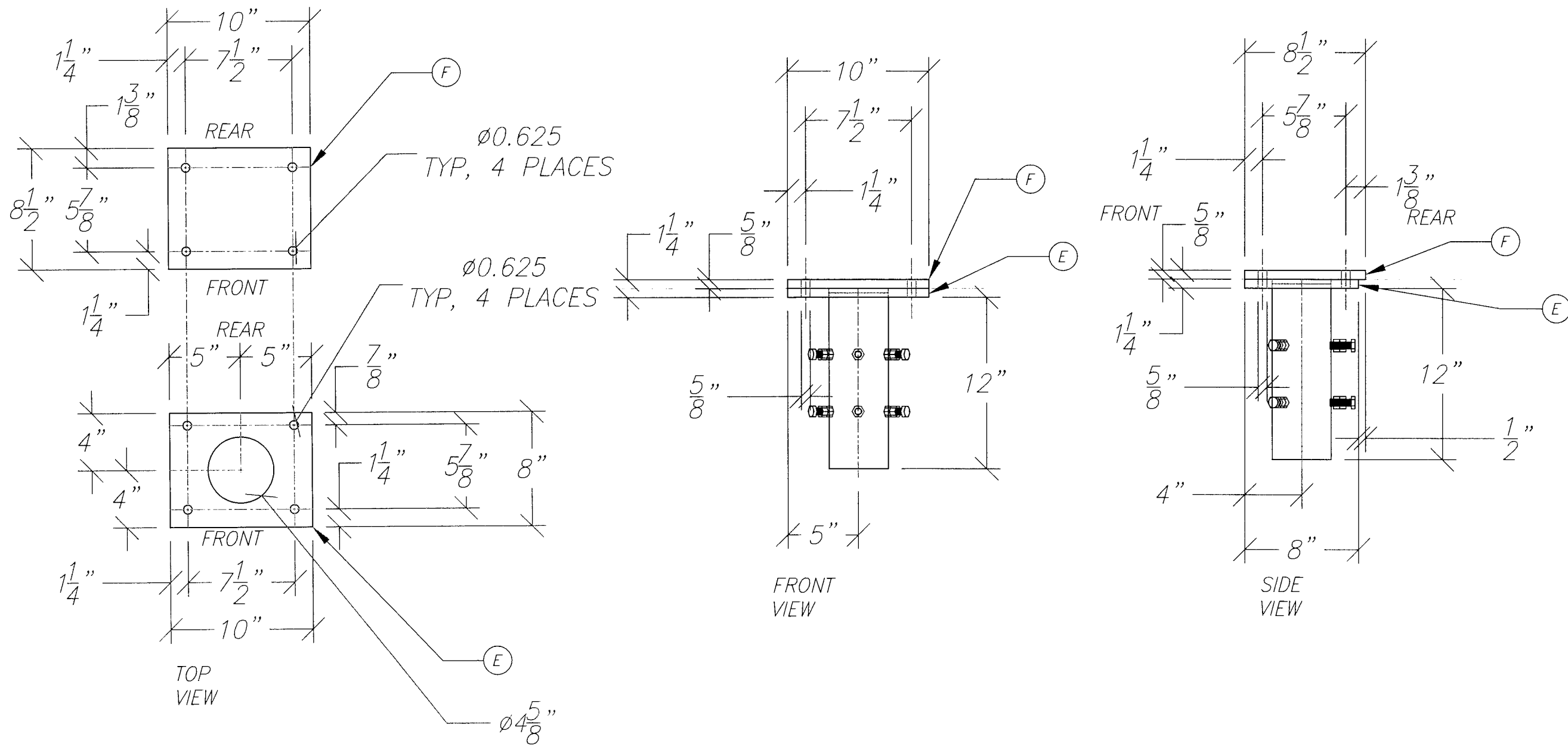
LOCATION:
CULVER'S

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

Project Number: 9902
 Drawn By: DEN
 Reviewed By: MW
 Date: 7-25-17

Sheet Number:
4 OF 5

DRIVE-THROUGH/MAIN MENU BOARD		
(E)	OUTSIDE BASE MOUNTING PLATE	
	MATERIAL:	5/8" PLATE STEEL
(F)	INSIDE BASE MOUNTING PLATE	
	MATERIAL:	5/8" PLATE STEEL



SCALE $\frac{1}{8}" = 1"$

LOCATION: **CULVER'S**

SPRINGFIELD SIGN
4825 E. Kearney St.
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
BASE MOUNTING PLATES
SIGN BASE-DETAIL

Project Number: 9902
 Drawn By: DEN
 Reviewed By: MW
 Date: 7-25-17

Sheet Number:
5 OF 5



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: March 7, 2025
RE: ZBA 25-05

STAFF REPORT

File Number: ZBA#25-05
Site Address: 3900 E Grand River-Culver's
Parcel Number: 4711-05-400-066
Parcel Size: 1.234 Acres
Applicant: Lora Trent, Springfield Sign
Property Owner: UPH Genoa Property LLC
Information Submitted: Application, site plan, conceptual drawings
Request: Sign Variance
Project Description: Applicant is requesting a variance for the size of the menu board signs allowed per the Ordinance.
Zoning and Existing Use: NRPUD (Non-Residential PUD)
Other:

Public hearing was published in the Livingston County Press and Argus on Sunday March 3, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Assessing Records, this is a drive-thru restaurant that was built in 2016.
- The parcel is serviced by municipal sewer & water.
- See Assessing Record Card.

SUPERVISOR

Kevin Spicher

CLERK

Janene Deaton

TREASURER

Robin L. Hunt

TRUSTEES

Rick Soucy

Bill Reiber

Candie Hovarter

Todd Walker

MANAGER

Kelly VanMarter

Summary: The applicant is requesting a variance from **Article 16.07.07, Menu Boards**. The property currently has (2) menu boards, one at 46.29 sq ft and one at 24.39 sq ft. These were part of the Planning Commissions new construction site plan approval in 2016.

The applicant is proposing to remove the existing 24.39 sq ft menu board sign and replace it with a new sign that is 46.29 sq ft. They are proposing to install a drive thru canopy here as well so multiple orders can be placed at once.

Applicant is requesting a size variance for the square footage of the menu board signs.

The following is the section of the Zoning Ordinance that the variance is being requested from:

16.07.07 Menu board: Up to two (2) menu board signs shall be permitted per drive-through order lane. **Each menu board shall be a maximum of twenty (20) square feet.** Menu board sign(s) shall not be located in the front yard. (as amended 12/17/10 and 11/02/20)

Variance Requests

Canopy Signs	Sq. Footage Allowed	No. of Signs Allowed
Ordinance	40 sq. ft	2
	Total	
Requested	92.58 sq. ft	2
	Total	
Variance Amount	52.58 sq. ft	0

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the ordinance would prevent the applicant from installing the size of menu board that is up to date with Culvers brand standards and can accommodate their entire menu selection. Staff notes that there are some drive-thru restaurants in the area, in the NRPUD or RCD zoning district that have menu board signs that are over 20 square feet. This may serve substantial justice to the applicant.
- (b) Extraordinary Circumstances** – Staff does not believe the applicant has demonstrated an extraordinary circumstance with the property. Staff does believe this is a self-created issue.

(c) Public Safety and Welfare –The granting of this variance will not impair the adequate supply of light and air to adjacent property or unreasonably increase the congestion of public streets, or increase the danger of fire or endanger the public safety, comfort, morals, or welfare of the inhabitants of Genoa Township.

(d) Impact on Surrounding Neighborhood – The proposed variance will not impact the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Recommended Conditions

If the Zoning Board of Appeals grants the variance requests, staff recommends the following conditions be placed on the approval.

1. No additional signage permitted in the future.



880

3900

3950

Slatson Rd

Nearmap

Sun Oct 6 2024

Imagery © 2025 Nearmap, HERE



Parcel Number: 4711-05-400-066

Jurisdiction: GENOA CHARTER TOWNSHIP

County: LIVINGSTON

Printed on

03/07/2025

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.					
RLG HOWELL LLC. & GCG HOWE	UPH GENOA PROPERTY LLC	750,000	04/22/2016	CD	03-ARM'S LENGTH	2016R-012961	BUYER/SELLER	100.0					
LIVINGSTON COMMONS ASSOCIA	RLG HOWELL LLC. & GCG HOWE	0	12/22/2015	WD	21-NOT USED/OTHER	2016R-002108	BUYER/SELLER	0.0					
Property Address		Class: COMMERCIAL-IMPROVE		Zoning: NRPUD	Building Permit(s)		Date	Number	Status				
3900 E GRAND RIVER		School: HOWELL PUBLIC SCHOOLS			Other: See Work Descriptio		05/04/2021	PW21-046					
		P.R.E. 0%			COMM MISCEL		07/21/2016	A16-023	FINAL BLDG				
Owner's Name/Address		MAP #: V25-05			SIGN		04/18/2016	S16-045	NO START				
UPH GENOA PROPERTY LLC 49169 ALPHA DR WIXOM MI 48393-3443		2025 Est TCV 1,815,899 TCV/TFA: 450.60			COMMERCIAL BLDG		03/22/2016	P16-023	NO START				
		X	Improved	Vacant	Land Value Estimates for Land Table 2003.2003 COMMERCIAL LAND								
		Public Improvements			* Factors *								
					Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
					MAIN CORRIDOR	215.00	250.00	1.0000	1.0000	3000	100		645,000
					215 Actual Front Feet, 1.23 Total Acres					Total Est. Land Value =		645,000	
Tax Description					Land Improvement Cost Estimates								
					Description								
					Rate								
					Size % Good								
					Cash Value								
					D/W/P: 3.5 Concrete								
					7.05 2965 79 16,513								
					D/W/P: Asphalt Paving								
					3.32 37520 70 87,196								
					Commercial Local Cost Land Improvements								
					Description								
					Rate								
					Size % Good Arch Mult								
					Cash Value								
					WELL/WATER								
					4,475.00 1 95 100 4,251								
					SEPTIC/SEWER								
					4,400.00 1 95 100 4,180								
					Total Estimated Land Improvements True Cash Value = 112,140								
Topography of Site													

Desc. of Bldg/Section: CULVER'S RESTAURANT										<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<<&									
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

*** Information herein deemed reliable but not guaranteed***



GENOA CHARTER TOWNSHIP VARIANCE APPLICATION
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116
(810) 227-5225 | FAX (810) 227-3420

Dobbie
Marshall
248 318 2211

Case # 25-06 Meeting Date: March 18, 2025 @ 6:30pm
in Boardroom

☒ PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Jill Bianco Email: dmarshalljazzeshcgloba.net

Property Address: 410 S. Hughes Phone: _____

Present Zoning: Suburban Residential Tax Code: 11-03-300-011

ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Revised set back
from lake to 60 Ft for building of 2800 sq
ft home

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

Criteria Applicable to Dimensional Variances. No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

Under each please indicate how the proposed project meets each criteria.

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

The placement of the proposed house is restricted by the lake front setback requirement as well as the creek/drain. In addition our approved septic tanks location as documented on Plot Plan also limit the building area

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Again, the septic tanks would impinge upon the proposed house. A variance to 60 Ft from lake is not granted. The 2 single family homes next to our property are 45 Ft from the lake. The trailers closest to property are less than 10 Ft from lake.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

~~the~~ the variance effect the adjacent properties

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

~~the~~ The variance will not interfere with property values of adjacent homes

Attendance by the applicant is required at the Zoning Board of Appeals meeting.

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).

After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.

Date: 2/5/25 Signature: Jill Franco

Variance Board of Appeals:

We have attended three meeting up to this date, 2 with Genoa Township, and one with Livingston county to rezone our property to Residential. All have been approved. At no time what it mentioned that the setback from the lake to the new home would be 100 feet, when it was 70 feet originally, until the very end of the final meeting.

Due to the prior planning that went into our new home project, which included putting in a septic field, and septic tanks to abide by the 70 foot setback, this new information has made our project undoable.

We would like to request a variance making the setback 60 feet, which would accommodate our project comfortably.

Of the two neighboring properties, one which is a single family home, and is setback 40 feet, and the other are trailers at the Campground, closest to us on the waterfront, are less than 10 feet back.

Therefore our variance would not change the outward appearance of the shoreline.

HOUSE AND FLOOR TO FLOOR DIMENSIONS ARE TO BE VERIFIED
WITH DETAILED ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.

PARCEL NO. "A"
The center of the Southwest 1/4 of Section 3 and the Southeast 1/4 of Section 4,
T2N-R5E, Genoa Township, Livingston County, Michigan, more particularly
the portion thereof lying south of the Northeast corner of the Eastern half of
Section 3 along the North line of said Section 3 and the centerline of Golf Club
Road, S 89°53'46"E, 106.29 feet to the Southwest Corner of Section 34,
T2N-R5E, Genoa Township, Livingston County, Michigan; thence South 74°55'
previously surveyed, S 70°17'00"E, 268.91 feet; thence continuing along
the centerline of said Hughes Road, S 11°42'00"N, 437.35 feet, to the POINT OF
BEGINNING of the Parcel to be described; thence continuing along the
centerline of Hughes Road, S 11°42'00"N, 160.44 feet; thence S 37°07'00"W,
102.66 feet; thence N 89°53'46"E, 106.29 feet to the Northwest Corner of
continuing S 11°33'02"W, 55 feet, more or less; thence Northerly along the
water's edge of Lake Traverse 600 feet more or less; thence N 51°21'50"E, 26
feet, more or less to Charming Point "B", the endpoint of a meandering
course line beginning at aforementioned Traverse Point E and having the
following bearings and distances: 3) S 39°23'22"E, 331 feet; 4) S 79°52'00"E, 189
feet; 5) S 79°52'00"E, 189 feet; 6) S 79°52'00"E, 189 feet; 7) S 79°52'00"E, 189
feet; 8) S 79°52'00"E, 189 feet; 9) S 79°52'00"E, 189 feet; 10) S 79°52'00"E, 189
feet; 11) S 79°52'00"E, 189 feet; 12) S 79°52'00"E, 189 feet; 13) N 59°57'05"E, 78.452 feet; Thence N 51°21'50"E and previously recorded
as S 11°51'52"E, 196.32 feet to a found 1/2" iron rod; thence
S 11°51'52"E, 78.453 feet (previously recorded as N 71°22'38"E, 78.46
feet); thence BEGINNING; Containing .04 acres, more or less, and
subject to all other easements or restrictions of record.

1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, ZONE 16N.
2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
3. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.
4. ELEVATIONS WERE ESTABLISHED WITH GPS USING OPUS GPS POST-PROCESSING. (NAVD83 DATUM)
5. CONTOURS ARE SHOWN AT 1 FOOT INTERVALS.
6. PART OF SUBJECT PROPERTY IS DESIGNATED AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN (ZONE X) AND PART OF SUBJECT PROPERTY IS LOCATED WITHIN THE 1% ANNUAL CHANCE FLOODPLAIN (100 YEAR FLOOD) DESIGNATED AS (ZONE A) PER THE FLOOD INSURANCE RATE MAP (FIRM), FOR THE TOWNSHIP OF MICHIGAN, LIVINGSTON COUNTY, MICHIGAN, MAP NUMBER 26093C03300, PANEL 330 OF 495, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2008. MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) DETERMINED THE BASE FLOOD ELEVATION OF LAKE CHEMUNG TO BE 961.5 (NGVD29 DATUM) (PER LETTER DATED AUGUST 24, 2009). THE CONVERSION FROM NGVD29 TO NAVD83 DATUM RESULTS IN A BASE FLOOD ELEVATION OF 961.1 (NAV8883 DATUM). THE LOCATION OF THE 100-YEAR BASE FLOODPLAIN LINE IS SHOWN ON THIS DRAWING.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY, THE COUNTY, AND THE STATE OF MICHIGAN.
8. ALLOW THREE WORKING DAYS BEFORE YOU CAN CALL MISS DIG TOLL FREE 1-800-482-7171.

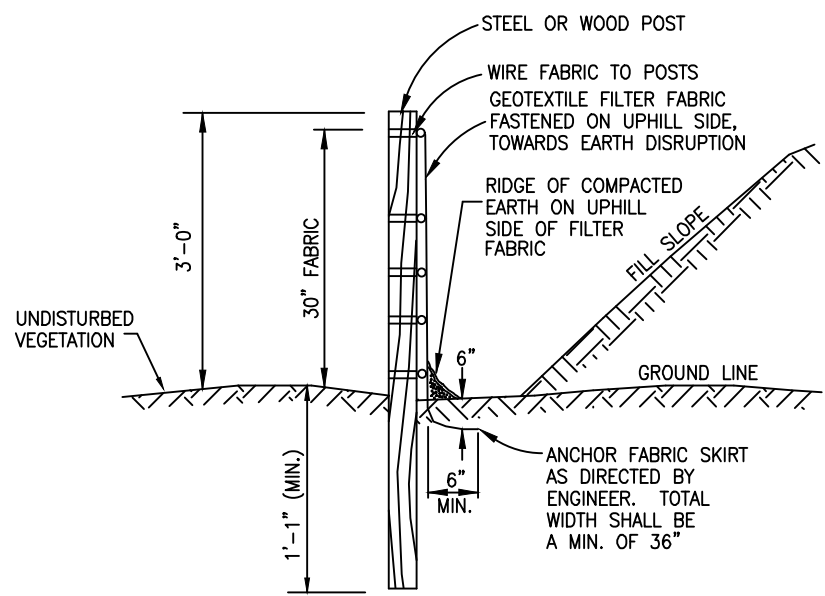
PARCEL # 4711-03-300-011
410 S. HUGHES RD
HOWELL, MI
GENOA TOWNSHIP
9.76 AC. ±

CURRENT ZONING: PUBLIC AND RECREATIONAL FACILITIES (PRF)
CURRENT USE: RESIDENTIAL

PROPOSED RE-ZONING: SUBURBAN RESIDENTIAL
REQUIRED LOT AREA: 1 AC.
PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

SR DISTRICT DIMENSIONAL STANDARDS

- MIN. LOT AREA: 1 AC.
- MIN. LOT WIDTH: 100 FT
- MIN. BUILDING SETBACKS:
 - FRONT: 40 FT
 - SIDE: 20 FT EACH (40 FT TOTAL)
 - REAR: 100 FT
- SHORELINE OR ORDINARY HIGH WATER MARK OF LAKE:
 - SITES LACKING PUBLIC SANITARY SEWER MINIMUM 100 FEET
- MAX LOT COVERAGE: 20% BLDG, 35% IMP 1% BLDG, 4.56% IMP
- MAX BUILDING HEIGHT: 35 FT (2 STORIES)



SILT FENCE DETAIL
NO SCALE

A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the text "BRENT W. LaVANWAY", "ENGINEER", and "No. 38211".

BEBOSS *Engineering*
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MT. 48843
517.546.4836 FAX 517.548.1670

PROJECT: **410 S. HUGHES ROAD, HOWELL, MI**

JILL BIANCO
600 WOODCREST
DEARBORN, MI 48124

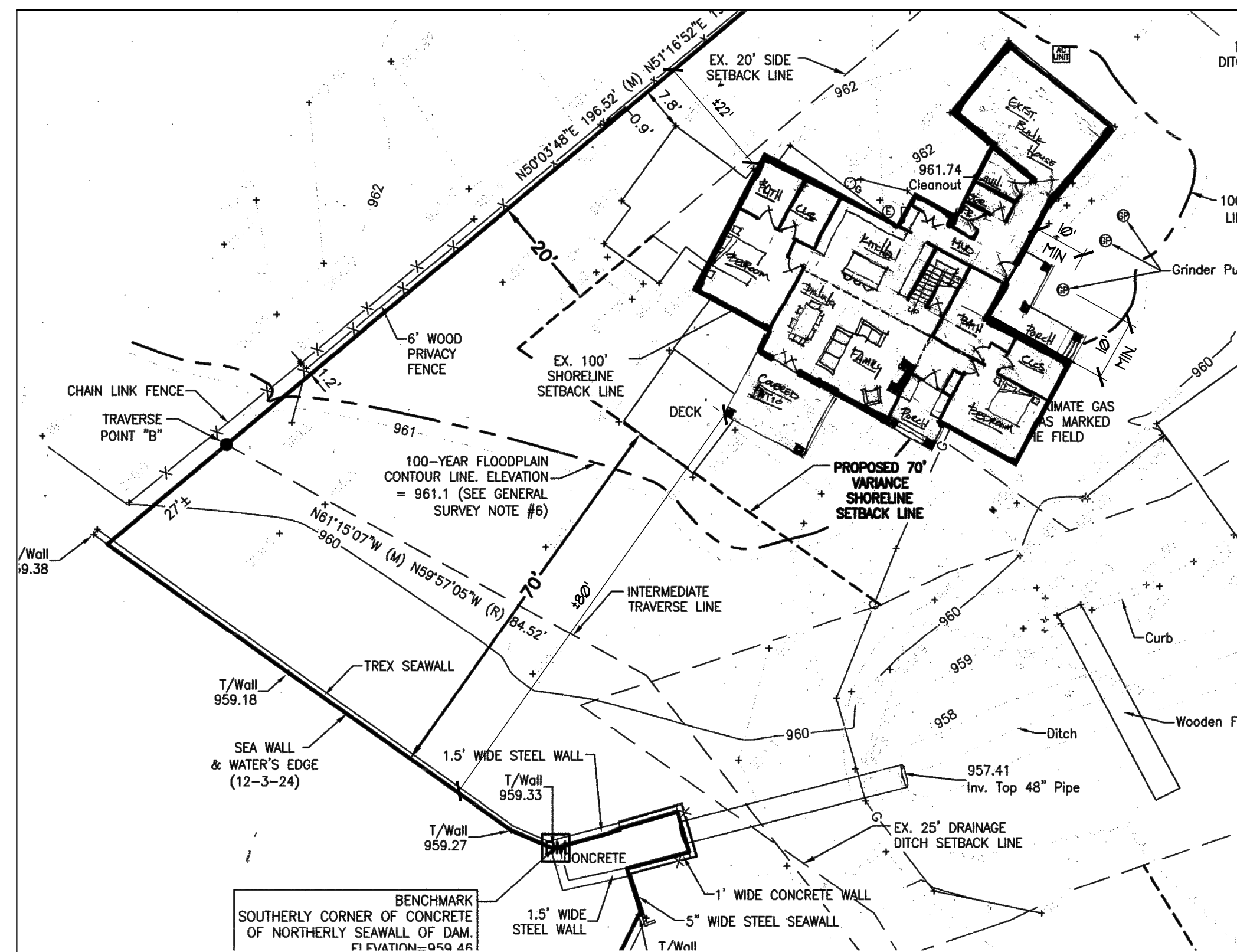
PLOT PLAN

TITLE:

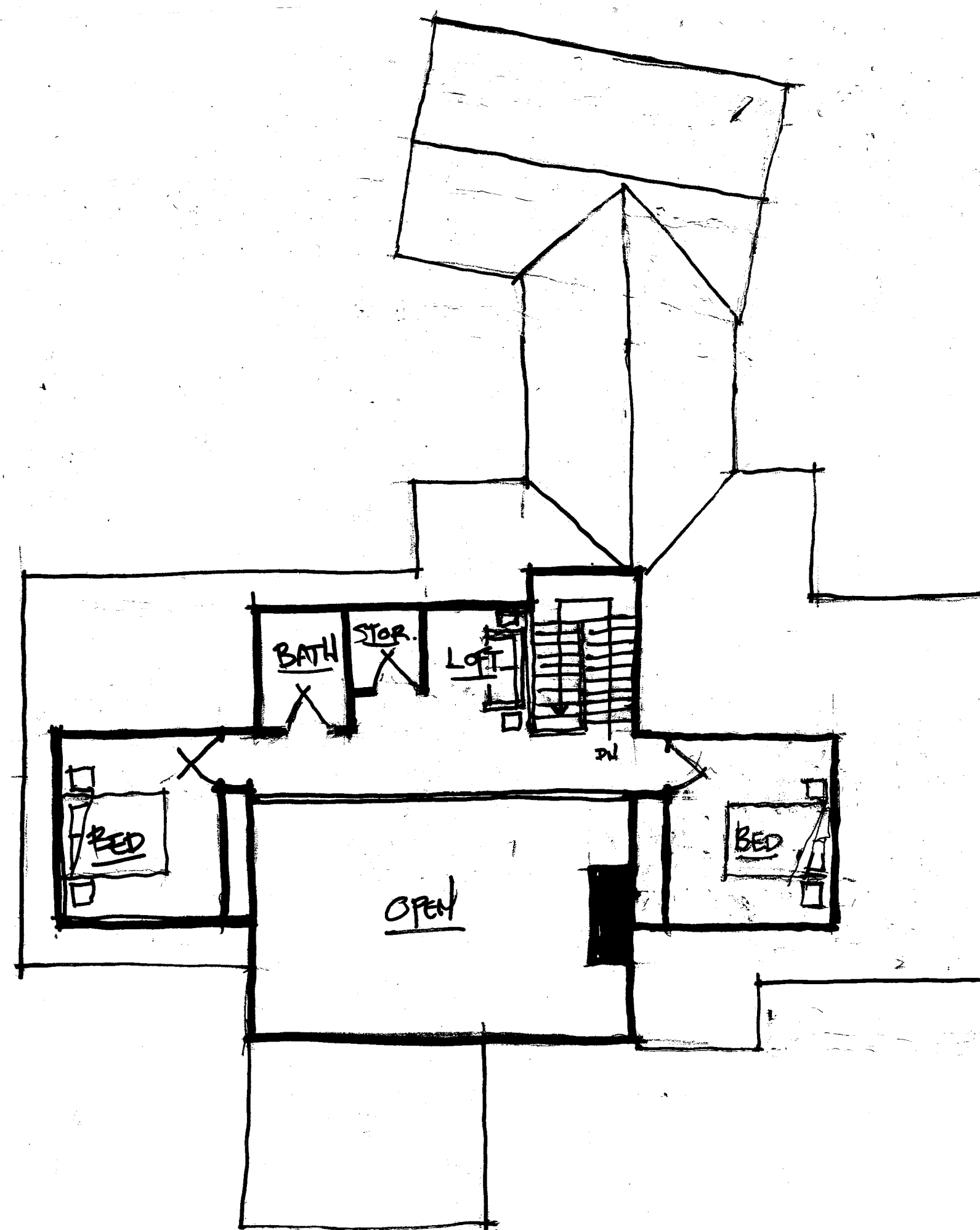
[illegible]

DRAWN BY:	AEB
FIELD CREW:	TE/PB
CHECKED BY:	
SCALE	1" = 20'
JOB NO.	22-023
DATE	12-17-24
SHEET NO.	BOSS

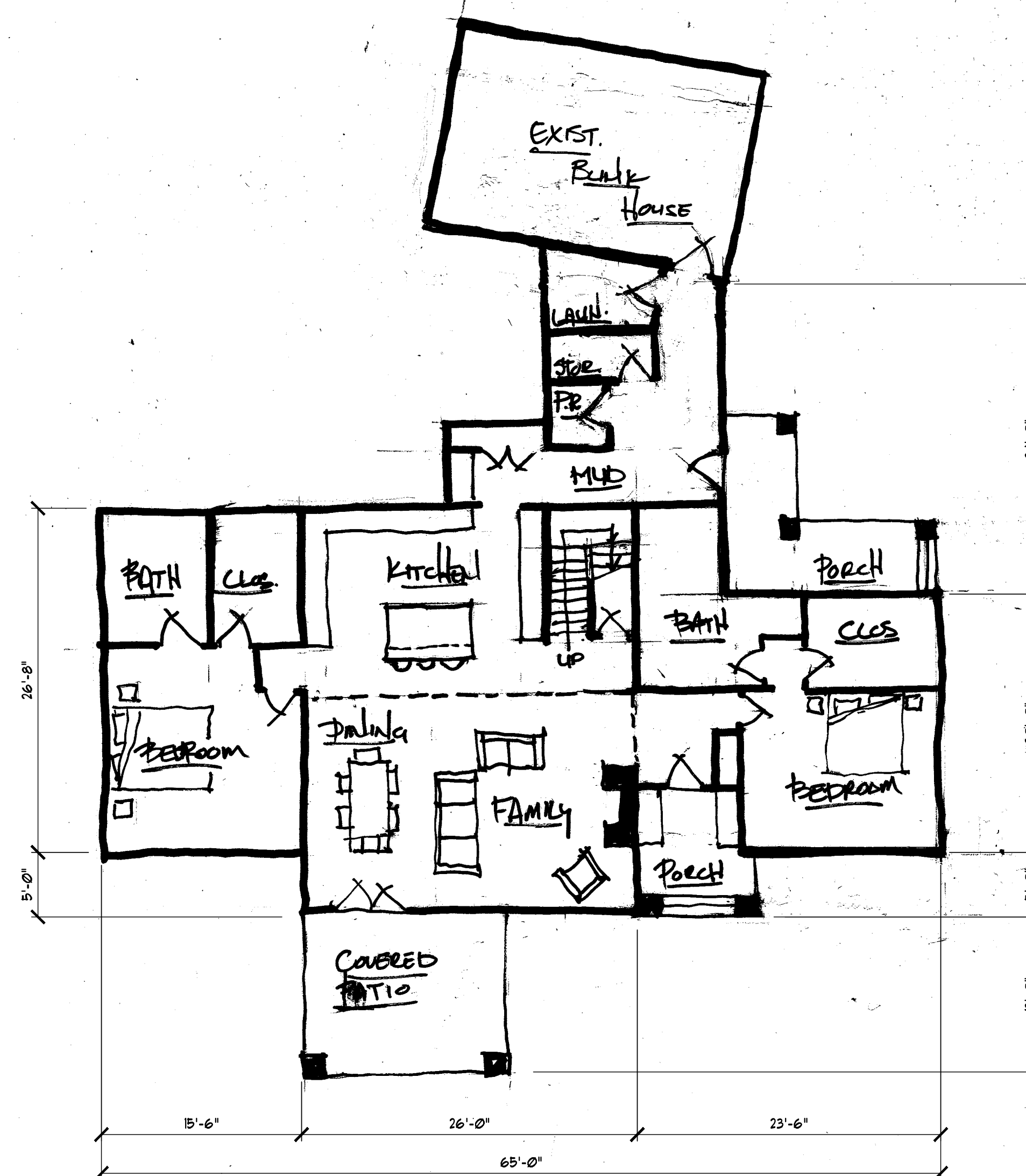
1 OF 1



ARCHITECTURAL SITE
SCALE: 1"=20'-0"



CONCEPTUAL 2ND FLOOR PLAN
SCALE: 1/8"=1'-0"



CONCEPTUAL 1ST FLOOR PLAN
SCALE: 1/8"=1'-0"



CONCEPTUAL LAKE ELEVATION
SCALE: 1/8"=1'-0"

CONSULTANTS:

PROJECT: **BIANCO / MARSHALL
RESIDENCE**

ADDRESS: **410 S. HUGHES RD., HOWELL, MI 48843**

ISSUED FOR: **ZBA
2-19-2025**

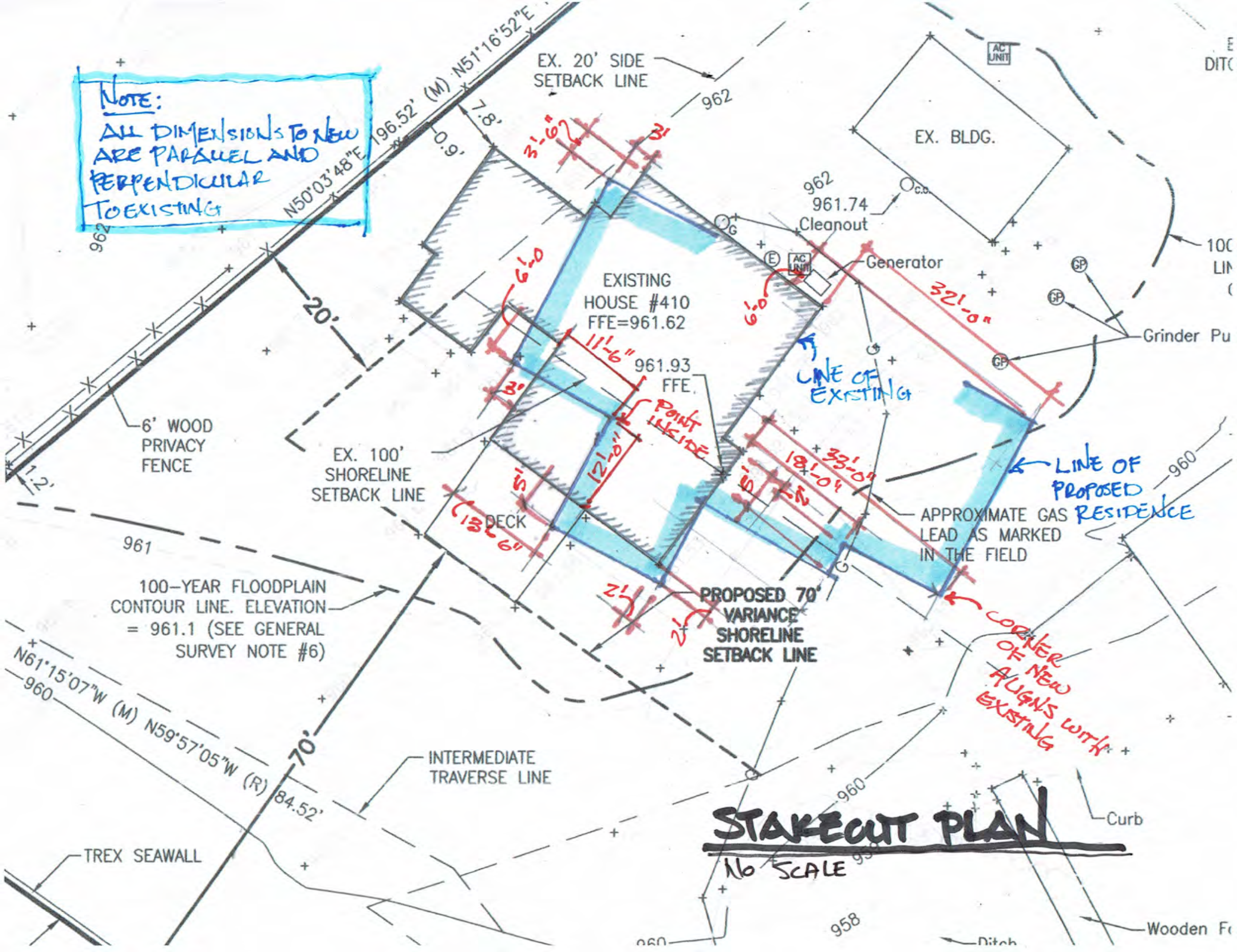
SHEET NO.: **A-1**

NOTICE
THIS DOCUMENT AND THE
SUBJECT MATTER CONTAINED
HEREIN IS PROPRIETARY. NO
USE, IN WHOLE OR PART,
MAY BE MADE WITHOUT
PRIOR WRITTEN CONSENT OF
JON SARKESIAN ARCHITECTS,
P.C. ALL RIGHTS ARE
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RESERVED.
COPYRIGHT © 2025
JON SARKESIAN
ARCHITECTS, P.C.

412 S. Washington Ste. 300
Royal Oak, MI 48067
ph 248-368-3332

**JON SARKESIAN
ARCHITECTS, P.C.**

ALL DIMENSIONS TO NEW
ARE PARALLEL AND
PERPENDICULAR
TO EXISTING





2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Genoa Township Zoning Board of Appeals
FROM: Carrie Aulette, Zoning Official
DATE: February 26, 2025
RE: ZBA 25-06

File Number: ZBA#25-06

Site Address: 410 S Hughes

Parcel Number: 4711-03-300-011

Parcel Size: 9.642 acres

Applicant: Jill Bianco & Debbie Marshall

Property Owner: Same as applicant

Information Submitted: Application, site plan, building plans

Request: Dimensional Variance

Project Description: Applicant is requesting a shoreline setback variance to construct a new home.

Zoning and Existing Use: SR (Suburban Residential), Single Family Residential

Other:

Public hearing was published in the Livingston County Press and Argus on Sunday March 3, 2025 and 300-foot mailings were sent to any real property within 300 feet of the property in accordance with the Michigan Zoning Enabling Act.

Background

The following is a brief summary of the background information we have on file:

- Per Assessing records, the existing home was built in 1950
- See Record Card.
- The property is serviced by private septic and well.
- The property has recently been rezoned from PRF to SR.

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford

Terry Croft

Diana Lowe

Jeff Dhaenens

MANAGER

Kelly VanMarter

The applicant is proposing to demolish the current home and construct a new home that will be attached to an existing accessory building on the property. Applicant is requesting a shoreline setback variance. The proposed home does not require a height variance.

Applicant has consulted with staff to determine the least amount necessary for a variance request.

Variance Requests

The following are the various sections of the zoning ordinance that variances are being requested from:

Table 3.04.02 Shoreline Setback	
Condition	Required Setback from Shoreline or Ordinary High-Water Mark of a Lake*
	Principal Building
Sites lacking public sanitary sewer	Minimum 100 feet

Section 03.04.02: Required Setback from Shoreline or Ordinary High-Water Mark.

Required Shoreline Setback: 100'

Proposed Shoreline Setback: 70'

Proposed Variance Amount: 30'

Summary of Findings of Fact- After reviewing the application and materials provided, I offer the possible findings of fact for your consideration:

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** – Strict compliance with the shoreline setback would prevent the applicant from constructing the new home. There are other homes in the vicinity that have further reduced shoreline setbacks than what the applicant is proposing. Granting of this variance would do substantial justice to the applicant and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and in the vicinity of the subject parcel.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the topography of the lot. There are wetland areas on this lot that reduces the area that can be built on. The applicant worked with the Livingston County Environmental Health Department to determine where the septic system could be placed as this parcel is not able to be serviced by the municipal sewer system. By demolishing what is currently there and building a new home attached to a current accessory building the applicant will be removing non-conformities on the property while maintaining the natural features of the lot. The variance request is not self-created.
- (c) Public Safety and Welfare** – The granting of this variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase

the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

(d) Impact on Surrounding Neighborhood – The proposed variance would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood. The proposed new home will be an improvement of what was previously on both lots.

Recommended Conditions

If the Zoning Board of Appeals grants the variance request staff recommends the following conditions be placed on the approval:

1. Structure must be guttered with downspouts.
2. Must maintain 25' natural features setback.
3. Building height cannot exceed 25 feet.

Ms. Hunt stated that the township attorney has reviewed this resolution, and it is appropriate to approve.

Moved by Walker, supported by Deaton, to approve Resolution 250106 entitled "Resolution Regarding Minimal Tax Overpayments" as submitted by the Township Treasurer. **The motion carried unanimously with a roll call vote (Hovarter - yes, Soucy - yes; Deaton - yes; Hunt - yes; Reiber - yes; Walker - yes; Spicher - yes)**

10. Request for the introduction of proposed Ordinance Number Z-25-02 regarding zoning map amendments involving 9.76 acres of land located at 410 S. Hughes Road (parcel 4711-03- 300-011) to rezone from Public Recreation Facilities (PRF) to Suburban Residential (SR) and to set the meeting date for considering the proposed ordinance for adoption before the Township Board on Tuesday, January 21, 2025.

Ms. VanMarter reviewed the process for zoning amendments.

Ms. Deaton stated that she considered this area residential. She asked if the existing house will be taken down and more homes will be built. A septic field was installed a couple of months ago. Will there be more septic fields installed? Should this be required to be connected to municipal sewer. She is not in favor of a septic system on the lake. Ms. VanMarter stated at this time, the owner intends to only have one home on the property. There will only be one septic field. She added that the property is 9.76 acres, and it is not all buildable. One acre lots are the minimum required in this zoning district. The nearest sewer has capacity issues so extending it to this property has challenges. Also, if the property is connected to municipal sewer, the lot sizes can be reduced to ½ acre minimum, where with the septic systems it would be one acre lots.

Mr. Soucy asked about the history of this property. Ms. VanMarter stated this was the caretaker's residence for the outdoor resort, which is why it is zoned the same as the outdoor resort. It was sold separate from the resort and has continued to be occupied and used as a single-family residence.

Mr. Reiber questioned if the zoning change will allow them to demolish the house and build a new one. Ms. VanMarter stated, yes, it is currently being used as a single-family home, which is non-conforming in this zoning district. If it is rezoned, a home would be a permitted use of the property.

Mr. Dhaenens asked to speak. He stated the Planning Commission spent a lot of time discussing this because the sewer system is so close to it, but a lot of it is not buildable. If it was split, there are capacity issues with the sewer system. Dr. Tatara confirmed this.

Genoa Charter Township Board Meeting

January 6, 2025

Approved Minutes

Ms. VanMarter stated that when the item is brought back to the Board for action, there will be more information provided from the consultants, fire authority, etc.

Moved by Hovarter, supported by Hunt, to introduce proposed Ordinance Number Z-25-02 regarding zoning map amendments involving 9.76 acres of land located at 410 S. Hughes Road (parcel 4711-03- 300-011) to rezone from Public Recreation Facilities (PRF) to Suburban Residential (SR) and to set the meeting date for considering the proposed ordinance for adoption before the Township Board on Tuesday, January 21, 2025. **The motion carried unanimously.**

11. Request for approval of the Genoa Charter Township Principles of Governance.

Ms. VanMarter reviewed the document and stated that it would be a nice document for this Board to adopt to show its commitment to these items.

Moved by Soucy, supported by Deaton, to adopt the Genoa Charter Township Principles of Governance. **The motion carried unanimously.**

Board Comments

Mr. Reiber would like to have a discussion topic for the next meeting regarding compiling an inventory of vacant properties and lots along Grand River. It is important that the Township knows what is preventing them from being occupied.

Ms. Hovarter asked for an update on redoing the Master Plan. Ms. VanMarter stated she received a proposal from Giffels Webster, and the cost was very high, so she needs to follow up with them.

Adjournment

Moved by Walker, supported by Soucy, to adjourn the meeting at 8:08 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas
Recording Secretary

Approved: Janene Deaton, Clerk
Genoa Charter Township

Kevin Spicher, Supervisor
Genoa Charter Township

2. Request to approve the January 6, 2025 regular meeting minutes. (Moved from the Consent Agenda)

Mr. Walker noted changes to be made.

Moved by Walker, supported by Hovarter, to approve the January 6, 2025 regular meeting minutes as amended. **The motion carried unanimously.**

3. Consideration of a recommendation for approval and adoption of proposed Ordinance Number Z-25-02 regarding zoning map amendments involving 9.76 acres of land located at 410 S. Hughes Road (parcel 4711-03-300-011) to rezone from Public Recreation Facilities (PRF) to Suburban Residential (SR).
a. Disposition of Rezoning Ordinance Z-25-02 (roll call)
b. Disposition of Environmental Impact Assessment (dated 10/22/24)

Mr. Brent LaVanway of Boss Engineering and Ms. Jill Bianco, the property owner, were present. Mr. LaVanway reviewed the request and provided the details of the property.

Supervisor Spicher asked how much of the property is buildable. Mr. LaVanway stated approximately three acres are buildable.

Ms. Deaton asked if the applicant intends to put only one home or split the property and build more houses. Ms. Bianco stated she will only be building one home. Ms. Deaton asked if the new septic system is appropriate for the new home. Ms. Bianco stated she told them how big the home is, and they dug the septic based on that. Mr. LaVanway stated there is no municipal sewer in the area.

Ms. Hunt stated that both the Township Planning Commission and the Livingston County Planning Commission recommended approval.

Commissioner Reiber asked if Ms. Bianco will be living in the home and she answered, "yes".

Ms. VanMarter stated that the plans show a 50-foot front yard setback from the water, but this zoning requires a 100-foot setback. That is being met; however, she would like the plan revised so it is correct in the file. There is a stream along the property that is also a regulated wetland so she would like that noted on the plans. Additionally, Item B of the Environmental Impact Assessment states there is a 9.76 area of wetland. That is not correct. Mr. LaVanway agreed to make all those changes.

Ms. Deaton asked if the new home will be built in the same location as the existing one. Ms. Bianco said yes, but it will be a bit bigger.

Moved by Soucy, supported by Hunt, to approve and adopt Ordinance No. Z -25-02 to rezone parcel 4711-03-300-011 from Public Recreation Facilities (PRF) to Suburban Residential (SR).

The proposed amendment to the zoning map is consistent with Section 22.04 of the Township Zoning Ordinance and the request is consistent with Township's future land uses map, goals of the Township, and will not have a negative impact on the citizens of the Township.

The motion carried unanimously with a roll call vote (Walker - yes; Reiber - yes; Hunt - yes; Deaton yes; Soucy - yes; Hovarter - yes; Spicher - yes)

Moved by Soucy, supported by Hunt, to approve the Environmental Impact Assessment dated October 22, 2024 to rezone 410 S. Hughes Road, parcel 4711-03- 300-011 from Public Recreation Facilities (PRF) to Suburban Residential (SR), with the following condition:

- Item B of the Environmental Impact Assessment shall be revised to state the correct area of wetland on the site.

The motion carried unanimously.

4. Request for approval to renew the Cropland Agreement for 2025 with Cathy and Tim Esper to maintain the historical agricultural use of 50.5 acres of fields located on parcel 4711-23-100-005 with revenue to be placed in Parks and Recreation Fund line item #208-000-434- 001.

Ms. VanMarter reviewed the agreement that the Township has with Cathy and Tim Esper. They have been farming this land for many years so when the Township purchased it, they requested to continue to farm it. Last year, the Township yielded \$2,777.50 in revenue from the farming activities here.

Mr. Soucy questioned if \$55 per acre is a fair price. Supervisor Spicher stated that it is. Mr. Reiber likes that it will continue to be an agricultural use.

Moved by Walker, supported by Hunt, to approve the Cropland Agreement for 2025 with Cathy and Tim Esper to maintain the historical agricultural use of 50.5 acres of fields located on parcel 4711-23-100-005 with revenue to be placed in Parks and Recreation Fund line item #208-000-434-001. **The motion carried unanimously.**

5. Consideration of a request to authorize the Township Supervisor to execute a Letter of Engagement with Foster Swift to act as special counsel in regard to the validity of the Innovation Park Planned Unit Development Agreement and the S. Latson Road area.

Ms. VanMarter stated Staff is recommending Foster Swift as the counsel in regard to the validity of the Innovation Park Planned Unit Development Agreement and the S. Latson Road area.

Mr. Soucy asked if there is a conflict of interest with the attorney. Ms. VanMarter stated they are required to determine there is no conflict of interest prior to them submitting a letter of intent, which they have done.

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
November 12, 2024**

MINUTES

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Eric Rauch, Jeff Dhaenens, Tim Chouinard, Glynis McBain and Greg Rassel. Also present were Planning Director Amy Ruthig, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner McCreary, supported by Commissioner Rauch, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

Commissioner McCreary stated she has a conflict of interest for Open Public Hearing #1. She left the room at 6:31 pm.

CALL TO THE PUBLIC:

The call to the public was made at 6:32 pm with no response.

OPEN PUBLIC HEARING #1...Consideration of a rezoning application and environmental impact assessment to rezone 410 s. Hughes Road (parcel 4711-03-300-011) (9.76 acres) from Public Recreation Facilities (PRF) to Suburban Residential (SR). The property is located on the west side of Hughes Road south of Golf Club. The request is petitioned by Jill Bianco.

A. Recommendation of Environmental Impact Assessment (10-22-24)

B. Recommendation of Rezoning

Mr. Brent LaVanway of Boss Engineering and Ms. Jill Bianco, the applicant, were present. Mr. LaVanway stated the property is approximately 10 acres, most is wetlands, and currently zoned PRF (Public and Recreational Facilities). They would like to have it rezoned to SR (Suburban Residential) for future development in addition to the existing house.

Mr. Borden reviewed his letter dated November 5, 2024.

1. The subject site is planned as Small Lot Residential, which is consistent with Suburban Residential Zoning.
2. The request is generally consistent with the goals and objectives of the Township's Master Plan.

3. The request is anticipated to be compatible with the environmental conditions of the site and the surrounding area.
4. A new residence cannot be built as currently zoned.
5. The host of uses permitted in Suburban Residential are generally compatible with existing and planned uses in the surrounding area.
6. The Commission should consider any comments provided by the Township Engineer, Utilities Director and/or Fire Authority with respect to impacts on infrastructure and services.
7. In his opinion, rezoning is appropriate based on the Master Plan and site conditions, and is more appropriate than a text amendment allowing single-family residences in PRF.
8. He noted that the existing nonconforming structures will still be non-conforming but will become closer to compliance with the rezoning.

Ms. Byrne stated that since no improvements are proposed and the proposed zoning is a less intense use, she has no concerns.

The Brighton Area Fire Authority Fire Marshal's letter dated October 7, states that he has no opposition to the rezoning.

Commissioner Dhaenens asked what the applicant envisions being built there. Ms. Bianco stated she is hoping to remove the existing cottage and build a 2,300-2,500 square foot home. There is a new septic field and they will be digging a well. She will only have one home on the property. He wants to ensure that there is still access for the dam. His concern is that there will not be municipal utilities for this property. Ms. Ruthig stated the applicant would need to receive an easement from a neighboring private property to run the sewer to their property. Commissioner Rauch understands Commissioner Dhaenens' concerns, but there is a hardship here and the municipal utilities do not seem to be necessary. Commissioner Chouinard has reviewed this property previously and there is no way to get sewer here without an easement. Ms. Ruthig stated Dr. Tatara has also reviewed it and agrees with Commissioner Chouinard.


Commissioner Rauch stated the standards in Low Density Residential are less restrictive than Suburban Residential so looking at the neighboring properties, this could be a transitional zoning and not spot zoning. Mr. Borden stated there are also limitations to the uses due to there not being municipal utilities. It is not spot zoning.

The call to the public was opened at 6:48 pm with no response.

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Environmental Impact Assessment dated October 22, 2024 to rezone 410 S. Hughes Road. **The motion carried unanimously.**

Moved by Commissioner Rauch, supported by Commissioner Chouinard, to recommend to the Township Board approval of the Rezoning of 410 S. Hughes Road from Public Recreation Facilities (PRF) to Suburban Residential (SR). **The motion carried unanimously.**



Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.						
BANFIELD RAYOLA O REVOC TR	BIANCO JILL REV TRUST	610,000	11/15/2017	WD	08-ESTATE	2017R-034534	BUYER/SELLER	100.0						
BANFIELD, RAYOLA	BANFIELD RAYOLA O REVOC TR	0	11/10/1987	QC	21-NOT USED/OTHER	1267/0201	BUYER/SELLER	0.0						
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: PRF	Building Permit(s)		Date	Number	Status					
410 S HUGHES RD		School: HOWELL PUBLIC SCHOOLS			Interior Work/Repairs		04/25/2022	PW22-050	7 FINAL BL					
		P.R.E. 100% 01/09/2024			Other: See Work Descriptio		09/30/2021	PW21-096						
Owner's Name/Address		MAP #: V25-06			RES MISCEL		10/27/2016	W16-149	NO START					
BIANCO JILL REV TRUST		2025 Est TCV 975,646 TCV/TFA: 660.56			RES MISCEL		10/20/2004	P04W-109	NO START					
410 S HUGHES RD		X	Improved	Vacant	Land Value Estimates for Land Table 4300.4300 LAKE CHEMUNG LAKE FRONT									
HOWELL MI 48843		Public Improvements			* Factors *									
Tax Description		X			Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value	
SEC 3/4 T2N R5E COMM W1/4 COR SEC 3, TH E					A LAKEFRONT	40.00	700.00	1.0000	1.0000	3400	100		136,000	
573 FT, TH S 8*E 437.23 FT TO POB, TH S					B SURPLUS LF	560.00	700.00	1.0000	1.0000	2300	50	WETLAND SWAMP AREA	644,000	
8*E 166.44 FT, TH S33*E 186.6 FT, TH					600 Actual Front Feet, 9.64 Total Acres Total Est. Land Value = 780,000									
S54*W 813.91 FT, TH N41*W 288.5 FT, TH														
N30*W 110.16 FT, TH N36*W 79.64 FT, TH		X												
N60*W 83.44 FT, TH N51*E 196.32 FT, TH														
N71*E 784.46 FT TO POB. CONT. 9.5 AC M/L														
COMB. 10/85 FROM OMITTED														
Comments/Influences														
		Topography of Site												
		Level												
		Rolling												
		Low												
		High												
		Landscaped												
		Swamp												
		Wooded												
		Pond												
		Waterfront												
		X	Ravine											
		Wetland												
		Flood Plain												
		X	REFUSE											
		Who	When	What	Year									
4711-03-300-011		LG	06/27/2022	INSPECTED	2025	390,000	97,800	487,800			434,257C			
06/27/2022		JB	10/26/2021	INSPECTED	2024	300,800	120,400	421,200			421,200S			
The Equalizer. Copyright (c) 1999 - 2009.		JB	11/09/2016	INSPECTED	2023	295,200	112,300	407,500			407,500S			
Licensed To: Township of Genoa, County of Livingston, Michigan		JB			2022	306,000	93,900	399,900			399,900S			

Building Type				(3) Roof (cont.)				(11) Heating/Cooling				(15) Built-ins				(15) Fireplaces				(16) Porches/Decks				(17) Garage							
X Single Family Mobile Home Town Home Duplex A-Frame				Eavestrough Insulation 0 Front Overhang 0 Other Overhang				X Gas WoodOil CoalElec. Steam				X Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling				Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System				Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas				Area 96 256WSEP (1 Story) Treated Wood				Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished ?: Auto. Doors: 0 Mech. Doors: 0 Area: 384 % Good: 0 Storage Area: 0 No Conc. Floor: 0			
X Wood Frame				(4) Interior																											
Building Style: C				Drywall PaneledPlaster Wood T&G																											
				Trim & Decoration																											
Yr Built 1950		Remodeled 0		ExXOrdMin																											
Condition: Good				Size of Closets																											
				LgXOrdSmall																											
Room List				Doors:SolidXH.C.				Central Air Wood Furnace																							
Basement 1st Floor 2nd Floor 3 Bedrooms				(5) Floors				(12) Electric																							
				Kitchen: Other: Other:				0 Amps Service																							
								No./Qual. of Fixtures																							
								ExXOrdMin																							
(1) Exterior				(6) Ceilings				No. of Elec. Outlets																							
								ManyXAve.Few																							
								(13) Plumbing																							
								1 Average Fixture(s) 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan																							
(2) Windows				(7) Excavation																											
X Many Avg. Few		X Large Avg. Small		Basement: 0 S.F. Crawl: 0 S.F. Slab: 1477 S.F. Height to Joists: 0.0																											
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens				(8) Basement																											
				Conc. Block Poured Conc. Stone Treated Wood Concrete Floor																											
				(9) Basement Finish																											
(3) Roof				Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)																											
X Gable Hip Flat		Gambrel Mansard Shed						1 Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic																							
X Asphalt Shingle				(10) Floor Support																											
Chimney: Brick				Joists: Unsupported Len: Cntr.Sup:																											

Building Type	Farm Utility Buildings				
Year Built					
Class/Construction	D,Frame				
Quality/Exterior	Average				
# of Walls, Perimeter	4 Wall, 120				
Height	14				
Heating System	No Heating/Cooling				
Length/Width/Area	34 x 26 = 884				
Cost New	\$ 21,887				
Phy./Func./Econ. %Good	78/100/100 78.0				
Depreciated Cost	\$ 17,072				
+ Unit-In-Place Items	\$ 0				
Description, Size X Rate X %Good = Cost Itemized -> Unit-In-Place -> Items ->					
E.C.F.	X 1.000				
% Good	78				
Est. True Cash Value	\$ 17,072				
Comments:					
Total Estimated True Cash Value of Agricultural Improvements / This Card: 17072 / All Cards: 17072					

**GENOA CHARTER TOWNSHIP
ZONING BOARD OF APPEALS
February 18, 2025 - 6:30 PM**

MINUTES

Call to Order: Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Marianne McCreary, Craig Fons, Michele Kreutzberg, Bill Rockwell, Rick Soucy, and Carrie Aulette, Zoning Official.

Pledge of Allegiance: The Pledge of Allegiance was recited.

Introductions: The members of the Board and staff introduced themselves.

Election of Officers:

Moved by Rockwell, supported by Soucy, to retain Marianne McCreary as Chairperson. **The motion carried unanimously.**

Moved by Fons, supported by Kreutzberg, to retain Bill Rockwell as Vice-Chairperson. **The motion carried unanimously.**

Conflict of Interest: None

Approval of the Agenda:

Moved by Board Member Rockwell, supported by Board Member Kreutzberg, to approve the agenda as presented. **The motion carried unanimously.**

Call to the Public:

The call to the public was made at 6:33 pm with no response.

Chairperson McCreary reviewed the criteria necessary for a variance to be approved.

OLD BUSINESS:

1. 24-29...A request by Steven and Michelle VanPatten, 570 S. Hughes Road, for front yard variance and any other variances deemed necessary by the Zoning Board of Appeals, to construct a 6-foot-tall fence.

Mr. and Mrs. VanPatten were present. Mrs. VanPatten stated that they feel the hardship is that there is no ability to use any part of their property as a backyard. It is not typical to have two front yards. When they purchased the home in 2005, the house had been empty and was unlivable. They have increased the value of the neighborhood by purchasing the home. If they

had known it did not have a backyard, they would not have purchased it. There is not enough space on the side yards to fence them in to use as a backyard.

Chairperson McCreary stated that she is not in favor of approving the variance. Hilltop is the front yard for the applicant's neighbors behind them. This is setting a precedent, especially in this neighborhood.

Board Member Rockwell sees a justification for granting a variance to allow a fence; however, he is not in favor of it being 75 percent impervious. That is a want vs. a need. Board Member Kreutzberg agrees. One criterion for approving a variance is that it is the least amount necessary, and this fence design is not.

Board Member Soucy stated that the township is opening up the Master Plan for review, and the two front yard designation is an item that he will ask to be addressed. However, the applicant has not made any concessions to the fence size or design since they were before this board in December.

Board Member Fons does not want this board to determine what is a front yard and what is a backyard on a case-by-case basis.

The Board discussed different fence design options with the applicant. The applicant agreed to change the design of the fence so as not to exceed the maximum impervious surface of 49 percent.

The call to the public was made at 7:01 pm with no response.

Moved by Board Member Kreutzberg, supported by Board Member Soucy, to approve Case #24-29 for Steven and Michelle VanPatten of 570 S. Hughes Road for a front yard and height variance of three feet from the required three feet for a fence height of six feet to construct a six-foot fence in the front yard that abuts Hilltop Drive, based on the following findings of fact:

- Strict compliance with the setbacks would restrict use of the property.
- This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties and homes in the area, which feature non-permitted fencing.
- The variance will impact applicant's ability to enjoy space, yet there are no extraordinary circumstances to the property other than its location on both a public and a private platted road and the home's location on a narrow lot presenting no other sizable space. The variance for the yard is not self-created.
- Granting this variance would not impair adequate light or air to adjacent properties, would not increase congestion or increase danger or fire or threaten public safety or welfare.
- The variance would have little or no impact on the appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

Genoa Township Zoning Board of Appeals Meeting
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1. Staff must approve the impervious fencing not to exceed 49 percent.
2. The fence must not be taller than 6 feet tall.
3. The fence must be entirely located on the applicant's property.
 4. The fence shall be installed and maintained free from defects, safety hazards and collapse, and shall be kept in good repair

The motion carried (Kreutzberg - yes; Soucy - yes; Rockwell - yes; McCreary - no; Fons - no).

NEW BUSINESS:

1. 25-02...A request by Gary Potts of Professional Permits, 1015 S Latson, seeking a variance from **Article 16.1-number of allowed walls signs**, and **16.07.05 number of allowed directional signs** and other variances deemed necessary by the Zoning Board of Appeals, for multiple building signs and directional signs on site for a new car wash.

Mr. Garry Potts of Professional Permits was present on behalf of Mr. Car Wash. He stated they will be removing the directional sign noted as D3 on the plans and the "Mister" sign in the center of the west facade. The need for so many directional signs is to provide critical wayfinding for vehicles on the site.

Chairperson McCreary noted that the plan submitted and recommended for approval by the Planning Commission did not show these many signs. Mr. Potts stated that the plan submitted only had "placeholder" signs. It did not have the complete sign package. He noted that they can put dimmers on the signs.

Board Member Rockwell is not in favor of more signs than what is allowed in the ordinance. If this is allowed, other businesses will want additional signs. Mr. Potts explained that the directional signs are not excessive. They have over 500 locations and these directional signs are needed.

After the Board and the applicant reviewed the proposed signs, the need for the wall sign square footage variance was eliminated and the directional sign variance was changed from five to two.

Board Member Fons stated the need for these variances is self-created. He does not see the practical difficulty or extraordinary circumstances. The applicant told the Planning Commission that they would meet the sign ordinance and now they are requesting excessive variances. It is not the role of the ZBA to determine which signs are allowed or needed. Mr. Potts reiterated that they know the signs that are needed for their business.

The call to the public was made at 8:12 pm with no response.

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Board Member Kreutzberg understands this is a unique site and it is a commercial area. She would be in favor of this; however, she would like to have the new total square footage of wall signs and the number of directional signs.

Board Member Soucy stated the discussion has resulted in a reasonable amount of directional signs, and the need for the wall sign square footage variance has been eliminated. He agrees the directional signs are necessary.

Board Member Rockwell feels the request is still excessive.

Moved by Board Member Rockwell, supported by Board Member Kreutzberg, to table Case #25-02 for Garry Potts of Professional Permits until the March 18, 2025 ZBA meeting to allow an opportunity for the Township Planner and Staff to review and return with a clear list of the variances the Zoning Board of Appeals are approving. **The motion carried unanimously**

Administrative Business:

1. Approval of minutes for the January 14, 2025 Zoning Board of Appeals meeting.

Moved by Board Member Soucy, supported by Board Member Fons, to approve the minutes of the January 14, 2024 Zoning Board of Appeals meeting as presented. **The motion carried unanimously.**

2. Correspondence

Ms. Aulette stated there will be four cases on the March meeting agenda.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

Moved by Board Member Soucy, supported by Board Member Rockwell, to adjourn the meeting at 8:51 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary