

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION PUBLIC HEARING
OCTOBER 15, 2024
TUESDAY
6:30 P.M.
AGENDA**

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

DECLARATION OF CONFLICT OF INTEREST:

CALL TO THE PUBLIC: (Note: The Board reserves the right to not begin new business after 10:00 p.m.)

OPEN PUBLIC HEARING #1... Consideration for a rezoning application, PUD agreement, environmental impact assessment, PUD conceptual and preliminary site condo plan to rezone 127.57 acres from Agriculture (AG) to Low-Density Residential (LDR) with a RPUD overlay to allow for a proposed 58-unit single-family site condominium development located at the northwest corner of Challis Road and Bauer Road. The proposed rezoning is for the following parcels: 4711-23-400-008, 4711-23-400-007, 4711-23-400-001 and 4711-23-300-003. The request is submitted by Pulte Homes of Michigan.

- A. Recommendation of Rezoning to LDR and PUD application for RPUD
- B. Recommendation of PUD agreement
- C. Recommendation of Environmental Impact Assessment (9-27-24)
- D. Recommendation of Conceptual PUD (9-27-24)
- E. Recommendation of Preliminary Site Plan (9-24-24)

OPEN PUBLIC HEARING #2... Consideration of special land use application, environmental impact assessment and site plan for a contractor's yard with outdoor storage of equipment, machinery, and fuel tank storage on a previously developed property located at 3080 Toddiem Drive Howell, MI (4711-08-100-009). The request is petitioned by Wayne Perry, Desine, Inc.

- A. Recommendation of Special Use Permit
- B. Recommendation of Environmental Impact Assessment (7-22-24)
- C. Recommendation of Site Plan (7-17-24)

OPEN PUBLIC HEARING #3... Consideration for an environmental impact assessment and sketch plan for Drip Car Wash for site improvements including 3 pay lanes, 17 vacuum stations, dumpster enclosure and landscaping to the existing car wash. The project is located at 3200 E. Grand River Avenue, west of Latson Road on the south side of Grand River Avenue. The request is submitted by Abro Holding Howell 2.

- A. Disposition of Sketch Plan (10-2-24)

OPEN PUBLIC HEARING #4... Consideration for an amended environmental impact assessment and site plan to add 5 additional vacuum stations, relocate vacuum stations and other site improvements due to additional 75 feet of frontage for the previously approved Soapy Bucket car wash. The project is located at 1415 Lawson Drive Howell, east of Latson road, south of Grand River Aveue. The request is submitted by Springborn Properties.

- A. Recommendation of amended Environmental Impact Assessment (9-23-24)
- B. Disposition of Site Plan Amendment (9-24-24)

ADMINISTRATIVE BUSINESS:

- Staff Report
- Approval of September 9th and September 17th, 2024 Planning Commission meeting minutes
- Member discussion
- Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented. Anyone speaking on an agenda item will be limited to 2 minutes.

GENOA CHARTER TOWNSHIP

Application for Re-Zoning



APPLICANT NAME: PULTE HOMES OF MICHIGAN, LLC ADDRESS: 2800 LIVERNOIS ROAD, BLDG D

OWNER NAME: SEE ATTACHED ADDRESS: SUITE 320, TROY MI 48083

PARCEL #(s): SEE ATTACHED PRIMARY PHONE: (248) 820-7306

EMAIL 1: paul.schyck@pultegroup.com EMAIL 2: joe.skore@pultegroup.com

We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:

A. REQUIRED SUBMITTAL INFORMATION

1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of consent from the property owner;
3. It is desired and requested that the foregoing property be rezoned from:

AG to LDR/RPUD

4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands, wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites, and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental impact assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.

B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:

1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?

WE ARE REQUESTING THE PROPERTY BE REZONED LOW DENSITY (RPUD)

RESIDENTIAL WHICH IS CONSISTANT WITH THE MASTER PLAN

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

THE PROPERTY IS PARTIALY WOODED WITH INTERSPERSED WETLANDS AND ROLLING UPLAND AREAS THAT CONSIST OF MAINLY COARSE SANDS AND GRAVELS. GROUNDWATER IS GENERALLY DOZENS OF FEET BELOW THE UPLAND AREAS AND THE WETLAND INUNDATION IS ONLY PERIODIC.

3. Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?

THE CURRENT AG ZONING REQUIRES 10 AC MIN NON-FARM DWELLINGS WHICH IS NOT CONSISTENT WITH ADJACENT PROPERTIES OR THE MASTER PLAN. 10 AC MIN LOT SIZES WOULD ONLY YEILD 12 A LOT DENSITY VS. 58 LOTS AS PROPOSED

4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

LDR WOULD BE COMPATIBLE WITH ADJACENT RESIDENTIAL PROPERTIES AND NOT ADVERSELY EFFECT THE ENVIRONMENTAL QUALITY OF THE AREA. AT LESS THAN 0.5 UNITS PER ACRE TRAFFIC WOULD NOT BE ADVERSLY EFFECTED & NEW BUILD COMPARABLE HOUSING WOULD ENHANCE PROPERTY VALUES

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?

THE LOW DENSITY RESIDENTIAL PROPOSAL WILL NOT ADVERSELY EFFECT EMERGENCY SERVES AS IT CONSISTENT WITH THE MASTER PLAN AND THE TOWNSHIPS GOALS. ALSO, SEPTIC AND WELLS ARE PROPOSED WITH NO IMPACT ON WATER AND SEWER CAPACITY

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

SUPPLY IS DEFICIENT FOR SINGLE FAMILY HOUSING IN MICHIGAN IN GENERAL AND THIS PROPOSAL WILL INCREASE SINGLE FAMILY HOMES WHILE PRESERVING OVER HALF OF THE SITE AS OPEN SPACE.

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

LDR IS CONSISTENT WITH THE MASTER PLAN AND A REZONING WILL FULFILL A TOWNSHIP GOAL.

8. Describe any deed restrictions which could potentially affect the use of the property.

WE ARE NOT AWARE OF ANY SUCH DEED RESTIRCTIONS.

C. AFFIDAVIT

The undersigned says that they are the DEVELOPER (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: PULTE HOMES OF MICHIGAN LLC

ADDRESS: 2800 LIVERNOIS ROAD, TROY MI 48083, BLDG D, SUITE 320


SIGNATURE

The following contact should also receive review letters and correspondence:

Name: STEVE ALLEN Email: sallen@umlorgroup.com

Business Affiliation: UMLOR GROUP

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

PROJECT NAME: Legacy Hills

PROJECT LOCATON & DESCRIPTION: North of Challis between Bauer Rd and grand Circle Drive

SIGNATURE: 

DATE: 8/24

PRINT NAME: Paul Schyck

PHONE: 248-820-7306

COMPANY NAME & ADDRESS: Pulte Homes of MI LLC

2800 Livernois Troy MI 48083 Bldg D Suite 320



**GENOA CHARTER TOWNSHIP APPLICATION
Planned Unit Development (PUD)**

APPLICANT NAME: Pulte Homes of Michigan, LLC

APPLICANT EMAIL: paul.schyck@pultegroup.com

APPLICANT ADDRESS & PHONE: 2800 Livernois Road Bld D Suit 320 Troy MI 48083

OWNER'S NAME: See Attached

OWNER ADDRESS & PHONE: See Attached . ()

TAX CODE(S): See Attached

QUALIFYING CONDITIONS (To be filled out by applicant)

1. A PUD zoning classification may be initiated only by a petition.
2. It is desired and requested that the foregoing property be rezoned to the following type of PUD designation:
 - Planned Unit Development (RPUD)
 - Planned Industrial District (PID)
 - Mixed Use Planned Unit Development (MUPUD)
 - Redevelopment Planned Unit Development (RDPUD)
 - Non-residential Planned Unit Development (NRPUD)
 - Town Center Planned Unit Development (TCPUD)
3. The planned unit development site shall be under the control of one owner or group of owners and shall be capable of being planned and developed as one integral unit.

EXPLAIN Pulte Homes of Michigan, LLC will be the sole owner and is capable of developing the site as one integral unit.

4. The site shall have a minimum area of twenty (20) acres of contiguous land, provided such minimum may be reduced by the Township Board as follows:
 - A. The minimum area requirement may be reduced to five (5) acres for sites served by both public water and public sewer.
 - B. The minimum lot area may be waived for sites zoned for commercial use (NSD, GCD or RCD) where the site is occupied by a nonconforming commercial, office or industrial building, all buildings on such site are proposed to be removed and a new use permitted within the underlying zoning district is to be established. The Township Board shall only permit the PUD on the smaller site where it finds that the flexibility in dimensional standards is necessary to allow for innovative design in redeveloping the site and an existing blighted situation will be eliminated. A parallel plan shall be provided showing how the site could be redeveloped without the use of the PUD to allow the Planning Commission to evaluate whether the modifications to dimensional standards are the

minimum necessary to allow redevelopment of the site, while still meeting the spirit and intent of the ordinance.

C. The PUD site plan shall provide one or more of the following benefits not possible under the standards of another zoning district, as determined by the Planning Commission:

- preservation of significant natural or historic features
- a complementary mixture of uses or a variety of housing types
- common open space for passive or active recreational use
- mitigation to offset impacts
- redevelopment of a nonconforming site where creative design can address unique site constraints.

D. The site shall be served by public sewer and water. The Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area and the requirements of the County Health Department shall be met.

Size of property is 127.57 acres.

DESCRIBE BELOW HOW THE REQUESTED PUD DESIGNATION COMPLIES WITH AFOREMENTIONED MINIMUM LOT SIZE REQUIREMENTS.

The units will use on-site wastewater and individual wells that will meet or exceed Livingston County Health Department standards. Unit size will meet or exceed the revised ordinance amendment.

STANDARDS FOR REZONING TO PLANNED UNIT DEVELOPMENT (RESPOND HERE OR WITHIN THE IMPACT STATEMENT)

1. How would the PUD be consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area;

The Low Density Residential (RPUD) is consistent with the Master Plan.

2. The compatibility of all the potential uses in the PUD with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values;

The Low Density Residential (RPUD) would be compatible with adjacent residential properties and not adversely effect the environmental quality of the area. At less than 0.5 units per acre the traffic would not be adversely effected and new build comparable housing would enhance property values.

3. The capacity of infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township;

The Low Density Residential (RPUD) proposal will not adversely effect emergency services as it is consistent with the Master Plan and Township goals. Also, septic and wells are proposed with no impact on water and sanitary sewer capacity.

4. The apparent demand for the types of uses permitted in the PUD;
Supply is deficient for single family housing in Michigan in general and the proposal will
increase single family homes while preserving over half of the site as open space.

AFFIDAVIT

The undersigned says that they are the Developer (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.

BY: Pulte Homes of Michigan LLC *Paul Schyck*
ADDRESS: 2800 Livernois Road, Troy MI 48083 Bldg D, Suite 320

Contact Information - Review Letters and Correspondence shall be forwarded to the following:
Steve Allen of Umlor Group at sallen@umlorgroup.com
Name Business Affiliation E-mail



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PROJECT NAME: Legacy Hills
PROJECT LOCATON & DESCRIPTION: North of Challis between Bauer and Grand Circle Drive
SIGNATURE: *Paul Schyck* DATE: 8/2/21
PRINT NAME: Paul Schyck PHONE: 248-890-7306
COMPANY NAME & ADDRESS: Pulte Home of Michigan LLC
2800 Livernois T Troy MI 48083 Bldg D Suite 320



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: PULTE HOMES OF MICHIGAN LLC
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: see attached

SITE ADDRESS: _____ PARCEL #(s): _____

APPLICANT PHONE: () _____ OWNER PHONE: () _____

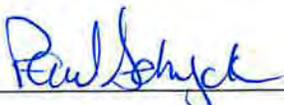
OWNER EMAIL: _____

LOCATION AND BRIEF DESCRIPTION OF SITE: Property is located on the north side of Challis Road between Dore & Bauer Roads

BRIEF STATEMENT OF PROPOSED USE: Single Family Residential Site Condominium

THE FOLLOWING BUILDINGS ARE PROPOSED: Single Family Housing Units

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: PULTE HOMES OF MI LLC 

ADDRESS: 2800 Livernois Road, Troy MI 48083 Bldg D Suite 320

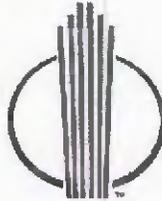
Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Steve Allen of Umlor Group at sallen@umlorgroup.com
Name Business Affiliation E-mail Address

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SIGNATURE: Paul Schyck DATE: 8/21/24
PRINT NAME: Paul Schyck PHONE: 248-820-7306
ADDRESS: Pulte Homes of MI LLC 2800 Livernois Rd, Troy MI 48083 Bldg D Suite 320



M. SHAPIRO
Real Estate Group

February 15, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: 127.59 Acres – Challis Road
Parcel ID's:
4711-23-300-003
4711-23-400-001
4711-23-400-007
4711-23-400-008

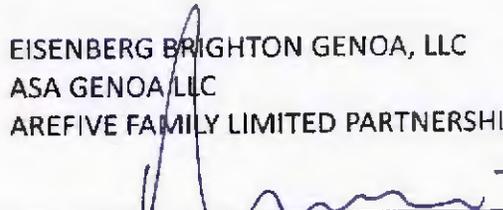
To Whom It May Concern:

Please accept this letter correspondence that the undersigned is the property owner of the above referenced parcel of land and hereby authorizes Pulte Homes of Michigan, LLC (Applicant) and the Umlor Group (Applicant's Engineer) to submit for any site planning approvals and/or construction permits as required for the proposed development of the subject property.

Please contact me at (248) 310-0180 should you have any questions.

Sincerely,

EISENBERG BRIGHTON GENOA, LLC
ASA GENOA, LLC
AREFIVE FAMILY LIMITED PARTNERSHIP


By: James M. Galbraith
Authorized Agent

JMG:Imm

Parcel Tax ID's:

4711-23-300-003

4711-23-400-001

4711-23-400-007

4711-23-400-008

Parcel address: Vacant Challis Road

Property Owners:

Asa Genoa, LLC

31550 Northwestern Hwy, Suite 220, Farmington Hills, MI 48334

Eisenberg Brighton Genoa, LLC (f/k/a Eisenberg Genoa, LLC)

37000 Grand River Ave, Suite 340, Farmington Hills, MI 48335

The Arefive Family Limited Partnership

6505 Legacy Woods Trail, West Bloomfield, MI 48322

LIBER 3168 PAGE 0472

RECORDED

2001 NOV -51P 3 26

NANCY HAVILAND
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI.
48843

LIVINGSTON COUNTY TREASURER'S CERTIFICATE
I hereby certify that there are no TAX
LIENS or TITLES held by the state or any
individual against the within description,
and all TAXES are shown as paid for five
years previous to the date of this instrument
or appear on the records in this
office except as stated.

11/02/01 *Thomas H. Hardy*
Thomas H. Hardy, Treasurer #5944
Sec. 105 Act 206, 1996 as Amended
01
THOSE NOT APPROVED

AFFIDAVIT

WARRANTY DEED 11/2

Michael Solarz and Susan Rabinovitz, as Trustees of The Max Solarz Trust under Agreement dated November 6, 1974, whose address is c/o Steven Rabinovitz, 26862 Woodward Avenue, Suite 200, Royal Oak, Michigan 48067, convey and warrant to Asa Genoa LLC, a Michigan limited liability company, and Eisenberg Genoa, LLC, a Michigan limited liability company, whose address is 2301 W. Big Beaver, Suite 777, Troy, Michigan 48084, an undivided one half (1/2) interest each as tenants in common, in Grantor's undivided ten (10%) percent interest as tenant in common, in the following described property situated in the Township of Genoa, County of Livingston, and State of Michigan:

SEE ATTACHED EXHIBIT A

for the sum of One Dollar (\$1.00) and other valuable consideration, subject to easements and building and use restrictions of record. Real Estate Transfer Tax Valuation Affidavit filed. Attach Révenue Stamps after recording.

This property may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

The Grantor grants to the Grantee the right to make the maximum number of divisions permitted under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

Dated as of the 30 day of August, 2001

Signed in presence of:

Signed by:

Sheldon C. Wright
SHILTON C. WRIGHT
Notary Public, Oakland County, MI
My Commission Expires Feb. 17, 2008

The Max Solarz Trust under Agreement dated November 6, 1974
By: *Michael Solarz*
Michael Solarz, Trustee
By: *Susan Rabinovitz*
Susan Rabinovitz, Trustee

STATE OF MICHIGAN)
)SS.
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 30 day of August, 2001, by Michael Solarz and Susan Rabinovitz, as Trustees of The Max Solarz Trust under Agreement dated November 6, 1974.

SHILTON C. WRIGHT
Notary Public, Oakland County, MI
My Commission Expires Feb. 17, 2008

Sheldon C. Wright
, Notary Public
County, Michigan
My Commission Expires:

✓ Drafted By and When
Recorded Return To:
Vicky Wood Kvicala, Esq.
Jacob & Weingarten
2301 W. Big Beaver, Suite 777
Troy, MI 48084

Send Subsequent Tax Bills To: Grantee

11-23-300-003 11-23-400-007
11-23-400-001 11-23-400-008
11-24-300-002

NU 394055-150
2050 KB/GT

LIBER 3168 PAGE 0473

**EXHIBIT A
LEGAL DESCRIPTION**

Commitment No.: NU-394055

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

PARCEL 1:

A part of the East 1/2 of the Southwest 1/4 of Section 23, Town 2 North, Range 5 East, Township of Genoa, Livingston County, Michigan, described as follows: Commencing at a point on the North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,376.04 feet from the South 1/4 corner of Section 23; running thence South 67 degrees 59 minutes 40 seconds West, 351.56 feet; thence South 29 degrees 59 minutes 40 seconds West, 312.00 feet; thence North 88 degrees 15 minutes 38 seconds West, 118.40 feet; thence South 43 degrees 22 minutes 25 minutes West, 158.00 feet; thence North 46 degrees 37 minutes 35 seconds West, 150.00 feet; thence South 68 degrees 32 minutes 25 seconds West, 555.00 feet; thence North 00 degrees 02 minutes 25 seconds East, 1,933.58 feet; thence South 89 degrees 37 minutes 35 seconds East, 1,331.64 feet along the East and West 1/4 line to the center of Section 23; thence South 00 degrees 03 minutes 25 seconds East, 1,311.69 feet along the North and South 1/4 line to the point of beginning.

PARCEL 2:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Commencing at the South 1/4 corner of Section 23; thence along the Section line North 89 degrees 01 minutes 54 seconds East, 781.00 feet to the point of beginning; thence North 00 degrees 58 minutes 05 seconds West, 918.05 feet; thence North 52 degrees 50 minutes 20 seconds West, 815.00 feet; thence South 67 degrees 59 minutes 40 seconds West, 126.44 feet to the North and South 1/4 line; thence along said North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,311.69 feet to the center of the Section; thence along the East and West 1/4 line, North 89 degrees 00 minutes 15 seconds East, 47.54 feet to the Southerly right-of-way line of the C & O Railroad; thence along said right-of-way line South 48 degrees 42 minutes 30 seconds East, 823.14 feet; thence continuing along said right-of-way line 741.63 feet on a curve to the left radius of 11,509.16 feet, chord South 50 degrees 33 minutes 16 seconds East, 741.50 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South line of Section 23; thence along the Section line South 89 degrees 01 minutes 54 seconds West, 454.95 feet to the point of beginning.

PARCEL 3:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Challis Road and Section line North 89 degrees 01 minutes 54 seconds East, 1,235.95 feet from the South 1/4 corner of said Section 23; running thence North 89 degrees 01 minutes 54 seconds East, 309.65 feet along the Section line; thence North 00 degrees 15 minutes 11 seconds East, 1,414.45 feet to the Southerly right-of-way line of the C & O Railroad; thence along the Southerly right-of-way line of the C & O Railroad Northwesterly 392.48 feet along the arc of a curve right, with a central angle of 01 degrees 57 minutes 14 seconds and a radius of 11,509.16 feet, the long chord of which bears North 53 degrees 22 minutes 38 seconds West, a distance of 392.46 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South Section line and the point of beginning.

PARCEL 4:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Challis Road and Section line North 89 degrees 01 minutes 54 seconds East, 1,545.60 feet from the South 1/4 corner of said Section 23; running thence North 89 degrees 01 minutes 54 seconds East, 1,110.30 feet along the Section line to the Southeast corner of said Section 23; thence North 00 degrees 04 minutes 33 seconds West, 630.24 feet along the centerline of Bauer Road and the Section line to the Southerly right-of-way line of the C & O Railroad;

A

LIBER 3168 PAGE 0474

**EXHIBIT A - LEGAL DESCRIPTION
CONTINUED**

Commitment No.: NU-394055

thence along the Southerly right-of-way line of the C & O Railroad, the following: North 58 degrees 58 minutes 30 seconds West, 412.63 feet to the P.C. of a curve; thence Northwesterly 881.35 feet along the arc of a curve right, with a central angle of 04 degrees 22 minutes 07 seconds and a radius of 11,559.16 feet; the long chord of which bears North 56 degrees 47 minutes 27 seconds West, 881.08 feet to the P.T. of the curve; thence North 89 degrees 01 minutes 15 seconds East, 84.65 feet to the P.C. of a curve; thence Northwesterly 118.83 feet along the arc of a curve right, with a central angle of 00 degrees 35 minutes 30 seconds and a radius of 11,509.16 feet; the long chord of which bears North 54 degrees 39 minutes 00 seconds West, a distance of 118.83 feet; thence South 00 degrees 15 minutes 11 seconds West, 1,414.45 feet to the South Section line and the point of beginning.

PARCEL 5:

A part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Bauer Road and Section line North 00 degrees 04 minutes 33 seconds West, 863.80 feet from the Southwest corner of said Section 24; running thence North 00 degrees 04 minutes 33 seconds West, 1,461.36 feet along the centerline of Bauer Road and the Section line; thence North 86 degrees 35 minutes 45 seconds East, 1,342.09 feet; thence South 00 degrees 10 minutes 36 seconds West, 1,213.73 feet; thence North 89 degrees 08 minutes 40 seconds West, 550.68 feet to the Northerly right-of-way line of the old Railway right-of-way as vacated and to a point on a curve; thence Southeasterly 299.50 feet along the arc of a curve right, with a central angle of 10 degrees 10 minutes 30 seconds and a radius of 1,686.52 feet; the long chord of which bears South 48 degrees 02 minutes 55 seconds East, a distance of 299.11 feet to the P.T. of the curve; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet all along said Northerly right-of-way line of the old Railway as now vacated to the Section line and centerline of Challis Road; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line and centerline of Challis Road to the Northerly right-of-way line of the existing C & O Railway; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of curve; thence Northwesterly 608.48 feet along the arc of a curve left, with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left, with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of the curve; thence North 58 degrees 58 minutes 30 seconds West, 645.66 feet all along the said Northerly right-of-way line of the existing C & O Railway and to the point of beginning.

EXCEPTING therefrom the following described parcel: Part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Southwest corner of said Section 24; thence North 00 degrees 04 minutes 33 seconds West, 863.80 feet along the centerline of Bauer Road and the West Section line; thence South 58 degrees 58 minutes 30 seconds East, 645.66 feet to the point of beginning of the land to be described: running thence North 44 degrees 02 minutes 15 seconds East, 651.25 feet; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of a curve; thence Northwesterly 608.48 feet along the arc of a curve left with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of a curve and to the point of beginning.

Tax Item No.: 11-23-300-003-401-47010, Parcel 1, Tax Item No.: 11-23-400-001-401-47010, Parcel 2, Tax Item No.: 11-23-400-007-401-47010, Parcel 3, Tax Item No.: 11-23-400-008-401-47010, Parcel 4, Tax Item No.: 11-24-300-002-101-47010, Parcel 5

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LIBER 3168 PAGE 0476

**EXHIBIT A
LEGAL DESCRIPTION**

Commitment No.: NU-394055

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

PARCEL 1:

A part of the East 1/2 of the Southwest 1/4 of Section 23, Town 2 North, Range 5 East, Township of Genoa, Livingston County, Michigan, described as follows: Commencing at a point on the North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,376.04 feet from the South 1/4 corner of Section 23; running thence South 67 degrees 59 minutes 40 seconds West, 351.56 feet; thence South 29 degrees 59 minutes 40 seconds West, 312.00 feet; thence North 88 degrees 15 minutes 38 seconds West, 118.40 feet; thence South 43 degrees 22 minutes 25 minutes West, 158.00 feet; thence North 46 degrees 37 minutes 35 seconds West, 150.00 feet; thence South 68 degrees 32 minutes 25 seconds West, 555.00 feet; thence North 00 degrees 02 minutes 25 seconds East, 1,933.58 feet; thence South 89 degrees 37 minutes 35 seconds East, 1,331.64 feet along the East and West 1/4 line to the center of Section 23; thence South 00 degrees 03 minutes 25 seconds East, 1,311.69 feet along the North and South 1/4 line to the point of beginning.

PARCEL 2:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Commencing at the South 1/4 corner of Section 23; thence along the Section line North 89 degrees 01 minutes 54 seconds East, 781.00 feet to the point of beginning; thence North 00 degrees 58 minutes 05 seconds West, 918.05 feet; thence North 52 degrees 50 minutes 20 seconds West, 815.00 feet; thence South 67 degrees 59 minutes 40 seconds West, 126.44 feet to the North and South 1/4 line; thence along said North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,311.69 feet to the center of the Section; thence along the East and West 1/4 line, North 89 degrees 00 minutes 15 seconds East, 47.54 feet to the Southerly right-of-way line of the C & O Railroad; thence along said right-of-way line South 48 degrees 42 minutes 30 seconds East, 823.14 feet; thence continuing along said right-of-way line 741.63 feet on a curve to the left radius of 11,509.16 feet, chord South 50 degrees 33 minutes 16 seconds East, 741.50 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South line of Section 23; thence along the Section line South 89 degrees 01 minutes 54 seconds West, 454.95 feet to the point of beginning.

PARCEL 3:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Challis Road and Section line North 89 degrees 01 minutes 54 seconds East, 1,235.95 feet from the South 1/4 corner of said Section 23; running thence North 89 degrees 01 minutes 54 seconds East, 309.65 feet along the Section line; thence North 00 degrees 15 minutes 11 seconds East, 1,414.45 feet to the Southerly right-of-way line of the C & O Railroad; thence along the Southerly right-of-way line of the C & O Railroad Northwesterly 392.48 feet along the arc of a curve right, with a central angle of 01 degrees 57 minutes 14 seconds and a radius of 11,509.16 feet, the long chord of which bears North 53 degrees 22 minutes 38 seconds West, a distance of 392.46 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South Section line and the point of beginning.

PARCEL 4:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Challis Road and Section line North 89 degrees 01 minutes 54 seconds East, 1,545.60 feet from the South 1/4 corner of said Section 23; running thence North 89 degrees 01 minutes 54 seconds East, 1,110.30 feet along the Section line to the Southeast corner of said Section 23; thence North 00 degrees 04 minutes 33 seconds West, 630.24 feet along the centerline of Bauer Road and the Section line to the Southerly right-of-way line of the C & O Railroad;

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LIBER 3168 PAGE 0477

**EXHIBIT A - LEGAL DESCRIPTION
CONTINUED**

Commitment No.: NU-394055

thence along the Southerly right-of-way line of the C & O Railroad, the following: North 58 degrees 58 minutes 30 seconds West, 412.63 feet to the P.C. of a curve; thence Northwesterly 881.35 feet along the arc of a curve right, with a central angle of 04 degrees 23 minutes 07 seconds and a radius of 11,559.16 feet; the long chord of which bears North 56 degrees 47 minutes 27 seconds West, 881.08 feet to the P.T. of the curve; thence North 89 degrees 01 minutes 15 seconds East, 84.65 feet to the P.C. of a curve; thence Northwesterly 118.83 feet along the arc of a curve right, with a central angle of 00 degrees 35 minutes 30 seconds and a radius of 11,509.16 feet; the long chord of which bears North 54 degrees 39 minutes 00 seconds West, a distance of 118.83 feet; thence South 00 degrees 15 minutes 11 seconds West, 1,414.45 feet to the South Section line and the point of beginning.

PARCEL 5:

A part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Bauer Road and Section line North 00 degrees 04 minutes 33 seconds West, 863.80 feet from the Southwest corner of said Section 24; running thence North 00 degrees 04 minutes 33 seconds West, 1,461.36 feet along the centerline of Bauer Road and the Section line; thence North 86 degrees 35 minutes 45 seconds East, 1,342.09 feet; thence South 00 degrees 10 minutes 36 seconds West, 1,213.73 feet; thence North 89 degrees 08 minutes 40 seconds West, 550.68 feet to the Northerly right-of-way line of the old Railway right-of-way as vacated and to a point on a curve; thence Southeasterly 299.50 feet along the arc of a curve right, with a central angle of 10 degrees 10 minutes 30 seconds and a radius of 1,686.52 feet; the long chord of which bears South 48 degrees 02 minutes 55 seconds East, a distance of 299.11 feet to the P.T. of the curve; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet all along said Northerly right-of-way line of the old Railway as now vacated to the Section line and centerline of Challis Road; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line and centerline of Challis Road to the Northerly right-of-way line of the existing C & O Railway; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of curve; thence Northwesterly 608.48 feet along the arc of a curve left, with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left, with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of the curve; thence North 58 degrees 58 minutes 30 seconds West, 645.66 feet all along the said Northerly right-of-way line of the existing C & O Railway and to the point of beginning.

EXCEPTING therefrom the following described parcel: Part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Southwest corner of said Section 24; thence North 00 degrees 04 minutes 33 seconds West, 863.80 feet along the centerline of Bauer Road and the West Section line; thence South 58 degrees 58 minutes 30 seconds East, 645.66 feet to the point of beginning of the land to be described: running thence North 44 degrees 02 minutes 15 seconds East, 651.25 feet; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of a curve; thence Northwesterly 608.48 feet along the arc of a curve left with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of a curve and to the point of beginning.

Tax Item No.: 11-23-300-003-401-47010, Parcel 1, Tax Item No.: 11-23-400-001-401-47010, Parcel 2, Tax Item No.: 11-23-400-007-401-47010, Parcel 3, Tax Item No.: 11-23-400-008-401-47010, Parcel 4, Tax Item No.: 11-24-300-002-101-47010, Parcel 5

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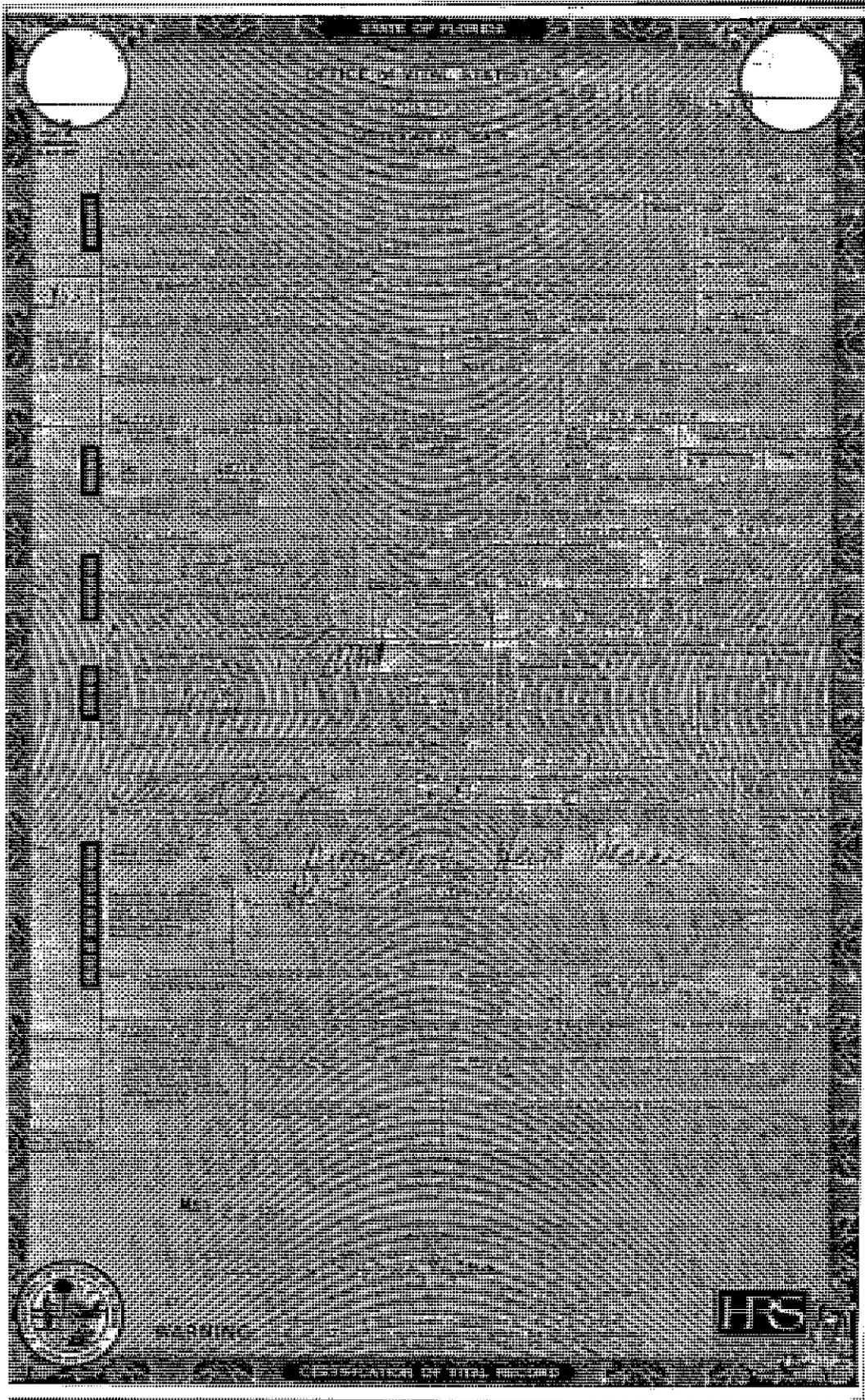


EXHIBIT A LIBER 3168 PAGE 0480
LEGAL DESCRIPTION

Commitment No.: NU-394055

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

PARCEL 1:

A part of the East 1/2 of the Southwest 1/4 of Section 23, Town 2 North, Range 5 East, Township of Genoa, Livingston County, Michigan, described as follows: Commencing at a point on the North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,376.04 feet from the South 1/4 corner of Section 23; running thence South 67 degrees 59 minutes 40 seconds West, 351.56 feet; thence South 29 degrees 59 minutes 40 seconds West, 312.00 feet; thence North 88 degrees 15 minutes 38 seconds West, 118.40 feet; thence South 43 degrees 22 minutes 25 minutes West, 158.00 feet; thence North 46 degrees 37 minutes 35 seconds West, 150.00 feet; thence South 68 degrees 32 minutes 25 seconds West, 555.00 feet; thence North 00 degrees 02 minutes 25 seconds East, 1,933.58 feet; thence South 89 degrees 37 minutes 35 seconds East, 1,331.64 feet along the East and West 1/4 line to the center of Section 23; thence South 00 degrees 03 minutes 25 seconds East, 1,311.69 feet along the North and South 1/4 line to the point of beginning.

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A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Commencing at the South 1/4 corner of Section 23; thence along the Section line North 89 degrees 01 minutes 54 seconds East, 781.00 feet to the point of beginning; thence North 00 degrees 58 minutes 05 seconds West, 918.05 feet; thence North 52 degrees 50 minutes 20 seconds West, 815.00 feet; thence South 67 degrees 59 minutes 40 seconds West, 126.44 feet to the North and South 1/4 line; thence along said North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,311.69 feet to the center of the Section; thence along the East and West 1/4 line, North 89 degrees 00 minutes 15 seconds East, 47.54 feet to the Southerly right-of-way line of the C & O Railroad; thence along said right-of-way line South 48 degrees 42 minutes 30 seconds East, 823.14 feet; thence continuing along said right-of-way line 741.63 feet on a curve to the left radius of 11,509.16 feet, chord South 50 degrees 33 minutes 16 seconds East, 741.50 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South line of Section 23; thence along the Section line South 89 degrees 01 minutes 54 seconds West, 454.95 feet to the point of beginning.

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LIBER 3168 EXHIBIT A - LEGAL DESCRIPTION
CONTINUED

Commitment No.: NU-394055

thence along the Southerly right-of-way line of the C & O Railroad, the following: North 58 degrees 58 minutes 30 seconds West, 412.63 feet to the P.C. of a curve; thence Northwesterly 881.35 feet along the arc of a curve right, with a central angle of 04 degrees 23 minutes 07 seconds and a radius of 11,559.16 feet; the long chord of which bears North 56 degrees 47 minutes 27 seconds West, 881.08 feet to the P.T. of the curve; thence North 89 degrees 01 minutes 15 seconds East, 84.65 feet to the P.C. of a curve; thence Northwesterly 118.83 feet along the arc of a curve right, with a central angle of 00 degrees 35 minutes 30 seconds and a radius of 11,509.16 feet; the long chord of which bears North 54 degrees 39 minutes 00 seconds West, a distance of 118.83 feet; thence South 00 degrees 15 minutes 11 seconds West, 1,414.45 feet to the South Section line and the point of beginning.

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Tax Item No.: 11-23-300-003-401-47010, Parcel 1, Tax Item No.: 11-23-400-001-401-47010, Parcel 2, Tax Item No.: 11-23-400-007-401-47010, Parcel 3, Tax Item No.: 11-23-400-008-401-47010, Parcel 4, Tax Item No.: 11-24-300-002-101-47010, Parcel 5

B

LIBER 3168 PAGE 0483

**EXHIBIT A
LEGAL DESCRIPTION**

Commitment No.: NU-394055

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

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**EXHIBIT A - LEGAL DESCRIPTION
CONTINUED**

LIBER 3168 PAGE 0484

Commitment No.: NU-394055

thence along the Southerly right-of-way line of the C & O Railroad, the following: North 58 degrees 58 minutes 30 seconds West, 412.63 feet to the P.C. of a curve; thence Northwesterly 881.35 feet along the arc of a curve right, with a central angle of 04 degrees 22 minutes 07 seconds and a radius of 11,559.16 feet; the long chord of which bears North 56 degrees 47 minutes 27 seconds West, 881.08 feet to the P.T. of the curve ; thence North 89 degrees 01 minutes 15 seconds East, 84.65 feet to the P.C. of a curve; thence Northwesterly 118.83 feet along the arc of a curve right, with a central angle of 00 degrees 35 minutes 30 seconds and a radius of 11,509.16 feet; the long chord of which bears North 54 degrees 39 minutes 00 seconds West, a distance of 118.83 feet; thence South 00 degrees 15 minutes 11 seconds West, 1,414.45 feet to the South Section line and the point of beginning.

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EXCEPTING therefrom the following described parcel: Part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Southwest corner of said Section 24; thence North 00 degrees 04 minutes 33 seconds West, 863.80 feet along the centerline of Bauer Road and the West Section line; thence South 58 degrees 58 minutes 30 seconds East, 645.66 feet to the point of beginning of the land to be described: running thence North 44 degrees 02 minutes 15 seconds East, 651.25 feet; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of a curve; thence Northwesterly 608.48 feet along the arc of a curve left with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of a curve and to the point of beginning.

Tax Item No.: 11-23-300-003-401-47010, Parcel 1, Tax Item No.: 11-23-400-001-401-47010, Parcel 2, Tax Item No.: 11-23-400-007-401-47010, Parcel 3, Tax Item No.: 11-23-400-008-401-47010, Parcel 4, Tax Item No.: 11-24-300-002-101-47010, Parcel 5

B

LIBER 3168 PAGE 0485

RECORDED

2001 NOV -5 1P 3:26

NANCY HAVILAND
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI.
48843

LIVINGSTON COUNTY TREASURER'S CERTIFICATE
I hereby certify that there are no TAX
LIENS or TITLES held by the state or any
individual against the within description,
and all TAXES are same as paid for five
years previous to the date of this instrument
or appear on the records in this
office except as stated.

11/20/01 *James J. Hardy* #5744
Dianne H. Hardy, Treasurer
Sec. 185 Act 205, MCL 205.6 # amended
CL Taxes not examined

HOMESTEAD DENIALS NOT EXAMINED

WARRANTY DEED 13/2

The Eisenberg Family Limited Partnership, a Michigan limited partnership, whose address is 2301 W. Big Beaver, Suite 777, Troy, Michigan 48084, conveys and warrants to Eisenberg Genoa, LLC, a Michigan limited liability company, whose address is 2301 W. Big Beaver, Suite 777, Troy, Michigan 48084, an undivided thirty (30%) percent interest as tenant in common, in the following described property situated in the Township of Genoa, County of Livingston, and State of Michigan:

SEE ATTACHED EXHIBIT A

for the sum of One Dollar (\$1.00), subject to easements and building and use restrictions of record. Exempt from State and County Transfer Tax pursuant to MCLA 207.526(a) and MCLA 207.505(a).

This property may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

The Grantor grants to the Grantee Grantor's undivided interest in all division rights permitted under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

Dated as of the 28th day of August, 2001

Signed in presence of:

Signed by:

The Eisenberg Family Limited Partnership

By: Its General Partners:

Isidor Eisenberg Trust UTA dtd
5/2/68, as amended

By: *Isidor Eisenberg*
Isidor Eisenberg, Trustee

By: *Belle Eisenberg*
Belle Eisenberg, Trustee

Belle Eisenberg Trust UTA dtd
5/2/68, as amended

By: *Belle Eisenberg*
Belle Eisenberg, Trustee

By: *Isidor Eisenberg*
Isidor Eisenberg, Trustee

Vicky Wood Kvicala
Vicky Wood Kvicala
Roberta J. Shannon
Roberta J. Shannon

Vicky Wood Kvicala
Vicky Wood Kvicala
Roberta J. Shannon
Roberta J. Shannon

- 11-23-300-003
- 11-23-400-001
- 11-23-400-007
- 11-23-400-008
- 11-23-300-002

NU 394055 NSD
2050 KB/CT

LIBER 3168 PAGE 0486

STATE OF MICHIGAN)
)SS.
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 28th day of August, 2001, by Isidor Eisenberg and Belle Eisenberg, Trustees of the Isidor Eisenberg Trust UTA dtd 5/2/68, as amended, and by Belle Eisenberg and Isidor Eisenberg, Trustees of the Belle Eisenberg Trust UTA dtd 5/2/68, as amended, as General Partners of The Eisenberg Family Limited Partnership, a Michigan limited partnership, on behalf of the partnership.



, Notary Public
County, Michigan
My Commission Expires:

WICKY WOOD KVICALA
NOTARY PUBLIC WASHTEENAW CO., MI
MY COMMISSION EXPIRES JUL 24, 2004
ACTING IN OAKLAND CO.

✓ Drafted By and When
Recorded Return To:
Vicky Wood Kvicala, Esq.
Jacob & Weingarten
2301 W. Big Beaver, Suite 777
Troy, MI 48064

Send Subsequent Tax Bills To: Grantee

LIBER 3168 PAGE 0487

**EXHIBIT A
LEGAL DESCRIPTION**

Commitment No.: NU-394055

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

PARCEL 1:

A part of the East 1/2 of the Southwest 1/4 of Section 23, Town 2 North, Range 5 East, Township of Genoa, Livingston County, Michigan, described as follows: Commencing at a point on the North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,376.04 feet from the South 1/4 corner of Section 23; running thence South 67 degrees 59 minutes 40 seconds West, 351.56 feet; thence South 29 degrees 59 minutes 40 seconds West, 312.00 feet; thence North 88 degrees 15 minutes 38 seconds West, 118.40 feet; thence South 43 degrees 22 minutes 25 seconds West, 158.00 feet; thence North 46 degrees 37 minutes 35 seconds West, 150.00 feet; thence South 68 degrees 32 minutes 25 seconds West, 555.00 feet; thence North 00 degrees 02 minutes 25 seconds East, 1,933.58 feet; thence South 89 degrees 37 minutes 35 seconds East, 1,331.64 feet along the East and West 1/4 line to the center of Section 23; thence South 00 degrees 03 minutes 25 seconds East, 1,311.69 feet along the North and South 1/4 line to the point of beginning.

PARCEL 2:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Commencing at the South 1/4 corner of Section 23; thence along the Section line North 89 degrees 01 minutes 54 seconds East, 781.00 feet to the point of beginning; thence North 00 degrees 58 minutes 05 seconds West, 918.05 feet; thence North 52 degrees 50 minutes 20 seconds West, 815.00 feet; thence South 67 degrees 59 minutes 40 seconds West, 126.44 feet to the North and South 1/4 line; thence along said North and South 1/4 line North 00 degrees 03 minutes 25 seconds West, 1,311.69 feet to the center of the Section; thence along the East and West 1/4 line, North 89 degrees 00 minutes 15 seconds East, 47.54 feet to the Southerly right-of-way line of the C & O Railroad; thence along said right-of-way line South 48 degrees 42 minutes 30 seconds East, 823.14 feet; thence continuing along said right-of-way line 741.63 feet on a curve to the left radius of 11,509.16 feet, chord South 50 degrees 33 minutes 16 seconds East, 741.50 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South line of Section 23; thence along the Section line South 89 degrees 01 minutes 54 seconds West, 454.95 feet to the point of beginning.

PARCEL 3:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Challis Road and Section line North 89 degrees 01 minutes 54 seconds East, 1,235.95 feet from the South 1/4 corner of said Section 23; running thence North 89 degrees 01 minutes 54 seconds East, 309.65 feet along the Section line; thence North 00 degrees 15 minutes 11 seconds East, 1,414.45 feet to the Southerly right-of-way line of the C & O Railroad; thence along the Southerly right-of-way line of the C & O Railroad Northwesterly 392.48 feet along the arc of a curve right, with a central angle of 01 degrees 57 minutes 14 seconds and a radius of 11,509.16 feet, the long chord of which bears North 53 degrees 22 minutes 38 seconds West, a distance of 392.46 feet; thence South 00 degrees 01 minutes 47 seconds West, 1,653.80 feet to the South Section line and the point of beginning.

PARCEL 4:

A part of the Southeast 1/4 of Section 23, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Challis Road and Section line North 89 degrees 01 minutes 54 seconds East, 1,545.60 feet from the South 1/4 corner of said Section 23; running thence North 89 degrees 01 minutes 54 seconds East, 1,110.30 feet along the Section line to the Southeast corner of said Section 23; thence North 00 degrees 04 minutes 33 seconds West, 630.24 feet along the centerline of Bauer Road and the Section line to the Southerly right-of-way line of the C & O Railroad;

A

EXHIBIT A - LEGAL DESCRIPTION
CONTINUED

LIBER 3168 PAGE 0488

Commitment No.: NU-394055

thence along the Southerly right-of-way line of the C & O Railroad, the following: North 58 degrees 58 minutes 30 seconds West, 412.63 feet to the P.C. of a curve; thence Northwesterly 881.35 feet along the arc of a curve right, with a central angle of 04 degrees 22 minutes 07 seconds and a radius of 11,559.16 feet; the long chord of which bears North 56 degrees 47 minutes 27 seconds West, 881.08 feet to the P.T. of the curve; thence North 89 degrees 01 minutes 15 seconds East, 84.65 feet to the P.C. of a curve; thence Northwesterly 118.83 feet along the arc of a curve right, with a central angle of 00 degrees 35 minutes 30 seconds and a radius of 11,509.16 feet; the long chord of which bears North 54 degrees 39 minutes 00 seconds West, a distance of 118.83 feet; thence South 00 degrees 15 minutes 11 seconds West, 1,414.45 feet to the South Section line and the point of beginning.

PARCEL 5:

A part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Michigan, described as follows: Beginning at a point on the centerline of Bauer Road and Section line North 00 degrees 04 minutes 33 seconds West, 863.80 feet from the Southwest corner of said Section 24; running thence North 00 degrees 04 minutes 33 seconds West, 1,461.36 feet along the centerline of Bauer Road and the Section line; thence North 86 degrees 35 minutes 45 seconds East, 1,342.09 feet; thence South 00 degrees 10 minutes 36 seconds West, 1,213.73 feet; thence North 89 degrees 08 minutes 40 seconds West, 550.68 feet to the Northerly right-of-way line of the old Railway right-of-way as vacated and to a point on a curve; thence Southeasterly 299.50 feet along the arc of a curve right, with a central angle of 10 degrees 10 minutes 30 seconds and a radius of 1,686.52 feet; the long chord of which bears South 48 degrees 02 minutes 55 seconds East, a distance of 299.11 feet to the P.T. of the curve; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet all along said Northerly right-of-way line of the old Railway as now vacated to the Section line and centerline of Challis Road; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line and centerline of Challis Road to the Northerly right-of-way line of the existing C & O Railway; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of curve; thence Northwesterly 608.48 feet along the arc of a curve left, with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left, with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of the curve; thence North 58 degrees 58 minutes 30 seconds West, 645.66 feet all along the said Northerly right-of-way line of the existing C & O Railway and to the point of beginning.

EXCEPTING therefrom the following described parcel: Part of the Southwest 1/4 of Section 24, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Southwest corner of said Section 24; thence North 00 degrees 04 minutes 33 seconds West, 863.80 feet along the centerline of Bauer Road and the West Section line; thence South 58 degrees 58 minutes 30 seconds East, 645.66 feet to the point of beginning of the land to be described: running thence North 44 degrees 02 minutes 15 seconds East, 651.25 feet; thence South 42 degrees 57 minutes 40 seconds East, 1,393.08 feet; thence North 89 degrees 23 minutes 35 seconds West, 663.70 feet along the Section line; thence North 54 degrees 56 minutes 45 seconds West, 104.89 feet to the P.C. of a curve; thence Northwesterly 608.48 feet along the arc of a curve left with a central angle of 03 degrees 01 minutes 45 seconds and a radius of 11,509.20 feet; the long chord of which bears North 56 degrees 27 minutes 37 seconds West, a distance of 608.41 feet to a point on the curve; thence North 32 degrees 01 minutes 30 seconds East, 50.00 feet to a point on a curve; thence Northwesterly 201.75 feet along the arc of a curve left with a central angle of 01 degrees 00 minutes 00 seconds and a radius of 11,559.20 feet, the long chord of which bears North 58 degrees 28 minutes 30 seconds West, a distance of 201.74 feet to the P.T. of a curve and to the point of beginning.

Tax Item No.: 11-23-300-003-401-47010, Parcel 1, Tax Item No.: 11-23-400-001-401-47010, Parcel 2, Tax Item No.: 11-23-400-007-401-47010, Parcel 3, Tax Item No.: 11-23-400-008-401-47010, Parcel 4, Tax Item No.: 11-24-300-002-101-47010, Parcel 5

B

LIBER 3278 PAGE 0955

RECORDED

2002 FEB -5 A 9 19

NANCY HAVILAND
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI.
48843

LIVINGSTON COUNTY TREASURER'S CERTIFICATE
I hereby certify that there are no TAX
LIENS or TITLES held by the state or any
individual against the within description,
and all TAXES are shown as paid for five
years previous to the date of this instrument
or appear on the records in this
office except as stated.

2-5-2002
2001
James H. Hardy
James H. Hardy, Treasurer
Sec. 185 Act 256, 1933 as Amended
Taxes not examined

NONESTATED DEMANDS NOT EXAMINED

WARRANTY DEED 11/2
4874

Raymond J. Weitzman and Rochelle N. Weitzman, husband and wife, whose address is 4616 Forestview Drive, West Bloomfield, MI 48322, convey and warrant to The Arefive Family Limited Partnership, a Michigan limited partnership, whose address is 4616 Forestview Drive, West Bloomfield, MI 48322, an undivided ten (10%) percent interest as tenants in common, in the following described property situated in the Township of Genoa, County of Livingston, and State of Michigan:

SEE ATTACHED EXHIBIT A

for the sum of One Dollar (\$1.00), subject to easements and building and use restrictions of record. Exempt from State and County Transfer Tax pursuant to MCLA 207.526(a) and MCLA 207.505(a).

This property may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

The Grantor grants to the Grantee Grantor's undivided interest in all division rights permitted under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967.

Dated as of the 1st day of January, 2002

Signed in presence of:

Signed by:

Andrea Freeman
Andrea Freeman

Raymond J. Weitzman
Raymond J. Weitzman

Vicky Wood Kvicala
Vicky Wood Kvicala

Rochelle N. Weitzman
Rochelle N. Weitzman

STATE OF MICHIGAN)
)SS.
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this 1st day of January, 2002, by Raymond J. Weitzman and Rochelle N. Weitzman, husband and wife.

[Signature]
Notary Public
County, Michigan
My Commission Expires:

Drafted By and When
Recorded Return To:
Vicky Wood Kvicala, Esq.
Jacob & Weingarten
2301 W. Big Beaver, Suite 777
Troy, MI 48084

H EISENBERG
NOTARY PUBLIC STATE OF MICHIGAN
OAKLAND COUNTY
MY COMMISSION EXP. OCT. 25 2008

LIBER 3278 PAGE 0956

**EXHIBIT A
LEGAL DESCRIPTION**

Commitment No.: NU-394055

Land in the Township of Genoa, Livingston County, Michigan, described as follows:

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A

**LIBER 3278 PAGE 0957 EXHIBIT A - LEGAL DESCRIPTION
CONTINUED**

Commitment No.: NU-394055

thence along the Southerly right-of-way line of the C & O Railroad, the following: North 58 degrees 58 minutes 30 seconds West, 412.63 feet to the P.C. of a curve; thence Northwesterly 881.35 feet along the arc of a curve right, with a central angle of 04 degrees 23 minutes 07 seconds and a radius of 11,559.16 feet; the long chord of which bears North 56 degrees 47 minutes 27 seconds West, 881.08 feet to the P.T. of the curve; thence North 89 degrees 01 minutes 15 seconds East, 84.65 feet to the P.C. of a curve; thence Northwesterly 118.83 feet along the arc of a curve right, with a central angle of 00 degrees 35 minutes 30 seconds and a radius of 11,509.16 feet; the long chord of which bears North 54 degrees 39 minutes 00 seconds West, a distance of 118.83 feet; thence South 00 degrees 15 minutes 11 seconds West, 1,414.45 feet to the South Section line and the point of beginning.

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B

August 27, 2024 (Rev: 09-27-24)

**Genoa Township
Planning Commission**
2911 Dorr Road
Brighton, MI 48116

Dear Commissioners,

On behalf of Pulte Homes of Michigan LLC (Applicant) and Asa Genoa, LLC, Eisenberg Brighton Genoa, LLC and Are five Family Limited Partnership (Owners), we are pleased to submit a Conceptual Site Plan for **Legacy Hills**, a **58 unit**, single family residential site condominium for your initial consideration.

Property Identification: Pulte Homes intends to develop the combined properties located on the north side of Challis Road between Dorr Road and Bauer Road in Section 23. The proposed development includes four tax parcels 4711-23-300-003, 4711-23-400-001, 4711-23-400-007 & 4711-23-400-008. The property is currently zoned AG and is proposed to be developed under provisions of Article 10: Planned Unit Development of the Township's Zoning Ordinance. Modifications to the ordinance to allow for units smaller than 1 acre are currently under consideration by the Township Board.

Proposed Use: Pulte Homes is the contract purchaser of the property and intends to build Legacy Hills as a site condominium. Minimum unit size is proposed at 32,670 s.f., or 3/4 of an acre (0.75 acres). Roads within the development are proposed to be private, built to Livingston County Road Commission standards. Units will be served by well and septic. A storm detention pond is proposed to outlet to the on-site wetland with the potential for smaller pockets of bioretention adjacent to units backing up to the wetland. Minor impacts to a smaller regulated wetland between units 12 & 13 are contemplated for construction of the road and detention pond access.

Primary access to the site is proposed from Challis Road ^{which is} east of Grand Circle in the existing Mountain View Subdivision development. A paved emergency access is proposed from realigned Challis Road just West of Bauer Road. We understand that the Challis/Bauer/Brighton Road corridor is being improved by the Livingston County Road Commission at this time.

A total of 72.73 acres (57.01%) of open space proposed.

Physical Features: The combined property measures **127.57 gross acres**. The site is hilly and partially wooded. A large, regulated wetland complex crosses the entire northwest portion of the site, separating potentially developable upland area at the westerly reaches of the property from the rest of the development. An initial concept prepared by FPA contemplated (63) one acre units for the property, some of which were located in the upland area at the westerly end of the site which would require crossing the large regulated wetland with a road. While the crossing is physically possible and may be permissible by EGLE, road construction through the wetland would be difficult, require special construction considerations and negatively impact natural features. By limiting unit size and clustering the

development area, density consistent with the master plan can be achieved while minimizing impacts to regulated wetlands. The large wetland and upland area to the west are proposed to be preserved as common open space with development concentrated to the upland areas on the eastern 2/3 of the site.

Relationship to Surrounding Property. The property is bound by a railroad to the north, Bauer Road to the east, Challis Road to the south and large-lot single family residences to the west. The development shares a common boundary with the existing Mountain View Subdivision which is comprised of smaller half-acre lots. Landscape buffers are proposed along the existing development, Challis Road and Bauer Road. No connections to the road network within Mountain View Subdivision are proposed.

Demand for Single Family Homes. According to the State of Michigan Housing Data Portal new housing has not kept up with new job growth in Michigan. In 2021 430 homes were permitted for every 1000 jobs added and vacancy rates fell from 4.2% to 1.9% (5% considered ideal). The homes permitted vs vacancy correlation illustrates that the housing deficiency caused the new job holder to have to rent rather than buy. The elevated demand for both brought on by the low housing stocks causes inflated prices for both.

According to the Livingston daily and Census data the population of Michigan decreased by over 30,000 between 2020 and 2022, but Livingston Conty added 2,295 residents. A study by the Economic Development Council of Livingston County expects job growth to exceed pre-pandemic levels by 5.6% by the end of 2026, compared to 2.9% for Michigan. Genoa Township will be a key beneficiary of that job growth, and need for housing, due to it being ideally located near the Cities of Brighton and Howell.

If you have questions, comments or require anything further, please do not hesitate to contact me via email sallen@umlorgroup.com or on my cell (734)890-6022. We look forward to working with you to ensure this project is a success. Thank you in advance for your consideration.

Very truly yours,

The Umlor Group

Stephen C. Allen
Design Services Director



October 9, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Legacy Hills – Residential Planned Unit Development (Review #2)
Location:	Northwest corner of Challis and Bauer Roads
Zoning:	AG Agricultural District

Dear Commissioners:

At the Township’s request, we have reviewed the revised submittal from Pulte Homes of Michigan requesting PUD rezoning and conceptual PUD plan review for a single-family site condominium development (Legacy Hills) on 127.57 acres of undeveloped land situated at the northwest corner of Challis and Bauer Roads.

A. Summary

1. PUD Qualifying Conditions (Section 10.02):

- a. The proposal requires approval by the Township in accordance with Section 10.03.01(d) for residential units of less than 1 acre that are not served by public sewer or water.
- b. The applicant must address any technical comments provided by the Township Engineer, Brighton Area Fire Authority and/or Utilities Director.

2. Rezoning Criteria (Section 22.04):

- a. The proposed zoning designation of LDR/RPUD is consistent with the Future Land Use Plan and goals/objectives of the Township Master Plan.
- b. Use of the RPUD overlay will result in greater open space/natural feature protection than would otherwise be required.
- c. The only use identified in the RPUD is detached single-family, which is generally reasonable and compatible with the area.
- d. A traffic impact assessment is being prepared, but has not yet been provided.
- f. The applicant must address any technical comments provided by the Township’s engineering consultant, Utilities Director and/or Brighton Area Fire Authority.

3. Conceptual PUD Plan and PUD Agreement (Section 10.03.01):

- a. The applicant must provide architectural design information to the Township’s satisfaction.
- b. The parallel plan includes a roadway that crosses 2 regulated wetlands.
- c. The Township may wish to require sidewalks as part of the project.
- d. Dimensional deviations are sought for lot area, lot width, and 1 side yard minimum setback/combination of side yard setbacks.
- e. The applicant must include the dimensional deviations sought in the PUD Agreement.
- f. The project includes more open space than is otherwise required; however, the Challis Road buffer is deficient in depth and the plan lacks active recreational areas.
- g. Cluster option:
 - i. The Township may wish to request additional information demonstrating that the applicant will complete the project in its entirety.
 - ii. The road connection to access Units 13-19 encroaches into the natural feature setback area and the wetland itself (thus requiring State and Township approval).
 - iii. Unless waived by the Township, the applicant must incorporate active recreational areas within the open space.
 - iv. The applicant must include a preservation and maintenance plan with the final PUD site plan submittal.

- v. The Township may include reasonable conditions to ensure protection of public facilities and services, protection of the natural environment, compatibility with adjacent land uses, use of the land in a socially and economically desirable manner, and to implement the Master Plan.
- h. The applicant must address any comments provided by the Township's engineering consultant, Utilities Director and/or Brighton Area Fire Authority.
- i. The applicant must address staff and/or Township Attorney comments.
- j. Exhibits and incorrect information in the draft PUD Agreement must be provided/corrected.
- k. The Township may wish to require additional landscape screening between the detention pond and adjacent residences.
- l. The applicant should identify the Challis Road frontage of Units 40-48 as the rear yard (since they will be double-fronted lots).



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The request is to create a Residential Planned Unit Development (RPUD) for 127.57 acres of land generally located at the northwest corner of Challis and Bauer Roads.

Because the RPUD is an overlay zoning district, the request includes rezoning to LDR Low Density Residential in conjunction with use of the RPUD.

At this time, the applicant seeks Planning Commission consideration of LDR/RPUD rezoning for 127.57 acres of land, the conceptual PUD plan, Environmental Impact Statement and draft PUD Agreement.

Following a public hearing, the Commission may put forth recommendations to the Township Board, who has final approval authority over each component of the request.

Given the nature of the project as a site condominium under RPUD, the conceptual PUD site plan serves as the preliminary condominium plan.

If approved, the final PUD site plan will serve as the final condominium plan. Condominium documents and agency approvals (Road Commission, Health Department, EGLE, etc.) will be required as part of the final PUD site plan submittal.

C. Qualifying Conditions

We have reviewed the request for compliance with the PUD Qualifying Conditions (Section 10.02), as follows:

1. **Single Ownership.** The PUD application form states that “Pulte Homes of Michigan, LLC will be the sole owner and is capable of developing the site as one integral unit.”
2. **Initiated by Petition.** The request has been properly initiated by submittal of the required application forms and materials, including applications for PUD, rezoning, and site plan review.
3. **Minimum Site Area.** Section 10.02.03 requires a minimum of 20 acres for the establishment of a PUD. As previously noted, in total, the site contains 127.57 acres of land.
4. **Benefits.** Use of the PUD will result in greater open space preservation that would otherwise be required (57%, including upland and wetland areas, as well as natural feature setbacks and buffering along both roadways and the abutting residential development to the west).
5. **Sewer and Water.** The site is not currently served by public sewer and water, nor is it proposed.

Section 10.02.05 states that “the Township may approve a residential PUD that is not served by public sewer or water, provided all lots shall be at least one (1) acre in area unless approved by the Township in accordance with the requirements provided in Section 10.03.01(d).”

The proposal entails a total of 58 detached single-family units, 5 of which exceed 1-acre in area.

The project includes a total of 72.73 acres of protected open space area and it is the applicant’s intent to seek use of the cluster option, per Section 10.03.01(d). These requirements are reviewed in greater detail in Paragraph E of this letter below.

The Commission should also consider any comments provided by the Township engineering consultant, Utilities Director, and/or Brighton Area Fire Authority with respect to this criterion.

D. Rezoning Criteria

We have reviewed the request for compliance with the Criteria for Amendment of the Official Zoning Map (Section 22.04), as follows:

1. ***Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.***

The Township Master Plan and Future Land Use map identify the subject site as Low Density Residential, which is consistent with the proposed LDR zoning designation.

Inclusion of the RPUD overlay helps to ensure further protection of sensitive environmental areas and additional open space above and beyond what would otherwise be required (which is consistent with the goals and objectives of the Master Plan).

2. *Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.*

The site contains 3 regulated wetland areas comprising a total of 32.35 acres. The vast majority of these wetlands will not be disturbed; however, the project does include an encroachment into the 0.74-acre wetland for the roadway connection to Units 13-19. This encroachment requires a permit from the State and approval from the Township as part of this project.

The protected upland areas (26.46 acres) also contain a significant amount of mature wooded areas that will not be disturbed by use of the RPUD overlay.

The Environmental Impact Assessment includes correspondence from the County Health Department noting that the property is generally suitable for on-site sewage disposal and drinking water.

3. *The ability of the site to be reasonably developed with one (1) of the uses permitted under the current zoning.*

Based on gross acreage, current AG zoning would allow for development of approximately 12 detached single-family units.

The current AG zoning is departure from the planned Low Density Residential; application of which allows for upwards of 58 units without significant disturbance to the sensitive natural features on site.

Given the discrepancy between current zoning the Master Plan for this area, we do not necessarily believe that development under AG standards is reasonable.

4. *The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.*

Per Section 3.03, the host of permissible land uses between AG and LDR zoning are nearly identical, save for the agricultural uses allowed in AG.

However, in this instance, use of the RPUD overlay identifies the only allowable use as detached single-family units.

The proposed use and resulting density are similar in nature to the adjacent residential development.

While the project does not meet the threshold for a full traffic impact statement, it does necessitate a traffic impact assessment, per Section 18.07.09.

The revised submittal notes that a traffic impact assessment is being prepared and will be provided to the Township upon completion.

5. *The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.*

The applicant must address any comments provided by the Township engineering consultant, Utilities Director and/or Brighton Area Fire Authority related to this criterion.

6. *The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.*

The rezoning application form states that “supply is deficient for single family housing in Michigan in general and this proposal will increase single family homes while preserving over half of the site as open space.”

The revised submittal also includes additional information regarding the demand for new single-family residences.

7. *Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.*

In our opinion, since the request is tied to lot size/density and not necessarily a different land use, rezoning to LDR and use of the RPUD overlay is more appropriate than another zoning district or amending host of allowable uses and the corresponding density of the AG District.

8. *The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.*

No rezoning requests have been submitted in the past year for the subject property.

E. Conceptual PUD Plan

We have reviewed the request for compliance with the Residential PUD standards (Section 10.03.01), as follows:

- 1. Submittal Materials.** Per Section 10.05, the only deficiency of note is the lack of preliminary architectural design information, which must be provided “to the satisfaction of the Township.”
- 2. Land Use.** As previously noted, the only use identified in the submittal is detached single-family residential.

Given the nature of the development, the Township may wish to require sidewalks as part of the project.

- 3. Density.** Per this criterion, since a different designation is noted in the Master Plan, the request for RPPUD zoning concurrently includes rezoning from AG to LDR.

The submittal includes the required parallel plan, which depicts 58 conventional LDR units. It is important to note that this plan includes a roadway connection crossing 2 regulated wetlands, which would require approval from the State.

The conceptual PUD site plan also provides 58 units.

- 4. Dimensional Standards.** Except where dimensional deviations are sought and granted as part of the PUD, the project must comply with LDR dimensional standards.

As previously noted, the majority of proposed units do not meet the 1-acre minimum lot area; however, the proposal includes more open space than required to offset the total reduction in lot area for all 58 units.

Additionally, LDR requires a minimum lot width of 150 feet, though only a few units meet this standard.

The typical unit detail on Sheet 3 depicts compliant setbacks for the front, rear and 1 side yard; however, the 2nd side yard/combination of side yards is deficient by 10 feet (20' one side and 50' combination proposed).

These dimensional deviations must be included in the PUD Agreement.

- 5. Open Space.** Use of the RPUD overlay requires a minimum open space area of 25%. As previously noted, the proposal entails an open space ratio of 57%.

The open space ratio includes a buffer along both main roadways and from the adjacent residential development to the west. It is important to note that a portion of the Challis Road buffer appears to be less than the 100-foot buffer required by Ordinance. the applicant must increase the depth to meet Ordinance standards.

Additionally, the revised submittal still does not identify active recreational areas, as required.

Lastly, the revised draft PUD Agreement includes language noting that the open space areas will be preserved in perpetuity.

- 6. Cluster Option.** The request has been reviewed for compliance with the standards of Section 10.03.01(d), as follows:

- The 58 units proposed all exceed the minimum allowable area of 32,670 square feet.
- The overall density is 0.45 dwelling units per acre, which is less than the maximum allowable density of 1-acre.
- The submittal includes correspondence from the County Health Department that soils can accommodate on-site sewage disposal.
- The proposal includes extensive landscaping, buffering, and screening, as well as open space preservation, which is generally beyond what would otherwise be required (except as noted).
- As previously noted, the proposal includes more open space preservation (57%) than would be required under conventional zoning. This includes areas of wooded uplands that could potentially be developable.
- The open spaces are primarily in the middle of the subject area, though a smaller area is proposed in the southeast corner of the property.
- The site is under single ownership and it is the applicant's intent to complete the project in 1 phase. The Township may wish to request additional information demonstrating that the applicant will complete the project in its entirety.
- Open space accounts for 57% of the total property area (exceeding the 50% minimum).
- The plan generally provides a 100-foot buffer along both roadways (Challis and Bauer), as well as along the adjacent residential development to the west; however, a portion of the Challis Road buffer is deficient in width.
- With one exception, the plan provides 50 feet of natural feature setback around the wetland areas. The road connection to access Units 13-19 encroaches into the setback area and the wetland itself (thus requiring State approval). The setback encroachment must be incorporated into the request for dimensional deviations or the applicant must seek special land use approval for the encroachment as part of the final PUD site plan submittal.
- The upland preservation in the northwest portion of the property and the buffers (noted above) will protect mature wooded areas.
- Unless waived by the Township, the applicant must incorporate active recreational areas within the open space (as previously noted).

- The revised draft PUD Agreement includes a provision stating that the open space areas will be preserved in perpetuity via the recorded Master Deed.
- If rezoning and conceptual PUD site plan approval are granted, the applicant must include a preservation and maintenance plan with the final PUD site plan submittal.
- The Township may include reasonable conditions “ensuring that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, protecting the natural environment and conserving natural resources, ensuring compatibility with adjacent uses of land, promoting the use of land in a socially and economically desirable manner, and further the implementation of the Township Master Plan.”

7. Additional Considerations/PUD Agreement. The applicant must address any comments provided by Township staff and the Township Attorney.

Paragraph 19(c) references the “City building official,” which does not exist. Furthermore, the verbiage regarding minor modifications to the final PUD site plan should reference the regulations of Section 10.11 of the Township Zoning Ordinance.

The revised draft PUD Agreement does not include Exhibit A (Legal Descriptions) or D (Schedule of Regulations Modifications).

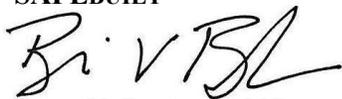
The Township may wish to require additional landscape screening between the detention pond and adjacent residences.

The applicant should identify the Challis Road frontage of Units 40-48 as the rear yard (since they will be double-fronted lots).

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFE BUILT



Brian V. Borden, AICP

Michigan Planning Manager



October 7, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Legacy Hills
Conceptual Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the conceptual site plan submittal for Legacy Hills last dated September 26, 2024. The site plan was prepared by The UMLOR Group for Pulte Homes. The site is located on the north side of Challis Road, just north of the new Challis Road and Bauer Road roundabout. The proposed PUD includes the addition of 58 single family homes, and improvements include a proposed private road with storm sewer and storm water detention.

We offer the following comments:

DRAINAGE AND GRADING

1. The conceptual site plan includes stormwater and private road improvements within regulated wetland limits. An EGLE wetland permit will be required for this work and should be obtained prior to final site plan approval.
2. The conceptual site plan shows a detention pond and onsite storm sewer. Storm sewer and detention basin design and calculations should be provided for review as part of the site plan review.
3. An overall proposed grading plan will need to be submitted for review and approval.

WATER AND SANITARY SERVICE

1. The proposed PUD does not have access to municipal water and sanitary sewer service and the cover sheet of the conceptual site plan notes that onsite septic and individual wells are proposed to serve the development and conceptual approval from the Livingston County Health Department (LCHD) has been obtained. Final approval from the LCHD should be provided prior to final site plan approval.
2. The Brighton Area Fire Authority has reviewed the proposed PUD and noted that fire protection water supply will be discussed during the final site plan process. The Petitioner will need to work with the Fire Authority to meet any fire suppression requirements they have as part of site plan approval.

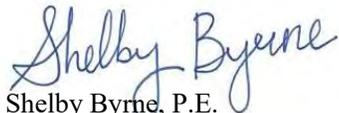
3. The revised concept plan shows two fire suppression wells per Fire Authority Requirements. In future submittals additional detail should be provided on the plans for the proposed wells and more detail should be provided on how they will operate.

TRAFFIC AND ROADWAYS

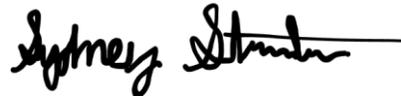
1. The proposed PUD would be served by a private road off Challis Road. Future road design should be in accordance with Genoa Township Engineering Standards and a Private Road Construction plan review will be required after final site plan approval. Additionally, the private road intersection should be reviewed and approved by the Livingston County Road Commission (LCRC).
2. Dimensioning of the proposed cul-de-sacs will need to be revised to match Genoa Township Engineering Standards. Cul-de-sacs are required to have a radius of 60 feet with a 75-foot right of way (ROW) radius. The ROW width for the private road should also be dimensioned, but it appears to match the 66-foot standard width requirement.
3. The private road includes a dead-end cul-de-sac on the north end of the development. The road terminating in a dead-end is proposed to be over 1,200 feet long, which exceeds the maximum length of 1,000 feet for a dead-end street. Given the natural features contained on the site it would be impossible to loop this dead-end road back to the rest of the development. The road will also only have seven lots being served, which generates a minimal amount of traffic. Subject to review by the Brighton Area Fire Authority, we would support a variance for the length of the street.

The concept plan shows adequate access to the site and a site plan should be submitted with the necessary documents for further review. We recommend that the petitioner consider the above comments in their preparation of the site plan approval process.

Sincerely,



Shelby Byrne, P.E.
Project Engineer



Sydney Streveler, EIT
Civil Engineering Group



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

September 11, 2024

Sharon Stone-Francis
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Legacy Hills RPUD Plan
Challis & Bauer
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 27, 2024 and the drawings are dated August 26, 2024. The project is based on the proposed rezoning of approximately 127.57 acres from Agriculture to RPUD. The plan proposes 58 residential units and associated access and open space. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. Fire protection water supply will be discussed further once the final site plan has been completed.
2. Access around the building shall provide emergency vehicles with a turning radius of 50 feet outside and 30 feet inside. Vehicle circulation shall account for non-emergency traffic and maintain the vehicle within the boundary of lanes of travel. Provide an emergency vehicle circulation plan. The cul de sac's shall meet Appendix D of the International Fire Code.

IFC 503.2.4

3. A minimum vertical clearance of 13½ feet shall be maintained along the length of all apparatus access drives. This includes but is not limited to porte-cochere's, lighting, and large canopy trees. The landscape plan indicates numerous large canopy trees that encroach the roadway. The trees must be setback or the species revised to prevent overhanging the roadways.

IFC 503.2.1

4. Two-way emergency vehicle access roads shall be a minimum of 26 feet wide, it is recommended that the road width be increased to 32 feet to allow parking on both sides of the road. With a width of 26 feet, one side of the road shall be marked as a fire lane. The secondary access road shall be a minimum of 20 feet wide. With a width of 20 feet, both sides of the drive shall be marked as a fire lane. Include the location of the proposed fire lane signage and details of the fire lane sign in the submittal. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds.

IFC D 103.6
IFC D 103.1
IFC D 102.1
IFC D 103.3



September 11, 2024

Page 2

Legacy Hills RPUD Plan

Challis & Bauer Rd.

Site Plan Review

5. The building shall include the building address on the building. The address shall be a **minimum of 4"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.

IFC 505.1

6. Provide additional details on the secondary access. Initial conversations stated that the access would be gated on both ends. The details shall be submitted and approved. The gates shall be secured with a Knox padlock in conjunction with the maintenance lock so the access is maintained year-round.

IFC 506.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc:Amy Ruthig amy@genoa.org

ENVIRONMENTAL IMPACT ASSESSMENT

LEGACY HILLS - PULTE HOMES OF MICHIGAN LLC

September 27, 2024 (Rev:09-27-24)

Mr. Steve Allen
Director of Design Services
The Umlor Group
49287 West Road
Wixom MI, 48393

PROPERTY IDENTIFICATION: Pulte Homes intends to develop the combined properties located on the north side of Challis Road between Dorr Road and Bauer Road in Section 23. The proposed development includes four tax parcels 4711-23-300-003, 4711-23-400-001, 4711-23-400-007 & 4711-23-400-008. The property is currently zoned AG.



LEGACY HILLS OVERLL PROPERTY - GENOA TOWNSHIP – NO SCALE

DESCRIPTION OF PROJECT SITE: The combined property measures **127.57 gross acres**. The site is hilly and partially wooded separating potentially developable upland area at the westerly reaches of the property from the rest of the development. The property is bounded by a Railroad R/W to the North, Bauer Road to the East, Challis Road and an existing subdivision to the South, and residential parcels to the West. There are no defined water features, and the wetland is hydraulically connected to adjacent wetland as part of a larger system. There are no known sources of contamination and ruins of a former living structure was witnessed in the Southeast corner of the property.

IMPACT ON NATURAL FEATURES: The pre-development site is hilly and partially wooded with 32.25 acres of wetlands interspersed throughout the property. All wetlands except for approximately 2000 sf impacted for road construction will be preserved. Of the 127.57 gross acres 72.73 is proposed to remain as open Space as shown below in green, blue and yellow (see site plan for details). The Proposed Cluster PUD option allows for 57% of the property to remain as open space including over 26 acres of upland (see site plan). The preservation of vast, contiguous open space is a benefit to not only the future residents of Legacy Hills, but also the Township at large. Open spaces viewsheds, wildlife habitat, and the preserved natural environment benefits all Twonship residents. This is the principal benefit of the Cluster Residential PUD.



LEGACY HILLS CLUSTER PUD PLAN - GENOA TOWNSHIP – NO SCALE

IMPACT ON WETLANDS: The proposed road serving Units 13 thru 18 will cause approximately 0.04 ac of the 0.74 ac wetland to be filled for road construction. A permit from EGLE will be obtained for the fill and the amount filled will be mitigated.

All development storm water that will discharge to the wetlands will be filtered of sediment and impurities by sediment basins or mechanical treatment units prior to discharge. The stormwater discharge rate will be maintained at the historic agricultural rate to minimize downstream erosion and large flow fluctuations during storm events. All required EGLE wetland storm water discharge or fill permits will be obtained.

IMPACT ON STORM WATER MANAGEMENT: The pre-development site primarily drains to the Northwest into the existing wetland. We propose to collect runoff into a stormwater collection system and store in a sediment/detention basin prior to restricted releases into the existing wetland. Sediment and impurities will be removed from the storm water through the use of one or more of the following measures: sediment basins, storm water treatment chambers, infiltration, or other acceptable BMP per the Livingston County Drain Commission and Genoa Township Engineering Standards.

IMPACT ON SURROUNDING LAND USES: The Township envisions this property to be Low Density Residential, in harmony with the existing surrounding land uses through its Master Plan. In keeping with the Mater Plan we are proposing a Cluster PUD that results in overall approximately 0.5 Units/acre. The low proposed density will preserve the rural residential nature of this area of the township. A parallel plan has been provided to demonstrate that the cluster plan does not constitute an increase in density.

IMPACT ON PUBLIC FACILITIES AND SERVICES: We have received input from the Fire Marshall on the type of fire suppression and access that will be required. An emergency access drive is shown and fire suppression hydrants and/or drywells will be included in the final plans. We have received site distance approvals for both entrances from Livingston County Road Commission. In keeping with the Township Master Plan we do not foresee any adverse impact on city services

IMPACT ON PUBLIC UTILITIES: Potable Water and Wastewater services will be supplied via on-site septic systems and individual wells installed to Livingston County Health Department standards for the anticipated 58 Units. Therefore, there will be no impact on city sewers and water capacity. We conducted more than 120 test holes and have received preliminary approval from LCHD on-site septic systems. A Hydrogeologic study has been conducted including test wells by MacDowell and Associates and there was adequate quantity and quality of water for individual potable water wells. Also, MacDowell found adequate flow for fire suppression wells.

STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS: There are no known hazardous materials.

IMPACT ON TRAFFIC AND PEDISTRIANS: A Low-Density Residential Development by its nature should not have any adverse impact on traffic and pedestrians in a rural setting. After a conceptual review by the traffic engineer it would appear that we do not meet the threshold for a traffic study. However, a traffic study according to Section 18.07.09 will be prepared and submitted when completed. The LCRC has reviewed our entrances for site distance and traffic safety issues and approved our locations.

Land Use	ITE Code	Size	Unit	Weekday Average Daily Traffic (vpd)	AM Peak Hour (vph)			PM Peak Hour (vph)		
					In	Out	Total	In	Out	Total
Single-Family Detached	210	58	DU	611	11	34	45	38	22	60

Attached:

LCHD Preliminary Septic Approval

LCHD Preliminary Well Approval

LCRC Site Distance Approval

The Umlor Group

Stephen C. Allen - Design Services Director

**Attorney and staff review 10-09-24 in addition
to Planning Consultants review letter.**

PLANNED DEVELOPMENT AGREEMENT

for

LEGACY HILLS

Entered into between:

Charter Township of Genoa, a Michigan Municipal Corporation

and

Pulte Homes of Michigan LLC, a Michigan limited liability company

Dated: _____, 2024

TABLE OF CONTENTS

RECITALS1

1. Summary Description of Project.....

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LEGACY HILLS PLANNED UNIT DEVELOPMENT AGREEMENT

THIS AGREEMENT (“Agreement”) is made and entered into this ___th day of _____, 2024 (“Effective Date”), by and between the CHARTER TOWNSHIP OF GENOA (“Township”) a Michigan municipal corporation, with offices located at 2911 Dorr Road, Brighton, Michigan 48116, and Pulte Homes of Michigan LLC (“Developer”), a Michigan limited liability company, with offices located at 2800 Livernois Road, Building D, Suite 320, Troy, Michigan 48083.

Project Developer: Pulte Homes of Michigan LLC, a Michigan limited liability company

Township Planning Director: Genoa Township Planning Services
Amy Ruthig

Project Engineer: The Umlor Group

RECITALS

A. Developer is, or is under contract to become the owner of certain property more particularly described on **Exhibit A** attached hereto and incorporated herein (“Property”), which is currently zoned AG, Agricultural Zoning District.

B. Developer intends to develop the Property into a single-family site condominium project (the “Project”) consisting of fifty-eight (58) units (“Units”) and consisting of approximately one- hundred-twenty-eight (128) acres.

C. In relation to development of the Project, Developer applied for approval of an amendment to the Township’s Zoning Ordinance to amend the Township Zoning Map and rezone the property to Residential Planned Unit Development (“RPUD”).

D. In accordance with the PUD zoning requirements as set forth in the Township Zoning Ordinance and Master Plan, the Project will have less than one (1) dwelling unit per net acre, and otherwise comply with required width, lot coverage, and setbacks requirements for RPUD zoning under the Zoning Ordinance, except as set forth in the Schedule of Regulations and Modifications attached as **Exhibit D** to this Agreement (the “Zoning Ordinance”).

E. The Project will provide definite benefits to the Township including the preservation of significant natural features and pedestrian connectivity via an internal sidewalk system throughout the Project,

NOW, THEREFORE, it is hereby agreed as follows:

1. SUMMARY DESCRIPTION OF THE PROJECT

The Project covers an area comprising approximately one-hundred-twenty-eight (128) acres, located generally at Challis Road and Bauer Road in the Charter Township of Genoa.

Developer is proposing to develop a single family residential condominium project that generally meets the requirements of the Zoning Ordinance and that is consistent with the conditions imposed in the recommendation of approval by the Planning Commission. The proposed use(s) are as follows: Single family residential homes, provided, however, that Developer may erect and maintain model homes on the Property and temporary promotional signage in furtherance of the sales activities of the Developer in relation to the condominium. Notwithstanding anything to the contrary contained elsewhere in this Agreement, until all Units in the entire Project are sold by Developer, Developer shall have the right to maintain a sales office, a business office, a construction office, models units, promotional signage, storage areas and reasonable parking incident to the foregoing, and such access to, from and over the Project as may be reasonable to enable development and sale of Units or the entire **wording below should be moved up.**

Project by the Developer. **as permitted by the Zoning Ordinance.** ← **This should be added.**

2. ADHERENCE TO REQUIREMENTS FOR DEVELOPMENT

The Property shall be developed and improved in full compliance with the following (collectively referred to as the “Development Documents”):

- a. Appendix A to the Code of Ordinances for Genoa Township, the Zoning Ordinance. The Project is being developed in accordance with the provisions of Article 10, Planned Unit Development (PUD), in the form and on the terms existing on the Effective Date, except as otherwise provided in this Agreement (the “Zoning Ordinance”) including but not limited all other modifications as set forth on **Exhibit D**, permitting the uses as shown on the Final Conceptual Development Plan for Legacy Hills attached as **Exhibit B**.
- b. The “Conceptual Development Plan for “Legacy Hills” was recommended for approval by the Planning Commission on _____ and approved by the Township Board on _____. The Final PUD Conceptual Plan for “Legacy Hills” prepared by The Umlor Group, Job No. _____, with revision date of _____, attached as **Exhibit B** hereto, and which consists of the following pages:
 - Sheet no. 1 [identify each]
 - Sheet no. 2
 - Sheet no. 3
 - Sheet no. 4
 - Sheet no. 5
- c. Conditions imposed on the Project by the Planning Commission in its recommendation for approval for the PUD Conceptual Development Plan for Legacy Hills on _____, 20____, and the conditions imposed by the Township Board on the Legacy Hills PUD when it was approved on _____, 20____, which may include the conditions recommended by the Township’s Planning Consultant and Engineer, and any other reasonable conditions which

may be subsequently imposed by the Township Board with respect to the Legacy Hills PUD approval, and the Planning Commission as part of the Final Conceptual Development Plan approval with respect to the Site Plan or other required approvals, all of which are set forth in **Exhibit C** attached hereto:

- d. This Agreement and any conditions imposed herein.
- e. Any and all conditions of the Final PUD Conceptual Development Plan Approval recommended by the Planning Commission and adopted by the Township Board pertaining to the Project are reflected in the official minutes of such meetings. The Final Conceptual Development Plan for Legacy Hills is attached as **Exhibit B** to this Agreement (together the official minutes described in this Section, conditions imposed in Section 2(c) above, and the Conceptual Development Plan for Legacy Hills shall be referred to as the “Final Site Plan”). The Final Site Plan shall be designed in conformance with the requirements of this Agreement. The Final Conceptual Development Plan for Legacy Hills is attached as Exhibit B to this Agreement.
- f. Conditions of approval of the Genoa Township Engineering Design Standards and any other reasonable conditions which might be required by the Township Engineer.

Furthermore, all development and improvement of the Property by Developer and all use of the Property shall be subject to and in accordance with all applicable Township Ordinances, and shall also be subject to and in accordance with all other approvals and permits required under applicable Township Ordinances, the Development Documents and state laws for the respective components of the Project. To the extent that there are conflicts or discrepancies between respective provisions of the Development Documents, or between provisions of the Development Documents and Township Ordinances, this Agreement shall control. In the event the PUD Agreement is silent on matters otherwise covered by the PUD, Final Conceptual Development Plan or Township Ordinances and regulations, the PUD and Final Conceptual Development Plan shall control.

All future owner(s) of the Property shall be bound by the terms of this Agreement and the Developer’s authority and responsibilities stated herein. It shall be the responsibility of the Developer to transmit notice to all future owner(s) of the Property of the requirements contained within this Agreement. The Township shall require that all developers, present or future, of any portion of the PUD, as the same may be expanded by the Township, and their respective successors in title, comply with the Township Ordinances and the Development Documents.

3. ADHERENCE TO ORDINANCES

Developer shall comply with all applicable Township ordinances, including the Zoning Ordinance, Condominium Ordinance, and/or the Subdivision Control Ordinance, in effect at the Effective Date of this Agreement, except where modified by this Agreement. Future phases, if applicable of development shall comply with the Zoning Ordinance of the Township in effect at the Effective Date of this Agreement, except where modified by this Agreement, and all other

modifications as set forth on **Exhibit D**. Developer acknowledges that certain provisions of this Agreement may exceed the requirements of the Zoning Ordinance, and the Township acknowledges that items shown in the Final Site Plan may be less than the requirements of the Zoning Ordinance. Developer shall fully comply with all engineering and other local, state and federal codes and regulations in effect at the time of this Agreement, unless superseded or otherwise covered in this Agreement and the Final Site Plan. The Final Conceptual Development Plan for Legacy Hills is attached as Exhibit B and minutes of the Planning Commission and Township Board meetings are attached as Exhibit E.

4. PERMITS AND AUTHORIZATIONS Site is not serviced by sanitary sewer

The Township shall grant to Developer and its contractors and subcontractors all Township permits and authorizations necessary to bring all utilities including electricity, telephone, gas, cable television, water, storm and sanitary sewer to the Property and to otherwise develop and improve the Property in accordance with the Final Site Plan, provided the Developer has first made all requisite applications for permits, complied with the requirements for said permits, and paid all required fees. Any applications for permits from the Township will be processed in the customary manner. The Township will cooperate with Developer in connection with Developer's applications for any necessary county, state, federal or utility company approvals, permits or authorizations to the extent that such applications and/or discussions are consistent with the Final Site Plan, and this Agreement.

5. EXPIRATION AND PHASING

A. EXPIRATION

Developer shall commence construction of the Improvements (defined below) within two (2) years from the later of (i) the Effective Date of this Agreement, or (ii) upon issuance of all necessary permits and approvals from all required governmental and municipal agencies, including final site plan approval by the Township (the "Expiration Date").

The Developer has a right to request an extension for commencement of the Improvements for good cause from the Township Board not less than 90 days prior to the Expiration Date of this Agreement.

B. PHASING

The Project will be developed in one phase. If the Project does not have site plan approval, for which the improvements have not been financially secured with the Township, which has not been recorded, and for which construction of the site improvements has not commenced on or before _____, 20__ is not vested, unless the Township Board has approved an extension.

Once construction has commenced on the Project as set forth in Section 5(a), the Developer will be deemed to have obtained vested rights to complete construction of the planned development.

The Project is planned as a one phase development, which shall include the associated infrastructure improvements within, or necessary to serve, the phase.

Construction is scheduled to commence upon final PUD and Final Site Plan approval and receipt by Developer of all permits from outside agencies necessary to permit construction and satisfaction of the conditions established by the Planning Commission during PUD and Site Plan approvals, as well as any additional conditions which may be imposed during Final PUD and Final Site Plan **review and approvals prior** to the issuance of any permits by the Township.

Upon completion of the Project, it shall be capable of standing on its own in terms of the presence of services, facilities and infrastructure to serve the Project, and open space to be located within the Project, and shall contain the necessary components to insure the protection of natural resources, and the health, safety and welfare of the users of the Project and the residents of the surrounding area. For purposes of this section, “infrastructure” shall mean the Improvements to serve the Project as set forth in the Final Site Plan. In addition, for the Project to be considered complete, all easements required by the Township in relation to the provision of utilities by the Township pursuant to this Agreement must be approved and provided to the Township in recordable form. Developer shall pay all recording fees.

To the extent construction has commenced, Developer shall be deemed to have obtained vested rights, and shall be permitted to complete the Project in accordance with the Development Documents and this Agreement.

7. ROADS, DRIVES AND PARKING LOTS

- a. All roads for the Project, shall be designed, situated and constructed in accordance with the Township Engineering approvals and applicable Township Ordinances, the Development Documents, the Final Site Plan. The roads in the Project will be private roads.
- b. Except as may result from the unavailability of asphalt due to winter weather conditions, all roads, drives and parking lots depicted on the Final Site Plan, and which are necessary to serve any component of the Project then under construction shall be completed and approved (except top coat) prior to issuance of a final Certificate of Occupancy for any building or structure to be served thereby within the component of the Project. In the event that Developer fails to complete the roads, drives and parking lots by the time required by this Agreement, the Township may, at its option, after first giving written notice to Developer of the deficiency and an opportunity to cure the same in the manner and within the time for cure provided in Section 6 above, elect to pursue its remedies as set forth in Section 17. However, in the event the Livingston County Building Department elects to issue building permits, the paving of all areas referenced in this paragraph shall be completed and approved (excluding top coat) prior to issuance of a final Certificate of Occupancy. An extension of the time required to complete the paving of all areas may be granted by the Township administration, in its sole discretion, in the event of circumstances beyond the control of Developer, such as but not limited to adverse weather conditions.

- c. The Township agrees to the proposed road hierarchy, geometrics, utility locations and amended rights-of-way as depicted on the Final Site Plan.
- d. No building or land use permits shall be issued for a construction phase or, if none, the Project, until the infrastructure to serve such construction phase is installed. This shall include, at a minimum, internal roads (except top coat), **water and sewer lines**, and storm water drainage and detention. Developer shall be entitled to the issuance of building permits for model homes and Units for sale, provided that (i) all underground utilities for each respective construction phase wherein such model home or Unit is located are complete; and (ii) the access and service roads serving such model home or Unit are complete (except for topcoat).

Project is no serviced by water and sewer →

8. LANDSCAPING, LIGHTING, AND ARCHITECTURAL STANDARDS

Developer shall construct the Project in full compliance with the Development Documents, which shall govern the landscaping, lighting, signs, architectural and other standards applicable to the Project.

9. STORM WATER DETENTION/RETENTION SYSTEM

Developer, at its sole expense, shall construct and maintain storm water detention/retention system (“System”) (except to the extent that the System is accepted by Livingston County Drain Commissioner under a so-called 433 Agreement pursuant to Section 433 of Act No. 40 of the Public Acts of 1956, the Township will not require further maintenance), which System may include both on-site and off-site improvements, in accordance with the Development Documents, the Final Site Plan, and all applicable ordinances, laws, codes, standards and regulations. The System shall be constructed and made to operate using best management practices. At a minimum, the System shall be designed in accordance with Livingston County standards. The System shall provide storm water detention/retention for all the Property.

10. OPEN SPACE AND NATURAL FEATURES

Developer shall dedicate a minimum of 50%, or such other amount as agreed upon by the Township and Developer, of the Property as open space. The open spaces shall be designed and landscaped to create natural areas that add to the overall aesthetics of the Project. For the purpose of insuring long term preservation of open space and natural features within the Project, all open space and storm water drainage and detention areas and facilities, shall be perpetually preserved as unimproved areas (other than Project Improvements installed in accordance with the Final Site Plan) by way of provisions contained in the master deed (“Master Deed”) recorded to establish the Project as a Condominium under the Michigan Condominium Act, Act 59 of 1978 (the “Act”), and in accordance with Township and EGLE requirements as to any wetlands regulated by the Township EGLE and the terms of any conservation easements granted to the EGLE. **The Master Deed shall demarcate and provide** that Co-Owners are prohibited from altering or the

Demarcation signs will be added to ensure that there is no encroachment into the natural features setback while also providing language in the Master Deed that

wetlands or Open Space Areas contained within the condominium, including within the 25-foot natural features buffer required by the Zoning Ordinance.

11. MAINTENANCE OBLIGATIONS

Provision for the continued maintenance of all roads, drives, parking lots, sidewalks, parks, open spaces, natural features, landscape materials, lighting, System, utility improvements and other improvements as described in the Final Site Plan (all collectively “Improvements”) are of major importance to the continued success of the Project. To ensure the proper installation and continued repair/maintenance of the Improvements, the following standards are imposed, which shall be incorporated into all contract documents relative to the Project, including, but not limited to, the Master Deed as provided below:

a. Developer Obligation to Construct and Repair/Maintain Improvements for the Project.

Developer shall be responsible for the construction of all Improvements as shown on the Final Site Plan in the Project, including the installation of Utility Improvements, at no cost to the Township.

b. Maintenance Obligations

An association shall be established by Developer for maintenance of the common areas after the completion of the Project to control and be responsible for the repair/maintenance of the Improvements for the Project, at no cost to the Township, and to levy and collect assessments as necessary to pay the cost of such repair/maintenance. For purposes of this Agreement, the term “Association” shall refer to the association which will be created at a point designated by Developer in the Master Deed, or other similar documents to administer and operate the condominium for the Project established under the Act.

c. Additional Obligations

- i. Except as provided in herein, Developer shall be responsible for the repair/maintenance of the all Improvements (except to the extent of dedication to the Township) within the Project, at no cost to the Township, until such time as the Association is formed and the appropriate Master Deed has been recorded, which sets forth the rights, powers, privileges, responsibilities and duties so assigned and conveyed, and which makes the Association responsible for the repair/maintenance of the Improvements, except to the extent that such Improvements have been dedicated to the public. At that time the Association shall become responsible for the same and Developer shall no longer be so responsible.
- ii. The Improvements as constructed shall not be altered in any material way. The repair and maintenance of the Improvements shall not be deemed a material alteration.

- iii. Easements for the benefit of the Developer for repair/maintenance of the Improvements are acknowledged and reserved as shown in the approved final engineering plan. No structure, landscaping, planting, fill or other material shall be placed which may interfere with, impede, obstruct or change the direction of the water flow within the easements for the System, Project drainage areas, and utility easement areas, or which otherwise interferes with the use and maintenance of the Improvements. The repair/maintenance of all of the aforementioned easement areas shall be the responsibility of and enforced by Developer until the Transitional Control Date as defined in the Act, at which time the Association shall be responsible for the same and the Developer shall no longer be so responsible.
- iv. In the event the Township determines that the Improvements are not being properly repaired/maintained, the Township shall serve written notice upon the Developer and/or the Associations, as appropriate, setting forth the manner in which they have failed to repair/maintain the Improvements, in reasonable condition and order. Written notice required in this Agreement may be provided by mail, or by electronic means or facsimile with a hard copy by mail. The notice shall include a demand that deficiencies in the repair/maintenance, in no event less than thirty (30) days (the "Improvement Notice and Cure Period").

12. CONDOMINIUM DOCUMENTS

The developer shall submit to the Township a proposed Master Deed and Bylaws, including the Exhibit B condominium plan (collectively the "Condominium Documents"), for the Project. The proposed documents shall be subject to review and approval by the Township Attorney and Township staff prior to recording. The Condominium Documents shall be fully executed and recorded prior to the issuance of any certificate of occupancy by the Township. As part of the Condominium Documents, there shall be provisions obligating Developer or the Association, if after the Transitional Control Date, to maintain and preserve all the Improvements, the private roads, drives, entranceways, parking, walkways, screening walls, landscaping, lighting, signage, greenbelts, open areas, pedestrian walkways and open area amenities, setbacks, the System and related easements and any other private common elements and Improvements described in the Final Site Plan in good working order and appearance at all times and in accordance with the Development Documents and Section 11 of this Agreement. The Condominium Documents shall also contain reference to the actions which may be taken by the Township pursuant to Section 11 in the event that the Improvements are not preserved, maintained or repaired. Additionally, the Condominium Documents shall identify and make reference to the Development Documents and the regulations of the Property therein, including a reference to this Agreement.

The Condominium Documents shall contain provisions providing for the continued maintenance/repair of the Improvements, at no cost to the Township, and provisions requiring

the levying and collection of assessments as necessary to pay the cost of such repair/maintenance and to ensure the ability to pay the cost of future repairs and maintenance of the Improvements.

13. OMIT.

14. OMIT.

15. REIMBURSABLE COSTS

- a. The Developer shall reimburse the Township for the following costs:
 - i. All reasonable planning, engineering, legal and any consultant fees incurred in connection with the review and approval of the Project, in accordance with the Township's Planning and Engineering Services Fee Schedules.
 - ii. All reasonable planning, engineering, legal and any consultant fees, along with applicable permit and inspection fees, which may be incurred throughout the construction of the Project as a result of any required inspections or actions taken to ensure compliance with the Development Documents.
- b. In addition, Developer shall be responsible for all costs associated with the submission to the Township and consideration of all plans and documents associated with the Project, including, but not limited to, site plans, landscaping plans, engineering plans, as-built plans, permits, inspections, etc. Further, Developer shall be responsible for all costs related to variance requests, special use requests, and review and approval of any other agreements associated with the Project, including but not limited to, the Condominium Documents, petitions for any special assessments district, and other similar documents, plans and costs.

16. OMIT.

17. ENFORCEMENT AND REMEDIES

In the event there is a failure to timely perform any obligation or undertaking required by this Agreement, the Township shall serve written notice upon the Developer setting forth such deficiency and a demand that the deficiency be cured within thirty (30) days following the notice (with the exception of a deficiency determined by the Township to constitute an impending and immediate danger to the health safety, and welfare of the public). If the deficiency set forth in the notice is not cured within said thirty (30) day period, the Township may pursue any and all remedies available to it under the Zoning Ordinance.

18. DEVELOPER ACKNOWLEDGMENT

By execution of this Agreement, Developer agrees that the conditions contained herein are fair, reasonable and equitable requirements and conditions; agrees that this Agreement does not constitute a taking of property for any purpose or a violation of any constitutional rights; and agrees to be bound by each and every provision of this Agreement. Furthermore, it is agreed that

the Improvements and undertakings described herein are necessary and roughly proportional to the burden imposed, and are necessary in order to ensure that public services and facilities will be capable of accommodating the Project, and the increased service and facility loads caused by the Project; to protect the natural environment and conserve natural resources; to ensure compatibility with adjacent uses of land; to promote use of the Property in a socially and economically desirable manner; and to achieve other legitimate objectives authorized by law. It is further agreed and acknowledged that all the required Improvements, both on-site and off-site, are clearly related to the burdens to be created by the Project, and all such improvements are clearly and substantially related to the Township's legitimate interests in protecting the public health, safety and welfare.

19. MISCELLANEOUS

a. Binding Effect

This Agreement shall be binding upon and inure to the benefit of the parties and their heirs, successors and assigns, including the condominium association established to operate and manage the affairs of the Condominium ("Association"). The Condominium Documents shall include a provision stating that the Association shall be bound by the terms and conditions of this Agreement and that any amendment to the Condominium Documents which impacts the Township's rights under such provision as it relates to this Agreement must be reviewed by the Township. The rights and obligations contained in this Agreement shall run with the Property. Developer shall be required, at its sole cost, to record this Agreement within thirty (30) days of execution with the Livingston County Register of Deeds, and provide a recorded copy to the Township as soon as a recorded copy is returned to Developer by the Livingston County Register of Deeds. Once Developer, or its successors or its assigns has completed the Project Improvements and turned over the Property to the Association, Developer shall have no further obligation or liability under this Agreement with respect to the obligations or liability first arising under this Agreement after the effective date of such assignment.

b. Authority

This Agreement has been duly authorized by Developer and the Township, through the approval of the Township Board at a meeting in accordance with the laws of the State of Michigan and the Ordinances of the Township. By the execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Property in its respective entities to its terms and conditions.

c. Final Site Plan Approval

Developer acknowledges that, at the time of the execution of this Agreement, Developer has not yet obtained Preliminary or Final Site Plan Approval, as required. Developer acknowledges that the Planning Commission may impose

additional conditions other than those contained in this Agreement during Site Plan review and approval so long as those conditions are consistent with the approvals previously given and the intent of this Agreement. Developer agrees that any additional conditions which may be attached to the Final Site Plan Approval by the Planning Commission shall be incorporated into and made a part of this Agreement, and shall be enforceable against Developer, in the event Developer proceeds with the Project and executes this Agreement. To the extent that Developer requires minor modifications to the PUD Documents, the **City building official** shall be permitted to approve such minor modifications administratively. Minor modifications may include without limitations: (a) a reduction in the size of any building; (b) an increase in the size of any building, provided that the size of other buildings is decreased so that all buildings within the Project do not exceed the density limitation set forth in this Agreement; (c) landscaping materials identified in the attached plan may be replaced by similar types of landscaping materials of better or like quality; (d) changes in floor plans and elevations which do not alter the character of the use; (e) correcting non-material errors; and (f) changes requested by the Township, County, or State for safety reasons.

d. Other Governmental Approvals

It is understood that construction of some of the Improvements included in the Project may require the approval of other governmental agencies.

e. Amendment

This Agreement may only be amended pursuant to an instrument executed by the Township and the Developer, or their successors and assigns, after mutual consent of the parties.

f. Partial Invalidity

Invalidation of any of the provisions contained in this Agreement, or of the application thereof to any person by judgment or court order shall in no way affect any of the other provisions hereof or the application thereof to any other person and the same shall remain in full force and effect.

g. No Partnership

None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Developer and the Township.

h. Incorporation of Documents

The recitals contained in this Agreement, the introductory paragraph, and all exhibits attached to this Agreement and referred to herein shall for all purposes be

deemed to be incorporated in this Agreement by this reference and made a part of this Agreement.

i. Cooperation

In the event that any third-party brings an action against either party regarding the validity or operation of this Agreement, the parties shall cooperate with the other in good faith in any such litigation.

j. Integration Clause

This Agreement is intended as the complete integration of all understandings between the parties related to the subject matter herein. No prior contemporaneous addition, deletion or other amendment shall have any force or effect whatsoever, unless embodied herein in writing. No subsequent notation, renewal, addition, deletion or other amendment shall have any force or effect unless embodied in a written amendatory or other agreement executed by the parties required herein, other than additional conditions which may be attached to final site plan approval by the Planning Commission as stated in subsection (c) above.

k. No Third-Party Relationship

The parties intend that this Agreement shall create no third-party beneficiary interest except for an assignment pursuant to this Agreement. The parties are not presently aware of any actions by them or any of their authorized representatives which would form the basis for interpretation construing a different intent and in any event expressly disclaim any such acts or actions, particularly in view of the integration of this Agreement.

l. Agreement Jointly Drafted

This Agreement represents the product of joint efforts and mutual understanding of Developer and the Township, and should be construed accordingly. Each party has had the opportunity to have this Agreement reviewed by legal counsel.

m. Governing Law

This Agreement shall be interpreted and construed in accordance with the laws of the State of Michigan, and shall be subject to enforcement only in Michigan courts. The parties agree that this Agreement is consistent with the intent and provisions of the Michigan and U.S. constitutions and applicable law.

n. Survival of Terms.

Any easement rights conveyed in this Agreement along with the following provisions will survive the expiration of this Agreement, along with any and all

approvals related to deviations and modifications from the Zoning Ordinance as set forth herein so that any improvements constructed by Developer in accordance with the Development Documents and this Agreement shall be deemed to be in accordance with the Zoning Ordinance and any future zoning ordinances, including upon expiration of this Agreement.

o. Signed Counterparts.

This Agreement may be executed in one or more counterparts by the different parties in separate counterparts, each of which, when executed, shall be deemed to be an original but all of which, when taken together, shall constitute one and the same Agreement. This Agreement may be transmitted by facsimile or electronic mail, and said facsimile or electronic signature shall be deemed as an original.

p. Easements.

Any easements granted or conveyed in this Agreement are non-exclusive easements.

q. Notice.

Unless later information is provided, notices under this Agreement will be provided to:

To Developer:

Pulte Homes of Michigan LLC
Attn: Joe Skore
2800 Livernois Road, Building D, Suite 320, Troy, Michigan 48083
Joe.skore@pultegroup.com

With a required copy to:

Alexandra E. Dieck
Bodman PLC
201 S. Division Street, Suite 400
Ann Arbor, Michigan 48104
adieck@bodmanlaw.com

To Genoa Township:

Charter Township of Genoa

Attention: _____

2911 Dorr Road

Brighton, MI 48116 **Brighton**

Phone: _____

Fax: _____

Email to _____

With a copy to the Township Attorney at the same address.

r. **Zoning Ordinance.**

All references in this Agreement to Zoning Ordinance or any Township ordinance and code shall be deemed to refer to the Township zoning ordinances and code in effect as of the Effective Date, subject to any deviation or waiver in respect thereof set forth in this Agreement, or any other provision hereof.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the day and year recited above.

CHARTER TOWNSHIP OF GENOA
a Michigan municipal corporation

By:
Its:

By:
Its:

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF)

The foregoing Agreement was acknowledged before me by _____, the duly elected _____, and _____ the duly elected _____ of the Charter Township of Genoa, on the __ day of _____, 20__.

_____, Notary Public
_____ County, Michigan
My Commission Expires: _____
Acting in _____ County

PULTE HOMES OF MICHIGAN LLC, a Michigan
limited liability company

By: Joe Skore
Its: Vice President of Land Acquisition

ACKNOWLEDGEMENT

STATE OF)
) ss
COUNTY OF)

The foregoing Agreement was acknowledged before me by Joe Skore, the Vice President of Land Acquisition of Pulte Homes of Michigan LLC, a Michigan limited liability company on the ___ day of _____, 20__.

_____, Notary Public
_____ County, Michigan
My Commission expires: _____
Acting in _____ County

Table of Exhibits

- Exhibit A:** Property Legal Description.
- Exhibit B:** Final Conceptual Development Plan for Legacy Hills.
- Exhibit C:** Conditions of Approval
- Exhibit D:** Schedule of Regulations and Modifications
- Exhibit E:** Planning Commission and Township Board Minutes.

Exhibit A
Legal Description

Exhibit B

Final Conceptual Development Plan for Legacy Hills

[Following]

Exhibit C
Conditions for Approval

Exhibit D

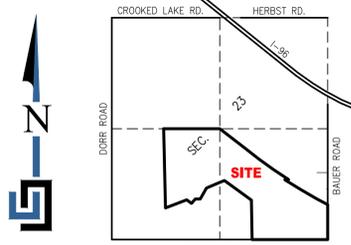
Schedule of Regulations and Modifications

Exhibit E

Planning Commission and Township Board Minutes

EXHIBIT F

Final Conceptual Development Plan for Legacy Hills



SITE DATA:

Proposed Land Use	Low Density Residential (LDR)
Current Zoning	AG
Proposed Zoning	LDR
Gross Area	127.57 Acres +/-
Net Area	126.29 Acres +/-
Total Dwelling Units	58
Density	0.45 Units/Acre

Minimum Lot Width, Area and Setbacks (LDR):

Minimum Lot Width	150 Feet
Irregular Shaped Lot Minimum Width	60 Feet
Min Lot Area	43,560 Sq. Ft. (1.0 AC)
Front Yard (minimum)	50 Feet
Rear Yard (minimum)	60 Feet
Side Yard (minimum)	30 Feet
Side Yard (total of two)	60 Feet
Side Yard on street (minimum)	50 Feet

Open Space Provided	47.50 Acres ±
Percent Open Space Provided	37.23 %

OPEN SPACE LEGEND:
 45.66 AC. OPEN SPACE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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The UMLOR Group

LAND DEVELOPMENT SERVICES

10987 WEST ROAD WIXOM, MI 48193
 TEL: 248-773-7636 • FAX: 866-690-4907

SECTION 23
T. 2 N., R. 5 E.
GENDA TOWNSHIP
LIVINGSTON CO., MICHIGAN

DATE: 8/26/2024

REVISIONS
9/27/2024

LEGACY HILLS

CLIENT: PULTE HOMES OF MICHIGAN
 2800 LIVERNOIS ROAD, BLDG. D, SUITE 320
 TROY, MI 48063

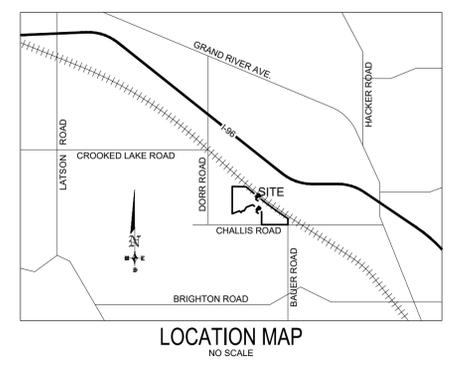
PARALLEL SITE PLAN

DR BY: SF
CK BY: SA
P.M. SA
SCALE 0 75 150

JOB NO. 231213
SHEET NO. 2
SHEET 2 OF 4

U:\MUMOR GROUP PROJECT LOGS\LEGACY HILLS GENOA\TOPO\LEGACY HILLS GENOA\TOPO.DWG

SYMBOL		DESCRIPTION	
(Symbol)	EX. SPOT ELEVATION	(Symbol)	EX. STEAM MANHOLE
(Symbol)	EX. CONTOUR	(Symbol)	EX. STEAM PIPE
(Symbol)	EX. DITCH	(Symbol)	EX. UNKNOWN UNDERGROUND
(Symbol)	EX. WATER MAIN	(Symbol)	EX. UNDERGROUND CABLE
(Symbol)	EX. WATER METER	(Symbol)	EX. OVERHEAD TELEPHONE
(Symbol)	EX. WATER VALVE	(Symbol)	EX. OVERHEAD CABLE TV
(Symbol)	EX. HYDRANT	(Symbol)	EX. OVERHEAD FIBER
(Symbol)	EX. WATER MANHOLE	(Symbol)	EX. COMMUNICATION RISER
(Symbol)	EX. FRESHWATER WELL	(Symbol)	EX. COMMUNICATION HANDHOLE
(Symbol)	EX. GATE VALVE IN WELL	(Symbol)	EX. UTILITY POLE
(Symbol)	EX. STORM SEWER	(Symbol)	EX. GUY ANCHOR
(Symbol)	EX. STORM INLET/CATCH BASIN	(Symbol)	EX. LIGHT POLE
(Symbol)	EX. ROUND STORM CATCH BASIN	(Symbol)	EX. SIGN
(Symbol)	EX. STORM MANHOLE	(Symbol)	EX. MAILBOX
(Symbol)	EX. STORM END SECTION	(Symbol)	EX. FLAGPOLE
(Symbol)	EX. STORM CULVERT	(Symbol)	EX. UNKNOWN MANHOLE
(Symbol)	EX. SANITARY SEWER	(Symbol)	EX. MONITORING WELL
(Symbol)	EX. COMBINED SEWER	(Symbol)	EX. PROPERTY LINE
(Symbol)	EX. SANITARY MANHOLE	(Symbol)	EX. RIGHT-OF-WAY LINE
(Symbol)	EX. COMBINED MANHOLE	(Symbol)	EX. SECTION LINE
(Symbol)	EX. CLEAN OUT	(Symbol)	EX. PARCELS
(Symbol)	EX. SANITARY VENT	(Symbol)	EX. EASEMENT
(Symbol)	EX. UNDERGROUND GAS	(Symbol)	EX. CENTERLINE
(Symbol)	EX. GAS VALVE	(Symbol)	EX. WETLAND LIMITS
(Symbol)	EX. GAS METER	(Symbol)	EX. CURB/GUTTER
(Symbol)	EX. GAS MANHOLE	(Symbol)	EX. FENCE
(Symbol)	EX. UNDERGROUND TELEPHONE	(Symbol)	EX. GUARDRAIL
(Symbol)	EX. TELEPHONE MANHOLE	(Symbol)	FOUND IRON
(Symbol)	EX. TELEPHONE RISER	(Symbol)	FOUND PK NAIL
(Symbol)	EX. UNDERGROUND ELECTRIC	(Symbol)	FOUND CONC. MONUMENT
(Symbol)	EX. ELECTRIC MANHOLE	(Symbol)	SET IRON ROD
(Symbol)	EX. ELECTRIC RISER	(Symbol)	SECTION CORNER
(Symbol)	EX. ELECTRIC TRANSFORMER	(Symbol)	POST
(Symbol)	EX. ELECTRIC METER	(Symbol)	BOLLARD
(Symbol)	EX. AIR CONDITIONER	(Symbol)	RECORDED BEARING
(Symbol)	EX. PUBLIC LIGHTING MH	(Symbol)	MEASURED BEARING
(Symbol)	EX. PUBLIC LIGHTING ELEC	(Symbol)	EX. TREE (DECIDUOUS/CONIFER)
(Symbol)	EX. OVERHEAD ELECTRIC	(Symbol)	EX. TREELINE
(Symbol)	EX. WATER MARKER	(Symbol)	EX. ASPHALT
(Symbol)	EX. GAS MARKER	(Symbol)	EX. CONCRETE
(Symbol)	EX. ELEC. MARKER	(Symbol)	EX. GRAVEL
(Symbol)	EX. TELE. MARKER		
(Symbol)	EX. SAN. MARKER		



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811
Know what's below.
Call before you dig.

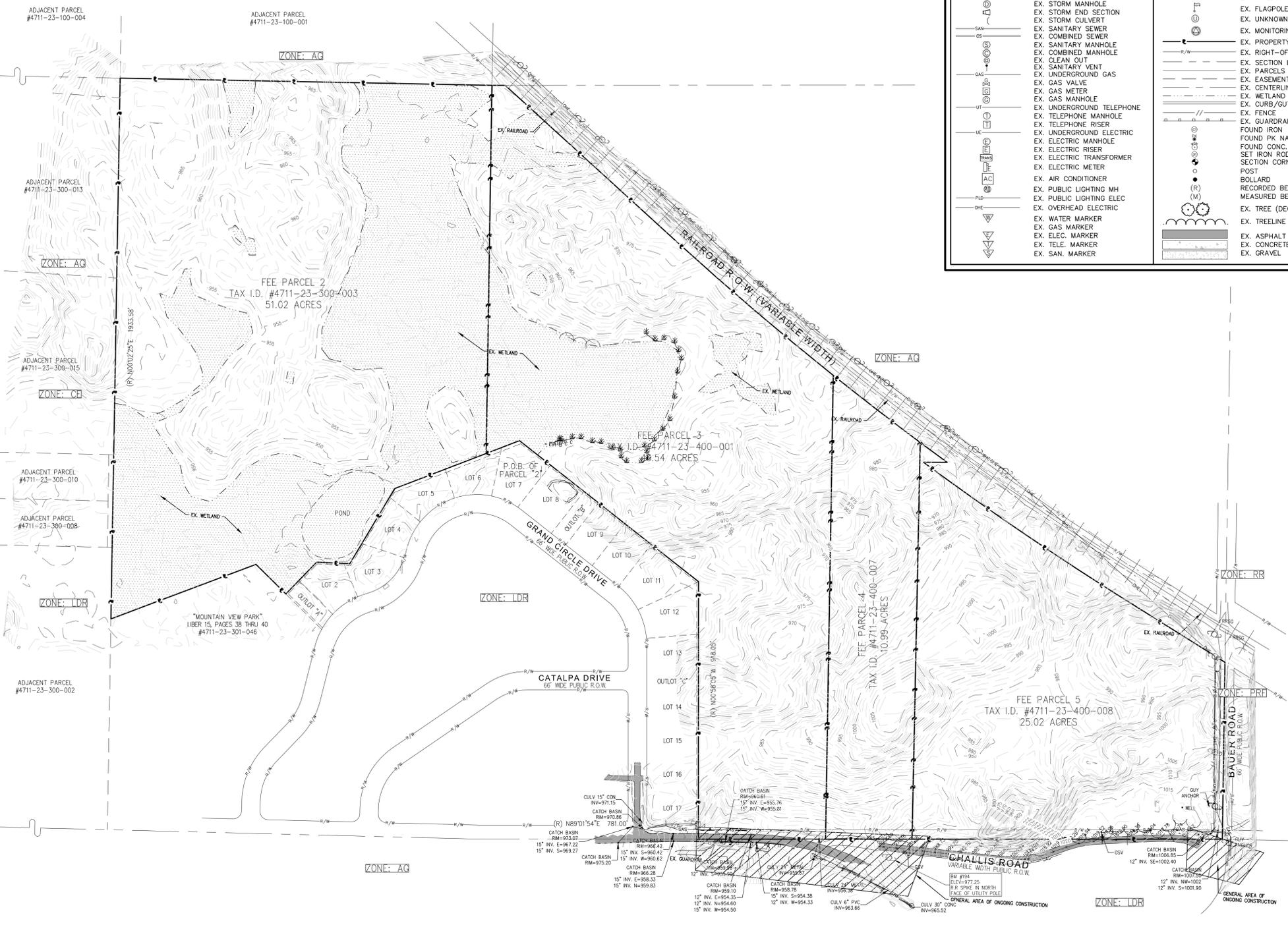
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The UMLOR Group
LAND DEVELOPMENT SERVICES

49287 WEST ROAD WIXOM, MI 48393
TEL 248.773.7656 - FAX 866.690.1507



LEGAL DESCRIPTION PER TITLE COMMITMENT

THE LAND IS DESCRIBED AS FOLLOWS: SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, STATE OF MICHIGAN

FEE PARCEL 1
PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 863.80 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 24; THENCE NORTH 00 DEGREES 04 MINUTES 33 SECONDS WEST 1461.96 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE; THENCE NORTH 88 DEGREES 35 MINUTES 45 SECONDS EAST 1342.09 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 30 SECONDS WEST 1213.73 FEET; THENCE NORTH 89 DEGREES 08 MINUTES 40 SECONDS WEST 550.68 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF THE OLD RAILWAY RIGHT OF WAY, AS VACATED, AND TO A POINT ON A CURVE, THENCE SOUTHEASTERLY 299.50 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 10 DEGREES 10 MINUTES 30 SECONDS, A RADIUS OF 1686.52 FEET AND A LONG CHORD BEARING SOUTH 48 DEGREES 02 MINUTES 35 SECONDS EAST 299.11 FEET TO THE P.T. OF THE CURVE; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST 1393.08 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE TO THE SECTION LINE AND CENTERLINE OF CHALLIS ROAD; THENCE NORTH 89 DEGREES 23 MINUTES 35 SECONDS WEST 663.70 FEET ALONG SAID SECTION LINE AND CENTERLINE OF CHALLIS ROAD TO THE NORTHERLY RIGHT OF WAY LINE OF THE EXISTING C & O RAILWAY; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 104.89 FEET TO THE P.T. OF A CURVE; THENCE NORTHWESTERLY 608.48 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 01 MINUTES 45 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 27 MINUTES 37 SECONDS WEST 608.41 FEET TO A POINT ON THE CURVE; THENCE NORTH 32 DEGREES 01 MINUTES 30 SECONDS EAST 50.00 FEET TO A POINT ON A CURVE; THENCE NORTHWESTERLY 201.75 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01 DEGREE 00 MINUTES 00 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 27 MINUTES 37 SECONDS WEST 201.75 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PARCEL: PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE CENTERLINE OF BAUER ROAD AND THE WEST SECTION LINE; THENCE SOUTH 58 DEGREES 58 MINUTES 30 SECONDS EAST 645.66 FEET TO THE POINT OF BEGINNING; THENCE NORTH 14 DEGREES 02 MINUTES 15 SECONDS EAST 651.25 FEET; THENCE SOUTH 42 DEGREES 57 MINUTES 40 SECONDS EAST 1393.08 FEET; THENCE NORTH 89 DEGREES 23 MINUTES 35 SECONDS WEST 663.70 FEET ALONG THE SECTION LINE; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 104.89 FEET TO THE P.T. OF A CURVE; THENCE NORTHWESTERLY 608.48 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03 DEGREES 01 MINUTES 45 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 27 MINUTES 37 SECONDS WEST 608.41 FEET TO A POINT ON THE CURVE; THENCE NORTH 32 DEGREES 01 MINUTES 30 SECONDS EAST 50.00 FEET TO A POINT ON A CURVE; THENCE NORTHWESTERLY 201.75 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01 DEGREE 00 MINUTES 00 SECONDS, A RADIUS OF 11,509.20 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 28 MINUTES 30 SECONDS WEST 201.74 FEET TO THE P.T. OF A CURVE AND THE POINT OF BEGINNING.

FEE PARCEL 2
PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH AND SOUTH 1/4 LINE, SAID POINT BEING NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 1376.04 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE SOUTH 67 DEGREES 58 MINUTES 40 SECONDS WEST 351.56 FEET; THENCE SOUTH 29 DEGREES 59 MINUTES 40 SECONDS EAST 312.00 FEET; THENCE NORTH 88 DEGREES 15 MINUTES 38 SECONDS WEST 118.40 FEET; THENCE SOUTH 43 DEGREES 22 MINUTES 25 SECONDS WEST 158.00 FEET; THENCE NORTH 46 DEGREES 37 MINUTES 35 SECONDS WEST 150.00 FEET; THENCE SOUTH 89 DEGREES 32 MINUTES 25 SECONDS WEST 555.00 FEET; THENCE NORTH 00 DEGREES 02 MINUTES 20 SECONDS EAST 1933.58 FEET; THENCE SOUTH 89 DEGREES 37 MINUTES 35 SECONDS EAST 1331.64 FEET ALONG THE EAST AND WEST 1/4 LINE TO THE CENTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 03 MINUTES 25 SECONDS EAST 1371.69 FEET ALONG THE NORTH AND SOUTH 1/4 LINE TO THE POINT OF BEGINNING.

FEE PARCEL 3
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 791.00 FEET ALONG THE SECTION LINE TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 58 MINUTES 00 SECONDS WEST 918.05 FEET; THENCE NORTH 52 DEGREES 50 MINUTES 20 SECONDS WEST 815.00 FEET; THENCE SOUTH 67 DEGREES 59 MINUTES 40 SECONDS WEST 126.44 FEET TO THE NORTH AND SOUTH 1/4 LINE; THENCE ALONG SAID NORTH AND SOUTH 1/4 LINE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 1311.69 FEET TO THE CENTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 00 MINUTES 15 SECONDS EAST 47.54 FEET ALONG THE EAST AND WEST 1/4 LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILWAY; THENCE NORTH 54 DEGREES 56 MINUTES 45 SECONDS WEST 623.14 FEET ALONG SAID RIGHT OF WAY LINE; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE 7415.58 FEET TO THE LEFT HAVING A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING SOUTH 50 DEGREES 33 MINUTES 16 SECONDS EAST 7415.58 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 47 SECONDS WEST 1653.80 FEET TO THE SOUTH LINE OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 01 MINUTES 54 SECONDS WEST 454.45 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

FEE PARCEL 4
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF CHALLIS ROAD AND THE SECTION LINE, SAID POINT BEING NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1235.95 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 309.65 FEET ALONG THE SECTION LINE; THENCE NORTH 00 DEGREES 15 MINUTES 11 SECONDS EAST 1414.45 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTHWESTERLY 392.48 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 01 DEGREE 07 MINUTES 14 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 53 DEGREES 22 MINUTES 38 SECONDS WEST 392.48 FEET TO THE P.T. OF THE CURVE; THENCE NORTH 89 DEGREES 01 MINUTES 15 SECONDS EAST 84.65 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 118.83 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00 DEGREES 35 MINUTES 30 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 54 DEGREES 39 MINUTES 00 SECONDS WEST 118.83 FEET; THENCE SOUTH 00 DEGREES 15 MINUTES 11 SECONDS WEST 1414.45 FEET TO THE SOUTH SECTION LINE AND THE POINT OF BEGINNING.

FEE PARCEL 5
PART OF THE SOUTHEAST 1/4 OF SECTION 23, TOWN 2 NORTH, RANGE 5 EAST, TOWNSHIP OF GENOA, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE CENTERLINE OF CHALLIS ROAD AND THE SECTION, SAID POINT BEING NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1545.60 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 01 MINUTES 54 SECONDS EAST 1114.45 FEET ALONG THE SECTION LINE TO THE SOUTHEAST CORNER OF SAID SECTION 23; THENCE NORTH 00 DEGREES 03 MINUTES 25 SECONDS WEST 630.24 FEET ALONG THE CENTERLINE OF BAUER ROAD AND THE SECTION LINE TO THE SOUTHERLY RIGHT OF WAY LINE OF THE C & O RAILROAD; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTH 58 DEGREES 58 MINUTES 30 SECONDS WEST 412.63 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 881.35 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 04 DEGREES 22 MINUTES 07 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 56 DEGREES 47 MINUTES 32 SECONDS WEST 881.08 FEET TO THE P.T. OF THE CURVE; THENCE NORTH 89 DEGREES 01 MINUTES 15 SECONDS EAST 84.65 FEET TO THE P.C. OF A CURVE; THENCE NORTHWESTERLY 118.83 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 00 DEGREES 35 MINUTES 30 SECONDS, A RADIUS OF 11,509.16 FEET AND A LONG CHORD BEARING NORTH 54 DEGREES 39 MINUTES 00 SECONDS WEST 118.83 FEET; THENCE SOUTH 00 DEGREES 15 MINUTES 11 SECONDS WEST 1414.45 FEET TO THE SOUTH SECTION LINE AND THE POINT OF BEGINNING.



BENCHMARK
BENCHMARK #194 (NAVD 88)
LOCATED IN UTILITY POLE SOUTH OF CHALLIS ROAD. (AREA UNDER ONGOING ROAD CONSTRUCTION AS OF 8-25-24. RAIL ROAD SPIKE IN NORTH FACE OF SAID UTILITY POLE)
ELEV: 977.25

LEGAL DESCRIPTION NOTE
NO GAPS OR CORES EXIST BETWEEN THE SUBJECT PROPERTIES.

PART OF SECTIONS 23 & 24
TOWN 02 NORTH - RANGE 05 EAST
GENOA TOWNSHIP
LIVINGSTON COUNTY, MI

DATE: 8/26/24
REVISIONS

TOPOGRAPHIC SURVEY
CLIENT: PULTE HOMES OF MICHIGAN, LLC
2800 LIVERNOS BLVD. - SUITE 220
TROY, MI 48063

LEGACY HILLS - GENOA

DR BY: BDR
CK BY: RQM
P.M. MTN
SCALE: 0 100 200
JOB NO. #231213
SHEET NO. 4
SHEET 4 OF 4

overall landscape plan for:

The Legacy Hills - a planned single family community

Genoa Township, Michigan



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
**THE
 LEGACY
 HILLS**

project location:
 Genoa Township,
 Michigan
 Challis Road & Bauer
 Road

sheet title:
**CONCEPTUAL
 LANDSCAPE PLAN**

job no./issue/revision date:
 LS24.083.08 SPA 8-26-2024
 LS24.083.09 TWP. COMMENTS 9-26-2024

drawn by:
JP,
 checked by:
FP
 date:
8-20-2024
 notice:
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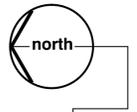
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 Do Not scale drawings. Use figured dimensions only.



The location and elevations of existing underground utilities as shown on this drawing are only approximate. No guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no.:
LS24.083.08

sheet no.:
LS-1 of 6



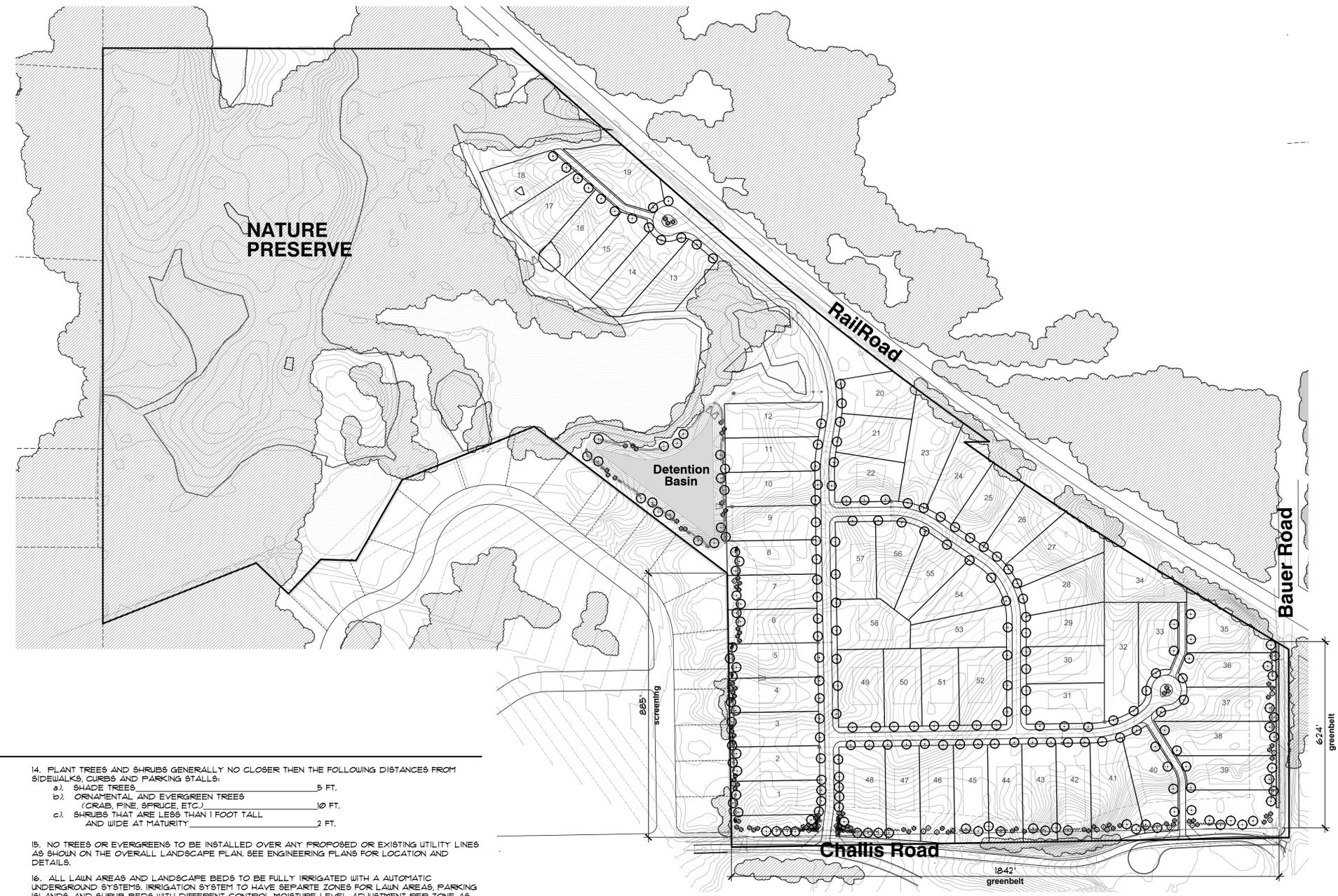
scale: 0' 100' 200' 400' 600'
 1" = 200' - 0"

landscape requirements:

	REQUIRED	PROVIDED
greenbelt (Challis Road)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	1842±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (1842 LIN.FT. / 40 LIN.FT. = 46.05 TREES)	46	68
greenbelt (Bauer Road)		
TOTAL LIN.FT. OF GREENBELT FRONTAGE	624±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 40 LIN.FT. (624 LIN.FT. / 40 LIN.FT. = 15.6 TREES)	16	18
street trees (interior residential streets)		
TOTAL NO. OF RESIDENTIAL UNITS PROVIDED	58	
TWO (2) 2 1/2" CANOPY TREES PER RESIDENTIAL UNIT (58 UNITS X 2 TREES = 116 TREES)	116	133
landscape screening		
TOTAL LIN.FT. OF BOUNDARY FRONTAGE	885±	
ONE (1) 2 1/2" CANOPY OR EVERGREEN TREE PER 20 LIN.FT. (885 LIN.FT. / 20 LIN.FT. = 44.25 TREES)	44	44
OR FOUR (4) SHRUBS PER 20 LIN.FT. (885 LIN.FT. / 20 LIN.FT. = 44.25 X 4-SHRUBS=177)	177	177
detention basin		
TOTAL LIN.FT. OF POND PERIMETER	1602±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (1602 LIN.FT. / 50 LIN.FT. = 32.04 TREES)	32	32
TEN (10) SHRUBS PER 50 LIN.FT. (1604 LIN.FT. / 50 LIN.FT. = 32.04 X 10-SHRUBS=320.4)	320	320

general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY GENOA TOWNSHIP AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUIDED AND WRAPPED AS DETAIL SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD BARK MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THEN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
 - SHADE TREES 5 FT.
 - ORNAMENTAL AND EVERGREEN TREES (ORAB, PINE, SPRUCE, ETC.) 10 FT.
 - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH A AUTOMATIC UNDERGROUND SYSTEMS. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING. EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16"-18" DEPTH, BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATED DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.



landscape sheet index

- LS-1 OVERALL LANDSCAPE PLAN VIEW
- LS-2 GENERAL PLANTING DETAIL PLAN
- LS-3 GENERAL PLANTING DETAIL PLAN
- LS-4 DETENTION PLANTING DETAIL PLAN
- LS-5 ENTRANCE PLANTING DETAIL MATERIAL LIST, PLANT DETAILS & LANDSCAPE NOTES
- LS-6 ENTRY SIGN MONUMENT WALL

street trees note:
 STREET TREES TO BE INSTALLED A MINIMUM 10' TO 12' FROM THE EDGE OF THE ROAD. NO STREET TREES TO BE INSTALLED OVER PROPOSED OR EXISTING UNDERGROUND UTILITY. ALL STREET TREE TO BE PRUNED AND MAINTAINED A MINIMUM VERTICAL CLEARANCE OF 13 1/2 FEET ALONG THE LENGTH OF ROAD WAY AS REQUIRED PER BRIGHTON AREA FIRE AUTHORITY STANDARDS AND REQUIREMENTS. SEE SHT. LS-5 FOR DETAILS.



client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
THE LEGACY HILLS

project location:
 Genoa Township,
 Michigan
 Challis Road & Bauer Road

sheet title:
GENERAL LANDSCAPE PLANTING DETAIL

job no./issue/revision date:
 LS24.083.08 SPA 8-26-2024
 LS24.083.09 TWP. COMMENTS 9-26-2024

drawn by:
JP,
 checked by:
FP
 date:
8-20-2024

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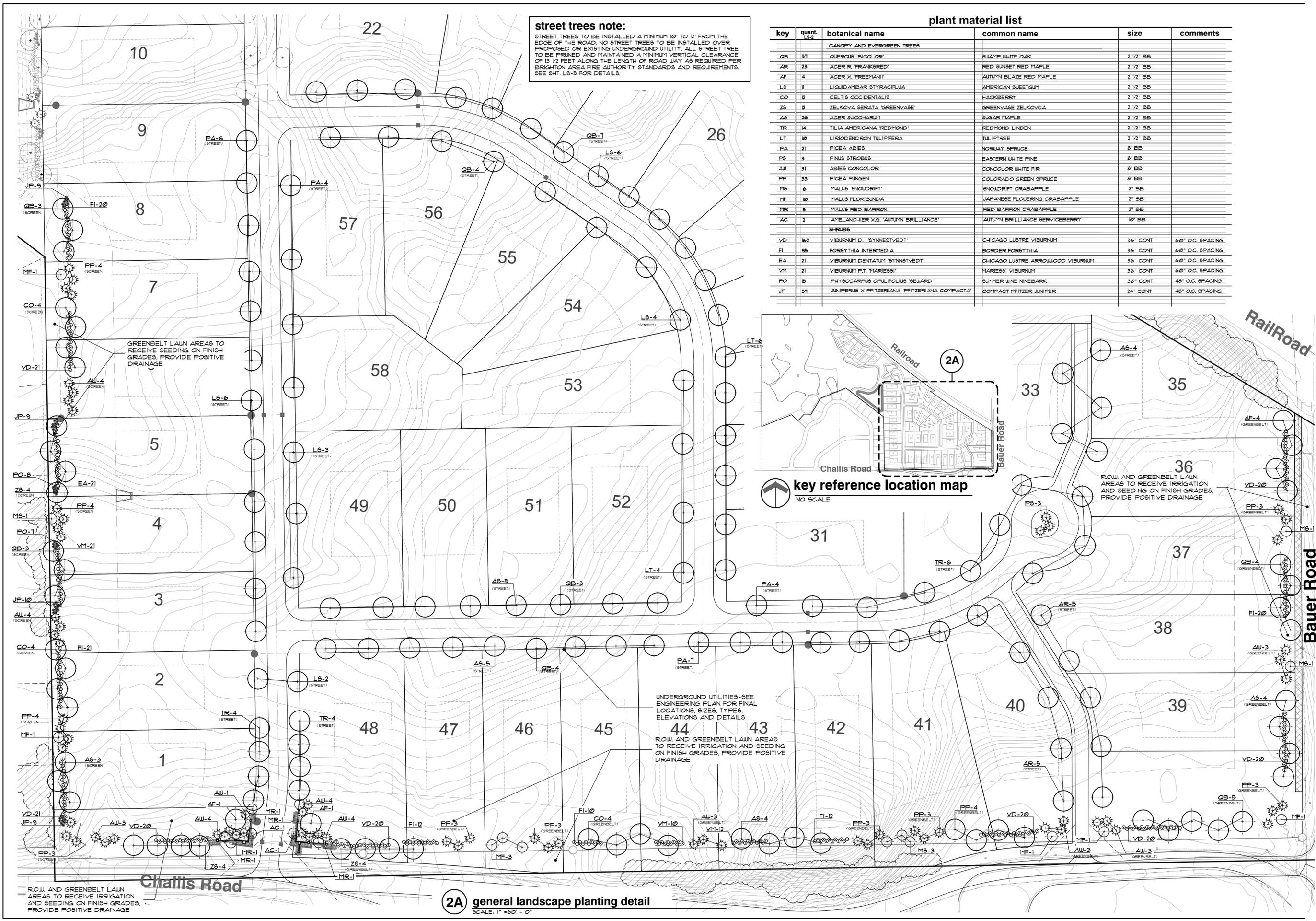
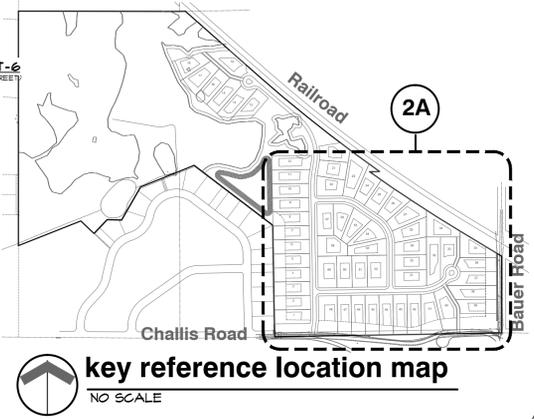
project no:
LS24.083.08

sheet no:
LS-2 of 6

plant material list

key	quant. LS-2	botanical name	common name	size	comments
CANOPY AND EVERGREEN TREES					
QB	31	QUERCUS 'BICOLOR'	SWAMP WHITE OAK	2 1/2" BB	
AR	23	ACER R. 'FRANKSRED'	RED SUNSET RED MAPLE	2 1/2" BB	
AF	4	ACER X. 'FREEMANII'	AUTUMN BLAZE RED MAPLE	2 1/2" BB	
L8	11	LIQUIDAMBAR STRACIFLUA	AMERICAN SWEETGUM	2 1/2" BB	
CO	12	CELTIS OCCIDENTALIS	HACKBERRY	2 1/2" BB	
Z8	12	ZELKOYA SERATA 'GREENVASE'	GREENVASE ZELKOYCA	2 1/2" BB	
A8	26	ACER SACCHARUM	SUGAR MAPLE	2 1/2" BB	
TR	14	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	2 1/2" BB	
LT	10	LIRIODENDRON TULIPIFERA	TULIPTREE	2 1/2" BB	
FA	21	FICEA ABIES	NORWAY SPRUCE	8' BB	
PS	3	FINUS STROBILUS	EASTERN WHITE PINE	8' BB	
AU	31	ABIES CONCOLOR	CONCOLOR WHITE FIR	8' BB	
PP	33	FICEA FUNGEN	COLORADO GREEN SPRUCE	8' BB	
MS	6	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2" BB	
MF	10	MALUS FLORIBUNDA	JAPANESE FLOWERING CRABAPPLE	2" BB	
MR	5	MALUS RED BARRON	RED BARRON CRABAPPLE	2" BB	
AC	2	AMELANCHIER X.G. 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	10" BB	
SHRUBS					
VD	162	VIBURNUM D. 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	36" CONT	60" O.C. SPACING
FI	95	FORSYTHIA INTERMEDIA	BORDER FORSYTHIA	36" CONT	60" O.C. SPACING
EA	21	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE ARROWWOOD VIBURNUM	36" CONT	60" O.C. SPACING
VM	21	VIBURNUM P.T. 'MARIESSI'	MARIESSI VIBURNUM	36" CONT	60" O.C. SPACING
PO	15	PHYTOSCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	30" CONT	48" O.C. SPACING
JP	31	JUNIPERUS X FRITZERIANA 'FRITZERIANA COMPACTA'	COMPACT FRITZER JUNIPER	24" CONT	48" O.C. SPACING

street trees note:
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 EDGE OF THE ROAD. NO STREET TREES TO BE INSTALLED OVER
 PROPOSED OR EXISTING UNDERGROUND UTILITY. ALL STREET TREE
 TO BE PRUNED AND MAINTAINED A MINIMUM VERTICAL CLEARANCE
 OF 13 1/2 FEET ALONG THE LENGTH OF ROAD WAY AS REQUIRED PER
 BRIGHTON AREA FIRE AUTHORITY STANDARDS AND REQUIREMENTS.
 SEE SHT. L8-5 FOR DETAILS.



2A general landscape planting detail
 SCALE: 1" = 60' - 0"

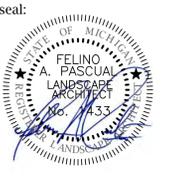
ROW AND GREENBELT LAWN
 AREAS TO RECEIVE IRRIGATION
 AND SEEDING ON FINISH GRADES,
 PROVIDE POSITIVE DRAINAGE

UNDERGROUND UTILITIES-SEE
 ENGINEERING PLAN FOR FINAL
 LOCATIONS, SIZES, TYPES,
 ELEVATIONS AND DETAILS

ROW AND GREENBELT LAWN AREAS
 TO RECEIVE IRRIGATION AND SEEDING
 ON FINISH GRADES, PROVIDE POSITIVE
 DRAINAGE

GREENBELT LAWN AREAS TO
 RECEIVE SEEDING ON FINISH
 GRADES, PROVIDE POSITIVE
 DRAINAGE

ROW AND GREENBELT LAWN
 AREAS TO RECEIVE IRRIGATION
 AND SEEDING ON FINISH GRADES,
 PROVIDE POSITIVE DRAINAGE



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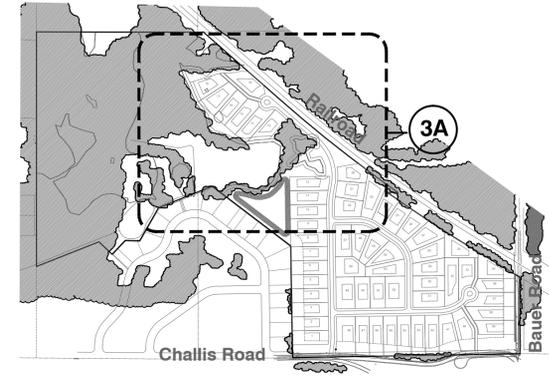
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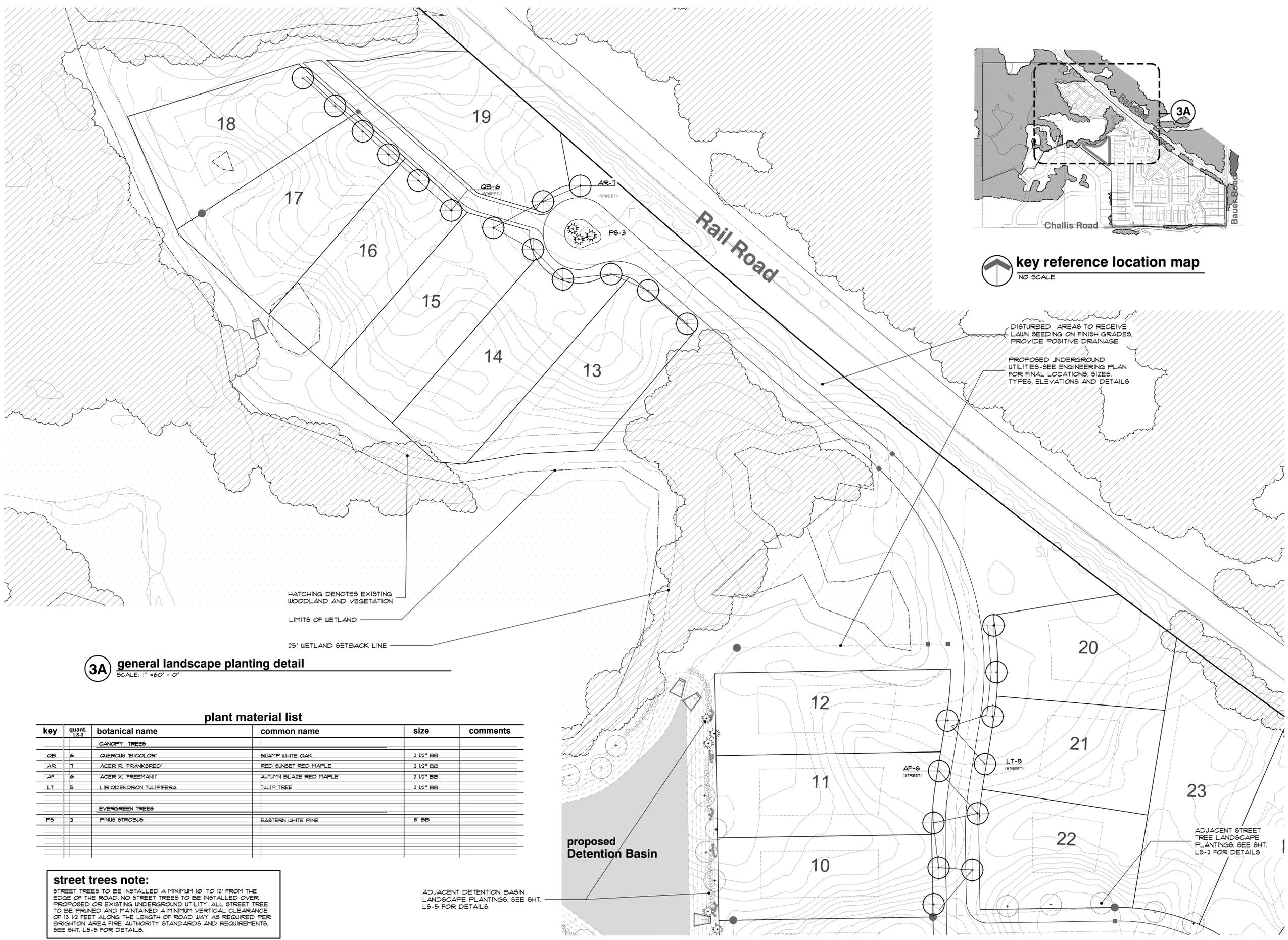
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 of construction

project no:
LS24.083.08

sheet no:
LS-3 of 6



key reference location map
 NO SCALE



DISTURBED AREAS TO RECEIVE
 LAWN SEEDING ON FINISH GRADES,
 PROVIDE POSITIVE DRAINAGE

PROPOSED UNDERGROUND
 UTILITIES-SEE ENGINEERING PLAN
 FOR FINAL LOCATIONS, SIZES,
 TYPES, ELEVATIONS AND DETAILS

HATCHING DENOTES EXISTING
 WOODLAND AND VEGETATION

LIMITS OF WETLAND

25' WETLAND SETBACK LINE

3A general landscape planting detail
 SCALE: 1" = 60' - 0"

plant material list

key	quant. LS-3	botanical name	common name	size	comments
CANOPY TREES					
QB	6	QUERCUS 'BICOLOR'	SWAMP WHITE OAK	2 1/2" BB	
AR	1	ACER R. 'FRANKFRED'	RED SUNSET RED MAPLE	2 1/2" BB	
AF	6	ACER X. 'FREEMANII'	AUTUMN BLAZE RED MAPLE	2 1/2" BB	
LT	5	LIRIODENDRON TULIFIFERA	TULIP TREE	2 1/2" BB	
EVERGREEN TREES					
PS	3	PINUS STROBUS	EASTERN WHITE PINE	8' BB	

street trees note:
 STREET TREES TO BE INSTALLED A MINIMUM 10' TO 12' FROM THE
 EDGE OF THE ROAD. NO STREET TREES TO BE INSTALLED OVER
 PROPOSED OR EXISTING UNDERGROUND UTILITY. ALL STREET TREE
 TO BE PRUNED AND MAINTAINED A MINIMUM VERTICAL CLEARANCE
 OF 13 1/2 FEET ALONG THE LENGTH OF ROAD WAY AS REQUIRED PER
 BRIGHTON AREA FIRE AUTHORITY STANDARDS AND REQUIREMENTS.
 SEE SHT. LS-5 FOR DETAILS.

ADJACENT DETENTION BASIN
 LANDSCAPE PLANTINGS. SEE SHT.
 LS-5 FOR DETAILS

basin construction notes

- PROPER CONSTRUCTION TECHNIQUES, PARTICULARLY INSTALLATION OF VEGETATION, ARE IMPORTANT TO THE SUCCESSFUL FUNCTIONING OF OPEN DETENTION BASINS, ESPECIALLY FOR CONSTRUCTED WETLAND TYPE OPEN DETENTION BASINS IN ORDER TO ESTABLISH A DENSE AND DIVERSE EMERGENT WETLAND PLANT COMMUNITY. GENERAL GUIDELINES FOR VEGETATION INSTALLATION INCLUDE:
- IF EMERGENT PLANT STOCK IS PROPOSED IN THE POND ZONE, THE SUPPLIED PLUG MATERIAL MUST HAVE SUFFICIENT VEGETATIVE GROWTH EXTENDING OUT OF THE WATER ONCE PLANTED.
 - SEED MUST BE PLANTED ABOVE THE PERMANENT WATER ELEVATION.
 - ALL SEEDED AREAS SHOULD BE PROPERLY STABILIZED WITH A MUCK BLANKET PEGGED IN PLACE.
 - DEPENDING ON THE TYPE OF VEGETATION, BARRIERS MAY BE REQUIRED FOR ONE YEAR TO PROTECT THE PLANTINGS (E.G. SNOW FENCE OR NETTING TO DETER WILDLIFE, PREVENT MOWING).
 - IF DETENTION BASIN ARE COMPACTED, THE SLOPES MUST BE ROTOTILLED, 4" (FOUR) OF COMPOST OR TOPSOIL MUST BE ADDED.
 - "NO MOW ZONE" SIGNS MUST BE PLACED AROUND THE BASIN.
1. DETENTION BASIN NATIVE SEEDING TO BE PERFORMED IN EARLY SPRING OR LATE FALL. AQUATIC PLANTS SHOULD BE INSTALLED IN THE SUMMER AFTER THE COVER CROP HAS ESTABLISHED.

lawn area:

80D LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A 80D NURSERY ON LOAM SOIL. 80D TO BE INSTALLED ON MINIMUM 4" TOPSOIL.

SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

- 5% PERENNIAL RYE GRASS
- 10% RED FESCUE
- 25% CHEWING FESCUE
- 60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED, PROVIDE A MINIMUM 4" TOP SOIL ON ALL SEEDED LAWN AREA

detention pond landscape requirement:

detention basin	REQUIRED	PROVIDED
TOTAL LIN.FT. OF POND PERIMETER	1602±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 50 LIN.FT. (1602 LIN.FT. / 50 LIN.FT. = 32.04 TREES)	32	32
TEN (10) SHRUBS PER 50 LIN.FT. (1604 LIN.FT. / 50 LIN.FT. = 32.04 X 10-SHRUBS=320.4)	320	320

detention basin seed mix

A WETLAND SEED MIX FOR SATURATED SOILS IN A DETENTION POND OR FOR SEEDING A SATURATED BASIN. THIS MIX WILL TOLERATE HIGHLY FLUCTUATING WATER LEVELS AND POOR WATER QUALITY ASSOCIATED WITH URBAN STORMWATER WETLANDS AND PONDS. FOR DETENTION BASINS THAT EXPERIENCE LONG, DRY PERIODS, USE THE ECONOMY PRAIRIE SEED MIX IN THE UPPER THIRD TO HALF OF THE BASIN AREA IN COMBINATION WITH THIS MIX. THIS SEED MIX INCLUDES AT LEAST 10 OF 12 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 13 OF 17 NATIVE FORB SPECIES. APPLY AT 36.22 PLS POUNDS PER ACRE.

BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
BOLBOSCHOENUS FLUVIATILIS	RIVER BULRUSH	1.00
CAREX CRISTATELLA	CRESTED OVAL SEDGE	0.50
CAREX LURIDA	BOTTLEBRUSH SEDGE	3.00
CAREX VULPINOIDEA	BROWN FOX SEDGE	2.00
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	24.00
GLYCERIA STRIATA	FOWL MANNA GRASS	1.00
JUNCUS EFFUSUS	COMMON RUSH	1.00
LEERSIA ORYZOIDES	RICE CUT GRASS	1.00
PANICUM VIRGATUM	SWITCH GRASS	2.00
SCHOENOPLECTUS TABERNAEMONTANI	GREAT BULRUSH	3.00
SCIRPUS ATROVIRENS	DARK GREEN RUSH	2.00
SCIRPUS CYPERINUS	WOOL GRASS	1.00
	TOTAL	41.50
TEMPORARY COVER		
AVENA SATIVA	COMMON OAT	512.00
	TOTAL	512.00

FORBS	COMMON NAME	PLS OZ/ACRE
ALISMA SUBCORDATUM	COMMON WATER PLANTAIN	2.50
ASCLEPIAS INCARNATA	SWAMP MILKWEED	2.00
BIDENS SPP. BIDENS	SPECIES	2.00
EUPATORIUM PERFORIATUM	COMMON BONESET	1.00
HELENIUM AUTUMNALE	SNEEZEWEED	2.00
IRIS VIRGINICA V. SHREVEI	BLUE FLAG	4.00
LYCOPUS AMERICANUS	COMMON WATER HOREHOUND	0.50
MIMULUS RINGENS	MONKEY FLOWER	1.00
PENTHORUM SEDOIDES	DITCH STONECROP	0.50
PERSICARIA SPP.	PINKWEED SPECIES	2.00
RUDBECKIA SUBTOMENTOSA	SWEET BLACK-EYED SUSAN	1.00
RUDBECKIA TRILOBA	BROWN-EYED SUSAN	1.50
SAGITTARIA LATIFOLIA	COMMON ARROWHEAD	1.00
SENNA HEBECARPA	WILD SENNA	2.00
SYMPHYOTRICHUM LANCEOLATUM	PANICLED ASTER	0.50
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	0.50
THALICTRUM DASycARPUM	PURPLE MEADOW RUE	2.00
	TOTAL	26.00



key reference location map
NO SCALE

economy prairie seed mix

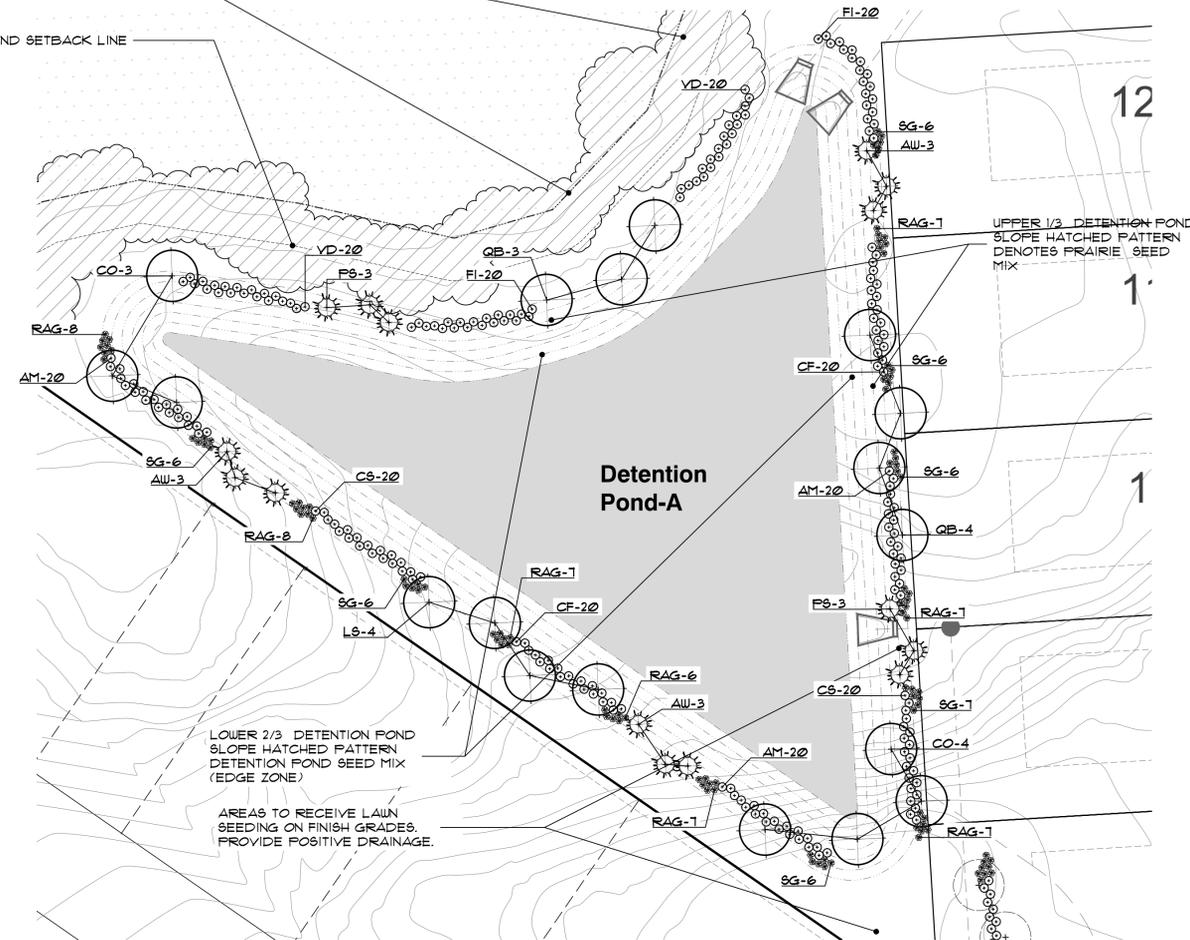
THIS PRAIRIE SEED MIX OFFERS AN ECONOMICAL WAY TO ESTABLISH A PRAIRIE. IN ADDITION TO NATIVE PRAIRIE GRASSES, FLOWERING SPECIES PROVIDE COLOR THROUGHOUT THE GROWING SEASON AND FOOD SOURCES FOR BIRDS AND BUTTERFLIES. ADDING SEED OR PLANT PLUGS AT A LATER DATE IS A WONDERFUL WAY TO INCREASE A PRAIRIE'S RICHNESS AND DIVERSITY. THIS SEED MIX INCLUDES AT LEAST 6 OF 7 NATIVE PERMANENT GRASS AND SEDGE SPECIES AND 10 OF 13 NATIVE FORB SPECIES. APPLY AT 40.95 PLS POUNDS PER ACRE.

BOTANICAL NAME	COMMON NAME	PLS OZ/ACRE
PERMANENT GRASSES/SEDGES		
ANDROPOGON GERARDII	BIG BLUESTEM	12.00
BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA	16.00
CAREX SPP.	PRAIRIE SEDGE SPECIES	3.00
ELYMUS CANADENSIS	CANADA WILD RYE	24.00
PANICUM VIRGATUM	SWITCH GRASS	2.50
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	32.00
SORGHASTRUM NUTANS	INDIAN GRASS	12.00
	TOTAL	101.50
TEMPORARY COVER		
AVENA SATIVA	COMMON OAT	512.00
	TOTAL	512.00
FORBS		
ASCLEPIAS SYRIACA	COMMON MILKWEED	1.00
ASCLEPIAS TUBEROSA	BUTTERFLY WEED	1.00
CHAMAECRISTA FASCICULATA	PARTRIDGE PEA	10.00
COREOPSIS LANCEOLATA	SAND COREOPSIS	6.00
ECHINACEA PURPUREA	BROAD-LEAVED PURPLE CONEFLOWER	8.00
HELIOPSIS HELIANTHOIDES	FALSE SUNFLOWER	0.25
MONARDA FISTULOSA	WILD BERGAMOT	0.50
PENSTEMON DIGITALIS	FOXGLOVE BEARD TONGUE	1.00
RATIBIDA PINNATA	YELLOW CONEFLOWER	4.00
RUDBECKIA HIRTA	BLACK-EYED SUSAN	8.00
SOLIDAGO SPECIOSA	SHOWY GOLDENROD	0.50
SYMPHYOTRICHUM LAEVE	SMOOTH BLUE ASTER	1.00
SYMPHYOTRICHUM NOVAE-ANGLIAE	NEW ENGLAND ASTER	0.50
	TOTAL	41.75

plant material list

key	quant.	botanical name	common name	size	comments
CANOPY AND EVERGREEN TREES					
QB	1	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2" BB	
LS	4	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2 1/2" BB	
CO	1	CELTIS OCCIDENTALIS	HACKBERRY		
FS	6	PINUS STROBUS	EASTERN WHITE PINE	8" BB	
AW	9	ABIES CONCOLOR	CONCOLOR WHITE FIR	8" BB	
SHRUBS					
RAG	51	VIBURNUM D. 'SYNNESTVEDT'	GRO LOW FRAGRANT SUMAC	5" CONT	42" O.C. SPACING
VD	40	VIBURNUM D. 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	5" CONT	60" O.C. SPACING
CS	40	CORNUS STOLONIFERA	REDTIG DOGWOOD	5" CONT.	60" O.C. SPACING
CF	40	CORNUS FLAVIRAMEA	YELLOWTIG DOGWOOD	5" CONT.	60" O.C. SPACING
FI	40	FORSTYTHIA INTERMEDIA	BORDER FORSTYTHIA	5" CONT.	60" O.C. SPACING
SG	43	SPIREA X B. BUNALDA 'GOLDFLAME'	GOLDFLAME SPIREA	5" CONT.	42" O.C. SPACING
IV	60	ILEX VERTICILLATA	MICHIGAN HOLLY	5" CONT.	60" O.C. SPACING

HATCHING DENOTES EXISTING WOODLAND AND VEGETATION
LIMITS OF WETLAND
25' WETLAND SETBACK LINE



4A detention pond-A planting detail
SCALE: 1" = 30' - 0"

hatch pattern legend

[Hatched Pattern]	AREAS TO RECEIVE IRRIGATION AND SOD, MAINTAINED AND MOWED WEEKLY	[Dotted Pattern]	AREAS TO RECEIVE PRAIRIE SEED MIX. (NO MOWED AREA)
[Stippled Pattern]	AREAS TO RECEIVE LAWN SEEDING	[Grid Pattern]	AREAS TO RECEIVE DETENTION POND SEED MIX



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LAUTREC
31550
Northwestern
HWY. Suite 200
Farmington Hills,
Michigan 48334

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THE LEGACY HILLS

project location:
Genoa Township,
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Challis Road & Bauer Road

sheet title:
DETENTION
LANDSCAPE PLANTING
DETAIL PLAN

job no./issue/revision date:
LS24.083.08 SPA 8-26-2024
LS24.083.09 TWP. COMMENTS 9-26-2024

drawn by:
JP,
checked by:
FP
date:
8-20-2024

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project no:
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 31550
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 Michigan 48334

project:
**THE
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 HILLS**

project location:
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sheet title:
**LANDSCAPE
 MATERIAL LIST,
 PLANT DETAILS &
 NOTES**

job no./issue/revision date:
 LS24.083.08 SPA 8-26-2024
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**3 WORKING DAYS
 BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171**
 For free location of public utility lines

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project no:
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sheet no:
LS-5 of 6

planting landscape notes:

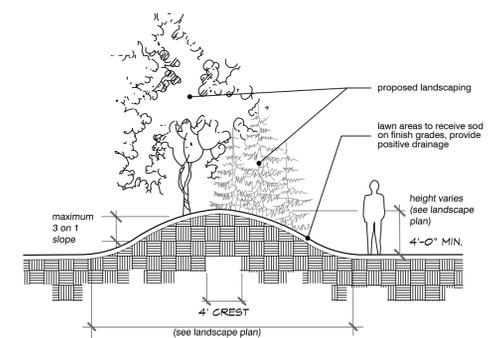
- GENERAL NOTES:
 1. PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE GENOA TOWNSHIP AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
 2. PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 1 YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.
 3. PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. 1 GRADE NORTHERN NURSURY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
 4. MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK. MULCH FOR TREES IN 4" DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
 5. CALL MISS DIG AT 1-800-482-7171 PRIOR TO ANY CONSTRUCTION.

- DECIDUOUS & EVERGREEN TREE:
 1. TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
 2. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
 3. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.
 4. REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.

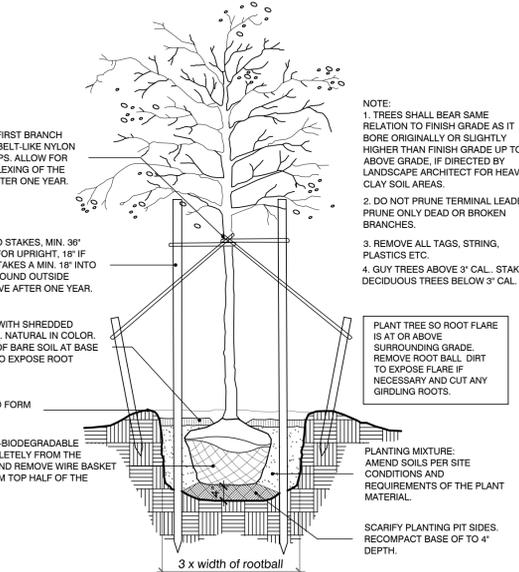
- SHRUB:
 1. SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
 2. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
 3. REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

LANDSCAPE MAINTENANCE PROCEDURES AND FREQUENCIES TO BE FOLLOWED SHALL BE SPECIFIED ON THE LANDSCAPE PLAN, ALONG WITH THE MANNER IN WHICH THE EFFECTIVENESS, HEALTH AND INTENDED FUNCTIONS OF THE VARIOUS LANDSCAPE AREAS ON THE SITE WILL BE ENSURED.

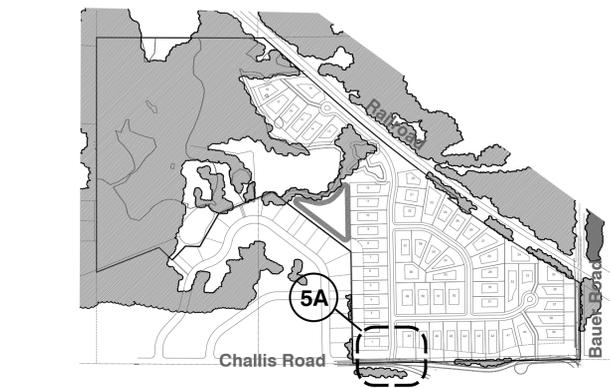
1. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
 2. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
 3. ALL DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITHIN 60x (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 15 AND NOVEMBER 15 OR UNTIL THE FRESH FROST SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE.



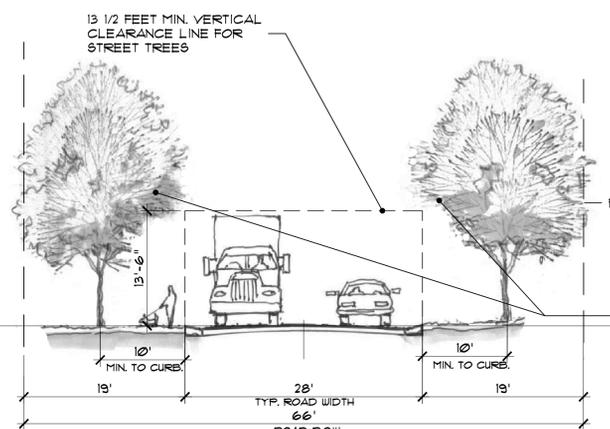
berm planting detail
 no scale



tree planting detail
 no scale



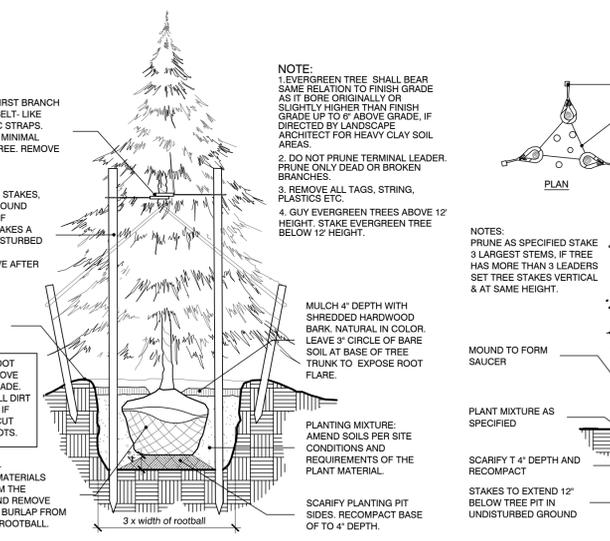
key reference location map
 NO SCALE



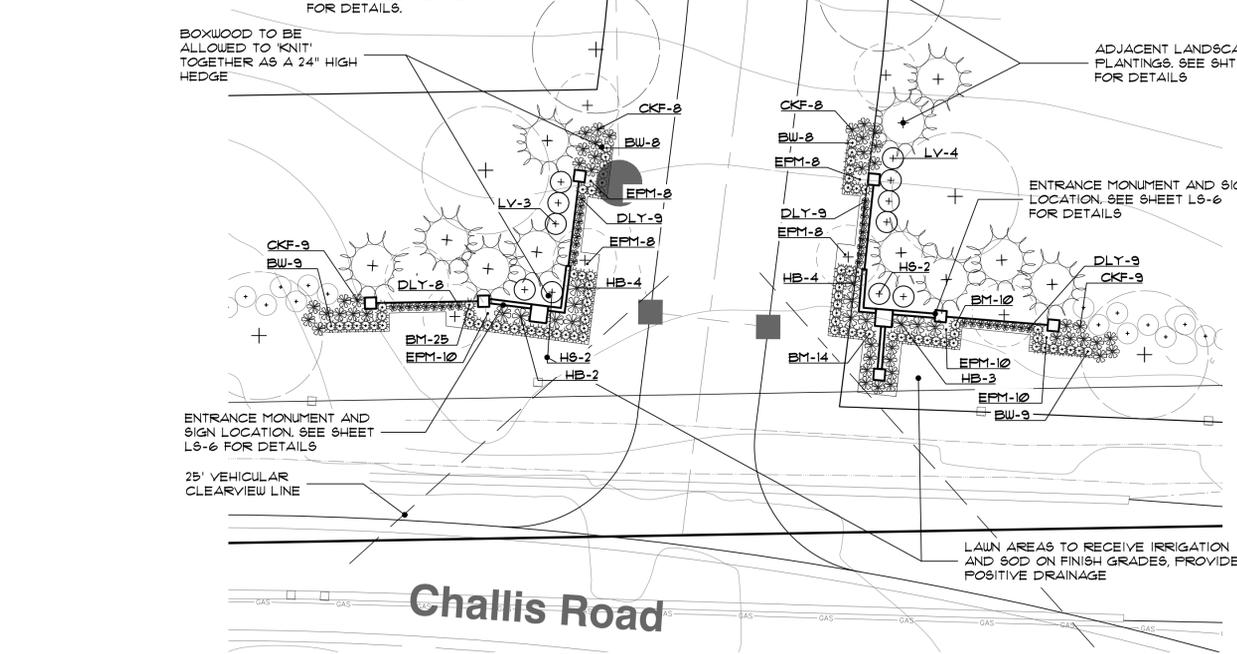
street tree planting detail
 SCALE: 1" = 10'-0"

street trees note:

STREET TREES TO BE INSTALLED A MINIMUM 10' TO 12' FROM THE EDGE OF THE ROAD. NO STREET TREES TO BE INSTALLED OVER PROPOSED OR EXISTING UNDERGROUND UTILITY. ALL STREET TREES TO BE PRUNED AND MAINTAINED A MINIMUM VERTICAL CLEARANCE OF 13 1/2 FEET ALONG THE LENGTH OF ROAD WAY AS REQUIRED PER BRIGHTON AREA FIRE AUTHORITY STANDARDS AND REQUIREMENTS. SEE SHT. L5-5 FOR DETAILS.

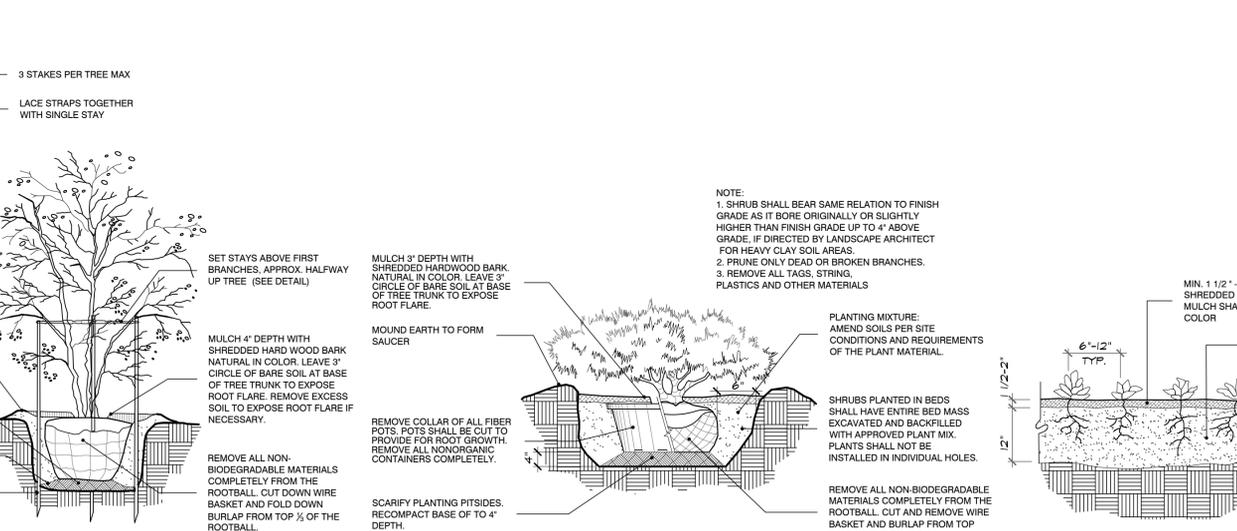


evergreen planting detail
 no scale



plant material list

key	quant. 5A	botanical name	common name	size	comments
SHRUBS					
BM	83	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	18" CONT	24" O.C. SPACING
HB	4	HIBISCUS SYRIACUS 'APHRODITE'	APHRODITE ROSE OF SHARON	36" CONT.	60" O.C. SPACING
LV	7	LIGUSTRUM X. 'VICARYI'	GOLDEN VICARY PRIVET	36" CONT.	60" O.C. SPACING
HB	13	HYDRANGEA P. 'ILYOBO'	BOBO HYDRANGEA	30" CONT	36" O.C. SPACING
PERENNIALS AND GRASSES					
CKF	34	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3" CONT.	36" O.C. SPACING
EFM	62	ECHINACEA 'PIXIE MEADOWBRITE'	'PIXIE MEADOWBRITE' PURPLE CONEFLOWERS	4" CONT.	12" O.C. SPACING
DLY	36	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	4" CONT.	18" O.C. SPACING



multi-stem tree planting detail
 no scale

shrub planting detail
 no scale

perennial planting detail
 no scale



entry wall monument / pier/ signage / notes:

1. LOCATE AND STAKE ALL EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. COORDINATE ANY ADJUSTMENTS WITH LANDSCAPE ARCHITECT.
2. ALL ENTRY WALL LIGHTING SHALL BE CONTROLLED WITH A "PHOTO-EYE" SWITCH. ALL LIGHTING SHALL BE SHIELDED FROM PUBLIC ROW'S AND ADJACENT PROPERTIES.
3. SEE LANDSCAPE PLAN FOR PROPOSED PLANTINGS ADJACENT TO PROPOSED ENTRY SIGN MONUMENT ON SHT. L5-5
4. VERIFY SOIL BEARING CAPACITY PRIOR TO ENTRY SIGN MONUMENT & PIER CONSTRUCTION. IF SOIL BEARING CAPACITY FALLS BELOW STANDARD REQUIREMENTS, CONSULT STRUCTURAL ENGINEER FOR RECOMMENDATION OF FINAL ENTRY MONUMENT & PIER FOOTING DESIGN.
5. SIGNAGE TEXT AND LOGO TO BE METAL PRISMATIC DIMENSIONAL LETTERS. PRIOR TO SIGN INSTALLATION, PERMITS TO BE OBTAINED PER GENOA TOWNSHIP REQUIREMENTS AND APPROVALS.
6. ALL INFORMATION CONTAINED HEREIN IS SUBJECT TO APPROVAL, AND PERMITS PERMITS TO BE OBTAINED PRIOR TO CONSTRUCTION.
7. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH AN ASSUMED SAFE BEARING CAPACITY OF 2000 P.S.F. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
8. MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS, U.O.N.; SLABS SHALL BE 3500 P.S.I. MIN. U.O.N.; EXPOSED CONCRETE SHALL BE 4000 P.S.I. WITH 6% ± 1% ENTRAINED AIR U.O.N.
9. ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
10. PROVIDE DOUELS INTO FOUNDATION TO MATCH SIZE AND SPACING OF VERTICAL REINFORCEMENT AT ALL WALLS, UNLESS OTHERWISE NOTED.
11. PROVIDE MINIMUM 3" CONCRETE COVER FOR REINFORCEMENT BARS BELOW GRADE AND MINIMUM 2" CONCRETE COVER FOR REINFORCEMENT BARS ABOVE GRADE.

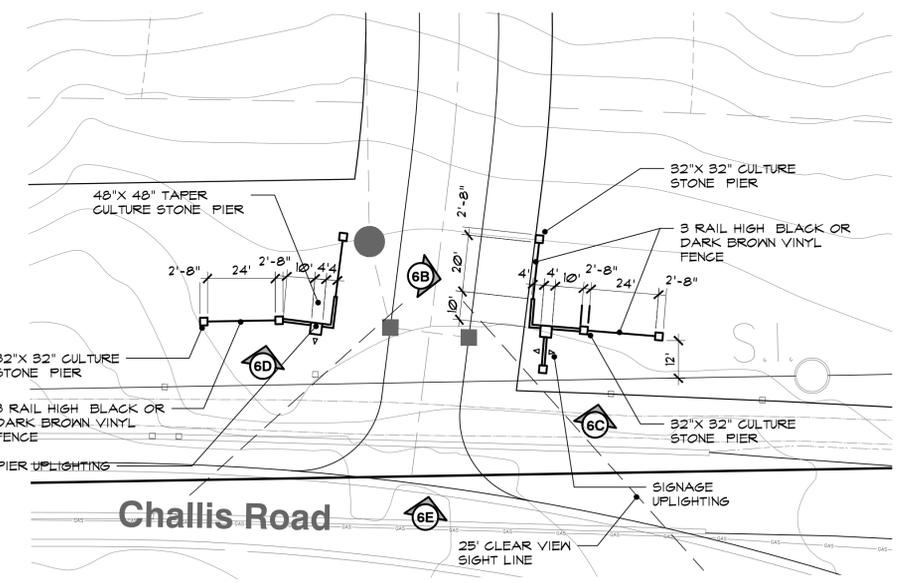


SIGNAGE UPLIGHTING MANUFACTURED BY HYDREL, MODEL NO. 4199, 20660 NORDHOFF STREET, SUITE B CHATSWORTH, CA 91311
 WEB SITE : WWW.HYDREL.COM
 PHONE: 866-533-9901
 FAX: 866-533-5291
 FINISH SELECTION : BRONZE

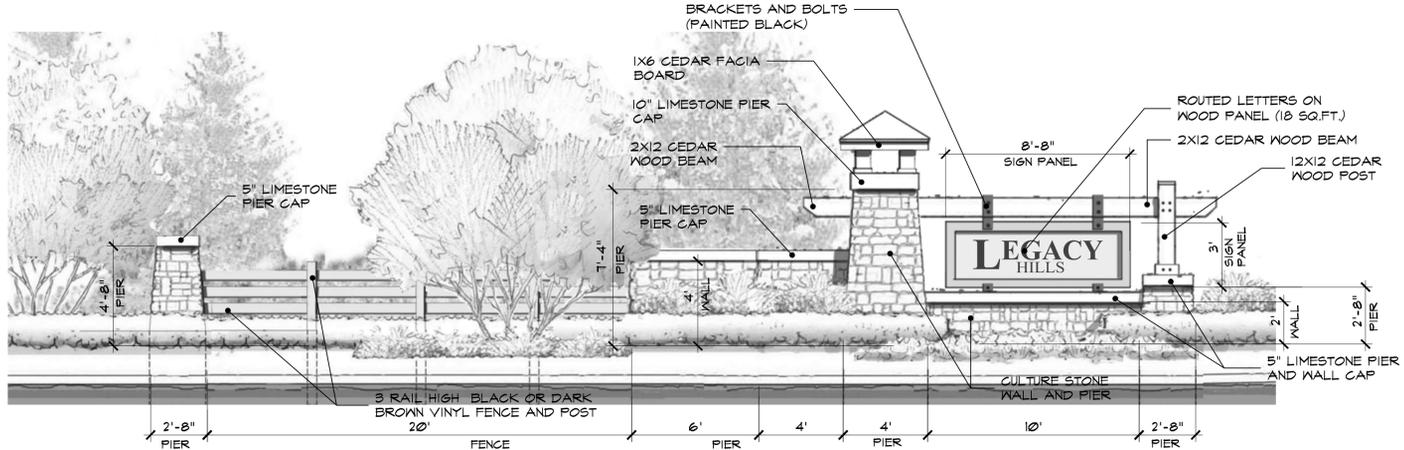
NOTE:
 LIGHT TO BE SHIELD FROM PUBLIC ROW AND LAMPS SHALL NOT BE VISIBLE FROM NORMAL VIEWING ANGLES

sign panel uplighting

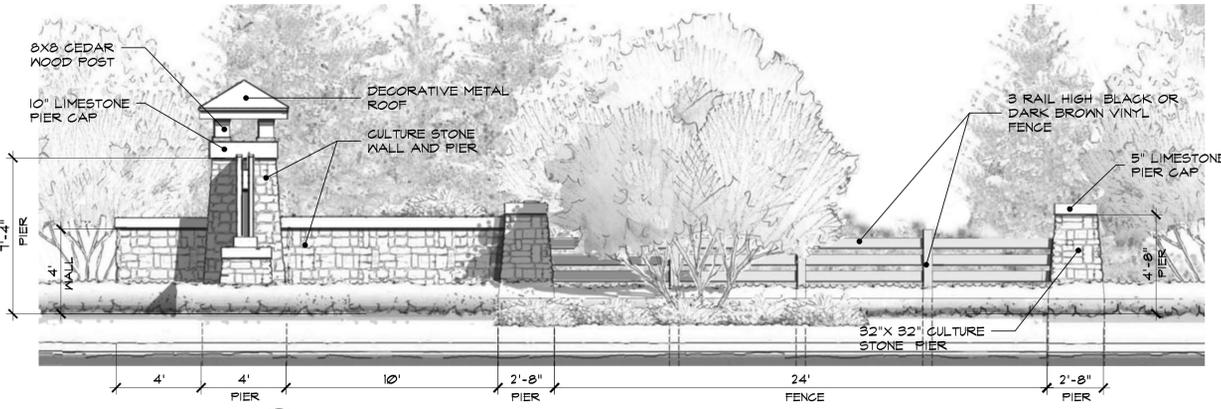
(2-CONDITIONS)



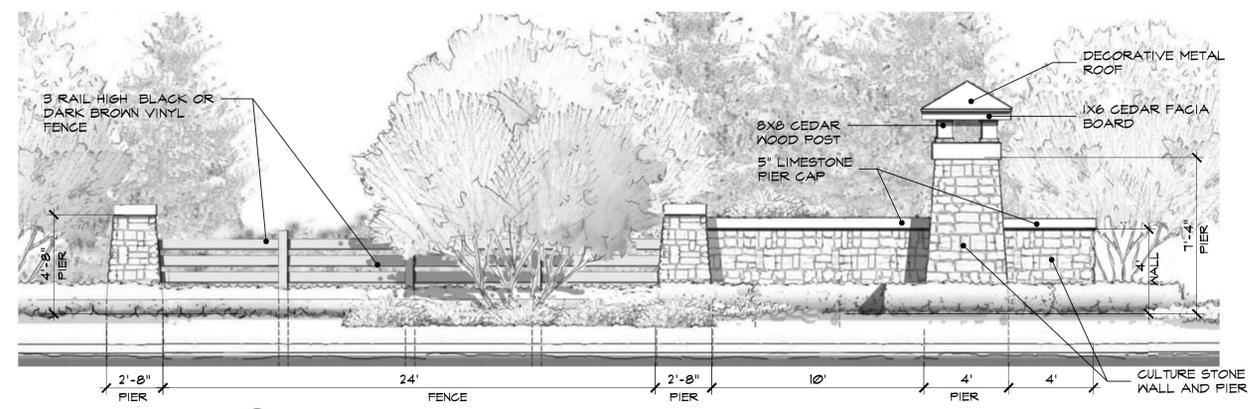
6A entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



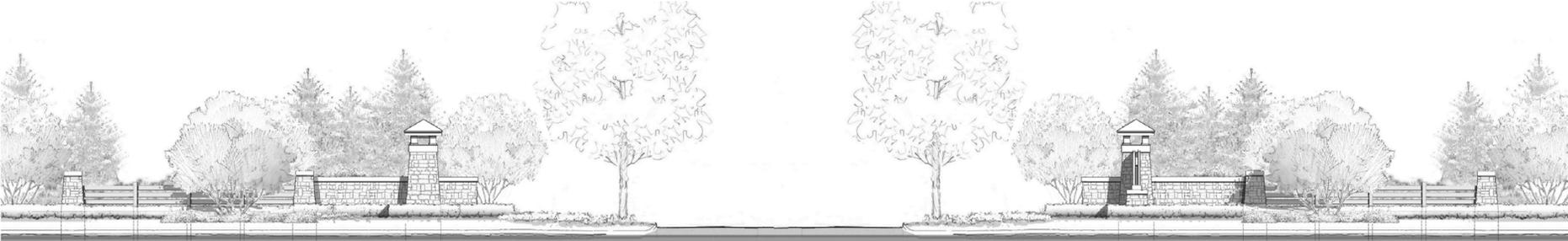
6B entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



6C entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



6D entry sign monument elevation
 SCALE: 1/4" = 1' - 0"



6E entry sign monument elevation
 SCALE: 1/4" = 1' - 0"

client:
LAUTREC
 31550
 Northwestern
 HWY. Suite 200
 Farmington Hills,
 Michigan 48334

project:
THE LEGACY HILLS

project location:
 Genoa Township,
 Michigan
 Challis Road & Bauer Road

sheet title:
 ENTRANCE SIGN MONUMENT

job no./issue/revision date:
 LS24.083.08 SPA 8-26-2024
 LS24.083.09 TWP. COMMENTS 9-26-2024

drawn by:
JP,
 checked by:
FP
 date:
8-20-2024

notice:
 Copyright © 2024
 This document and the subject matter contained therein is proprietary and is not to be used or reproduced without the written permission of Felino Pascual and Associates
 Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction

project no:
LS24.083.08



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: 735 N. Second Street LLC, 775 N. Second Street, Brighton, MI
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: 735 N. Second Street LLC, 775 N. Second Street, Brighton, MI

SITE ADDRESS: 3080 Toddiem Drive, Brighton PARCEL #(s): 4711-08-100-009

APPLICANT PHONE: (810) 229-6323 OWNER PHONE: (810) 229-6323

OWNER EMAIL: smacek@corriganoil.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Property is located on the South side of Toddiem Drive, East of Victory Drive, is developed and contains an existing industrial building, paved parking area, and a gravel, fenced and gated yard area.

BRIEF STATEMENT OF PROPOSED USE: Proposed use as a contractors office and yard for Michigan Landscape Professionals, a commercial landscape, lawn maintenance and snow removal service provider.

THE FOLLOWING BUILDINGS ARE PROPOSED: Existing 15,040 square foot industrial building is proposed to remain. No new buildings are proposed on the property.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: *Justin H. Longan*

ADDRESS: 775 N. 2nd St. Brighton, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Wayne M. Perry of Desine Inc. at waynep@desineinc.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Timothy H. Corrigan DATE: 7/26/24
PRINT NAME: Timothy H. Corrigan PHONE: 810 229 6323
ADDRESS: 775 N. 2nd St. Brighton, MI 48116



GENOA CHARTER TOWNSHIP

Special Land Use Application

This application **must** be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

APPLICANT NAME & ADDRESS: 735 N. Second Street LLC, 775 N. Second Street, Brighton, MI 48116
Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.

APPLICANT PHONE: (810) 229-6323 EMAIL: smacek@corriganoil.com

OWNER NAME & ADDRESS: 735 N. Second Street LLC, 775 N. Second Street, Brighton, MI 48116

SITE ADDRESS: 3080 Toddiem Drive, Brighton, Michigan PARCEL #(s): 4711-08-100-009

OWNER PHONE: (810) 229-6323 EMAIL: smacek@corriganoil.com

Location and brief description of site and surroundings:

Property is located on the South side of Toddiem Drive, East of Victory Drive. Property is developed and contains an existing 15,040 sq.ft. building, paved parking area, and a fenced and gated gravel yard area.

Proposed Use:

Proposed use as a contractors office and yard for Michigan Landscape Professionals, a commercial landscape, lawn maintenance and snow removal service provider.

Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03):

- a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed.

The Genoa Twp. Future Land Use plan identifies the site for use as Industrial. The proposed use as a contractors office and yard are compatible with the surrounding area and conform with the Township comprehensive plan and Zoning Ordinance.

- b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity.

The site is an existing, developed, industrial property and the proposed change in use will not alter the industrial character of the area. Addition of landscaping conforming to the Township Zoning Ordinance will significantly improve the aesthetics of the property.

- c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools?

No expansion to the existing building is proposed and existing utilities and services are adequate to support the existing building. No change in fire protection services, refuse disposal and school use is anticipated.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?

Proposed use of the property for an industrial use will not be detrimental to the environment, public health, safety or welfare of the Township.

e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.

Section 8.02.02(b) - Existing outdoor storage yard is fenced, bordered on the South by the existing railroad grade, East and West sides of the property are wooded, and proposed landscaping is proposed along the North adjacent to Toddiem Drive.

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THIS PERMIT.

THE UNDERSIGNED Michael B. Corrigan STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT.

BY: Michael Blonyo

ADDRESS: 775 N. 2nd St. Brighton, MI 48116

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

Wayne M. Perry of Desine Inc. at waynep@desineince.com
Name Business Affiliation Email

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Timothy H. Corrigan DATE: 7/26/24

PRINT NAME: Timothy H. Corrigan PHONE: 810 459 0604



September 20, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Michigan Landscape Professionals – Special Land Use and Site Plan Review #1
Location:	3080 Toddiem Drive – south side of Toddiem, east of Victory Drive
Zoning:	IND Industrial District

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from Michigan Landscape Professionals for contractor’s office and yard with outdoor storage for the previously developed property at 3080 Toddiem Drive (site plan dated 7/17/24).

A. Summary

1. Special Land Uses (Section 19.03):

- a. The special land use standards of Section 19.03 are generally met.
- b. In order to make favorable findings related to compatibility and impacts, the conditions of Section 8.02.02(b) and 13.07 must be met to the Commission’s satisfaction.
- c. While we believe the property has been cleaned up, any remaining junk or debris on-site should be removed as part of this project.
- d. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority regarding public facilities and services.
- e. If additional concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

2. Outdoor Storage (Section 8.02.02(b)):

- a. The applicant must confirm that any loose materials will be covered to prevent dust or blowing of materials.
- b. The Commission may allow the use of gravel surfacing, pending comments from the Township Engineer.
- c. The applicant must explain use of the large vehicle spaces in the outdoor storage yard. If these are technically parking spaces, then the setback is met; however, if this is outdoor storage, then the setback is not met.
- d. The gravel area outside of the fencing should be removed.
- e. We request the applicant confirm that all loading and truck maneuvering will be accommodated on-site.
- f. We request the applicant provide a detail of the screen fencing.
- g. We request the applicant provide details demonstrating that the height of items stored will not exceed the height of screening provided.

3. Fuel Storage (Section 13.07)

- a. The standards are generally met; however, the applicant must obtain all necessary outside permits.

4. Site Plan Review:

- a. We request the applicant note the surfacing between the building and parking spaces.
- b. We request the applicant clarify the distinction between gravel and hard surfacing. Driveways, parking lots and drive aisles are required to be hard surfaced.
- c. The applicant must address any comments provided by the Township engineer and Brighton Area Fire Authority.

- d. If lighting beyond the new wall mounted fixtures is proposed or exists, a full lighting plan should be provided. The Commission may also wish to require a photometric plan for the new wall mounted fixtures.
- e. Parking lot landscaping is deficient.
- f. The trees depicted must be identified in accordance with the planting schedule.
- g. The easterly refuse pad is deficient in width by 1'. Neither refuse area provides an enclosure.



Aerial view of site and surroundings (looking north)

B. Proposal/Process

The applicant proposes development of a contractor's yard with outdoor storage of equipment and machinery on the 11 acre site, which was previously developed (existing building, parking, and gravel storage yard).

Table 8.02 allows contractors yards with outdoor storage with special land use approval in the IND. The request is also subject to the use conditions of Section 8.02.02(b).

Additionally, the project includes accessory fuel storage, which is subject to the use conditions of Section 13.07.

Procedurally, the Planning Commission is to review the special land use, site plan, and Environmental Impact Assessment, and put forth recommendations to the Township Board following a public hearing.

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

1. **Master Plan.** The Township Master Plan identifies the subject site as Industrial, which is intended for "industrial uses such as research, wholesale and warehouse activities, and light industrial operations."

The proposed use, which is light industrial in nature, is generally consistent with the Master Plan and Future Land Use Map, including the description of the Industrial category.

2. **Compatibility.** The subject site is located within one of the main industrial areas in the Township. As such, surrounding land uses are almost entirely light industrial in nature, most of which also include some form of outdoor storage. The site also abuts a rail line.

The conditions of Section 8.02.02(b), which include setback and screening requirements, are intended to help mitigate potential off-site impacts of the outdoor storage areas.

Similarly, the conditions of Section 13.07 are intended to help mitigate potential impacts of fuel storage.

Provided these conditions are met to the Commission's satisfaction, the proposal is expected to be compatible with the existing and intended character of the area.

With that being said, previous uses left this property in poor condition (as demonstrated by the aerial photo). While we believe the property has been cleaned up since the aerial photo on page 2 was taken, any remaining junk or debris on-site should be removed as part of this project.

- 3. Public Facilities and Services.** Given that the site was previously developed, we anticipate that necessary public facilities and services are in place.

With that being said, the applicant must address any comments provided by the Township Engineer and/or Brighton Area Fire Authority related to this criterion.

- 4. Impacts.** Similar to comments under criterion #2 above, the conditions for contractor's yards with outdoor storage and fuel storage must be met to the Commission's satisfaction.

There are 2 wetlands on-site, though neither is within the existing or proposed development area.

- 5. Mitigation.** If additional concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Use Conditions (Outdoor Storage)

Contractor's yards with outdoor storage are subject to the use requirements of Section 8.02.02(b), as follows:

- 1. Minimum lot area shall be one (1) acre.**

The subject site contains a total of 11 acres.

- 2. Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.**

The project includes containment for several stockpiles, including a covered salt storage structure. While the stockpiles will be within a concrete containment, the applicant must confirm that any loose materials will also be covered to prevent dust or blowing of materials.

- 3. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.**

The outdoor storage area is almost entirely gravel, though there are some areas identified as concrete.

The Commission may allow the use of gravel, pending any comments from the Township Engineer.

- 4. No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the outdoor display, sales or storage use is located. Any approved outdoor sales or display with a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.**

For the most part, the outdoor storage area meets or exceeds minimum IND setback requirements; however, there are large vehicle parking spaces that encroach into the easterly side yard setback and there is a gravel area in the northwest portion of the property (outside of the fencing) that encroaches into the front yard setback.

If it is technically parking, then the required setback is met; however, this has the appearance of being used as outdoor storage.

Furthermore, the gravel area outside of the fencing should be removed as part of this project.

- 5. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.**

The site contains a 15,040 square foot building.

- 6. All loading and truck maneuvering shall be accommodated on-site.**

Based on the size of the property and the site plan layout, the applicant should be able to comply with this requirement. However, we request the applicant confirm that this will be the case.

- 7. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.**

The project includes a mix of existing wooded areas and chain link fencing with screen curtains.

We request the applicant provide a detail of the fencing to ensure compliance with this standard.

- 8. The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district or face an expressway, and such storage is confined to within twenty (20) feet of the building.**

We request the applicant provide details sufficient to make a determination under this standard.

Information such as the height of items stored in relation to the height of the screen fence and existing wooded areas will be helpful.

E. Use Conditions (Fuel Storage)

Accessory fuel storage is subject to the requirements of Section 13.07, as follows:

- 1. Above ground.** The project includes a 300-gallon above ground tank, which is the maximum size allowed by Ordinance.
- 2. Below ground.** This standard does not apply to the request.

3. **Secondary containment.** The tank sits on a 20' x 21' concrete pad, which will provide secondary containment.
4. **PIPP.** The submittal includes the required Pollution Incident Prevention Plan.
5. **Permits.** The applicant must obtain all necessary permits.

F. Site Plan Review

1. **Dimensional Requirements.** The existing building and proposed parking lot comply with the dimensional requirements of the IND, as follows:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
IND	1	150	50	25	40	20 front 10 side/rear	40% building 85% impervious	30' 2 stories
Proposal	11	760	89	89 (E) 485 (W)	480	20 front 13 side (E)	3.1% building 29.8% impervious	20' 1 story

2. **Building Design and Materials.** Aside from the addition of new wall-mounted light fixtures, no changes to the building are depicted.
3. **Pedestrian Circulation.** Public sidewalks are not required. The project includes a new sidewalk along the front of the building for barrier-free access.

It is unclear whether a sidewalk is also proposed between the building and parking spaces east of the barrier-free spaces. We request the applicant clarify the surfacing in this area of the project.

4. **Vehicular Circulation.** Based on aerial photos, the site provides 3 access points to/from Toddiem Drive; however, the site plan only appears to depict the 2 for access to the parking lot.

The Ordinance requires that driveways, parking lots and drive aisles be hard surfaced. However, the distinction between areas of gravel and hard surfacing is difficult to determine. As such, we request that the applicant provide clarification.

The applicant must address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

5. **Parking.** The applicant must provide parking calculations. There is reference to the amount of parking required and the number of spaces provided, but nothing supporting the number of spaces.

Additionally, as previously noted, much of the parking lot is gravel, though the Ordinance requires hard surfacing.

6. **Exterior Lighting.** The plan identifies 8 new wall mounted fixtures. The detail notes use of downward directed LED fixtures, as required.

If there is additional site lighting, details and photometric plan should be provided to ensure compliance with current standards.

The Commission may also request a photometric plan for the new wall mounted fixtures, if deemed necessary.

7. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 19 canopy trees	20' width 19 trees canopy trees	In compliance
Parking lot	8 canopy trees 760 SF landscaped area	4 canopy trees	Deficient by 4 canopy trees and 760 SF landscaped area

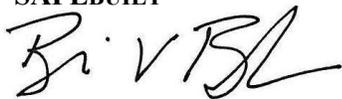
The trees depicted on the plan must be identified in accordance with the planting schedule.

8. **Waste Receptacle.** The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	1 – rear yard 1 – non-required side yard	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Access is behind a security gate	Applicant will coordinate access w/ refuse service
Base design	9' x 15' concrete pad	10' x 20' concrete pad 8' x 20' concrete pad	Requirement met Slightly deficient in width
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	None depicted	Neither receptacle depicts an enclosure

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT



Brian V. Borden, AICP
 Michigan Planning Manager



September 16, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: 3080 Toddiem Drive
Site Plan Review No. 1**

Dear Ms. Ruthig:

Tetra Tech conducted a review of the site plan submittal for 3080 Toddiem Drive last dated July 17, 2024. The site plan was prepared by Desine, Inc for 735 North Second Street, LLC. The site includes an existing 15,040 square foot building and is located on the south side of Toddiem Drive, approximately 300 feet east of Victory Drive. The existing building is proposed to remain unchanged and site improvements include the addition of onsite parking, a fuel tank, two dumpster pads, and a covered salt storage enclosure.

We offer the following comments:

PARKING LOT

1. The site has a combination of paved and gravel parking lot. Since paved customer parking spaces are provided, and the existing site is gravel, we have no engineering concern with the proposed gravel areas that will be used for storage and employee parking.

DRAINAGE AND GRADING

1. The existing drainage and grading of the site is remaining mostly unchanged as part of the proposed site plan. The proposed site improvements will slightly reduce the total impervious surface of the site. Therefore, no storm improvements would be required as part of the project.

The above comments are provided for information, but do not require any changes to the provided site plan or impact assessment. After reviewing the plans, we have no engineering related concern with the proposed development. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

August 12, 2024

Sharon Stone
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Michigan Landscape Professionals
3080 Toddiem Drive
Genoa Twp., MI

Dear Sharon,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on July 31, 2024 and the drawings are dated July 17, 2024. The project is based on the proposed re-occupancy of an existing commercial parcel as a landscape supply company. The plan includes a new above ground fuel storage tank. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

The fire authority has no opposition to the proposed site plan as submitted.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Sharon Stone Sharon@genoa.org

**3080 TODDIEM DRIVE
Genoa Township, Michigan
Site Plan Application**

IMPACT ASSESSMENT

Owner:

735 N. Second Street, LLC
775 N. Second Street
Brighton, Michigan 48116

Prepared by:

DESINE INC.
2183 Pless Drive
Brighton, Michigan 48114

A. INTRODUCTION

This impact assessment has been prepared pursuant to Article 18 – SITE PLAN REVIEW of the Zoning Ordinance for the Township of Genoa, Livingston County, Michigan. This assessment addresses the impact of the proposed industrial development on the surrounding community and the economic condition and social environment of the Township.

This Impact Assessment has been prepared under the direction of Wayne Perry, P.E., DESINE INC., 2183 Pless Drive, Brighton, Michigan. Mr. Perry is a licensed Civil Engineer, providing professional engineering services in Livingston County since 1988 with experience in private and municipal development including projects within Genoa Township and Livingston County.

B. SITE LOCATION / DESCRIPTION

The development property contains 11.0 acres of land, is bordered on the North by Toddiem Drive, the railroad along the Southwest, and vacant industrial property to the East and West. All adjacent property surrounding the parcel is zoned Industrial.

The parcel currently contains an existing industrial building and related site improvements. The Existing Conditions Plan provides a detailed overview of the existing site features.

The site plan depicts the proposed use of the site as a contractors office and yard for Michigan Landscape Professionals, including the existing 15,040 square foot building, access drives, parking areas for guest and employee vehicles, commercial and truck parking areas, and material stockpile bins. Additionally, the site plan depicts the fenced, gravel storage yard, diesel fuel tank, lighting, landscaping and related site improvements.

A plan depicting the proposed site improvements is provided in Figure 2.

C. IMPACT ON NATURAL FEATURES

Natural features on the development property consist of re-established woods and shrub/scrub brush. Existing topography of the site is generally sloping, the South parcel slopes from East to West, and the North parcel slopes from South to North. Elevation of the property varies from an elevation of 970 at the Easterly property line, to approximately 948 along the West and North parcel limits. Surface water drainage on the property generally flows to the West and North.

Existing soils on the property are primarily Miami loam, with small areas of Conover Loam and Fox-Boyer Complex near the boundaries. An area of Tawas Muck is present in the North half of the Norther parcel. The loam soils are generally moderately drained and moderately permeable. Soil classifications are prepared by the United States Department of Agriculture, Soil Conservation Service, and “Soil Survey of Livingston County”. The Soils Map, shown in Figure 3, shows the locations of specific soil types as classified.

The proposed re-use of the property will not require earthwork, no excavation or grading is proposed. Surface drainage characteristics on the property will not be affected by the proposed reuse of the site. The surface drainage conditions will not significantly impact

local aquifer characteristics or groundwater recharge capacity.

Upland wildlife habitats on the property are minimal and consist of primarily of the re-established wooded and shrub/scrub brush areas. Wildlife supported in these areas are generally smaller field animals and birds. Existing industrial use of the property, adjacent existing industrial uses limits the existing upland habitat.

The project site does not currently support any significant wildlife habitat and the proposed construction will not have a significant impact on overall habitat quality. No significant adverse impact to natural features is anticipated due to the proposed re-development of this property.

D. IMPACT ON STORM WATER MANAGEMENT

No adverse impact to adjoining properties is anticipated due to the change in use of the property.

No adverse impact to adjacent properties due to surface water runoff will be created as a result of the proposed improvements.

E. IMPACT ON SURROUNDING LAND USES

Surrounding land uses consist of industrial uses and vacant property. The Genoa Township Future Land Use Plan designates this property as Industrial. The proposed use depicted on the development plan is consistent with existing development in the area and is consistent with the long-term planning within the Township.

Existing ambient noise levels on and around the property are largely generated by vehicle traffic on adjacent roads and activities associated with the existing use of the site as a scrap metal recycling facility.

Noise from the proposed landscape contractor's yard will be primarily generated by truck and loader operations. The proposed operations will conform to the requirements of Section 13.05.06 of the Genoa Township Zoning Ordinance.

All site lighting shall meet the requirements of the Zoning Ordinance. Proposed building mounted fixtures will be shielded and down directed on the site. General site lighting, excluding safety and emergency lighting, shall normally be energized between the times from dusk to 10:00 p.m. and from 5:00 a.m. to dawn.

F. IMPACT ON PUBLIC FACILITIES AND SERVICES

The Livingston County Sheriff and Michigan State Police will provide Police protection. Public safety services required to accommodate the proposed use are anticipated to be minor.

The Brighton Area Fire Department, as a part of an existing governmental agreement, will provide fire protection service. A Knox gate box and required address labeling meeting the Fire Departments requirements will be installed. No significant increase in fire

protection services are anticipated as a result of the proposed use.

The proposed uses will not create any direct adverse impact on the public schools.

G. IMPACT ON PUBLIC UTILITIES

The property is not presently within municipal water and/or sewer districts. Existing building is serviced by an onsite well and septic tank / disposal field.

The site is currently serviced by electric, gas, phone and cable systems located in Victory Drive.

All solid wastes will be properly disposed of through a licensed disposal firm on a regular basis. A dumpster enclosure will be located on the South west side of the existing building.

Large vehicles accessing the site will be capable of maneuvering on the proposed access drives around the building and for loading and unloading purposes.

H. STORAGE AND HANDLING OF ANY HAZARDOUS MATERIALS

A Pollution Incident Prevention Plan (PIPP) has been prepared by Michigan Landscape Professionals for the site.

I. TRAFFIC IMPACT STUDY

The proposed re-development of the property is not anticipated to meet the conditions requiring a Traffic Impact Study, generating less than 50 directional trips during peak hours and less than 750 trips in an average day. A traffic impact study for the development has not been prepared.

No significant adverse impact on traffic in the area is anticipated as a result of developing the proposed project.

J. HISTORIC AND CULTURAL RESOURCES

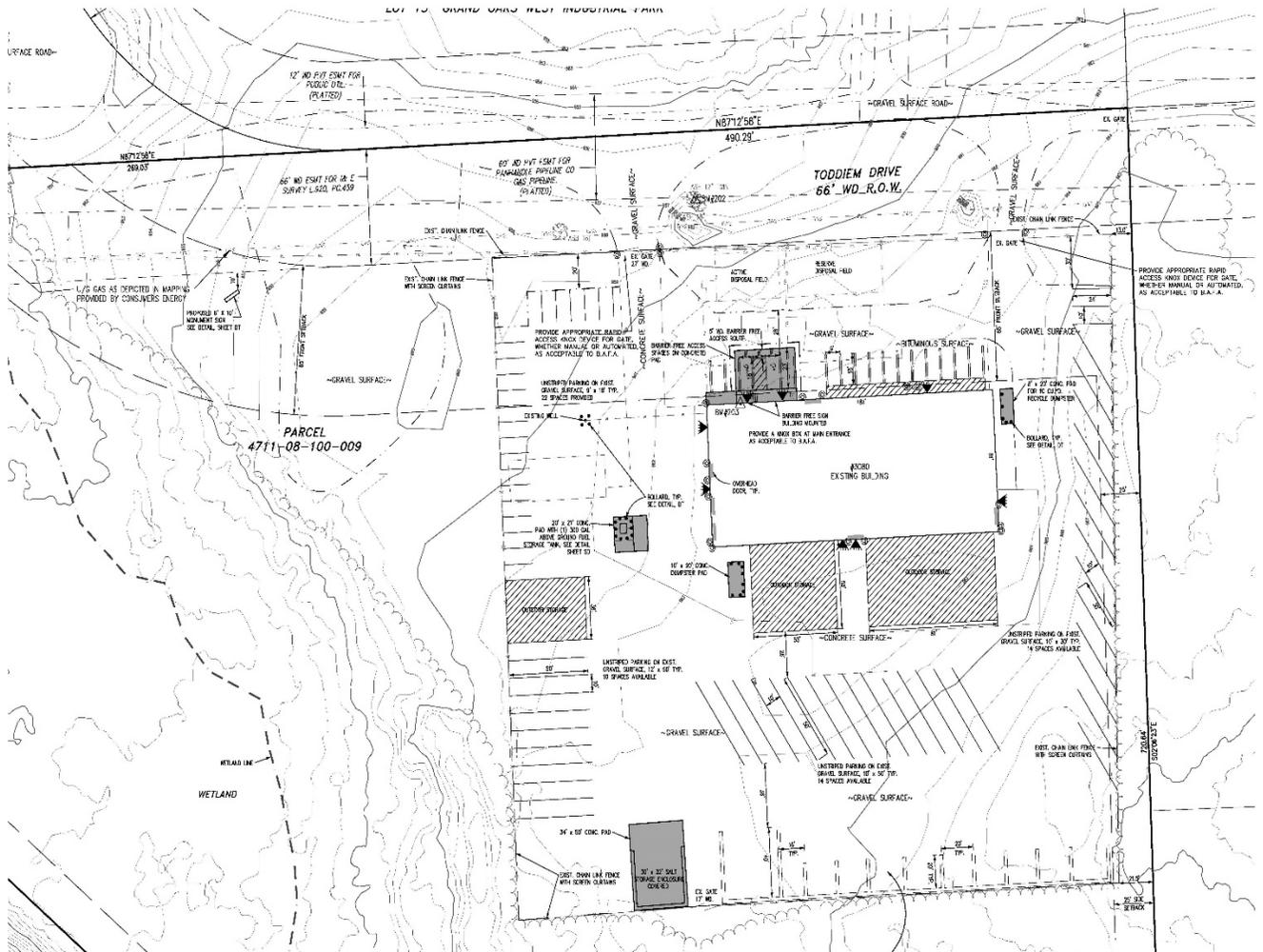
The existing building on the property does not have any major historic significance on a local, regional or state level.

K. SPECIAL PROVISIONS

No special provisions or requirements are currently proposed for this facility.

FIGURE 1

SITE PLAN



NOTE:
ALL EXISTING BUILDING MOUNTED LIGHTING SHALL BE
REMOVED AND REPLACED WITH LED FIXTURES, DOWN
DIRECTED, FULLY SHIELDED - FOR DETAIL ON SHEET 01.

MATERIALS STORAGE BINS
(1) 8' 0" x 20' x 7' WALL
(2) 8' 0" x 40' x 7' WALL
(3) 8' 0" x 17' x 12' WALL

NOTES: MATERIALS STORAGE BINS SHALL BE
ASSEMBLED USING 2" x 2" CONCRETE
BLOCKS

FIGURE 2
PHOTO DEPICTING SITE IMPROVEMENTS
NOT TO SCALE



FIGURE 3
SOILS MAP
(NOT TO SCALE)



Map Unit Symbol	Map Unit Name
BtB	Boyer-Oshtemo loamy sands, 2 to 6 percent slopes
BtC	Boyer-Oshtemo loamy sands, 6 to 12 percent slopes
BtE	Boyer-Oshtemo loamy sands, 18 to 25 percent slopes
BwA	Bronson loamy sand, 0 to 2 percent slopes
CvA	Conover loam, 0 to 2 percent slopes
FrB	Fox-Boyer complex, 2 to 6 percent slopes
FrC	Fox-Boyer complex, 6 to 12 percent slopes
FrD	Fox-Boyer complex, 12 to 18 percent slopes
FrE	Fox-Boyer complex, 18 to 25 percent slopes
Ho	Houghton muck
MoB	Miami loam, 2 to 6 percent slopes
W	Water

Pollution Incident Prevention Plan (PIPP)

3080 Toddiem Drive
Howell, MI 48843

Prepared for:

Michigan Landscape Professionals
P.O. Box 680
Howell, MI 48844

Dated:

July 2024

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FIGURE 1 – FACILITY LOCATION MAP

FIGURE 2A – FACILITY EXTERIOR CHEMICAL STORAGE AREAS

FIGURE 2B – FACILITY INTERIOR CHEMICAL STORAGE AREAS

1.0 FACILITY IDENTIFICATION INFORMATION [RULE 6(1)(A)]

1.1 PURPOSE

This Pollution Incident Prevention Plan (PIPP) is designed to provide a comprehensive document to comply with the response plan requirements of the applicable regulations. This plan provides spill response procedures and is intended to be a usable tool in the event of a release of polluting materials to air, soil, or surface water at the Michigan Landscape Professionals (MLP) facility located at 3080 Toddiem Drive, Howell, Genoa Township, Livingston County, Michigan. The provisions of this plan must be carried out immediately in the event of a release of polluting materials that could threaten human health or the environment.

1.2 REGULATORY REQUIREMENTS

The Michigan Landscape Professionals facility is an “on-land facility” that is subject to the State of Michigan’s Part 5, Spillage of Oil and Polluting Materials administrative rules (Part 5 Rules) promulgated to address release prevention planning, secondary containment, surveillance, and release reporting requirements for the storage of salt, oil, and other regulated polluting materials.

1.3 FACILITY INFORMATION

MLP offers full service residential and commercial landscape services, in which chemicals are used and stored for commercial purposes.

TABLE 1 – FACILITY INFORMATION

Name of Facility	Michigan Landscape Professionals (MLP)
Facility Address	3080 Toddiem Drive, Howell, MI 48843
Mailing Address	P.O. Box 680, Howell, MI 48844
Phone Number	Business Phone: 810.844-5200 24-Hr. Phone: 617.320.2517
Receiving Waters	Marion and Genoa Drain located approximately 800 ft north from the property and discharges to the Shiawassee River
Type of Facility	Commercial and residential landscapers
SIC Code	0782
NAICS Code	561730
Name and Address of Owner/Operator	Michigan Landscape Professionals P.O. Box 680, Howell, MI 48844
Designated Person Responsible for Spill Prevention and Control	David Santis, Owner/CEO Cell Phone: 617.320.2517 Office Phone: 810.844.5200 x1111

2.0 NOTIFICATION PROCEDURES TO ENTITIES OUTSIDE OF FACILITY [RULE 6(1)(B) AND Part 31 Section]

If a spill occurs, notify a Spill Prevention and Control Coordinator listed in **Table 2**, who will determine if outside contractors are needed to help clean-up the spill.

The Spill Prevention and Control Coordinator will determine if the spill meets a reportable threshold or is a possible hazard to human health or the environment, by which notification to appropriate governmental agencies will be provided.

TABLE 2 – EMERGENCY CONTACTS

Howell Police and Fire Departments	911
Michigan Landscape Professionals Spill Prevention and Control Coordinators	David Santis, Owner/CEO Cell Phone: 617.320.2517 RD Dias, General Manager – Landscape Div Cell Phone: 810.577.4477 Amanda Koss, Customer Service Manager Cell Phone: 810.923.6528
Corrigan Oil Co/Technical Environmental Services (TES)	24-Hr. Phone: 800.327.8645
The Michigan Department of Environment, Great Lakes, and Energy (EGLE) Lansing District Office	525 West Allegan (Constitution Hall, 1st Floor, South) P.O. Box 30242, Lansing, MI 48909-7742 Office Phone: 517.284.6651
EGLE 24-hour Pollution Emergency Alert System (PEAS)	Main Phone: 800.292.4706
Trinity Health Livingston Hospital 620 Byron Rd, Howell, MI 48843	Main Phone: 517.545.6000
Livingston County Local Emergency Planning Committee 1911 Tooley Road, Howell, MI 48855	Therese Cremonte <i>Emergency Manager Coordinator</i> Kristi Wahoski <i>Asst. Emergency Manager</i> Main Phone: 517.540.7926
Genoa Township Water and Sewer	Emergency Phone: 855.231.6692
State Emergency Response Commission	24-Hr. Phone: 517.373.8481
National Emergency Response Center	24-Hr. Phone: 800.424.8802
U.S. EPA Region 5 Office 24-hour number	24-Hr. Phone: 213.353.2318

3.0 SPILL CONTROL AND CLEANUP PROCEDURES [RULE 6(1)(C)]

Material storage, spill training, and preventive maintenance practices will be the primary methods used at the MLP facility to minimize the potential for spills of salt, oil, and other polluting materials.

MLP staff are trained to clean up small spills or releases in their work areas. In the event of an emergency, a spill contractor is on call to respond to spills and releases at the facility. The waste material will be removed and disposed by a qualified contractor.

MLP staff works with the local Fire Marshal and a Michigan Department of Agriculture and Rural Development (MDARD) representative who reviews the hazardous material storage and handling procedures on a regular basis.

Spill kits are available in the hazardous material storage areas.

3.1 GOOD HOUSEKEEPING

The facility will follow good housekeeping procedures to reduce the possibility of accidental spills and to minimize safety hazards to facility personnel. Housekeeping inspections will occur on a regular basis with deficiencies noted to facility managers and are addressed accordingly.

Pursuant to Part I I I of 1994 P.A. 451, Rule 809, materials that contain, or are otherwise contaminated with used oil (e.g., waste absorbent materials) are not regulated as “used oil” if the used oil has been sufficiently absorbed, properly drained, or removed to the extent possible so that visible signs of free-flowing oil do not remain. Therefore, if the spilled material is not a hazardous waste, and the solidified absorbent material contains no free liquids, it is regulated as a non-hazardous solid waste and can be disposed of in a dumpster going to a Type II (municipal) solid waste disposal facility.

3.2 VISUAL INSPECTIONS AND PREVENTIVE MAINTENANCE

Routine facility inspections will serve to identify and prevent accidental releases of oil or polluting materials. These inspections will also ensure that good housekeeping procedures are being followed. Visual inspections of oil and chemical containers, and material storage drums/containers are performed prior to each use and on a regular basis by facility personnel.

Inspections will address leaks, spills, housekeeping, staining, corrosion/cracks and other problems with secondary containment. The regular inspections will also be conducted to identify areas that

may require preventive maintenance to minimize the spill of rock salt, oil, or other polluting materials on site.

Daily, MLP staff will ensure the salt pile is contained within the salt dome.

ASTs and associated leak detection will be inspected regularly for potential leaks between the double walls. The spill protection equipment available on the ASTs are monitored remotely through a cloud-based software system. The ASTs contains level indicators to prevent overfilling, and a leak detection sensor to alert personnel should a leak develop between the double-walls.

4.0 POLLUTING MATERIAL INVENTORY AND SECONDARY CONTAINMENT
[RULE 6(1)(D)]

MLP stores and handles diesel and gasoline, propane, used oil, solid salt, and liquid fertilizers for commercial purposes.

Chemical	Container	Location
Diesel	One 300-gallon AST	West of the building
Propane	10-18 33.5-gallon containers	Service Area
Used Oil	Two 250-gallon totes	Service Area
Solid Salt	50-250 tons	Exterior Salt Dome
Liquid Fertilizer, Pesticides, Herbicides, Insecticides, Fungicides	Up to 20 55-gallon drums	Warehouse Area

Diesel is stored in one double-walled 300-gallon aboveground storage tank (AST) located west of the subject building on a concrete pad, which is provided and serviced by Corrigan Oil Co. The spill protection equipment available on the AST is monitored remotely through a cloud-based software system. The fueling station contains the appropriately sloping concrete pad and safety barriers in accordance with the local Fire Marshall.

Propane canisters (33.5-gallon) are stored in a Corrigan Propane provided locker outside the warehouse area overhead doors of the subject building, which are utilized for the propane operated forklifts.

Used oil is stored in two 250-gallon totes inside the service area of the warehouse located in the eastern portion of the subject building. The used oil is removed from the subject property by a licensed waste management company approximately 2 to 4 times per year.

Salt is stored on a 30 feet by 32 feet concrete pad covered with a salt dome located in the southwestern portion of the storage yard south of the subject building. Approximately 50 tons of salt is stored in the summer months and 250 tons is stored in the winter months.

Fertilizers, herbicides, pesticides, insecticides, and fungicides are stored in 55-gallon drums inside the warehouse of the subject building within secondary containment trays. Approximately 20 drums are stored onsite at any given time. The application vehicles are loaded directly outside the warehouse doors from the drums utilizing a pump system with a secondary containment mat below the pump system. The pesticide is applied off site under license #470118.

Material Safety Data Sheets (MSDSs) are continually tracked and made readily available for review by employees at the facility.

5.0 SITE PLAN (FACILITY MAP) [RULE 6(1)(E), (F), (G), AND (H)]

The MLP facility is located at 3080 Toddiem Drive, Howell, Genoa Township, Livingston County, Michigan (Figure 1). The facility is located in a mixed industrial and commercial area and contains one building with an office area, warehousing, and service area, and fenced in storage exterior storage area.

The building and gates are locked during non-operational hours. Gates remain open until all crews return. Cellular phones and two-way radios are also used to contact personnel. The facility grounds have adequate lighting for safety and to allow emergency vehicles to access the facility 24-hours per day.

The Property slopes from east to west, toward the western border. An elevation difference of approximately 10 feet exists between the eastern and western Property boundaries.

No surface water drains are present on the property. Stormwater infiltrates through the gravel and grassy areas on the property and surface water runoff drains to adjacent wetland areas on the property. Erosion potential is very low, as the area is relatively flat with large paved portions.

The Property building consists of a one-story structure on a concrete slab with a truck well. The northwest portion of the building is utilized as office space. The remaining areas of the building are used for storage or service.

A trench drain is present in the bottom of the truck well, as well as a sump that outlets through the south wall of the building.

6.0 PLAN PREPARATION, SUBMITTAL, AND UPDATE REQUIREMENTS [RULE 6(2)–(5)]

This PIPP will be reviewed and updated as needed every three years, or when facility personnel, processes, or procedures identified in the Plan change or as otherwise necessary to maintain compliance with the Part 5 Rules.

The Spill Prevention and Control Coordinators maintains a copy of this PIPP, which is available to all personnel who are authorized to have access to it.

A letter certifying that the facility is in compliance with Part 5 Rules will be sent to the EGLE-Water Bureau within 30 days of completion or updating of this plan. The LEPC and the Livingston Health Department will also be notified that the plan is complete.

Copies of this plan and future revised/amended plans will be available upon request to the list provided below:

1. US EPA Regional Administrator
2. Howell Fire Department
3. Emergency Response Contractor
4. Livingston County Local Emergency Planning Committee (LEPC)
5. Livingston County Health Department
6. State of Michigan Emergency Response Commission – EGLE Waste Management Division



3080 Toddiem

Figure 1 - Facility Location Map



Imagery ©2024 Maxar Technologies, Map data ©2024 200 ft



3080 Toddiem

Building



Directions



Save



Nearby



Send to phone

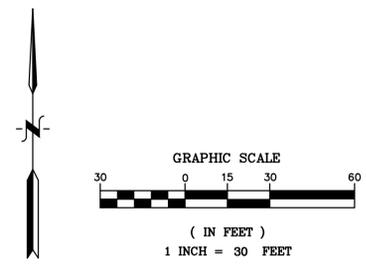
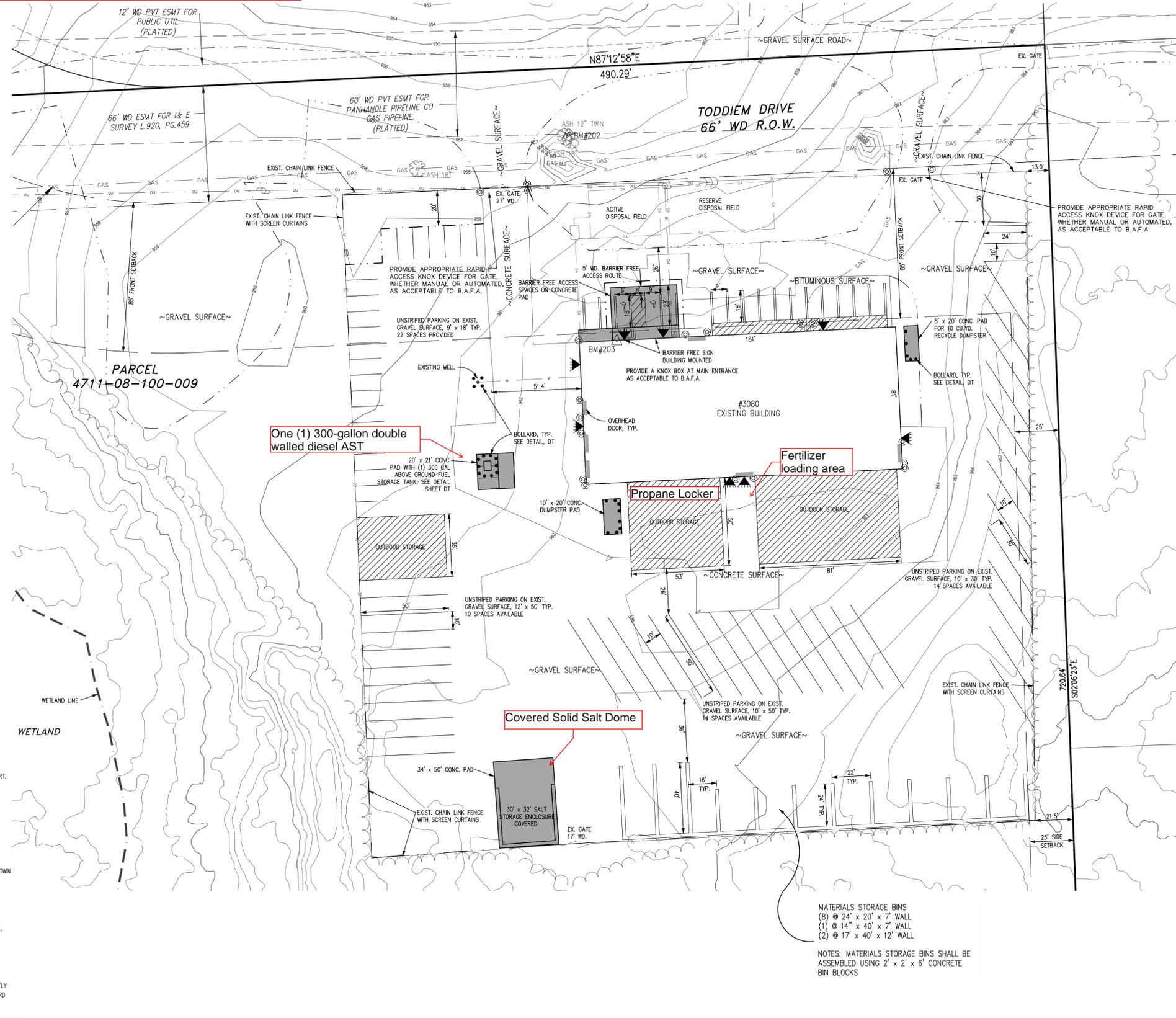


Share



3080 Toddiem, Howell, MI 48843

**Figure 2A -
Facility Exterior Chemical Storage Areas**



LEGEND

---	PARCEL BOUNDARY
---	ROAD RIGHT OF WAY
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	OVERHEAD UTILITY LINE
○	UTILITY POLE
---	EXIST. GAS LINE
---	UNDERGROUND UTILITY LINES
---	EXIST. FENCE
---	EXIST. EDGE OF GRAVEL
---	EXIST. EDGE OF PAVEMENT
---	EXIST. SANITARY
---	1' CONTOUR
---	5' CONTOUR

SITE DATA:

PROJECT AREA: 11-08-100-009 11.00 AC.

CURRENT ZONING: INDUSTRIAL
PROPOSED USE: MICHIGAN LANDSCAPE PROFESSIONALS
COMMERCIAL LANDSCAPE, LAWN MAINTENANCE
AND SNOW REMOVAL SERVICES

	PERMITTED	PROPOSED
SITE AREA:	5 AC. (MIN.)	11.00 AC.
WIDTH:	150 FEET	759 FEET
BUILDING HEIGHT:	30 FEET	1 STORY / 22 FEET
LOT COVERAGE (BLDG):	40%	3.1%
IMPERVIOUS COVERAGE:	85%	29.8%
SETBACKS:		
FRONT	85 FT.	89.8'
SIDE	25 FT.	89.8'
REAR	40 FT.	482.7'
PARKING:		
FRONT	20 FT.	20.0'
SIDE & REAR	10 FT.	13.2'
EXISTING BUILDING AREA:	15,040 sq.ft.	
TANK VOLUMES:		
DIESEL		300 GALLONS

PARKING REQUIREMENTS:
INDUSTRIAL:
1.2 SPACE PER EMPLOYEE, AND
1 SPACE PER COMPANY VEHICLE.
30 EMPLOYEE VEHICLES

PROVIDED PARKING:
EMPLOYEES / GUEST = 38 SPACES
TRUCK PARKING = 38 SPACES

BENCHMARK
DATUM BASED ON NGS OPUS SOLUTION REPORT,
DATED AUGUST 11, 2021 AT 9:01 AM

BENCHMARK #201
CHISELED "X" IN THE TOP OF A CONCRETE
CULVERT, LOCATED NEAR THE NW SIDE OF
CUL-DE-SAC OF VICTORY DRIVE.
ELEVATION = 949.53 (NAVD 88)

BENCHMARK #202
RR SPIKE IN THE NORTHERLY SIDE OF A 12" TWIN
ASH TREE, LOCATED NEAR THE EAST SIDE OF
GRAVEL ENTRANCE OF #3080 TODDIEM.
ELEVATION = 958.175 (NAVD 88)

BENCHMARK #203
FINISH FLOOR ELEVATION IN OFFICE ENTRANCE,
LOCATED NEAR THE NORTHWEST CORNER OF
#3080 TODDIEM.
ELEVATION = 963.47 (NAVD 88)

BENCHMARK #204
ARROW ON HYDRANT, LOCATED NEAR THE NWLY
QUAD OF THE INTERSECTION OF GRAND OAK RD
AND TODDIEM DR.
ELEVATION = 975.77 (NAVD 88)

- MATERIALS STORAGE BINS**
(8) @ 24' x 20' x 7' WALL
(1) @ 14' x 40' x 7' WALL
(2) @ 17' x 40' x 12' WALL

NOTES: MATERIALS STORAGE BINS SHALL BE
ASSEMBLED USING 2' x 2' x 6" CONCRETE
BIN BLOCKS

3 WORKING DAYS
BEFORE YOU DIG
CALL 811 OR 1-800-482-7171
(TOLL FREE)
OR VISIT CALL811.COM

(810) 227-9533
CIVIL ENGINEERS
LAND SURVEYORS
2183 PLESS DRIVE
BRIGHTON, MICHIGAN 48114

DESIGN/JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

**3080 TODDIEM
DRIVE**

**PROPOSED
SITE IMPROVEMENTS
PLAN**

CLIENT: 735 N. SECOND ST. LLC 775 N. SECOND STREET BRIGHTON, MICHIGAN 48116 810-229-6323	SCALE: 1in. = 30ft. PROJECT No.: 244711 DWG NAME: 4711 SP ISSUED: JUNE 24, 2024
--	--

SP

SITE PLAN FOR 3080 TODDIEM DRIVE

**PART OF NW 1/4 OF SECTION 8, T.2N.-R.5E.
GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN**

LEGAL DESCRIPTION

PARCEL No. 4711-08-100-009
 REFERENCE: CERTIFIED LAND SURVEY No. 2446 AS RECORDED IN LIBER 920, PAGE 459, LIVINGSTON COUNTY RECORDS
 PARCEL "S":
 A PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 8; THENCE S87°12'58"W ALONG THE NORTH LINE OF SAID SECTION, 1817.08 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED; THENCE S02°06'23"E 720.64 FEET; THENCE S88°02'55"W 384.26 FEET TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF THE C.&O. RAILROAD; THENCE N49°45'12"W ALONG SAID RIGHT-OF-WAY LINE 506.19 FEET TO THE WEST LINE OF SAID SECTION (AS MONUMENTED); THENCE N02°15'06"W ALONG SAID WEST LINE 369.60 FEET TO THE NORTHWEST CORNER OF SAID SECTION; THENCE N87°12'58"E ALONG THE NORTH LINE OF SAID SECTION 759.32 FEET TO THE POINT OF BEGINNING. SUBJECT TO AND INCLUDING THE USE OF A 66 FOOT WIDE PRIVATE ROAD EASEMENT FOR INGRESS AND EGRESS AS DESCRIBED BELOW.
 66 FOOT WIDE PRIVATE ROAD EASEMENT FOR INGRESS AND EGRESS, THE NORTH LINE OF WHICH IS DESCRIBED AS BEING A PART OF THE NORTHWEST 1/4 OF SECTION 8, TOWN 2 NORTH, RANGE 5 EAST, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE S87°12'58"W ALONG THE NORTH LINE OF SAID SECTION 496.99 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF GRAND OAK DRIVE AND THE POINT OF BEGINNING OF SAID EASEMENT; THENCE S87°12'58"W 2079.41 FEET TO THE POINT OF ENDING OF SAID EASEMENT
 ALSO KNOWN AS: 3080 TODDIEM DRIVE, BRIGHTON, MICHIGAN

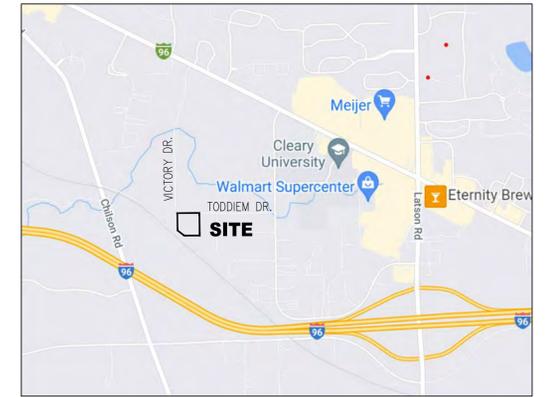
BENCHMARK

DATUM BASED ON NGS OPUS SOLUTION REPORT,
 DATED AUGUST 11, 2021 AT 9:01 AM

BENCHMARK #201
 CHISELED "X" IN THE TOP OF A CONCRETE
 CULVERT, LOCATED NEAR THE NW SIDE OF
 CUL-DE-SAC OF VICTORY DRIVE.
 ELEVATION = 949.53 (NAVD 88)

BENCHMARK #202
 RR SPIKE IN THE NORTHERLY SIDE OF A 12" TWIN
 ASH TREE, LOCATED NEAR THE EAST SIDE OF
 GRAVEL ENTRANCE OF #3080 TODDIEM.
 ELEVATION = 958.175 (NAVD 88)

BENCHMARK #203
 FINISH FLOOR ELEVATION IN OFFICE ENTRANCE,
 LOCATED NEAR THE NORTHWEST CORNER OF
 #3080 TODDIEM.



LOCATION MAP

NOT TO SCALE

SHEET INDEX

- | | |
|-----------|--|
| EX | EXISTING CONDITIONS AND DEMOLITION PLAN |
| SP | SITE PLAN |
| GR | GRADING DETAIL |
| WS | WATERSHED PLAN |
| LS | LANDSCAPE PLAN |
| SD | FUEL STORAGE AND SALT STORAGE DETAILS |
| DT | NOTES & DETAILS |
|
 | |
| 3 | FLOOR PLAN - 1988 |
| 4 | EXTERIOR ELEVATIONS - 1988 |

DEVELOPER

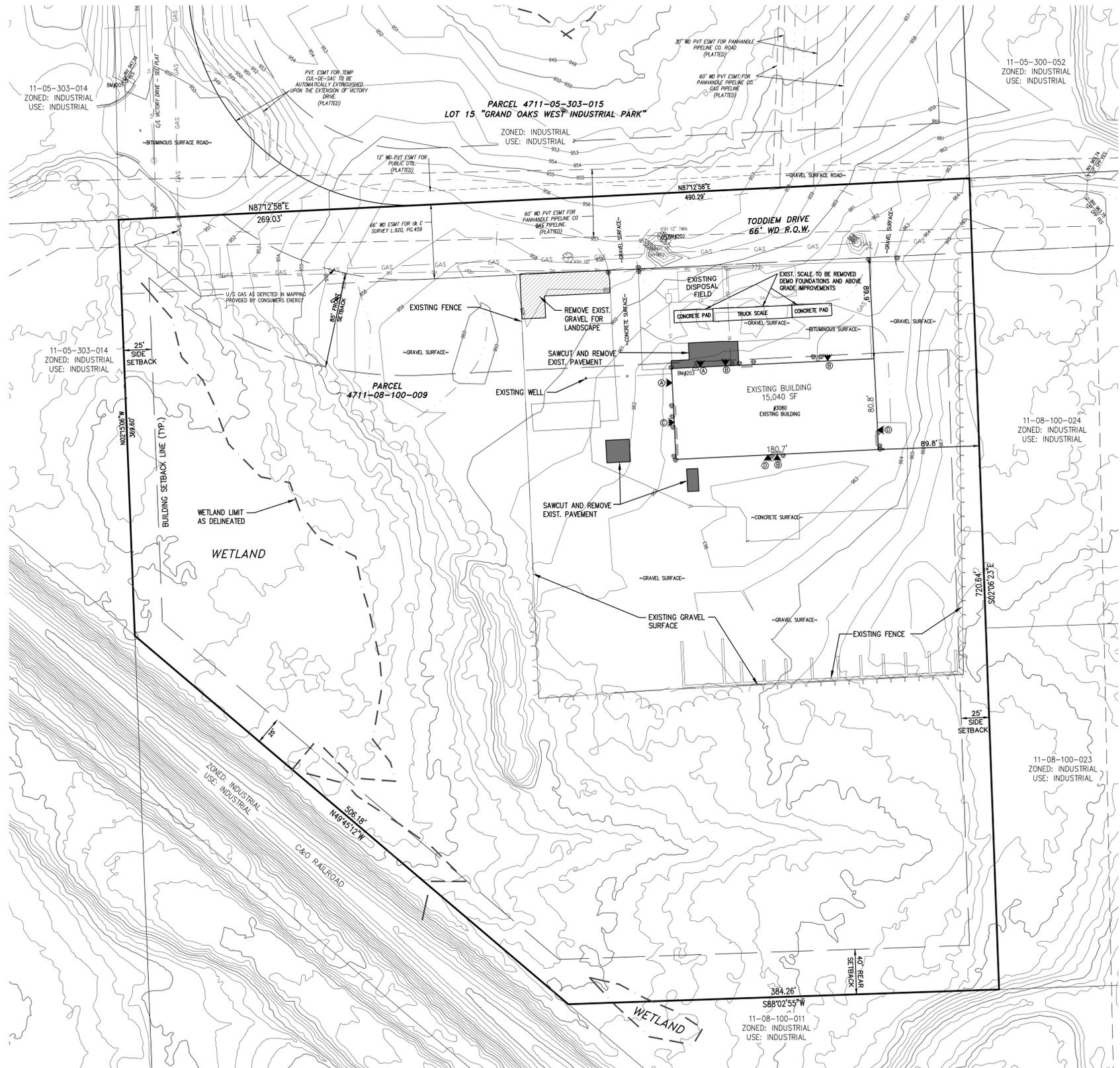
**735 N. SECOND ST. LLC
 775 N. SECOND STREET
 BRIGHTON, MI. 48116
 (810) 229-6323**

CIVIL ENGINEER/LAND SURVEYOR

**DESINE INC.
 2183 PLESS DRIVE
 BRIGHTON, MI. 48114
 (810) 227-9533**

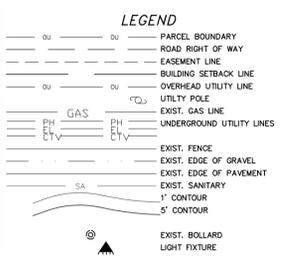
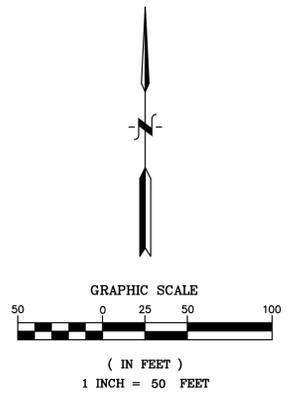
DESINE INC.
 (810) 227-9533
 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

REVISED	SCALE: N/A
	PROJECT No.: 244711
	DWG NAME: 4711-COV
	PRINT: JULY 17, 2024



DEMOLITION NOTES:

- The demolition specifications of the Local Municipality are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to performing demolition work. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall contact the appropriate Agencies to coordinate disconnect of the electric, gas, phone, cable and other public utilities as necessary prior to performing demolition work.
- Contractor shall contact the appropriate Agencies to coordinate removal and/or relocation of any underground and/or overhead public utility lines as necessary prior to performing demolition work.
- Contractor shall recycle and/or dispose of all demolition material and debris in accordance with the appropriate Local, County, State and Federal regulations.
- All bituminous and concrete pavement that is to be removed shall be saw cut at the limits of removal to provide for a clean straight edge for future abutment.
- All existing irrigation lines that are to be removed shall be terminated at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Ends of pipes shall be capped and the location of marked for future connection.
- All existing water main and sanitary sewer that is to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent plugs shall be installed in the ends of pipe in accordance with the appropriate Agency. The Contractor shall record the location of all permanent plugs and provide the location information to the appropriate Agency.
- All existing storm sewer that is to be removed shall be terminated at the limits of demolition or as indicated on the project plans. Temporary plugs shall be installed in the ends of pipe in accordance with the appropriate Agency and the locations of marked for future connection. Permanent bulkheads shall be installed in the ends of pipe and/or openings in terminating structures in accordance with the appropriate Agency. The Contractor shall record the location of all permanent bulkheads and provide the location information to the appropriate Agency.
- All existing light sources to be removed shall have their power cables removed up to the power source or properly terminated for future connection at the limits of demolition or as necessary to allow for construction of the proposed site improvements. Removal and termination of power cables shall be performed in accordance with local electric codes.
- All existing utility meters that are to be removed shall be properly removed to allow for reuse. Any existing utility meters that are not to be reused as a part of this project shall be returned to the appropriate



- EXISTING EXTERIOR LIGHT FIXTURES**
- Ⓐ "JELLY JAR" AT MAN DOOR
 - Ⓑ WALL PACK AT EVE
 - Ⓒ MERCURY VAPOR LAMP AT OVERHEAD DOOR
 - Ⓓ DUAL HEAD FLOOD LAMP AT MAN DOOR

- BENCHMARK**
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED AUGUST 11, 2021 AT 9:01 AM
- BENCHMARK #201
 CHISELED "X" IN THE TOP OF A CONCRETE CULVERT, LOCATED NEAR THE NW SIDE OF CUL-DE-SAC OF VICTORY DRIVE.
 ELEVATION = 949.53 (NAVD 88)
 - BENCHMARK #202
 RR SPIKE IN THE NORTHERLY SIDE OF A 12" TWN ASH TREE, LOCATED NEAR THE EAST SIDE OF GRAVEL ENTRANCE OF #3080 TODDIEM.
 ELEVATION = 958.175 (NAVD 88)
 - BENCHMARK #203
 FINISH FLOOR ELEVATION IN OFFICE ENTRANCE, LOCATED NEAR THE NORTHWEST CORNER OF #3080 TODDIEM.
 ELEVATION = 963.47 (NAVD 88)
 - BENCHMARK #204
 ARROW ON HYDRANT, LOCATED NEAR THE NWLY QUAD OF THE INTERSECTION OF GRAND OAK RD AND TODDIEM DR.
 ELEVATION = 975.77 (NAVD 88)

3 WORKING DAYS BEFORE YOU DIG
 CALL 811 OR 1-800-482-7171 (TOLL FREE)
 OR VISIT CALL811.COM

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 CIVIL ENGINEERS
 LAND SURVEYORS
 2183 PLESS DRIVE
 BRIGHTON, MICHIGAN 48114

DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

3080 TODDIEM DRIVE

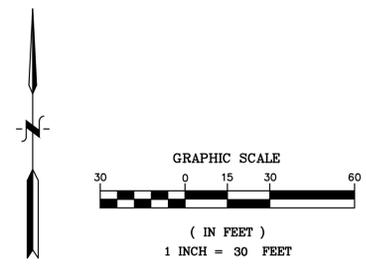
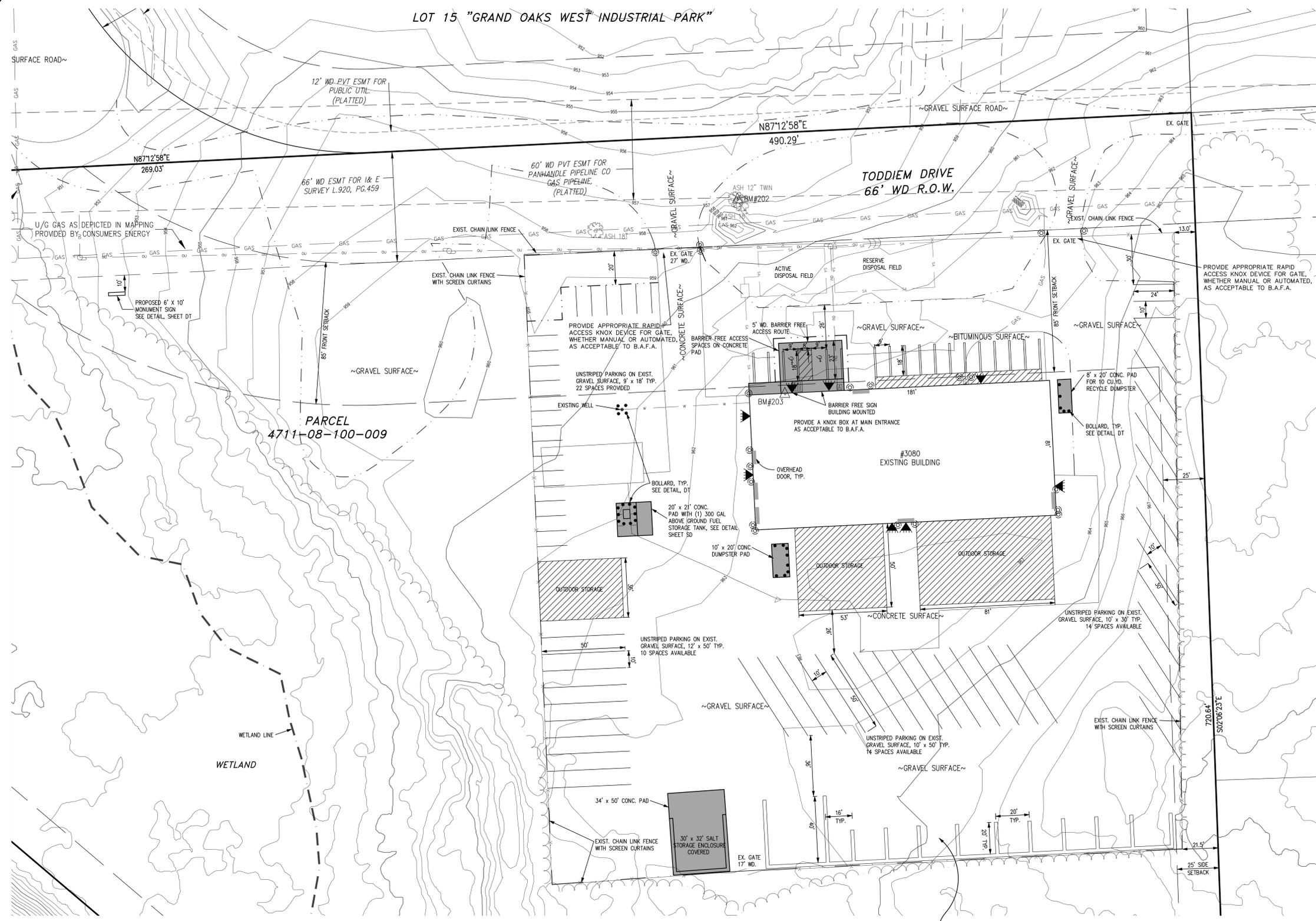
EXISTING CONDITIONS AND DEMOLITION PLAN

CLIENT:
 735 N. SECOND ST. LLC
 775 N. SECOND ST.
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 50ft.
 PROJECT No.: 244711
 DWG NAME: 4711 EX
 ISSUED: JULY 17, 2024

EX

LOT 15 "GRAND OAKS WEST INDUSTRIAL PARK"



LEGEND

- PARCEL BOUNDARY
- ROAD RIGHT OF WAY
- EASEMENT LINE
- BUILDING SETBACK LINE
- OVERHEAD UTILITY LINE
- UTILITY POLE
- GAS
- EL
- CTV
- PH
- EL
- CTV
- EXIST. GAS LINE
- UNDERGROUND UTILITY LINES
- EXIST. FENCE
- EXIST. EDGE OF GRAVEL
- EXIST. EDGE OF PAVEMENT
- EXIST. SANITARY
- 1' CONTOUR
- 5' CONTOUR
- ⊙ EXIST. BOLLARD
- ⊙ LIGHT FIXTURE
- ⊙ PROP. BOLLARD
- PROP. CONCRETE SURFACE

SITE DATA:

PROJECT AREA: 11-08-100-009 11.00 AC.

CURRENT ZONING: INDUSTRIAL
 PROPOSED USE: MICHIGAN LANDSCAPE PROFESSIONALS COMMERCIAL LANDSCAPE, LAWN MAINTENANCE AND SNOW REMOVAL SERVICES

	PERMITTED	PROPOSED
SITE AREA:	5 AC. (MIN.)	11.00 AC.
WIDTH:	150 FEET	759 FEET
BUILDING HEIGHT:	30 FEET	1 STORY / 22 FEET
LOT COVERAGE (BLDG):	40%	3.1%
IMPERVIOUS COVERAGE:	85%	29.8%
SETBACKS:		
FRONT:	85 FT.	89.8'
SIDE:	25 FT.	89.8'
REAR:	40 FT.	482.7'
PARKING:		
FRONT:	20 FT.	20.0'
SIDE & REAR:	10 FT.	13.2'
EXISTING BUILDING AREA:	15,040 sq.ft.	
TANK VOLUMES:	DIESEL 300 GALLONS	
PARKING REQUIREMENTS:		
INDUSTRIAL:	1.2 SPACE PER EMPLOYEE, AND 1 SPACE PER COMPANY VEHICLE. 30 EMPLOYEE VEHICLES	
PROVIDED PARKING:	EMPLOYEES / GUEST = 38 SPACES TRUCK PARKING = 38 SPACES	

BENCHMARK
 DATUM BASED ON NGS OPUS SOLUTION REPORT, DATED AUGUST 11, 2021 AT 9:01 AM

BENCHMARK #201
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BENCHMARK #202
 RR SPIKE IN THE NORTHERLY SIDE OF A 12" TWIN ASH TREE, LOCATED NEAR THE EAST SIDE OF GRAVEL ENTRANCE OF #3080 TODDIEM. ELEVATION = 958.75 (NAVD 88)

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 FINISH FLOOR ELEVATION IN OFFICE ENTRANCE, LOCATED NEAR THE NORTHWEST CORNER OF #3080 TODDIEM. ELEVATION = 963.47 (NAVD 88)

BENCHMARK #204
 ARROW ON HYDRANT, LOCATED NEAR THE NWLY QUAD OF THE INTERSECTION OF GRAND OAK RD AND TODDIEM DR. ELEVATION = 975.77 (NAVD 88)

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NOTE:
 ALL EXISTING BUILDING MOUNTED LIGHTING SHALL BE REMOVED AND REPLACED WITH LED FIXTURES, DOWN DIRECTED, FULLY SHIELDED PER DETAIL ON SHEET DT.

MATERIALS STORAGE BINS
 (8) @ 20' x 20' x 7' WALL
 (1) @ 14' x 40' x 7' WALL
 (2) @ 17' x 40' x 12' WALL

NOTES: MATERIALS STORAGE BINS SHALL BE ASSEMBLED USING 2' x 2' x 6" CONCRETE BIN BLOCKS

DESIGN: JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

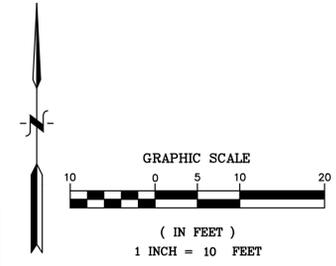
3080 TODDIEM DRIVE

PROPOSED SITE IMPROVEMENTS PLAN

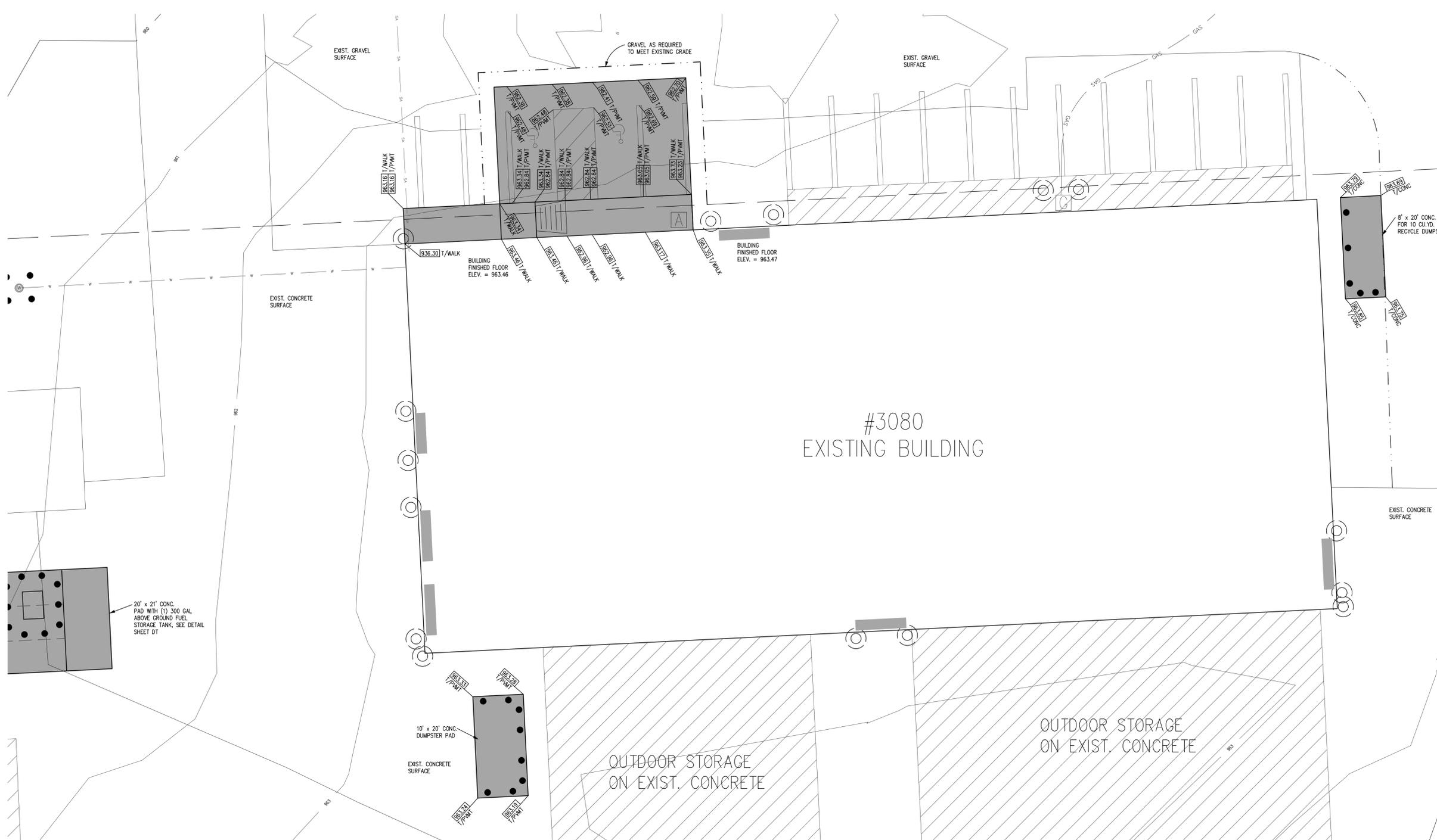
CLIENT:
 735 N. SECOND ST. LLC
 775 N. SECOND STREET
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 30ft.
 PROJECT No.: 244711
 DWG NAME: 4711 SP
 ISSUED: JULY 22, 2024

SP



- LEGEND**
- PARCEL BOUNDARY
 - ROAD RIGHT OF WAY
 - EASEMENT LINE
 - BUILDING SETBACK LINE
 - OVERHEAD UTILITY LINE
 - UTILITY POLE
 - EXIST. GAS LINE
 - UNDERGROUND UTILITY LINES
 - EXIST. FENCE
 - EXIST. EDGE OF GRAVEL
 - EXIST. EDGE OF PAVEMENT
 - EXIST. SANITARY
 - 1' CONTOUR
 - 5' CONTOUR



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 ASH TREE, LOCATED NEAR THE EAST SIDE OF
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 LOCATED NEAR THE NORTHWEST CORNER OF
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 ELEVATION = 963.47 (NAVD 88)

BENCHMARK #204
 ARROW ON HYDRANT, LOCATED NEAR THE NWLY
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CHECK: WMP						

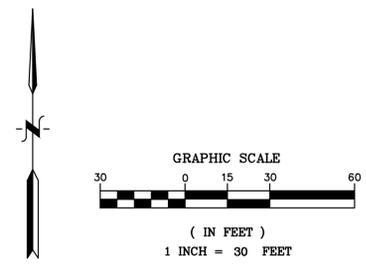
3080 TODDIEM
 DRIVE

GRADING DETAIL

CLIENT:
 735 N. SECOND ST. LLC
 775 N. SECOND STREET
 BRIGHTON, MICHIGAN 48116
 810-229-6323

SCALE: 1in. = 10ft.
 PROJECT No.: 244711
 DWG NAME: 4711 GR
 ISSUED: JULY 17, 2024

GR



- LEGEND**
- PARCEL BOUNDARY
 - ROAD RIGHT OF WAY
 - EASEMENT LINE
 - BUILDING SETBACK LINE
 - OVERHEAD UTILITY LINE
 - UTILITY POLE
 - GAS --- GAS --- EXIST. GAS LINE
 - PH --- PH --- UNDERGROUND UTILITY LINES
 - EL --- EL ---
 - CTV --- CTV ---
 - EXIST. FENCE
 - EXIST. EDGE OF GRAVEL
 - EXIST. EDGE OF PAVEMENT
 - EXIST. SANITARY
 - 1' CONTOUR
 - 5' CONTOUR
 - DRAINAGE ARROW
 - HYDRANT
 - TRIBUTARY AREA LIMIT
 - PROP. BOLLARD

PARCEL
4711-08-100-009

N87°12'58"E
490.29'

TODDIEM DRIVE
66' WD R.O.W.

CONCRETE PAD TRUCK SCALE CONCRETE PAD

EXISTING BUILDING

TRIBUTARY AREA LIMIT

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ASH TREE, LOCATED NEAR THE EAST SIDE OF
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ELEVATION = 958.75 (NAVD 88)

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LOCATED NEAR THE NORTHWEST CORNER OF
#3080 TODDIEM.
ELEVATION = 963.47 (NAVD 88)

BENCHMARK #204
ARROW ON HYDRANT, LOCATED NEAR THE NWLY
QUAD OF THE INTERSECTION OF GRAND OAK RD
AND TODDIEM DR.
ELEVATION = 975.77 (NAVD 88)

DESIGN: JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
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CHECK: WMP						

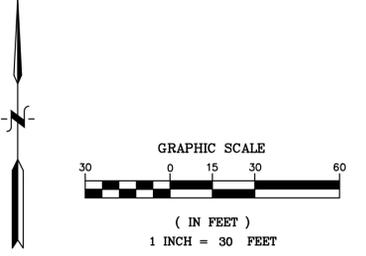
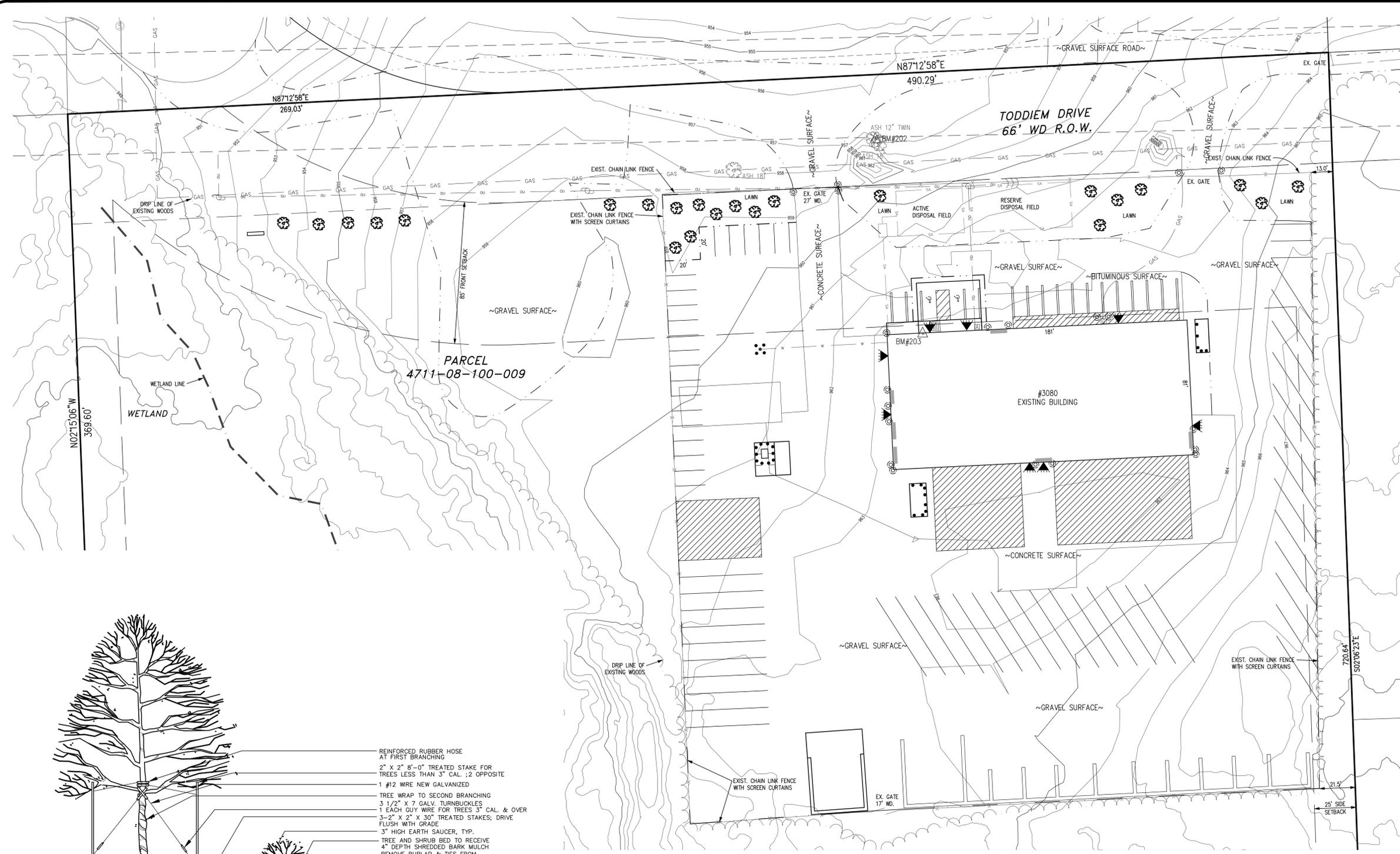
3080 TODDIEM
DRIVE

WATERSHED
PLAN

CLIENT:
7.35 N. SECOND ST. LLC
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116
810-229-6323

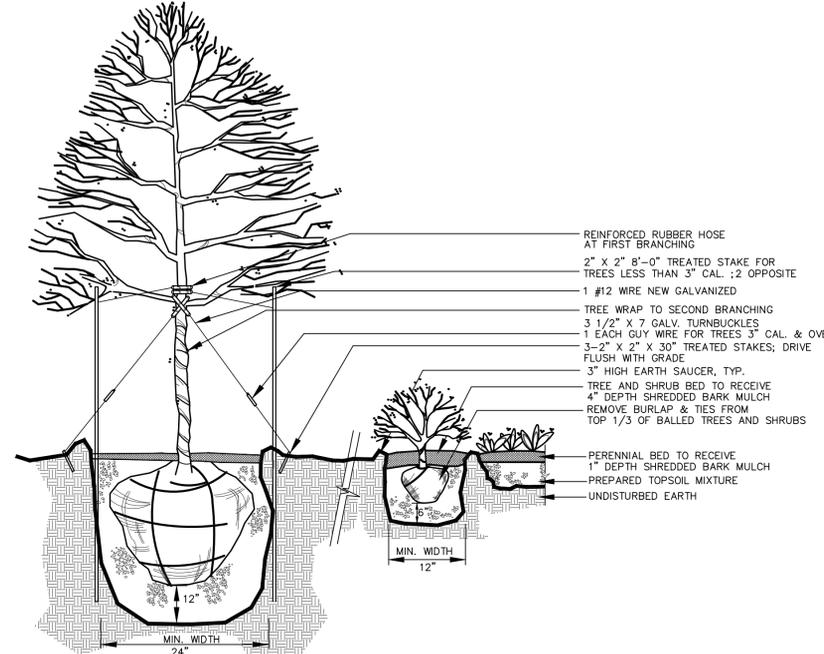
SCALE: 1in. = 30ft.
PROJECT No.: 244711
DWG NAME: 4711 WS
ISSUED: JULY 17, 2024

WS



LEGEND

---	PARCEL BOUNDARY
---	ROAD RIGHT OF WAY
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	OVERHEAD UTILITY LINE
○	UTILITY POLE
---	EXIST. GAS LINE
---	UNDERGROUND UTILITY LINES
---	PH
---	EL
---	CTV
---	EXIST. FENCE
---	EXIST. EDGE OF GRAVEL
---	EXIST. EDGE OF PAVEMENT
---	EXIST. SANITARY
---	1' CONTOUR
---	5' CONTOUR
▲	EXIST. BOLLARD
●	LIGHT FIXTURE
▲	PROP. BOLLARD



TYPICAL TREE/SHRUB/PERENNIAL PLANTING
NOT TO SCALE

GENERAL NOTES:

- ALL PLANTING SIZES SHOWN SHALL BE AT TIME OF PLANTING.
- ALL PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL LANDSCAPING SHALL BE MAINTAINED A HEALTHY CONDITION, ANY DEAD OR DISEASED PLANTINGS SHALL BE REMOVED AND REPLACED WITHIN 1 YEAR.
- ALL LANDSCAPE BEDS TO BE MULCHED WILL HAVE CYPRESS MULCH UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL TO BE USED SHALL BE AS SPECIFIED OR APPROVED EQUAL.
- ALL UNPAVED AREAS AND AREAS NOT OTHERWISE PROPOSED AS A LANDSCAPE BED OR AN AREA TO BE CYPRESS MULCHED SHALL BE SEEDED TO ESTABLISH A VEGETATIVE LAWN COVER.

NOTE: TREES WITH (TBR) ARE TO BE REMOVED, UNLESS OTHERWISE SPECIFIED ALL OTHER TREES ARE TO REMAIN.

PLANTING SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	8	ACER GINNALA	AMUR MAPLE	3" CAL.
	8	QUERCUS PLASTRIS	PIN OAK	3" CAL.
	7	BATULA NIGRA	RIVER BIRCH	3" CAL.

LANDSCAPE PLANING CALCULATION

LOT FRONTAGE:
1 CANOPY TREE PER 40 LF. FRONTAGE, 759 LF/40 = 19 TREES REQUIRED

PARKING AREA LANDSCAPING
1 CANOPY TREE AND 100 SQ.FT. PER 10 PARKING SPACES
40 SPACES = 4 TREES REQUIRED
= 400 SQ.FT.
23 TREES PROVIDED

BENCHMARK
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BRIGHTON, MICHIGAN 48114

DESIGN: JHG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

3080 TODDIEM DRIVE

PROPOSED LANDSCAPE PLAN

CLIENT:
735 N. SECOND ST. LLC
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116
810-229-6323

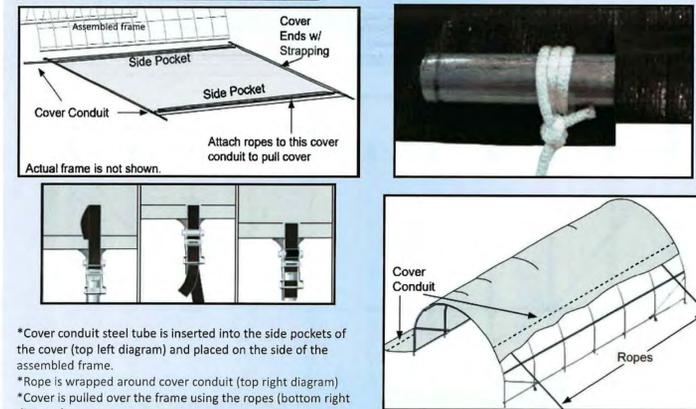
SCALE: 1in. = 30ft.
PROJECT No.: 244711
DWG NAME: 4711 LS
ISSUED: JULY 17, 2024

LS



STORAGE BUILDINGS, SHELTERS, AND CANOPIES
419-852-7765 WWW.PORTABLEGARAGESHELTER.COM

Main cover installation information



*Cover conduit steel tube is inserted into the side pockets of the cover (top left diagram) and placed on the side of the assembled frame.
*Rope is wrapped around cover conduit (top right diagram)
*Cover is pulled over the frame using the ropes (bottom right diagram)
*Ratchets are attached to the outside of the wall and straps wrap around conduit within the cover and tensioned (bottom left diagram)



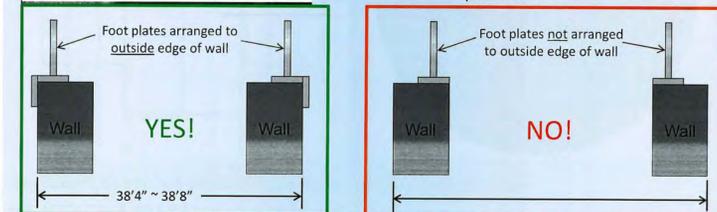
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Anchoring information



Above photo does not have the L brackets, however, mounting concept is same

Foot plate fastens to wall using (5) predrilled holes

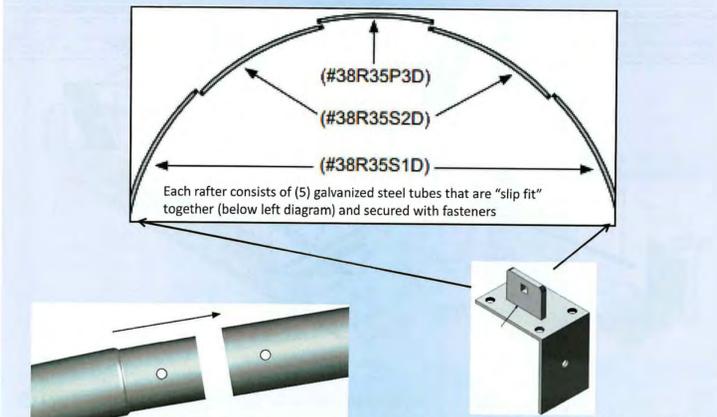


Foot plates included with the building purchase and must be used to secure the structure to customer constructed wall. Plates are 4" x 5 3/4". Outside edges of wall must be arranged as noted above

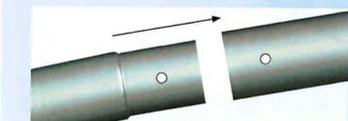


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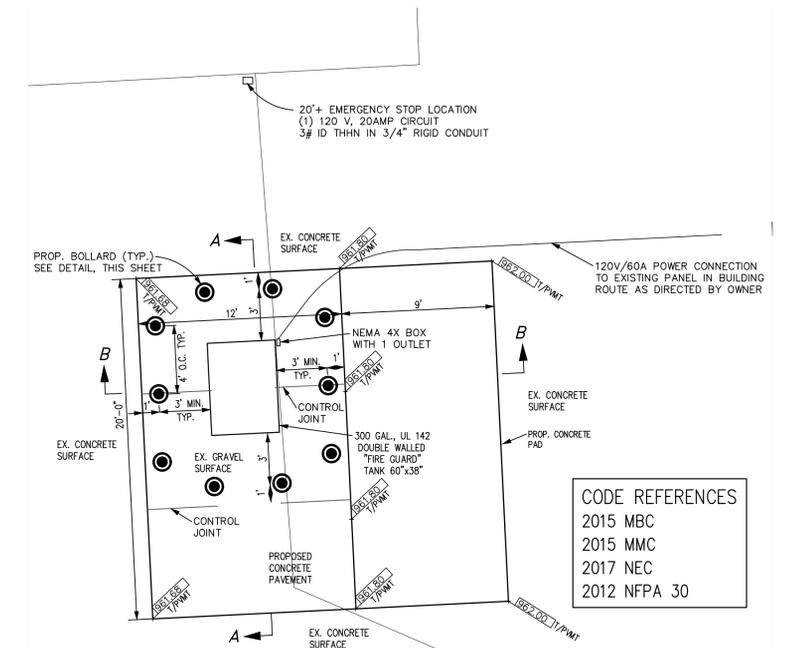
Rafter construction diagrams



Each rafter consists of (5) galvanized steel tubes that are "slip fit" together (below left diagram) and secured with fasteners



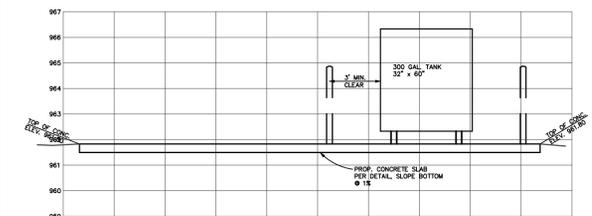
Each rafter has foot plates (bottom right diagram) that are mounted to the top (and side) of the wall to secure the building



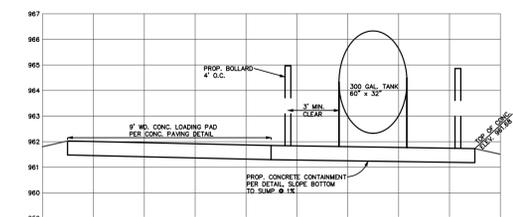
CODE REFERENCES
2015 MBC
2015 MMC
2017 NEC
2012 NFPA 30

FUEL STORAGE PLAN DETAIL

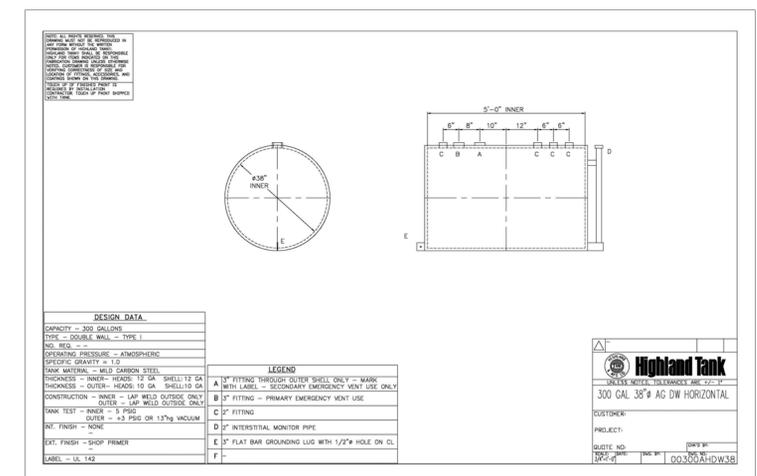
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SECTION A-A



SECTION B-B



DESIGN: WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

3080 TODDIEM DRIVE

FUEL STORAGE AND SALT STORAGE DETAILS

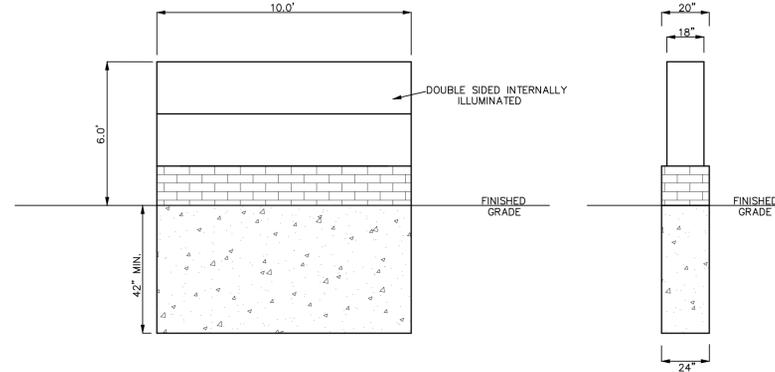
CLIENT:
735 N. SECOND ST. LLC
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116
810-229-6323

SCALE: N/A
PROJECT No.: 244711
DWG NAME: 4711 DT
ISSUED: JULY 17, 2024

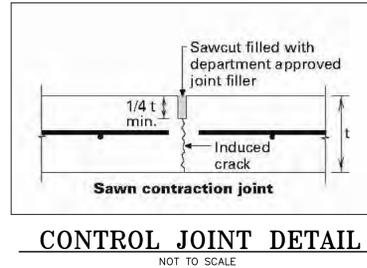
SD

CONCRETE PAVEMENT NOTES:

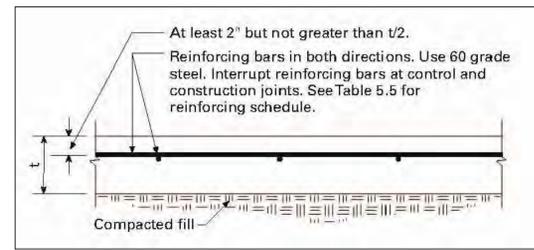
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes, Road and/or Parking Lot Construction Notes and Typical Road and/or Pavement Cross Section details on the project plans for additional requirements.
- Unsuitable soils found within the 1 on 1 influence zone of the pavement, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced up to the proposed subgrade elevation with MDOT Class II granular material compacted to 95% maximum unit weight, modified proctor.
- Contractor shall proof roll prepared subgrade as directed by Engineer. Unacceptable areas of subgrade shall be undercut and replaced as directed by Engineer.
- Concrete material shall meet or exceed the specification requirements of the appropriate Local Municipality. If not specified by the Local Municipality, then the concrete material shall be MDOT P1 (1-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse contraction control joints in curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Local Municipality requirements. If not specified by the Local Municipality, then install transverse expansion control joints in curb as follows: 300' maximum on center. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire concrete cross section.
- Provide lane ties when specified on the Project Plans, otherwise provide 0.5" asphalt fiber control joint between concrete pavement and all other concrete structures, such as concrete curb, sidewalks and concrete driveways.



MONUMENT SIGN DETAIL
NOT TO SCALE

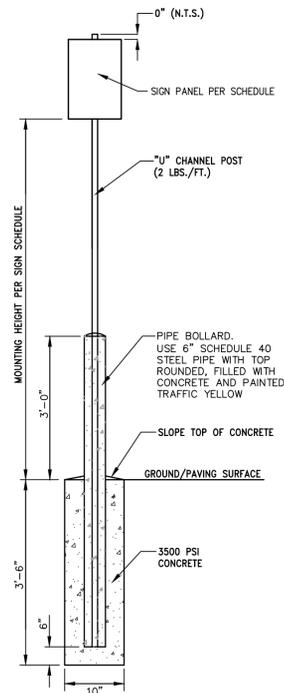


CONTROL JOINT DETAIL
NOT TO SCALE



KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM THICKNESS
R	REINFORCEMENT	#4 BARS, 12" O.C. EACH WAY	
C	CONCRETE	MDOT 601, P1	8"
S	AGG. BASE	21AA	6"

CONCRETE PAVEMENT CROSS-SECTION

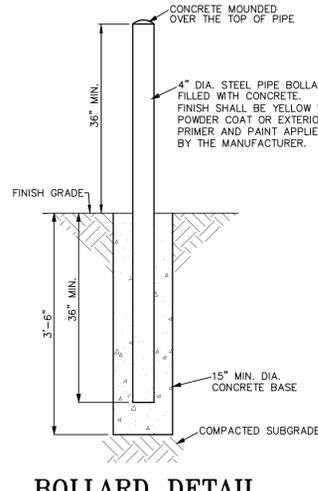


SIGN POST INSTALLATION DETAIL
NOT TO SCALE



B.F. SIGN PANEL DETAIL
NOT TO SCALE

- NOTES:
- SIGN PANEL TO BE 12"x18" 12 GA. SINGLE FACE MOUNT W/2 1/4" SOCKET HEAD BOLTS AND CEMENT ANCHORS. FIELD: WHITE SCOTCHLITE MTL (3M) GRAPHIC SYMBOL: BLACK PANEL: BLUE
 - ALL SIGNS TO BE SHOP FABRICATED, PRIMED AND PAINTED PRIOR TO SHIPMENT. TEXT TYPE FACE TO BE HELVETICA REG. CONDENSED. SIGN PANELS PAINTED WITH 2-PART EPOXY ENAMEL: 2 COATS PAINT 1-COAT PRIMER, COLOR AS INDICATED. FRONT AND BACK PRIOR TO SCOTCHLITE.



BOLLARD DETAIL
NOT TO SCALE

Model	CC1	System Level Power	Delivered Lumens	Efficiency	L70 L80 Hours	L90 Duration Life
DSC01-3-UNVL-00-75-02	3000K	28.2W	4,430	148 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-75-02	4000K	30.7W	4,600	147 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-75-02	5000K	29.3W	4,600	154 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-80-02	3000K	40.3W	5,870	142 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-80-02	4000K	40.3W	5,870	141 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-80-02	5000K	40.3W	5,870	147 LPW	148,000 Hours	67,000 Hours

Model	CC1	System Level Power	Delivered Lumens	Efficiency	L70 L80 Hours	L90 Duration Life
DSC01-3-UNVL-00-90-02	3000K	38.2W	4,430	148 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-90-02	4000K	38.2W	4,430	147 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-90-02	5000K	38.2W	4,430	154 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-90-02	3000K	48.3W	5,870	142 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-90-02	4000K	48.3W	5,870	141 LPW	148,000 Hours	67,000 Hours
DSC01-3-UNVL-00-90-02	5000K	48.3W	5,870	147 LPW	148,000 Hours	67,000 Hours

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.
- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.



CONCRETE PAD CROSS-SECTION
NOT TO SCALE

PAVEMENT NOTES:

- UNSUITABLE SOILS, SUCH AS MUCK, PEAT, TOPSOIL, MARL, SILT OR OTHER UNSTABLE MATERIALS, SHALL BE UNDERCUT AND REPLACED WITH COMPACTED SAND SUBGRADE FILL, WHERE INCIDENTAL TO ROUGH GRADING.
- AREAS OF SUBGRADE FILL SHALL BE CONSTRUCTED USING 12" THICK LIFTS OF COMPACTED SAND, MDOT CLASS III OR EQUIVALENT ON-SITE MATERIAL; WHEN INSIDE ROAD INFLUENCE ZONE.



DESIGN:WMP	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: WMP						

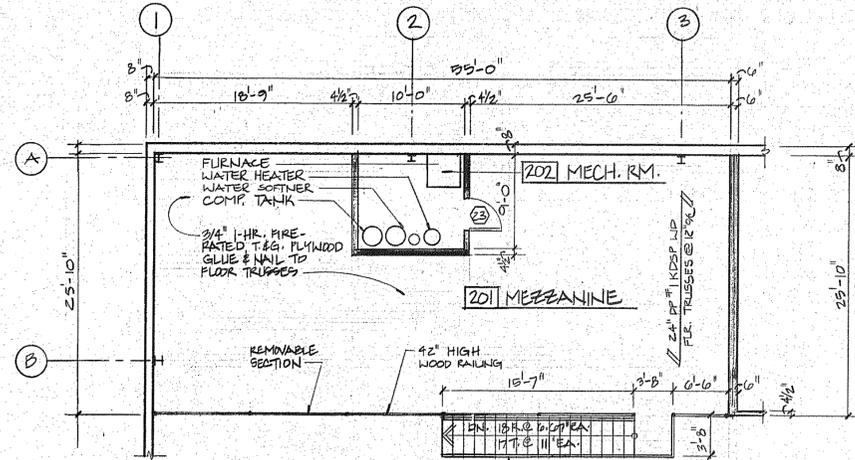
3080 TODDIEM DRIVE

NOTES & DETAILS

CLIENT:
735 N. SECOND ST. LLC
775 N. SECOND STREET
BRIGHTON, MICHIGAN 48116
810-229-6323

SCALE: N/A
PROJECT No.: 244711
DWG NAME: 4711 DT
ISSUED: JULY 17, 2024

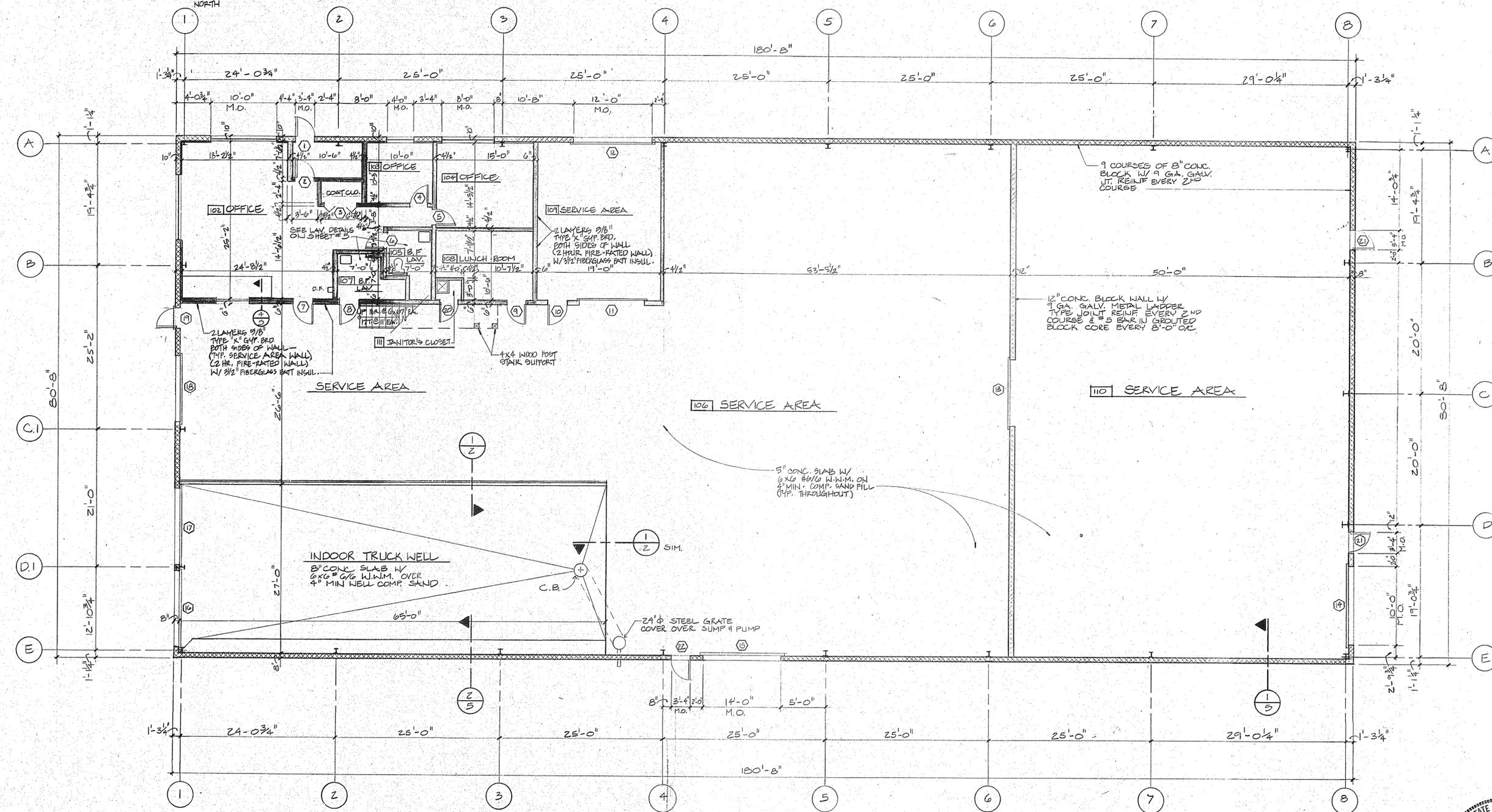
DT



MEZZANINE PLAN
SCALE: 1/8" = 1'-0"
NORTH

DOOR SCHEDULE	
101 AIR-LOCK 102 OFFICE 103 OFFICE 104 OFFICE	FLOOR - CARPET OVER CONCRETE FLOOR BASE - 4" HIGH RUBBER BASE WALLS - PAINTED GYPSUM BOARD CEILING - PAINTED 5/8" TYPE "X" GYPSUM BOARD
105 BARRIER FREE LAVATORY 107 BARRIER FREE LAVATORY 108 LUNCHROOM 111 JANITOR CLOSET	FLOOR - SOLID VINYL TILE (CONCRETE W/SEALER IN JANITOR CLOSET) BASE - 4" HIGH RUBBER BASE WALLS - PAINTED GYPSUM BOARD CEILING - PAINTED 5/8" TYPE "X" GYPSUM BOARD
106 SERVICE AREA 109 SERVICE AREA	FLOOR - CONCRETE FLOOR W/SEALER BASE - 4" HIGH RUBBER OR GYPSUM BOARD WALL ROHS OR BLOCK WALL WALLS - PAINTED GYPSUM BOARD, EXPOSED STRUCTURE CEILING - PAINTED CONCRETE BLOCK - NONE - EXPOSED STRUCTURE
110 SERVICE AREA	FLOOR - 3/4" 1-HOUR FIRE RATED 7. & G. PLYWOOD BASE - EXPOSED STRUCTURE WALLS - EXPOSED STRUCTURE CEILING - EXPOSED STRUCTURE
201 MEZZANINE	FLOOR - 3/4" 1-HOUR FIRE RATED 7. & G. PLYWOOD BASE - EXPOSED STRUCTURE WALLS - EXPOSED STRUCTURE CEILING - EXPOSED STRUCTURE
202 MECHANICAL ROOM	FLOOR - 3/4" 1-HOUR FIRE RATED 7. & G. PLYWOOD BASE - NONE WALLS - PAINTED 5/8" TYPE "X" GYPSUM BOARD, BOTH SIDES OF WALL CEILING - PAINTED 5/8" TYPE "X" GYPSUM BOARD
NOTE: SEE FLOOR PLAN FOR LOCATION OF 2-HR. FIRE-RATED WALL - USE 2-LAYERS 5/8" TYPE "X" GYPSUM BOARD	
101 102 103 104	3'-0" X 7'-0" X 1 3/4" FLUSH HOLLOW METAL DOOR IN HOLLOW FRAME W/INSUL. CORE, WEATHERSTRIP, CLOSER, METAL THRESHOLD, 1 1/2" PAIR BUTTS, PASSAGE HARDWARE W/KEYED LOCK AND INTERIOR THUMB TURN. (NO LOCK ON DOOR #10). (INTERNAL CYLINDER LOCK ON DOOR #1).
105 107 108 111	3'-0" X 7'-0" X 1 3/4" FLUSH SOLID WOOD DOOR W/BIRCH VENEER IN WOOD FRAME, CLOSER, 1 1/2" PAIR BUTTS, PASSAGE HARDWARE. (PRIVACY LOCK ON DOOR #11).
106 109	5'-0" X 8'-0" X 1 3/4" FLUSH, HOLLOW CORE BIRCH VENEER BI-FOLD DOOR IN WOOD FRAME, W/TRACK & BI-FOLD HARDWARE, PULL KNOBS.
110	3'-0" X 7'-0" X 1 3/4" FLUSH HOLLOW METAL DOOR IN HOLLOW METAL FRAME W/INSUL. CORE, 1 1/2" HR. FIRE RATED, METAL THRESHOLD, 1 1/2" PAIR BUTTS, CLOSER W/FUSIBLE LINKS, WEATHERSTRIP, PASSAGE HARDWARE. (INTERNAL CYLINDER LOCK ON DOOR #7).
101 102 103 104	12'-0" X 10'-0" OVERHEAD DOOR (PRE-FINISHED) W/OVERHEAD DOOR TRACK, WEATHERSTRIP.
106 109	10'-0" X 10'-0" OVERHEAD DOOR (PRE-FINISHED) W/OVERHEAD DOOR TRACK, WEATHERSTRIP.
106	14'-0" X 14'-0" OVERHEAD DOOR (PRE-FINISHED) W/OVERHEAD DOOR TRACK, WEATHERSTRIP.
101 102	3'-0" X 6'-0" X 1 3/4" FLUSH SOLID CORE WOOD DOOR IN HOLLOW METAL FRAME, CLOSER, 1-HR. FIRE RATED, 1/2" PAIR BUTTS, CLOSER W/FUSIBLE LINKS, WEATHERSTRIP, PASSAGE HARDWARE. (CUT IT DOOR TO SIZE AS REQ'D.)
103	10'-0" X 10'-0" OVERHEAD DOOR (PRE-FINISHED) ROLL-UP TYPE W/ TRACK & FUSIBLE LINK (1-HOUR FIRE-RATED)

FINISHING SCHEDULE:	
(all colors are to be selected by the Owner)	
Interior: Gypsum Board:	1. One coat of primer sealer 2. One coat of interior latex wall paint
Wood Doors and Woodwork:	1. Sand smooth 2. One coat of wood stain 3. One coat of Sanding Sealer 4. Two coats of polyurethane (semi-gloss) (sand smooth between coats)
Concrete Block:	1. Interior: A. One coat of block filler B. One coat of interior latex, sealer type (non breathing and non chalking) 2. Exterior: A. One coat of block filler B. One coat of exterior latex, breather type non chalking paint



FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH

do not scale this print, use figured dimensions only.

PC Architectural Group
210 S. EAST ST. • BRIGHTON, MI 48116 • (313) 229-4775 • (313) 229-5147
MEMBER AMERICAN INSTITUTE OF ARCHITECTS

PROJECT: **ADVANCE METAL ALLOYS**
SHEET TITLE: **FLOOR PLAN**
3520A TAP, MI.

No.	Date	By	Notes

Drawn: **MH**
Checked:
Approved:
Date: **AUG 11, 1992**
Project: **2044**

Sheet: **3**



BRUNING 44-33 71522



GENOA CHARTER TOWNSHIP
Application for Site Plan Review
sketch

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Zaid Abre
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Surmod eedo

SITE ADDRESS: 3200 E grand river PARCEL #(s):

APPLICANT PHONE: (248) 872-9818 OWNER PHONE: 248 + 872-9818

OWNER EMAIL: Zaid.Abre44@yahoo.com

LOCATION AND BRIEF DESCRIPTION OF SITE: 3200 E grand river
recently just purchase lot next door and
trying to add vacuums and make
3 line pay 5 to trans

BRIEF STATEMENT OF PROPOSED USE: Add vacuums and
add three pay lanes and add
land scape

THE FOLLOWING BUILDINGS ARE PROPOSED:

GENOA TOWNSHIP

AUG 22 2024 paid \$2875.00

RECEIVED

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE
PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY
KNOWLEDGE AND BELIEF.

BY: Zaid Abre

ADDRESS: 1372 clear creek dr

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Zaid Abro of MANJER at Zaid.Abro74@gmail.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 8/22/2024
PRINT NAME: Zaid Abro PHONE: 248.372-9818
ADDRESS: ~~137C Clear Creek Dr~~ 3200 E Grand river



October 8, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Drip Car Wash Vacuum Addition
Site Plan Review No. 2**

Dear Ms. Ruthig:

Tetra Tech conducted a second review of the site plan submittal for Drip Car Wash last dated October 2, 2024. The site plan was prepared by Gateway Engineering and Consulting, Inc for Howell 2, LLC. The improvements include the addition of three pay lanes and 14 vacuums for the existing car wash.

We have reviewed the revised site plan, and the petitioner has satisfactorily addressed our previous comments. We have no further engineering related concern with the proposed site plan. Please call or email if you have any questions.

Sincerely,

A handwritten signature in black ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer

A handwritten signature in black ink that reads 'Sydney Streveler'.

Sydney Streveler, EIT
Civil Engineering Group

Tetra Tech

3497 Coolidge Road, East Lansing, MI 48823
Tel 517.316.3930 Fax 517.484.8140 www.tetrattech.com



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

September 11, 2024

Sharon Stone-Francis
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Drip Carwash
3200 E. Grand River
Genoa Twp., MI

Dear Amy,

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on August 27, 2024 and the drawings are dated January 15, 2024 with latest revisions dated August 12, 2024. The project is based on an existing 4,461-square-foot S-2 car wash that will undergo renovations and site improvements. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation.
IFC 505.1
2. The East side of the building shall be marked as a fire lane. Include the location of the proposed fire lane signage and details of the fire lane sign in the submittal. Additionally, the Loading Zone shall be marked as a fire lane. Access roads to the site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds.
IFC D 103.6
3. A Knox box shall be located adjacent to the main entrance of the structure, in a location coordinated with the fire authority.
IFC 506.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

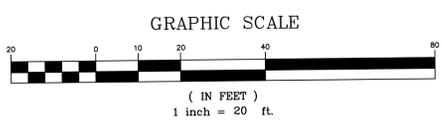
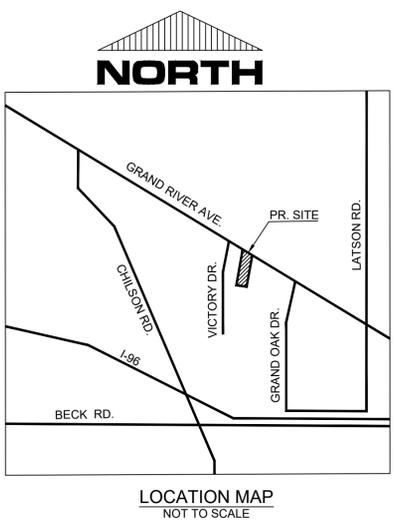
A handwritten signature in black ink, appearing to read "R. Boisvert".

Rick Boisvert, CFPS
Fire Marshal

cc: Amy Ruthig amy@genoa.org



TOPOGRAPHIC SURVEY
SCALE: 1" = 20.00'



SITE BENCHMARK: (NAVD 88 - BY GPS)
ARROW ON HYD. LOCATED ON THE GRAND RIVER AVE. R.O.W
APPRX. 81' FROM THE N-E CORNER OF PROPERTY.
ELEVATION= 952.62

SOIL LEGEND:
MoB- WAWASEE LOAM, 2 to 6 percent slopes

FLOODPLAIN NOTE:
SUBJECT PROPERTY (ZONE X) IS IN AN AREA OF MINIMAL FLOOD HAZARD.
FIRM MAP NUMBER: 26093C0309D
EFFECTIVE DATE: SEPTEMBER 17, 2008

LEGAL DESCRIPTION FOR PID# 4711-05-100-008
SEC 5 T2N R5E COMM W 1/4 POST SEC 5 TH N 538.50 FT TH S62°56'E 709.20 TO POB TH S62°56'E 155.80 FT TH S27°04'W 240.50 FT N71°25'W 20.8 FT N84°15'W 145.80 FT TH N27°04'E 297.80 FT TO POB. CONT 0.96 AC M.L. CORR 02/00 TVF.

LEGAL DESCRIPTION
PARCEL ID # 4711-05-303-024
SEC 5 T2N R5E GRAND OAKS WEST INDUSTRIAL PARK PART OF LOT 1 DESCRIBED AS BEG AT TH SE COR TH N10°09'14"E 111.73 FT TH N02°19'58"W 70.58 FT N25°05'34"E 156.37 FT TH S64°54'26"E 61.31 FT TH S25°05'34"W 326.97 FT TO POB ALSO COMM AT SE COR LOT 1 TH N25°05'34"E 326.97 FT TH S64°54'26"E 75 FT TH S25°05'34"W 297.80 FT TH N86°09'47"W 80.47 FT TO POB CONT. .86 AC M.L. SPLIT FR 05-303-001 AND 05-100-009 12/99 CORR LEGAL 2/05

- LEGEND**
- EXIST. STORM SEWER
 - EXIST. OVERHEAD UTILITY
 - EXIST. FENCE LINE
 - EXIST. WATERMAIN
 - EXIST. SANITARY LINE.
 - EXIST. GAS LINE
 - EXIST. HYDRANT
 - EXIST. UTILITY POLE
 - EXIST. LIGHT POLE
 - EXIST. GATE WELL
 - EXIST. ROAD CATCH BASIN
 - EXIST. STORM CATCH BASIN
 - EXIST. SANITARY MANHOLE
 - EXIST. ROAD SIGN BOARD
 - EXIST. SIDEWALK
 - EXIST. CONC. PAVEMENT
 - EXIST. ASPH. PAVEMENT
 - EXIST. PAVEMENT TO BE REMOVED

NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY

LEGEND
R-O-W = RIGHT OF WAY
P.O.B = POINT OF BEGINNING
FI = FOUND IRON
FCI = FOUND CORRPED IRON
S-PR COR = SET PROPERTY CORNER
N, E, S, W = NORTH, EAST, SOUTH, WEST
P.I.D.# = PARCEL IDENTIFICATION NUMBER
T./R. = TOWN/RANGE
L./P. = LIBER/PAGE
R./M. = RECORD/MEASURE



GATEWAY
8155 ANSBURY DRIVE, SUITE # 109
SHELBY TWP., MI 48316
OFFICE # (586) 786-5533 FAX # (586) 786-5575
www.gatewayengineer.com

PROJECT INFORMATION:
DRIP AUTO WASH
3200 E GRAND RIVER AVE.
HOWELL, MI 48843
PARCEL ID# 4711-05-303-024

CLIENT INFORMATION:
HOWELL 2 LLC
ZAID ABRU
1372 CLEAR CREEK DR.
ROCHESTER HILLS, MI 48306
PHONE#: 248-885-4441
EMAIL:
ZAID.ABRU44@YAHOO.COM

ISSUANCE:

- SCHEMATIC
- BIDDING
- MUNI SUBMITTAL
- CONSTRUCTION
- OTHER

DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

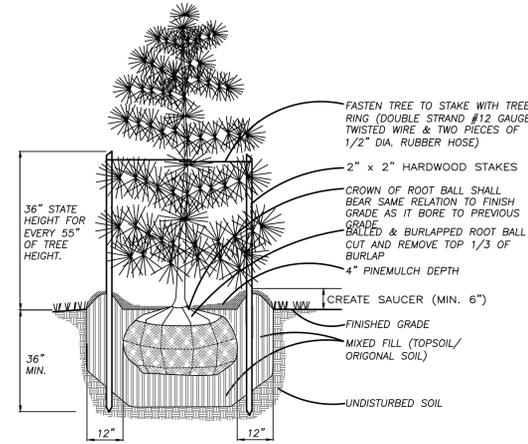
NO.	DESC.	DATE
1.	CONCEPT	01/15/2024
2.	PSP	02/14/2024
3.	PSP REV.	04/08/2024
4.	PSP REV.	06/25/2024
5.	PSP REV.	08/12/2024
6.	PSP REV.	10/02/2024

REVIEWED BY: J.V.
DESIGNED BY: M.G.
DRAWN BY: V.V.

DRAWING:
TOPOGRAPHIC SURVEY
NO. **C1.1**
PROJECT NO. 24-0107

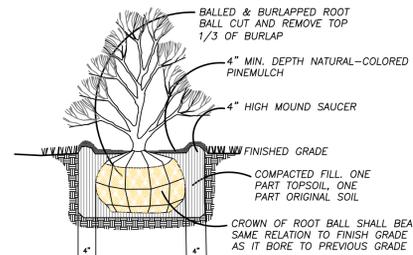


LANDSCAPE PLAN
SCALE: 1" = 20.00'



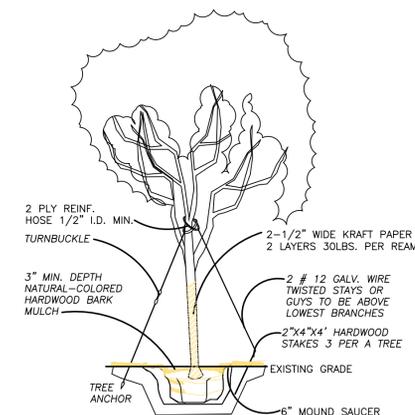
EVERGREEN TREE PLANTING DETAIL

- N.T.S.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE
 - REMOVE TREE RINGS AND STAKES TWO YEARS AFTER INSTALLATION
 - WATER TREE THOROUGHLY SUBSEQUENT TO INSTALLATION



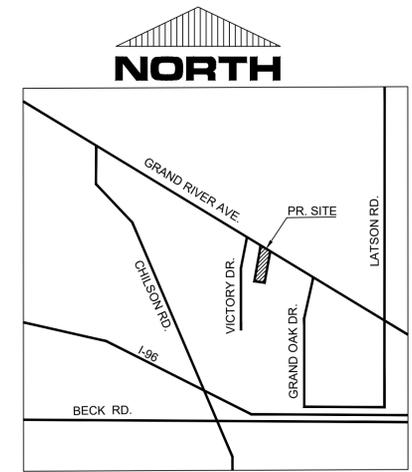
DECIDUOUS SHRUB PLANTING DETAIL

- N.T.S.
- PLANT SHRUB AT THE SAME GRADE AS IT WAS GROWN
 - PRUNE AND TRIM ALL DEAD OR DYING STEMS.
 - DISPOSE OF ALL NON-BIODEGRADABLE MATERIAL.

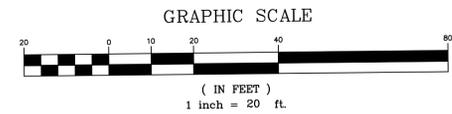


DECIDUOUS TREE PLANTING DETAIL

- N.T.S.
- STAKE ALL TREES UNDER 3-1/2" CALP.
 - GUY ALL TREES OVER 3-1/2" CALP.
 - PLANT TREE AT THE SAME GRADE AS IT W/ GROWN
 - NEVER CUT CENTRAL LEADER
 - PRUNE TO THIN & SHAPE TREE CANOPY
 - DISPOSE OF ALL NON-BIODEGRADABLE MATERIAL.
 - MAKE PLANTING PITS 24" GREATER THAN SOIL BALL DIA.



LOCATION MAP
NOT TO SCALE



EXISTING TREE AND SHRUB SCHEDULE

KEY	SYMBOL	QUANT.	TYPE
EXISTING TREES			
EX-D		16	EXISTING TREES
D1		5	ACER RUBRUM RED MAPLE 2.5" CALIPER BB
D2		4	MALUS FLORIBUNDA FLOWERING CRAB 2.5" CALIPER BB
E1		6	PICEA ABIES NORWAY SPRUCE 6' HT. BB
TOTAL EVERGREEN TREES PROVIDED: 6			
TOTAL DECIDUOUS TREES PROVIDED: 9			
TOTAL TREES PROVIDED: 15			
EXISTING DECIDUOUS TREES TO REMAIN: 3			
SHRUBS AND FLOWERS			
S1		8	JUNIPERUS CHINENSIS KETELEERI KETLAR JUNIPER 6' HT. BB
S2		16	COMPACT BURNING BUSH AND/OR CRIMSON PYGMY BARBERRY 30" HT. BB
S3		12	FORSYTHIA AND/OR LIMELIGHT HYDRANGEA 30" HT. BB
P		16	VARIOUS FLOWERING PLANTS OR GRASSES *PROVIDE PLANTINGS AT A RATE THAT PROVIDES ADEQUATE COVERAGE FOR AREA INTENDED TO BE COVERED. 30" HT. BB
TOTAL SHRUBS PROVIDED: 36			
TOTAL TREES (EXISTING + PROVIDED) : 18			
TOTAL SHRUBS PROVIDED: 36			
TOTAL FLOWERS: 16			

PROJECT INFORMATION:

DRIP AUTO WASH

3200 E GRAND RIVER AVE.
HOWELL, MI 48843

PARCEL ID# 4711-05-303-024

CLIENT INFORMATION:

HOWELL 2 LLC
ZAID ABRO
1372 CLEAR CREEK DR.
ROCHESTER HILLS, MI 48306
PHONE#: 248-885-4441
EMAIL:
ZAID.ABRO44@YAHOO.COM

- ISSUANCE:
- SCHEMATIC
 - BIDDING
 - MUNI SUBMITTAL
 - CONSTRUCTION
 - OTHER

DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESC.	DATE
1.	CONCEPT	01/15/2024
2.	PSP	02/14/2024
3.	PSP REV.	04/08/2024
4.	PSP REV.	06/25/2024
5.	PSP REV.	08/12/2024
6.	PSP REV.	10/02/2024

REVIEWED BY: J.V.
DESIGNED BY: M.G.
DRAWN BY: V.V.

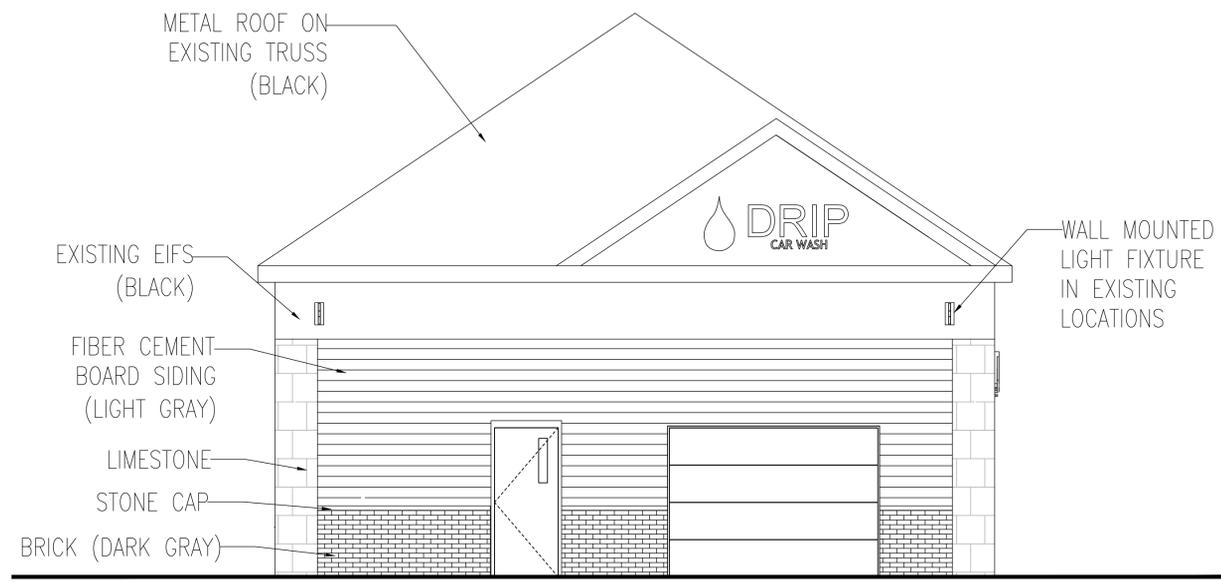
DRAWING:

LANDSCAPE PLAN

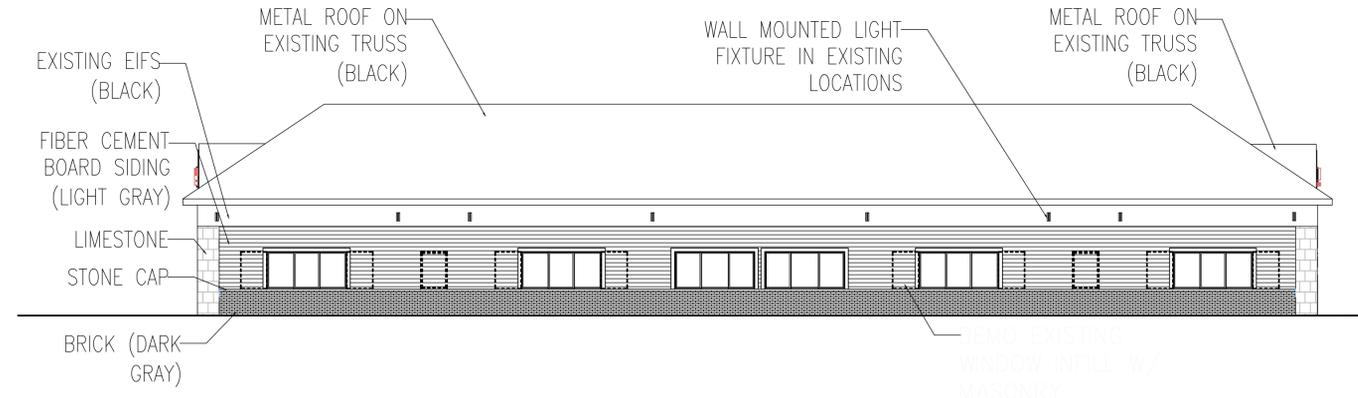
NO. **LS1.1**

PROJECT NO. 24-0107

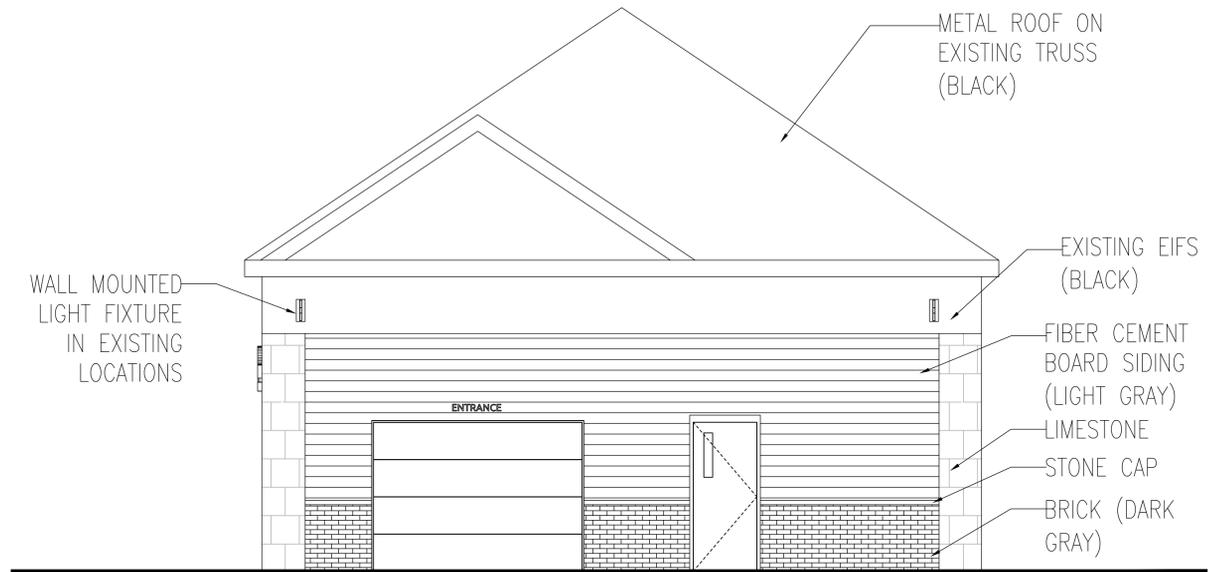




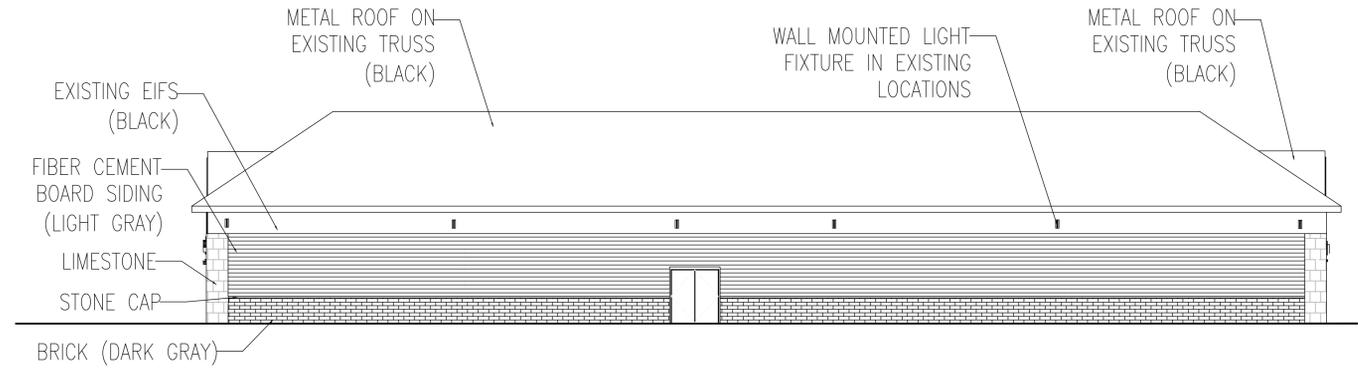
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



STORM WATER CALCULATIONS

EXISTING SITE:

BUILDINGS, PAVEMENT, SIDEWALKS + 33,267 SF @ 0.30 = 10,986
 LAWN AND NATURAL AREAS + 19,075 SF @ 0.20 = 3,815

PROPOSED SITE:

BUILDINGS, PAVEMENT, SIDEWALKS + 14,313 SF @ 0.30 = 4,294
 LAWN AND NATURAL AREAS + 11,607 SF @ 0.20 = 2,321

TOTALS: 88,279 SF 87.8%

COMPOUND C = 0.1500 / 0.2500 = 0.60

PERMISSIBLE MAXIMUM OUTFLOW RATE = 2.05 ACRES @ 0.1 CFS/ACRE = 0.21 CFS

CALCULATE Q₀ $Q_0 = \frac{A \cdot C \cdot I \cdot L}{1.486 \cdot S^{0.487}}$
 $Q_0 = \frac{88,279 \cdot 0.60 \cdot 0.15}{1.486 \cdot 0.0015^{0.487}} = 1,056,750 \text{ GPM}$

THE OUTFLOW FOR THE SYSTEM WILL BE AN ORIFICE

CALCULATE THE STORAGE TIME IN MINUTES

$T = \frac{V}{Q} = \frac{10,567,500 \text{ GPM}}{1,056,750 \text{ GPM}} = 10 \text{ MINUTES}$

TOTAL STORAGE VOLUME REQUIRED:

Including Area (A) = 225 Acres
 Compound Runoff Coefficient (C) = 0.64 (Average Compromise)
 Design Storm (S) = 4 in @ 2.05 in/hr @ 1.5 Hour Duration Rate (2.05 in/hr)

(1) Duration (Minutes)	(2) Duration (Seconds)	(3) Runoff (50-yr Storm) (Cu.Ft.)	(4) C at 2 inches (Cu.Ft.)	(5) Inlet Volume (Cu.Ft.)	(6) Col. 4 x Col. 5 (Cu.Ft.)	(7) Col. 3 - Col. 6 (Cu.Ft.)
5	300	811	2.45	3211	73	3088
10	600	1600	4.00	5501	246	5255
15	900	2411	5.56	7811	369	7442
20	1200	3244	6.50	10111	492	9619
30	1800	4455	8.63	14411	738	13673
40	2400	5688	10.67	18711	1076	17635
50	3000	6944	12.50	23011	1504	21507
60	3600	8211	14.17	27211	2022	25289
70	4200	9488	15.71	31411	2630	29081
80	4800	10777	17.14	35511	3328	32883
90	5400	12077	18.46	39511	4116	36695
100	6000	13388	19.68	43411	4994	40524
120	7200	16000	23.00	51411	7382	44029

Notes: Figures in Columns (3) and (4) are valid only if computed by the formula $1 + 2.45 \cdot C$ for 50-yr storm. Appropriate revisions shall be made for geographical areas where this formula does not apply.

* Allowable outflow rate Q_0 to be one of the following:

Case 1: Q_0 capacity of existing drainage conduit or channel.
 Case 2: $Q_0 = C \cdot A \cdot S$ where Q_0 = Permissible discharge rate per acre of tributary area, C = 2.05 in/hr, A = 1 acre/acre.

DETERMINING THE OUTFLOW SIZE:

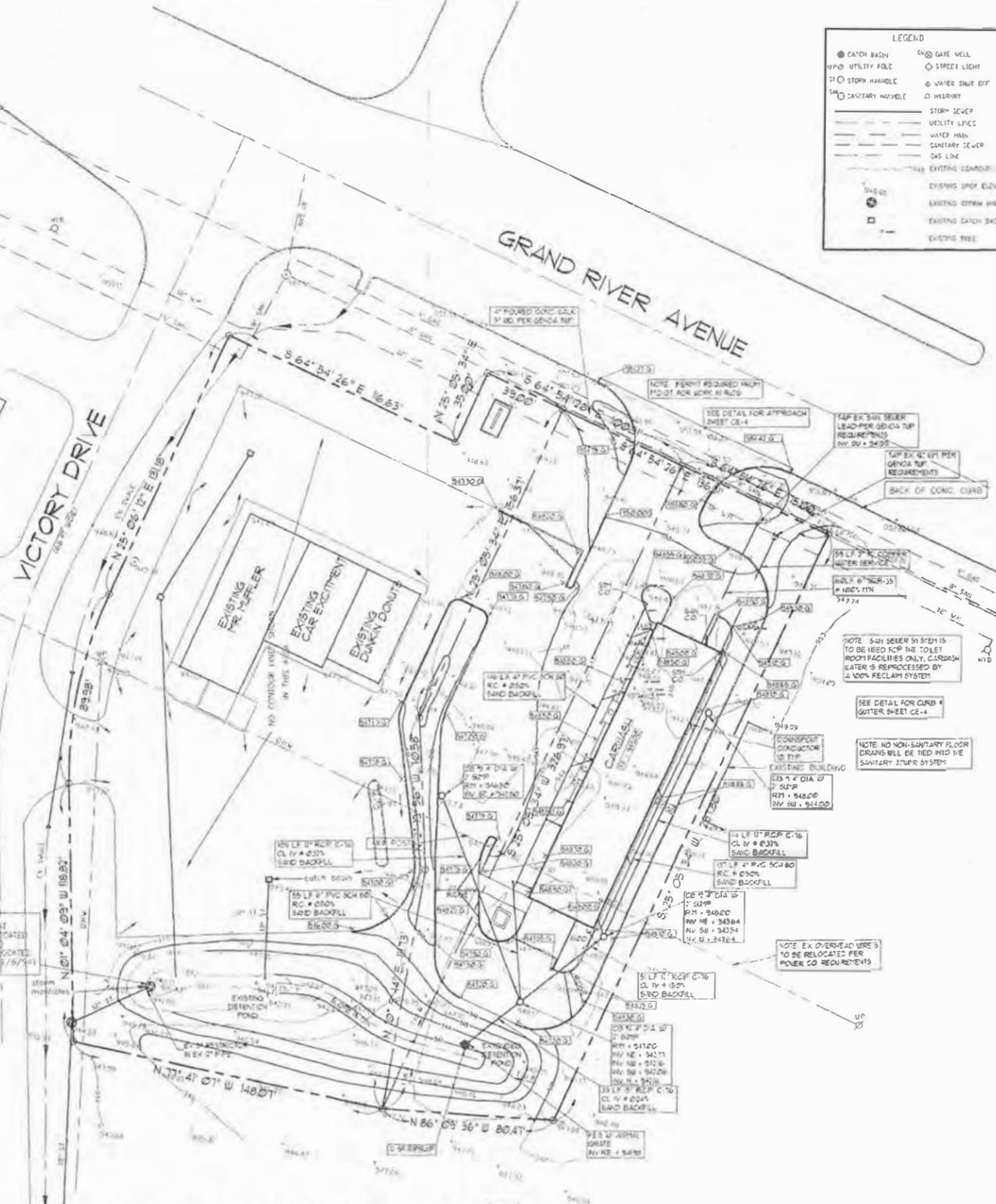
$Q = 1.486 \cdot C \cdot I \cdot A \cdot L$
 where Q is the head at the outlet
 $A = 0.1 (1.486 \cdot C \cdot I \cdot L)^2$
 $Q = 0.241 \text{ SQ. FT. OR } 55 \text{ SQ. IN.}$

CHOOSE A 3" DIA. OUTLET PIPE (7.01 SQ. IN.) EXISTING

DETENTION BASIN VOLUME:

$VOL = ((1.486 \cdot C \cdot I \cdot A \cdot L)^2) / (2 \cdot 2.31 \cdot H)$
 A1 - AREA * ELEV. 941.00 * 1.00 SF. H = 941.00 - 941.00 = 0
 A2 - AREA * ELEV. 941.00 * 1.50 SF. H = 941.00 - 941.00 = 0
 A3 - AREA * ELEV. 942.00 * 1.00 SF. H = 942.00 - 941.00 = 1.00
 A4 - AREA * ELEV. 945.00 * 4.33 SF.
 TOTAL STORAGE PROVIDED:
 VOL = ((1.486 \cdot 0.60 \cdot 0.15 \cdot 88,279)^2) / (2 \cdot 2.31 \cdot 1.00) = 1,056,750
 VOL = 1,056,750 CF
 TOP OF BANK + 941.00
 DESIGN WATER SURFACE + 941.00
 AVERAGE BOTTOM ELEV. + 941.00

IN RELATING ELEVATIONS TO USDS DATUM, WE ASSUMED THAT THE RIM ELEVATION OF THE EXISTING OUTLET STRUCTURE (LOCATED WITHIN THE EXISTING DETENTION POND) IS 943.0 (PROPOSED) WAS BUILT AS PLANNED (PROPOSED ELEVATION 943.0) WAS LOCATED ON BOSS ENGINEERING'S SITE PLAN, JOB NO. 93553, DATED 3/29/94.



LEGEND

- CATCH BASIN
- GATE WELL
- UTILITY POLE
- STREET LIGHT
- STOP HANDLE
- WATER SHUT OFF
- HYDRANT
- SANITARY MANHOLE
- STORY SEWER
- UTILITY LINES
- WATER MAIN
- SANITARY SEWER
- GAS LINE
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- EXISTING STREAM MARKER
- EXISTING CATCH BASIN
- EXISTING TREE



DESCRIPTION OF TWO PORTIONS OF LOT 1 'GRAND OAKS WEST INDUSTRIAL PARK'

PARCEL 1A-1
 THAT PART OF LOT 1 'GRAND OAKS WEST INDUSTRIAL PARK', AN INDUSTRIAL SUBDIVISION OF PART OF THE N.W. 1/4 SECTION 5, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, RECORDED IN LIDER 30, PAGE 1 THRU 5, I.C.L., LIVINGSTON COUNTY RECORDS, DESCRIBED AS:
 BEGINNING AT THE SW CORNER OF SAID LOT 1; THENCE S 11° 41' E, ALONG THE SOUTH LINE OF SAID LOT 1, WHICH IS ALSO THE SOUTH LINE OF SAID 'GRAND OAKS WEST INDUSTRIAL PARK', 148.21 FT.; THENCE N 10° 09' 14" E, 113.11 FT.; THENCE N 07° 56' 31" E, 105.81 FT.; THENCE N 75° 29' 34" E, 86.31 FT.; THENCE S 81° 12' 00" W, ALONG THE N.E. CORNER OF SAID LOT 1, WHICH IS ALSO THE N.E. CORNER OF SAID 'GRAND OAKS WEST INDUSTRIAL PARK', ON THE FOLLOWING THREE COURSES: 1. 64' 54" 16" W, ALONG THE S.E. CORNER OF GRAND RIVER AVE, 150 FT. WIDE TO ROAD, 38.20 FT. TO AN ANGLE POINT ON THE N.E. LINE OF SAID LOT 1, 5' 25' 09" 34" W, 35.00 FT., AND N 64' 54" 16" W, ALONG THE S.E. RIGHT-OF-WAY LINE OF SAID GRAND RIVER AVE, (66 FT. WIDE TO ROAD); 2. 83 FT. TO THE N.E. CORNER OF SAID LOT 1; THENCE S 11° 41' E, ALONG THE S.E. CORNER OF SAID LOT 1, WHICH IS ALSO THE S.E. CORNER OF SAID 'GRAND OAKS WEST INDUSTRIAL PARK', 116.91 FT. TO THE POINT OF BEGINNING, CONTAINING 0.37 ACRES OF LAND, MORE OR LESS, SUBJECT TO AN EASEMENT OVER THE N.E. 1/4 OF THE ELY PORTION AS A PRIVATE EASEMENT FOR MICHIGAN BELL TELEPHONE COMPANY FOR TELEPHONE LINES, AS SHOWN ON THE PLAT AND AS RECORDED IN LIDER 810, PAGE 733, L.C.R.1, SUBJECT TO ANY OTHER RECORDED EASEMENTS OR RESTRICTIONS.

PARCEL 1A-2
 THAT PART OF LOT 1 'GRAND OAKS WEST INDUSTRIAL PARK', AN INDUSTRIAL SUBDIVISION OF PART OF THE N.W. 1/4 SECTION 5, T2N, R5E, GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, RECORDED IN LIDER 30, PAGE 1 THRU 5, I.C.L., LIVINGSTON COUNTY RECORDS, DESCRIBED AS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 1; THENCE N 10° 09' 14" E, 113.11 FT.; THENCE N 07° 56' 31" E, 105.81 FT.; THENCE N 75° 29' 34" E, 86.31 FT.; THENCE S 81° 12' 00" W, ALONG THE N.E. CORNER OF SAID LOT 1, WHICH IS ALSO THE N.E. CORNER OF SAID 'GRAND OAKS WEST INDUSTRIAL PARK', ON THE FOLLOWING THREE COURSES: 1. 64' 54" 16" W, ALONG THE S.E. CORNER OF GRAND RIVER AVE, 150 FT. WIDE TO ROAD, 38.20 FT. TO AN ANGLE POINT ON THE N.E. LINE OF SAID LOT 1, 5' 25' 09" 34" W, 35.00 FT., AND N 64' 54" 16" W, ALONG THE S.E. RIGHT-OF-WAY LINE OF SAID GRAND RIVER AVE, (66 FT. WIDE TO ROAD); 2. 83 FT. TO THE N.E. CORNER OF SAID LOT 1; THENCE S 11° 41' E, ALONG THE S.E. CORNER OF SAID LOT 1, WHICH IS ALSO THE S.E. CORNER OF SAID 'GRAND OAKS WEST INDUSTRIAL PARK', 116.91 FT. TO THE POINT OF BEGINNING, CONTAINING 0.37 ACRES OF LAND, MORE OR LESS, SUBJECT TO AN EASEMENT OVER THE N.E. 1/4 OF THE ELY PORTION AS A PRIVATE EASEMENT FOR MICHIGAN BELL TELEPHONE COMPANY FOR TELEPHONE LINES, AS SHOWN ON THE PLAT AND AS RECORDED IN LIDER 810, PAGE 733, L.C.R.1, SUBJECT TO ANY OTHER RECORDED EASEMENTS OR RESTRICTIONS.

ENGINEERED SITE PLAN
 SCALE 1" = 30.00'

STORM DRAINAGE DESIGN CHART

THE BUILDING DESIGN GROUP, INC.
 PROJECT: CARWASH, GENOA TOWNSHIP
 DESIGNER: J. M. BUSTARD, P.E.

MANHOLE	FROM	TO	Area (sq. ft.)	Inlet	Outlet	Runoff Coeff.	Eqv. Area (sq. ft.)	Inlet Elev. (ft.)	Outlet Elev. (ft.)	Slope	Capacity (cfs)	Velocity (fps)	Pipe Length (ft.)	Invert Elevation (ft.)	Riser Elev. (ft.)	Pipe Cover (ft.)	Re Elev. (ft.)	Pipe Cover (ft.)
CB-1	CB-2	1	0.05	0.05	0.64	0.032	0.1	941.00	941.00	0.00	0.00	0.00	0.00	941.00	941.00	0.00	941.00	0.00
CB-2	CB-4	2	0.10	0.10	0.64	0.064	0.2	941.00	941.00	0.00	0.00	0.00	0.00	941.00	941.00	0.00	941.00	0.00
CB-3	CB-4	3	2.40	0.46	0.64	0.294	0.4	941.00	941.00	0.00	0.00	0.00	0.00	941.00	941.00	0.00	941.00	0.00
CB-4	POUND	4	0.15	0.16	0.64	0.096	0.16	941.00	941.00	0.00	0.00	0.00	0.00	941.00	941.00	0.00	941.00	0.00

3 WORKING DAYS
**BEFORE YOU DIG
 CALL MISS DIG**
 1-800-482-7111
 (TOLL FREE)

NOTE: UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES, AND OTHER VARIOUS SOURCES. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.



330 E Maple Rd
 Suite B
 Troy MI 48063
 248/586-8828
 Fax 248/586-8924

the building design group

Sheet Title
ENGINEERED SITE PLAN

Job Description
 PROPOSED AUTOMATIC CAR WASH
 MR. CHRIS LANDER
 350 LLOYD
 BRIGHTON, MICHIGAN 48116

Job no
 97111

Sheet no
CE-2



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Springborn Properties
If applicant is not the owner, a letter of Authorization from Property Owner is needed.

OWNER'S NAME & ADDRESS: Russ Springborn

SITE ADDRESS: 3535 High Hillcrest Dr PARCEL #(s): 4711-09-200-028

APPLICANT PHONE: (313) 350-3358 OWNER PHONE: (313) 350-3358

OWNER EMAIL: russs@springbornproperties.com

LOCATION AND BRIEF DESCRIPTION OF SITE: Lot 4 & part of Lot 5 of 'Genoa Outlots LLC' PUD development. 2.14 total acre lot Grand River Avenue. Access by Lawson Drive private road. Site is vacant, mowed lawn Site is served by municipal water & sanitary sewer & regional storm basin,

BRIEF STATEMENT OF PROPOSED USE: carwash including 4 self-serve wash bays and 2 wash automatic bays & vacuum stations - amendment to previously approved project - addt. 75-ft width of property, relocation of vacuum stations & addt. of 5 stations, relocation of dumpster & addt. landscaping

THE FOLLOWING BUILDINGS ARE PROPOSED: 1 carwash building encompassing All bays and mechanical room spaces

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: Russell Springborn

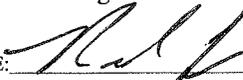
ADDRESS: 3535 High Hillcrest Dr Howell, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Patrick Cleary of Boss Engineering at patrickc@bosseng.com
Name Business Affiliation E-mail Address

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:  DATE: 9-17-24
PRINT NAME: Russell Springborn PHONE: 313-350-3358
ADDRESS: 3535 High Hillcrest Dr Howell, MI 48843



October 3, 2024

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Amy Ruthig, Planning Director
Subject:	Soapy Bucket Car Wash – Amendment to previously approved site plan (Review #1)
Location:	1415 Lawson Drive – southwest corner of Grand River Avenue and Lawson Drive
Zoning:	NRPUD Non-Residential Planned Unit Development

Dear Commissioners:

At the Township’s request, we have reviewed the submittal from Springborn Properties for development of a car wash at 1415 Latson Road (plans dated 9/24/24).

A. Summary

1. Use Conditions (Section 7.02.02(l)):

- a. Based on the previously approved site plan, the amended site plan complies with the use conditions.

2. Site Plan Review:

- a. The site data table on Sheet 5 must be updated to include the additional land area to the west.
- b. The applicant must confirm that the conditions of the original approval regarding the building elevation drawings have been met.
- c. The sidewalk and easement must be extended across the entire Grand River frontage.
- d. An easement should be provided for east/west cross-access along the north side of the
- e. The applicant must explain the need for the excess parking spaces.
- f. Detail sheets must be provided for each type of light fixture proposed.
- g. The Township prohibits the use of string/strip/rope lighting.
- h. There are several inconsistencies between the lighting plan and table of fixtures.
- i. The southerly and easterly greenbelts are deficient by a total of 3 trees, though additional shrubs are provided in these areas.

B. Proposal/Process

The applicant obtained site plan approval earlier this year for a car wash with 2 automatic bays, 4 self-service bays, and 5 vacuum stations.

In the time since, the applicant acquired additional property (75’ of frontage to the west) and now proposes an amendment to relocate and increase the number of vacuum stations, relocate the waste receptacle/enclosure and increase the landscaping.

Exhibit C of the Genoa 24 Grand PUD Agreement allows automobile washes (automatic or self-serve) as principal permitted uses within this PUD. The proposed development is subject to GCD dimensional standards, as well as the use conditions of Section 7.02.02(l).

Procedurally, the Planning Commission is to review the amended site plan and Environmental Impact Assessment and put forth recommendations to the Township Board, who has final review/approval authority over the request.

Soapy Bucket Car Wash

Amendment to previously approved site plan (Review #1)

Page 2



Aerial view of site and surroundings (looking north)

C. Use Conditions

Automobile washes are subject to the use requirements of Section 7.02.02(1), as follows:

1. Only one (1) ingress/egress driveway shall be permitted on any single street.

The amended site plan depicts a single driveway to/from Lawson Drive on the south side of the site.

2. Where adjoining a residential district, a solid fence or wall six (6) feet in height shall be erected along any common lot line. Such fence or wall shall be continuously maintained in good condition. The Planning Commission may require landscaping, including a berm, as an alternative.

The expanded subject site does not adjoin a residential district.

3. All washing facilities shall be within a completely enclosed building.

The automatic wash bays are within a completely enclosed building.

As discussed during review of the previously approved plan, the self-service bays are not enclosed; however, the Commission waived this requirement given that the building orientation and landscape screening will mitigate views of these bays.

4. Vacuuming and drying may be located outside the building, but shall not be in the required front yard and shall be set back at least fifty (50) feet from any residential district.

The amended site plan complies with these conditions.

5. All cars required to wait for access to the facilities shall be provided stacking spaces fully off the street right-of-way which does not conflict with vehicle maneuvering areas to access gasoline pumps or vacuums, and as required Article 14, Parking and Loading-Unloading Standards.

Section 14.04 requires 15 stacking spaces per automatic bay and 2 stacking spaces per self-service bay.

The amended site plan complies with these requirements – each automatic bay has 15 stacking spaces and each self-service bay provides 3 stacking spaces, none of which interfere with the drive access to/from Lawson Drive.

Soapy Bucket Car Wash

Amendment to previously approved site plan (Review #1)

D. Site Plan Review

- 1. Dimensional Requirements.** As shown in the table below, the proposal complies with the dimensional requirements for development in the Genoa 24 Grand PUD:

	Min. Lot Req.		Minimum Yard Setbacks (feet)				Max. Lot Coverage (%)	Max. Height
	Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking Lot		
Required	1	150	35	15	50	20 front 10 side/rear	35% building 75% impervious	35' 2 stories
Proposal	1.99	301	58 (N)	82 (E) 115 (W)	125 (S)	76 side (E) 75 rear (S)	11.4% building 69.8% impervious	31.5' 1 story

The proposed dimensions noted above are based on inclusion of the property to the west, though it does not appear that the site data table on Sheet 5 has been updated accordingly. This information must be updated, particularly with respect to the lot coverage calculations.

As noted during previous reviews, it is important to reiterate that the PUD Agreement specifically identifies the easterly property line as a side lot line and the southerly lot line as a rear lot line (though they are both along a roadway).

- 2. Building Design and Materials.** The amended site plan submittal does not include building information. As such, the previously approved building design, materials and color scheme must remain unchanged.

The approved site plan included 2 conditions related to the building elevations: 1) that the windows on the building facing Grand River Avenue be increased in area by 20%; and 2) that the labeling be corrected.

The applicant must confirm that these conditions have been met.

- 3. Pedestrian Circulation.** The previously approved site plan included the required 8-foot wide concrete sidewalk along Grand River. However, the amended site plan does not extend the sidewalk to westerly edge of the property.

The sidewalk and easement must be extended across the entire frontage.

- 4. Vehicular Circulation.** The site plan proposes 1 curb cut for a full turning movement driveway along Lawson Drive. The amended plan provides proper alignment with the existing drive across Lawson Drive.

An easement should be provided for east/west cross-access along the north side of the property for future connection to the remaining outlots in this PUD.

The applicant must also address any comments provided by the Township Engineer and/or the Brighton Area Fire Authority with respect to vehicular circulation.

- 5. Parking.** Based on the information provided, the project requires 3 parking spaces. The amended site plan provides 6 parking spaces, including the required barrier-free space.

While the total amount of parking (6 spaces) is minimal, Section 14.02.06 limits the project to 4 spaces (120% of the minimum requirement) without Planning Commission approval. The applicant must explain to the Commission why the excess spaces are needed.

The dimensions and design of parking spaces and drive aisles comply with Ordinance standards.

Soapy Bucket Car Wash

Amendment to previously approved site plan (Review #1)

Page 4

6. **Exterior Lighting.** The amended lighting plan identifies 4 ornamental poles/fixtures along Grand River, 9 light poles, 9 wall mounted fixtures, 72 recessed canopy fixtures, 2 strip lights and 24 vacuum station fixtures.

The pole and wall mounted fixtures are downward directed, cut-off LEDs, as required. The canopy fixtures are recessed and downward directed. There is no detail sheet for fixture type A and the Township prohibits string/strip/rope lighting.

Pole heights and photometric readings comply with Ordinance standards.

Additionally, the table and plan are inconsistent with respect to the number of fixture type P1, P3, D1 and LF.

7. **Landscaping.** The landscape plan has been reviewed for compliance with the standards of Section 12.02, as follows:

Standard	Required	Proposed	Notes
Front yard greenbelt (N)	20' width 8 canopy trees	35' width 8 canopy trees	In compliance
Front yard greenbelt (E)	20' width 8 canopy trees	10' width 6 canopy trees 28 shrubs	Deficient in width and tree plantings
Front yard greenbelt (S)	20' width 5 canopy trees	25' width 4 canopy trees 51 shrubs	Deficient by 1 tree
Buffer Zone C (W)	10' width 18 canopy trees OR 18 evergreen trees OR 70 shrubs	50' width 92 shrubs	In compliance

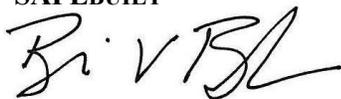
8. **Waste Receptacle.** The proposed waste receptacle has been reviewed for compliance with the standards of Section 12.04, as follows:

	Requirement	Proposed	Comments
Location	Rear yard or non-required side yard	Rear yard (per PUD Agreement)	Requirement met
Access	Clear access w/ out damaging buildings/vehicles	Turning template demonstrates sufficient maneuvering area	Requirement met
Base design	9' x 15' concrete pad	14' x 23' concrete pad	Requirement met
Enclosure	3-sided enclosure w/ gate Masonry walls 6' height/taller than receptacle	3 sides w/ gate across 4 th Brick to match building 6'-8" height	Requirements met

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFE BUILT



Brian V. Borden, AICP

Michigan Planning Manager



September 30, 2024

Ms. Amy Ruthig
Genoa Township
2911 Dorr Road
Brighton, MI 48116

**Re: Soapy Bucket Car Wash Amendment
Site Plan Review No. 1**

Dear Ms. Ruthig:

Tetra Tech conducted a review of the proposed Soapy Bucket Car Wash amended site plan last dated September 24, 2024. The plan was prepared by Boss Engineering on behalf of Springborn Properties. The development is located in Lot 4 of Genoa Outlots LLC (Genoa Square), which is on the south side of Grand River Avenue off Lawson Drive. The Petitioner has acquired additional property on the west side of the existing parcel and has amended the previously approved site plan with a revised vacuum and parking layout as well as a revised site driveway alignment. We offer the following comments for your consideration:

GENERAL

1. The proposed amended site plan includes a site driveway that lines up with the site drive across Lawson Drive. This is an improvement to the site drive that was approved in the original site plan and will offer better flow of traffic into and out of the site.
2. The impact assessment states that an 8-foot wide public sidewalk will be extended along the entire width of the lot, but this is not clearly shown on the site plan. The sidewalk shown in the proposed addition area is not shaded or labeled like the proposed sidewalk in the existing site plan area.
3. A 50-foot wide private road access easement is included in the legal description for the original property and the addition. The Petitioner should make sure this is clearly shown on the plans.

DRAINAGE AND GRADING

4. An existing detention basin is being used for the proposed development and the amended site plan includes additional impervious surface. A calculation should be provided to demonstrate that the proposed impervious surface does not exceed what was originally planned for the site. This could be included on the storm water management narrative on sheet 9A.

We recommend the petitioner address the above comments to the Township's satisfaction prior to approval. Please call or email if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Shelby Byrne'.

Shelby Byrne, P.E.
Project Engineer

Amy Ruthig

From: Amy Ruthig
Sent: Tuesday, October 8, 2024 1:38 PM
To: Amy Ruthig
Subject: RE: Soapy Bucket- Revised application

----- Forwarded message -----

From: **Rick Boisvert** <rboisvert@brightonareafire.com>
Date: Wed, Sep 25, 2024 at 3:18 PM
Subject: Re: Soapy Bucket- Revised application
To: Sharon Stone-Francis <Sharon@genoa.org>
Cc: Art Slavik <aslavik@brightonareafire.com>, Chris <cvanblaricum@brightonareafire.com>, Claudette Monroe (monroe@brightonareafire.com) <monroe@brightonareafire.com>, Derek Bunge (bunge@brightonareafire.com) <bunge@brightonareafire.com>

Hi Sharon, I don't have any updated comments based on the revisions. Site circulation, access, and water supply remain acceptable to BAFA. Do you require an updated letter?

Cordially,

Rick Boisvert, FM, CFPS
Fire Marshal
Brighton Area Fire Authority
615 W. Grand River
Brighton, MI 48116
O:(810)229-6640 D:(810)299-0033
F:(810)229-1619 C:(248)762-7929
rboisvert@brightonareafire.com



- The existing septic tank shall be removed and backfilled.

The motion carried unanimously.

5. Consideration of a recommendation for approval of the environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39-acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

A. Disposition of Environmental Impact Assessment (1-23-24)

B. Disposition of Site Plan (2-26-24)

Mr. Patrick Cleary of Boss Engineering was present to answer questions from the Board.

Ms. Hunt thanked Mr. Cleary for accommodating the Planning Commission's request to rotate the building to alleviate the stacking issue.

Ms. VanMarter noted that she added two conditions to the site plan approval. The Planning Commission had noted that they did not want any blue color on the site, but it was not in the conditions of their recommendation. She is recommending the details of Sheet A0 be revised to show that the vacuum caps and posts are black, and not blue. There is also a condition regarding the photometric analysis be done to ensure all lighting complies with the township ordinance. Mr. Cleary will comply with those conditions.

Moved by Lowe, supported by Croft, to approve the Environmental Impact Assessment dated January 23, 2024 for a proposed car wash with two automatic bays, four self-service bays and five vacuum stations located on a vacant 1.39-acre site (Parcel#4711-09-200-028). **The motion carried unanimously.**

Moved by Dhaenens, supported by Lowe, to approve the Site Plan dated February 26, 2024 for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located on a vacant 1.39-acre site (parcel#4711-09-200-028) with the following conditions:

- The vacuum details on sheet A0 shall be revised to reflect that the vacuum unit caps and posts shall also be black rather than the blue as currently depicted.
- A photometric analysis shall be provided in regard to the vacuum canopy lighting to ensure that the light source on the vacuum canopies comply with the Township ordinance. This must be provided prior to issuance of a land use permit.
- All site plan review overage fees must be paid prior to issuance of a land use permit.

The motion carried unanimously.

6. Consideration of a recommendation for approval of the environmental impact assessment dated November 29, 2023 corresponding to the site plan for reconstruction of the Faulkwood Shores Clubhouse building located at 300 S. Hughes Road, west side of S. Hughes Road, north of Arrow Drive. The request is petitioned by Singh Development, LLC.

Mr. Matt DeLapp, with Singh Development and Jason Fleis of The Umlor Group, the engineer for the project, were present. Mr. DeLapp provided a history of the golf course, the site's natural

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 13, 2024
MINUTES**

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Commissioners Chris Grajek, Eric Rauch, Tim Chouinard, Glynis McBain, Marianne McCreary, and Greg Rassel. Absent was Jeff Dhaenens. Also present were Planning Director Amy Ruthig, Brian Borden of SafeBuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA: Moved by Commissioner Rassel, seconded by Commissioner Rauch, to approve the agenda as presented. The motion carried unanimously.

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC: The call to the public was made at 6:31 pm with no response.

OLD BUSINESS:

OPEN PUBLIC HEARING #1...Consideration of a site plan application, environmental impact assessment and site plan for a proposed car wash with 2 automatic bays, 4 self-service bays and 5 vacuum stations located within the existing Genoa Outlots PUD. The property is located on a vacant 1.39-acre site (parcel#4711-09-200-028), southwest corner of Grand River Avenue and Lawson Drive. The request is petitioned by Springborn Properties.

- A. Recommendation of Environmental Impact Assessment (1-23-24)
- B. Recommendation of Site Plan (1-23-24)

Patrick Cleary of Boss Engineering, Dave Richardson of Lindhout and Associates and Russell Springborn of Springborn Properties were present for the applicant.

Mr. Richardson gave an overview of the revisions that have been made since the last Planning Commission meeting in January. After receiving great feedback from the Commissioners, the building has been rotated 90 degrees which allows the 15- car stacking requirement to be met, allows for less pavement and for the brick gable with windows to be facing Grand River Avenue. The trench drains have been eliminated. The vacuum hoods will be black instead of blue. Mr. Cleary clarified that the renderings in the packet will need to be updated since the building was rotated.

Commissioner Rauch asked the applicant if the glass on the north elevation could be increased and if someone could see through the windows from Grand River Avenue. Mr. Richardson stated that mechanical units were in the location of the windows and would not be visible. The windows could be 50% higher with the addition of square transom windows. Commissioner Rauch believes that would be a great addition with some landscaping along the Grand River Avenue frontage.

Genoa Township Planning Commission
February 13, 2024
Approved Minutes

Mr. Borden reviewed his letter dated February 6, 2024:

1. The use conditions for the car wash is mostly met however the self-service bays are not within a completely enclosed building. The applicant could apply for a variance or the Planning Commission could determine that. There was discussion as to how to handle the bays not being enclosed.
2. The applicant must identify the proposed color for the vacuum stations. Mr. Springborn stated that the color will be black instead of blue on the vacuums.
3. The building materials and color scheme are subject to approval by the Planning Commission. He stated that the building materials are high in quality and more than what is required in the ordinance.
4. A traffic impact assessment is required, though the Planning Commission may waive or modify this requirement.
5. The lighting plan has inconsistencies on the number of fixtures and he would like to have that corrected.
6. The landscaping plan has a slight deficiency in width as well as tree plantings. The southerly greenbelt has deficiencies as well. In total, it is 4 trees short however there are an additional 87 shrubs more than what is required and it exceeds the ordinance standards. Mr. Rauch asked if they could add in the 4 trees as required. Mr. Springborn stated that he felt they did not need to due to the fact that they are over the shrub count. Mr. Rauch is comfortable with the deficiency in the 4 trees. It was the consensus that the commissioners are good with the number of shrubs and short 4 trees. Commissioner McCreary asked about the type and height of the shrubs. Mr. Springborn stated that the tallest of the shrubs are 4-5 feet and are a mixture of species to compliment the spruces.

Ms. Ruthig had questions about the lighting on the vacuums. Mr. Springborn stated that the LED lights will be under the canopies and they are designed to shine on the car and they are shielded with canvas and do not shine up. The lights are on timers. Commissioner Rauch stated that the vacuum lights would fall under the site lighting and shall meet the Township Ordinance.

The Commissioners discussed the use condition requirement of section 7.02.02 (l) that self-service bays must be fully enclosed. Mr. Rauch believes that with this style of operation, it would not make sense to be fully enclosed and that requiring the applicant to apply for a variance would be an encumbrance. With the addition of the higher quality materials being proposed and because of the inability to efficiently operate, the majority of the Commissioners find that it meets the spirit of the ordinance by everything that can be enclosed is in enclosed and the building materials exceed the Zoning Ordinance requirements.

A call to the public was made at 7:02 p.m. with the following response: Susan Nickels, 4935 Fairways Drive, Brighton, MI. stated that she has been through a couple of these meetings and she is impressed with how much thought the commissioners put into the projects. She asked how many car washes does the Township really need. She thanked the Commissioners for their thoughtfulness and how they take a look at what is happening. The call to the public was closed at 7:03 p.m.

Commissioner McCreary stated that she is not in favor of this project even though it is located in a Planned Unit Development. She commended the applicant on their plan however she is not in agreement that the use condition has been met. Commissioner McCreary questioned if the reason for a

car wash being allowed in the Planned Unit Development is because of what of the developer is trying to bring to the development by allowing self-service car washes because of the use requirement that self-service car washes would be fully enclosed.

Moved by Commissioner Rauch, supported by Commissioner Rassel, to recommend approval to the Township Board, the Environmental Impact Assessment dated January 23, 2024 as written. **The motion carried as follows: Ayes- Commissioner Rauch, Commissioner Grajek, Commissioner Rassel, Commissioner Chouinard, and Commissioner McBain. Nays- Commissioner McCreary.**

Moved by Commissioner Rauch, supported by Commissioner Rassel, to recommend approval to the Township Board, the Site Plan dated January 23, 2024 with the following conditions:

1. The use conditions 7.02.02 (l) of the Zoning Ordinance meets the intent of the ordinance by all possible features for the operations of the building are enclosed and the materials are equal to or higher quality than what the Zoning Ordinance requires.
2. The four windows along the Grand River Avenue elevation (North elevation) be increased in area by 20 percent.
3. All vacuum and external elements for the operation are to be black and all site lighting shall meet the Township standards are met.
4. The landscape plan that was submitted is acceptable due to the increased number of shrubs.
5. The elevation plans need to be corrected.
6. The easterly greenbelt is deficient in width and the Planning Commission finds it acceptable.

The motion carried as follows: Ayes- Commissioner Grajek, Commissioner Rassel, Commissioner Chouinard, Commissioner McBain and Commissioner Rauch. Nays- Commissioner McCreary.

NEW BUSINESS:

OPEN PUBLIC HEARING #2...Consideration of a sketch plan for a facade updates to the existing Discount Tire building located at 3480 E. Grand River Avenue, located on the northeast corner of Grand River Avenue and Grand Oaks Drive. The request is petitioned by Isaac Nagel.

- A. Disposition of Sketch Plan (11-21-23)

Darrin LaButte of Discount Tire and Charlie Kemp of JLL Construction were present for the applicant.

Mr. LaButte stated that the elevations that were included in the Commissioners' packet were incorrect and the applicant is not painting the building. It will remain as the current red brick. The dumpster enclosure is not being relocated and the current enclosure will be brought into compliance with the addition of gates. The landscape plan will be improved upon with the addition of 4 trees. The existing pole sign will be removed and a conforming monument sign will be installed under a separate sign permit.

Mr. Borden reviewed his letter dated February 8th, 2024:

1. Use Conditions:
 - a. The east building elevation appears to exceed the maximum allowance of 25% of composite and metal siding, the Commission has the discretion to modify these requirements.
2. Site Plan:

**GENOA TOWNSHIP IMPACT ASSESSMENT
Soapy Bucket Car Wash**

Prepared for:

**Property Owner:
Springborn Properties
Russ Springborn**

Applicant:

**Springborn Properties
Russ Springborn**

Prepared by:

Patrick Cleary, PLA



3121 E. Grand River Howell, MI 48843
517.546.4836 fax 517.548.1670
www.bosseng.com

September 23, 2024

DISCUSSION ITEMS

- A. Name(s) and address(es) of person(s) responsible for preparation of the Impact Assessment and a brief statement of their qualifications.

Prepared by:

Patrick Cleary, PLA
Professional Landscape Architect/Senior Project Manager
Boss Engineering
3121 E Grand River
Howell, MI 48843

Prepared for:

Owner and Applicant:
Springborn Properties – Russ Springborn
3535 High Hillcrest Drive
Howell, MI 48343

- B. Description of the site, including existing structures, man-made facilities, and natural features, all-inclusive to within 10' of the property boundary.***

The project site is on parcel # 4711-09-200-028 in Section 9, Genoa Township, Livingston County, MI. It is Outlot #4 of the 'Genoa Outlots LLC' PUD development anchored by Kohl's Department Store.

The subject site is bordered:

- On the north by Grand River Avenue. Midway Party Store is directly across the street.
- On the east by Lawson Drive, a private road and one of the main entrances to the development. Directly across Lawson is a commercial retail building that is part of the overall development that is zoned NR PUD. On this property are approximately 5, 8-10" DBH Little Leaf Linden deciduous trees.
- On the south by Lawson Drive. Directly across the road is the parking lot for Kohl's with approximately 6, 6-10" DBH deciduous trees.
- On the west by vacant Outlot #3 of the overall 'Genoa Outlots LLC' development, zoned NR PUD. This site is all mowed lawn with no trees or shrubs, similar to the subject parcel.

The overall 21.84 +/- acre development is bordered by Interstate 96 on the south with on and off ramps to the east, and Grand River Avenue to the north. On the west side is an 8.79 +/- acre parcel, zoned Industrial (IND) and occupied by Reuland Electric Motor Company – electric motor manufacturer.

MHOG sanitary runs along the east lot line in Lawson Drive. MHOG water runs along the south lot line also in Lawson Drive. See the Existing Conditions Plan for specific locations.

The subject site is a vacant lot of land consisting of mowed lawn grasses and no trees or shrubs. The site will be accessed from the south from Lawson Drive, a private road.

C. Impact on natural features: A written description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.

The currently vacant parcels are relatively flat (1-4% slopes) and covered by grasses.

The soils are NRCS / SCS designated Miami Loam. The site drains via surface flow primarily from south to north to the Grand River Avenue storm sewer system. There is a narrow rudimentary rip-rapped channel to the street. No wetlands/streams/creeks or other water bodies are located on site.

D. Impact on storm water management: description of soil erosion control measures during construction.

Site storm water will be directed through catch basins to the development's storm sewer system in Lawson Drive at the south end of the site. This system discharges to the development's overall stormwater basin that was designed for the entire development. Although the amount of impervious surfaces is proposed to be higher than originally anticipated in the original development calculations, it has been confirmed by Township staff that the existing basin is 'over-sized' and able to accommodate the difference. The revised detailed construction plans for the lot will be reviewed by the Township Engineer and an amended Soil Erosion Control permit is anticipated to be issued by the County Drain Commissioners office prior to the expansion of construction activities. Ongoing/periodic soil erosion inspections are occurring per County requirements to ensure soil erosion is managed proactively.

E. Impact on surrounding land use: Description of proposed usage and other man-made facilities; how it conforms to existing and potential development patterns. Effects of added lighting, noise or air pollution which could negatively impact adjacent properties.

The use on this Non-Residential Planned Unit Development (NR PUD) site includes automatic and self-serve car wash bays with supporting, expanded vacuum cleaning stations west of the building from Grand River Avenue. The uses were part of the originally approved development scenarios in the PUD, the previously approved plans, and conforming to existing and potential development patterns. The acquisition of additional property and relocation of elements will not negatively impact adjacent properties with added lighting, noise or air pollution. There will actually be a greater buffer to the west adjacent property. The site development will comply with Township Ordinances for lighting levels as well as noise levels. The expanded vacuum uses proposed do not impact adjacent properties with noise, light or air pollution.

F. Impact on public facilities and services: Description of number of residents, employees, patrons, and impact on general services, i.e., schools, police, fire.

The car wash does not add additional burden on the fire and police services as the site is surrounded by similar development that already receives coverage. The uses do not add population that impacts schools. The expanded car wash property will further add to Township tax revenue as the expanded site area currently sits vacant as was the current construction site prior to approval. The car wash is still anticipated to add 1-2 jobs which has a positive impact on the community.

G. Impact on public utilities: description of public utilities serving the project, i.e., water, sanitary sewer, and storm drainage system. Expected flows projected in residential units.

Site storm water will be directed through catch basins to the development's storm sewer system in Lawson Drive at the south end of the site. This system discharges to the development's overall stormwater basin that was designed for the entire development. Although the amount of impervious surface is proposed to be higher than originally anticipated in the original development calculations it has been confirmed by Township staff that the existing basin is 'over-sized' and able to accommodate the difference. The revised detailed construction plans for the expanded lot will be reviewed by the Township Engineer and the Soil Erosion Control plans will be reviewed and an amended permit is anticipated to be issued by the Livingston County Drain Commissioners office.

MHOG sanitary sewer runs along the east lot line in Lawson Drive and the development is expected to connect to it. The development will connect to MHOG water along the south lot line also in Lawson Drive.

The car wash use will utilize 'automatic, no conveyer' type (2) and 'self-service' type (4) car wash system per the Township REU Factor Table. This calculates to a total of 31.2 REU's. The MHOG public water is anticipated to accommodate the use.

H. Storage or handling of any hazardous materials: Description of any hazardous materials used, stored, or disposed of on-site.

No storing or handling of quantities of hazardous materials is expected for this development.

I. Impact on traffic and pedestrians: Description of traffic volumes to be generated and their effect on the area.

The site will be accessed from the south of the lot off the development's internal private road primary circulation system, Lawson Drive. There will be no direct access to Grand River, utilizing two existing development entrances. The west entrance to the development is signalized. Potential traffic volumes with the use were anticipated with the original development and accommodated through the current entrances and signalization. The expanded number of vacuum stations are anticipated to be used by the carwash patrons with no increase in traffic volumes. In addition, an 8-foot-wide public sidewalk will be extended along Grand River Avenue for the entire width of the lot.

J. Special provisions: Deed restrictions, protective covenants, etc.

The site is subject to the provisions of the 'Genoa Outlots LLC' PUD agreement.

K. Description of all sources:

- Genoa Township Zoning Ordinance
- "Soil Survey of Livingston County Michigan" Soil Conservation Services, USDA
- Livingston County parcel viewer

PROPERTY DESCRIPTION:

GENERAL INFORMATION:

PARCEL NO.: 4711-09-200-028 (LOT 4) (& PART OF -027 (LOT 3) PROPOSED RECONFIGURATION)
 ZONING: NR PUD (NON-RESIDENTIAL PLANNED UNIT DEVELOPMENT)
 LOT AREA: 1.54 AC + 0.60 AC (1.94 ACRE TOTAL NET EXCLUSIVE OF R.O.W.)

LEGAL DESCRIPTION:

A part of the Northeast 1/4 of Section 9, T2N-R5E, Genoa Township, Livingston County, Michigan, being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the N011h and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 725.82 feet along the South line of said Grand River Avenue; thence S 64°41'00" E 378.41 feet along the South line of said Grand River Avenue, to a point of beginning; hence S 64°41'00" E 226.83 feet along the South line of said Grand River Avenue; thence S 25°19'00" W 71.98 feet; thence S 40°07'33" W 226.01 feet; thence South 15.97 feet; thence N 89°56'16" W 11.60 feet; thence 171.09 feet along the arc of a curve to the right, said curve having a radius of 400.00 feet and a chord bearing and distance of N 77°44'37" W 169.78 feet; thence N 25°19'00" E 348.40 feet to the point of beginning. All of the above containing 1.54 acres. All of the above along with and being subject to a 50' wide Private Road Access Easement, the centerline of said easement being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°03'05" E 921.86 feet along the North and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 552.94 feet along the South line of said Grand River Avenue; to a point of beginning; thence S 26°06'30" W 47.03 feet; thence 251.05 feet along the arc of a curve to the left, said curve having a radius of 202.87 feet and a chord bearing and distance of S 09°25'46" E 235.33 feet; thence S 47°14'03" E 308.04 feet; thence 296.81 feet along the arc of a curve to the left, said curve having a radius of 400.00 feet and a chord bearing and distance of S 68°44'20" E 290.05 feet; thence S 89°56'16" E 11.60 feet to a point of ending. The above easement containing 1.05 acres. All of the above being subject to easements, restrictions and right-of ways of record.

PROPOSED ADDITION: A part of the Northeast 1/4 of Section 9, T2N-R5E, Genoa Township, Livingston County, Michigan, being more particularly described as: Commencing at the North 1/4 corner of said Section 9; thence S 01°30'57" E 921.86 feet along the N011h and South 1/4 line of said Section 9, to the South line of Grand River Avenue; thence S 63°53'30" E 725.82 feet along the South line of said Grand River Avenue; thence S 64°41'00" E 378.41 feet along the South line of said Grand River Avenue, to a point of beginning; hence S 25°19'00" W 348.23 feet; hence 75.35 feet along the arc of a curve to the right, said curve having a radius of 400.00 feet and a chord bearing distance of N 60°21'52" W 75.24 feet; thence N 25°19'00" E 342.21 feet; thence S 56°57'15" E along the South line of said Grand River Avenue to the point of beginning. The above containing 0.60 acres. The above along with and being subject to a 50' wide Private Road Access Easement, as described in the parent description. Subject to easements, restrictions and right-of ways of record.

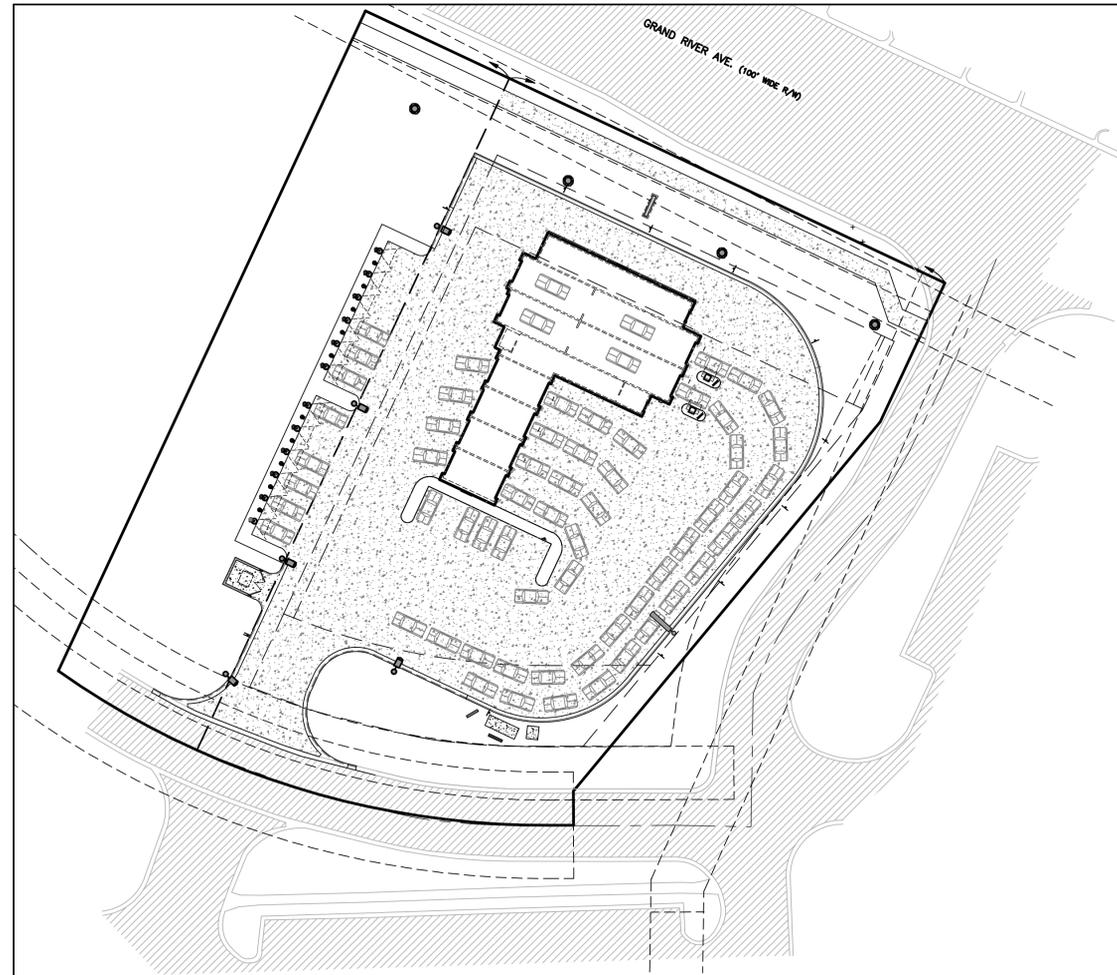
CONSTRUCTION PLAN FOR SOAPY BUCKET CARWASH - LAWSON DR. 1415 LAWSON DRIVE GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



LOCATION MAP

SCALE: +1"=1,000'

SURFACE WATER & COUNTY DRAINS
 BASIN (STORMWATER) - APPROX. 610-FT SOUTHEAST (PART OF DEVELOPMENT)
 WETLAND - APPROXIMATELY 380-FT EAST (PART OF LAKE SYSTEM)
 LAKES - APPROXIMATELY 1,280 FT NORTHEAST TO LAKE CHEMUNG



OVERALL SITE MAP

SCALE: 1" = 40'

REQUIRED PERMITS & APPROVALS

AGENCY	DATE SUBMITTED	DATE APPROVED
• TOWNSHIP ENGINEERING APPROVAL	1/23/24	2/13/24
• TOWNSHIP PLANNING APPROVAL	1/23/24	2/13/24
• TOWNSHIP BOARD APPROVAL	3/12/24	3/20/24
• TOWNSHIP LAND USE PERMIT		5/28/24
• BRIGHTON AREA FIRE AUTHORITY	1/23/24	2/2/24
• LCDC SESC	3/22/24	6/6/24
• MHOG - WATER (REVISED)	9/3/24	

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES & LEGEND
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	NATURAL FEATURES
5	SITE PLAN
6	CIRCULATION PLAN
7	GRADING & DRAINAGE PLAN
8	SOIL EROSION & SEDIMENTATION CONTROL PLAN
9A	UTILITY PLAN
9B	STORM PLAN & PROFILE
10	LANDSCAPE PLAN
11A	LIGHTING PLAN ON-SITE (PREPARED BY GASSER BUSH)
11B	LIGHTING DTLS. - GRAND RIVER AVE. & VAC. STATION
12	CONSTRUCTION DETAILS-1
13	CONSTRUCTION DETAILS-2
14	CONSTRUCTION DETAILS-3

PREPARED FOR:

SPRINGBORN PROPERTIES
 RUSS SPRINGBORN
 3535 HIGH HILLCREST DR
 HOWELL, MI 48843
 PHONE: 313.350.3358
 EMAIL: RUSS@SPRINGBORNPROPERTIES.COM

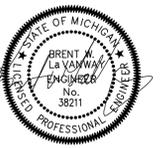
LIGHTING PREPARED BY:

GASSER BUSH ASSOCIATES
 30984 INDUSTRIAL RD, LIVONIA, MI 48150
 QUOTES@GASSERBUSH.COM
 PHONE: 734-266-6705

PREPARED BY:

BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
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GENERAL CONTRACTOR:

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Livingston County			
Land Use Summary			
must be included on the O&M Plan Sheet for all site plans			
Characteristic	Existing Conditions 1.39 AC (NET)	Proposed Conditions 1.39 AC	
Total Development Area (ac)	0.00 AC	0.97 AC	
Impervious Area (ac)	1.39 AC	0.42 AC	
Total Pervious Area (ac)			
Pervious Area Breakdown by Cover Type			
	0.00 AC	0.00 AC	
Meadow/fallow/natural areas (non-cultivated)	x.xx acres	x.xx acres	
Predominant NRCS Soil Type (A, B, C, or D)			
	1.39 AC	0.42 AC	
Improved areas (turf grass, landscape, row crops)	x.xx acres	x.xx acres	
Predominant NRCS Soil Type (A, B, C, or D)			
	0.00 AC	0.00 AC	
Wooded Areas	x.xx acres	x.xx acres	
Predominant NRCS Soil Type (A, B, C, or D)		NA*	
CPVC Volume Calculated (cubic feet)		NA*	
CPVC Volume Provided (cubic feet)		NA*	
CPRC Volume Provided (cubic feet)			

The Professional Engineer who signs and seals this site plan certifies that the values in this table reflect the WRC stormwater calculations required for this development and that geotechnical investigations were performed that provide conclusive documentation that demonstrates whether infiltration (i.e., CPVC Volume Control) is practicable.

Notes:

- The Professional Engineer Certification Statement (see above) must be included with the Land Use Summary Table.
- Areas to be shown to the nearest 0.01 acre
- *Predominant soil type shall be the soil type with the largest percentage coverage over the designated land use (e.g., 70% Soil Type B and 30% Soil Type C shall be listed in the table as "Soil Type B")
- USDA soil types cannot be used to determine site suitability for infiltration and meeting the CPVC volume standard; direct infiltration testing will be required to determine site suitability for infiltration

Procedures and Design Criteria for Stormwater Management Systems, Appendix J

* SITE USED DEVELOPMENT'S EXISTING OFF-SITE STORMWATER BASIN & MANAGEMENT SYSTEM

NO	BY	CK	REVISION	DATE	JOB NO: 23-134
4	PC		PROPERTY ACQ. / VACUUMS / ENTRANCE	9/24/24	1
3	PC		CONST. CHANGE / WATER SERV. / MHOG COMMS	7/26/24	
2	PC		CONST. CHANGES / ELEC. TRNSFM	6/20/24	
1	PC		SESC REVIEW COMMENTS	4/1/24	
			ISSUE DATE: 3/22/24		

GENERAL NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED TOWNSHIP, COUNTY, AND STATE OF MICHIGAN PERMITS.
- A GRADING PERMIT FOR SOIL EROSION-SEDIMENTATION CONTROL SHALL BE OBTAINED FROM THE GOVERNING AGENCY PRIOR TO THE START OF CONSTRUCTION.
- IF DUST PROBLEM OCCURS DURING CONSTRUCTION, CONTROL WILL BE PROVIDED BY AN APPLICATION OF WATER, EITHER BY SPRINKLER OR TANK TRUCK.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS AND SPECIFICATIONS.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION AS ORIGINALLY DESIGNED AND CONSTRUCTED.
- ALL BARRIER-FREE FEATURES SHALL BE CONSTRUCTED TO MEET ALL LOCAL, STATE AND A.D.A. REQUIREMENTS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET ADA REQUIREMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PRIOR TO WORK COMMENCING.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND DIMENSIONS SHOWN HEREON PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAY, PUBLIC OR PRIVATE, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OWNERS TO DETERMINE THE LOCATION OF EXISTING LANDSCAPING, IRRIGATION LINES & PRIVATE UTILITY LINES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING LANDSCAPING, IRRIGATION LINES, AND PRIVATE UTILITY LINES.
- THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- THE CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- THE CONTRACTOR SHALL CALL MISS DIG A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL PAVEMENT REPLACEMENT AND OTHER WORKS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP, INCLUDING THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
- NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR ANY DELAY OR INCONVENIENCE DUE TO THE MATERIAL SHORTAGES OR RESPONSIBLE DELAYS DUE TO THE OPERATIONS OF SUCH OTHER PARTIES DOING WORK INDICATED OR SHOWN ON THE PLANS OR IN THE SPECIFICATION OR FOR ANY REASONABLE DELAYS IN CONSTRUCTION DUE TO THE ENCOUNTERING OR EXISTING UTILITIES THAT MAY OR MAY NOT BE SHOWN ON THE PLANS.
- DURING THE CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOT PERFORM WORK BY PRIVATE AGREEMENT WITH PROPERTY OWNERS ADJACENT TO THE PROJECT.
- IF WORK EXTENDS BEYOND NOVEMBER 15, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
- NO TREES ARE TO BE REMOVED UNTIL MARKED IN THE FIELD BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY BEYOND THE CONSTRUCTION LIMITS INCLUDING BUT NOT LIMITED TO EXISTING FENCE, LAWN, TREES AND SHRUBBERY.
- TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SIGNS AND TRAFFIC CONTROL DEVICES. FLAG PERSONS SHALL BE PROVIDED BY THE CONTRACTOR IF DETERMINED NECESSARY BY THE ENGINEER. ALL SIGNS SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AT NO COST TO THE TOWNSHIP. NO WORK SHALL BE DONE UNLESS THE APPROPRIATE TRAFFIC CONTROL DEVICES ARE IN PLACE.
- ALL DEMOLISHED MATERIALS AND SOIL SPOILS SHALL BE REMOVED FROM THE SITE AT NO ADDITIONAL COST, AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING APPURTENANCES SUCH AS MANHOLES, GATE VALVES, ETC. SHALL BE ADJUSTED TO THE PROPOSED GRADE AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- ALL PERMANENT SIGNS AND PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE MICHIGAN MUTCD MANUAL AND SHALL BE INCIDENTAL TO THE CONTRACT.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT ARE INCLUDED IN THE CONTRACT. ANY ITEMS NOT SPECIFICALLY DESIGNATED IN THE PLANS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF APPROVED CONSTRUCTION PLANS, WITH THE LATEST REVISION DATE, ON SITE PRIOR TO THE START OF CONSTRUCTION. IN THE EVENT OF ANY QUESTIONS PERTAINING TO THE INTENT OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER FOR A FINAL DETERMINATION FROM THE DESIGN ENGINEER.
- THE CONTRACTOR, NOT THE OWNER OR THE ENGINEER, ARE RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCE OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR SAFE EXECUTION OF THE PROJECT SCOPE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR PRESERVING CONSTRUCTION STAKING AS NECESSARY. CONTRACTOR TO NOTIFY CONSTRUCTION SURVEYOR OF REPLACEMENT STAKES NEEDED WHICH SHALL BE AT THE CONTRACTORS EXPENSE.
- THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FRANCHISE UTILITY SERVICES (CABLE, ELECTRIC, GAS, ETC.) OWNER AND/OR CONTRACTOR SHALL WORK WITH UTILITY COMPANIES ON FURNISHING SITE UTILITY LAYOUTS AND PROVIDING CONDUIT CROSSINGS AS REQUIRED.
- DAMAGE TO ANY EXISTING UTILITIES OR INFRASTRUCTURE (INCLUDING PAVEMENT, CURB, SIDEWALK, ETC.) SHALL PROMPTLY BE REPLACED IN KIND AND SHALL BE AT THE CONTRACTORS EXPENSE.
- COORDINATION OF TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND PER ALL CITY/TOWNSHIP/COUNTY REQUIREMENTS. COPIES OF ALL TEST REPORTS SHALL BE FURNISHED TO THE DESIGN ENGINEER.
- PRIOR TO THE START OF CONSTRUCTION, PROTECTION FENCING SHALL BE ERCTED AROUND THE TREE DRIPLINE OF ANY TREES INDICATED TO BE SAVED WITHIN THE LIMITS OF DISTURBANCE.
- THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE IMPACTED/DISTURBED DUE TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ANY NECESSARY TEMPORARY DRAINAGE PROVISIONS.
- SOIL BORING LOGS ARE REPRESENTATIVE OF SPECIFIC POINTS ON THE PROJECT SITE, AND IF PROVIDED TO THE CONTRACTOR ARE FOR INFORMATIONAL PURPOSES ONLY.
- WHERE CITY/TOWNSHIP STANDARD CONSTRUCTION DETAILS/SPECIFICATIONS ARE PROVIDED AND ARE IN CONFLICT WITH NOTES AND SPECIFICATIONS HEREIN, THE CITY/TOWNSHIP STANDARD SHALL GOVERN.

INDEMNIFICATION STATEMENT

THE CONTRACTOR SHALL HOLD HARMLESS THE DESIGN PROFESSIONAL, MUNICIPALITY, COUNTY, STATE, AND ALL OF ITS SUB CONSULTANTS, PUBLIC AND PRIVATE UTILITY COMPANIES, AND LANDOWNERS FOR DAMAGES TO INDIVIDUALS AND PROPERTY, REAL OR OTHERWISE, DUE TO THE OPERATIONS OF THE CONTRACTOR AND/OR THEIR SUBCONTRACTORS.

GENERAL GRADING & SESC NOTES

- THE CONTRACTOR SHALL HAVE IN PLACE ALL REQUIRED EROSION CONTROL METHODS AS INDICATED ON THE CONSTRUCTION PLANS AND AS REQUIRED BY GENERAL PRACTICE. SPECIFIC MEANS, METHODS AND SEQUENCES OF CONSTRUCTION MAY DICTATE ADDITIONAL SOIL EROSION CONTROL MEASURES BE NEEDED. THE CONTRACTOR SHALL COORDINATE WITH THE DESIGN ENGINEER ON THESE ANTICIPATED METHODS. ADDITIONAL SOIL EROSION CONTROL METHODS SHALL BE INCIDENTAL TO THE SCOPE OF WORK.
- ACTUAL FIELD CONDITIONS MAY DICTATE ADDITIONAL OR ALTERNATE SOIL EROSION CONTROL MEASURES BE UTILIZED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR FIELD CONDITIONS THAT WARRANT ADDITIONAL AND/OR ALTERNATIVE SESC MEASURES BE UTILIZED.
- AT THE CLOSE OF EACH DAY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL CONSTRUCTION OPERATIONS, MATERIALS, DEBRIS, ETC ARE CONTAINED ON-SITE.
- AT THE CLOSE OF EACH WORKING DAY, ALL DRAINAGE STRUCTURES SHALL BE FREE OF DIRT AND DEBRIS AT THE FLOW LINE.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE PER MDEGLE REGULATIONS AND BEST PRACTICES, ALL SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR.
- THE SOIL EROSION CONTROL MEASURES SHALL BE KEPT IN PLACE UNTIL SUCH A TIME THAT THE SITE IS DETERMINED TO BE ESTABLISHED WITH ACCEPTABLE AMOUNT OF VEGETATIVE GROUND COVER.
- ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE NORMAL CONSTRUCTION LIMITS OF THE PROJECT SHALL BE SOODED OR SEEDED AS SPECIFIED OR DIRECTED BY THE ENGINEER.
- AFTER REMOVAL OF TOPSOIL, THE SUBGRADE SHALL BE COMPACTED TO 95% OF ITS UNIT WEIGHT.
- ALL GRADING IN THE PLANS SHALL BE DONE AS PART OF THIS CONTRACT. ALL DELETERIOUS MATERIAL SHALL BE REMOVED FROM THE SUBGRADE PRIOR TO COMPACTING.
- ALL ROOTS, STUMPS AND OTHER OBJECTIONABLE MATERIALS SHALL BE REMOVED AND THE HOLE BACKFILLED WITH SUITABLE MATERIAL. WHERE GRADE CORRECTION IS REQUIRED, THE SUBGRADE SHALL BE CUT TO CONFORM TO THE CROSS-SECTION AS SHOWN IN THE PLANS.
- ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PUBLIC PAVEMENT, EXISTING OR PROPOSED SHALL BE BACKFILLED AND COMPACTED WITH SAND (MOT CLASS II).

GENERAL LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE GOVERNING MUNICIPALITY. ALL STOCK SHALL BE NURSERY GROWN, CONFORMING TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK", AND IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. STOCK SHALL EXHIBIT NORMAL GROWTH HABIT AND BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, & DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER STOCK. NO BARE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT, AND SECURELY WRAPPED AND BOUND.
 - ALL PLANT BED MATERIALS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS, OTHER EXTRANEIOUS OBJECTS, AND POOR SOILS TO A MINIMUM DEPTH OF 12-INCHES AND BACKFILLED TO GRADE WITH SPECIFIED PLANTING MIX (SEE BELOW).
 - PLANTING MIXTURE SHALL CONSIST OF 5 PARTS TOPSOIL FROM ON-SITE (AS APPROVED), 4 PARTS COARSE SAND, 1 PART SPHAGNUM PEAT MOSS (OR APPROVED COMPOST), AND 5 LBS OF SUPERPHOSPHATE FERTILIZER PER CU. YD. OF MIX. INGREDIENTS SHALL BE THOROUGHLY BLENDED FOR UNIFORM CONSISTENCY.
 - ALL PLANT BEDS AND INDIVIDUAL PLANTS, NOT OTHERWISE NOTED SHALL BE MULCHED WITH A 4-INCH LAYER OF SHREDDED BARK MULCH. EDGE OF MULCH BEDS AS SHOWN. DECIDUOUS TREES IN LAWN AREAS SHALL RECEIVE A 5-FIT DIAMETER CIRCLE OF MULCH AND CONIFER TREES 8-FIT (PLANTED CROWN OF TREE) UNLESS OTHERWISE NOTED.
 - LANDSCAPE STONE SHALL BE INSTALLED WHERE NOTED OR INDICATED (HATCHED). STONE SHALL BE 3/4"-1-1/4" WASHED RIVER GRAVEL OR AS SELECTED AND SHALL BE INSTALLED TO A MINIMUM DEPTH OF 3-INCHES.
 - ALL LANDSCAPE BEDS, UNLESS OTHERWISE NOTED SHALL BE INSTALLED OVER WEED BARRIER FABRIC - WATER PERMEABLE FILTRATION FABRIC OF NON-WOVEN POLYPROPYLENE OR POLYESTER FABRIC. FABRIC SHALL BE OF SUITABLE THICKNESS FOR APPLICATION.
 - ALL PLANTS AND PLANT BEDS SHALL BE THOROUGHLY WATERED UPON COMPLETION OF PLANTING AND STAKING OPERATIONS.
 - THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF 1 YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT, DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL SPECIFICATIONS.
 - EDGING SHALL BE PROVIDED FOR ALL LANDSCAPE BEDS NOT ADJACENT TO CONCRETE PAVEMENT. EDGING SHALL BE BLACK ALUMINUM EDGING, 3/16-INCH X 4-INCH. INSTALL PER MANUFACTURER'S INSTRUCTIONS, ALL EDGING SHALL BE INSTALLED IN STRAIGHT LINES OR SMOOTH CURVES WITHOUT IRREGULARITIES.
 - SOD SHALL BE DENSE, WELL ROOTED TURF, FREE OF WEEDS. IT SHALL BE COMPRISED OF A BLEND OF AT LEAST TWO KENTUCKY BLUE GRASSES AND ONE FESCUE. IT SHALL HAVE A UNIFORM THICKNESS OF 3/4-INCH AT TIME OF PLANTING, AND CUT IN UNIFORM STRIPS NOT LESS THAN 10-INCHES BY 18-INCHES. SOD SHALL BE KEPT MOIST AND LAID WITHIN 36-HOURS AFTER CUTTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ALL SOODED AREAS THAT BROWN-OUT OR HAVE NOT FIRMLY KNITTED TO THE SOIL BASE WITHIN A PERIOD OF 1 MONTH SHALL BE REPLACED BY THE CONTRACTOR, AT NO COST TO THE OWNER.
- ALL AREAS OF THE SITE THAT BECOME DISTURBED DURING CONSTRUCTION AND ARE NOT TO BE PAVED, STONED, LANDSCAPED, OR SOODED SHALL BE SEEDED AND MULCHED.
- SEED MIXTURE SHALL BE AS FOLLOWS:
- | | |
|--|-----|
| KENTUCKY BLUEGRASS (CHOOSE 3 VARIETIES - ADELPHI, RUGBY, CLADE, OR PARADE) | 30% |
| RUBY RED OR DAWSON RED FINE FESCUE | 30% |
| ATLANTA RED FESCUE | 20% |
| PENNFINE PERENNIAL RYE | 20% |
- THE ABOVE SEED MIXTURE SHALL BE SOWN AT A RATE OF 250 LBS PER ACRE. PRIOR TO SEEDING, THE TOPSOIL SHALL BE FERTILIZED WITH A COMMERCIAL FERTILIZER WITH A 10-0-10 ANALYSIS:
- 10% NITROGEN - MIN 25% FROM A UREA FORMALDEHYDE SOURCE
 0.5% PHOSPHATE
 10% POTASH - SOURCE POTASSIUM SULFATE OR POTASSIUM NITRATE
- THE FIRST FERTILIZER APPLICATION SHALL BE AT A RATE OF 10 LBS PER 1000 SQ FT OF BULK FERTILIZER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO HAVE A UNIFORM GERMINATION SHALL BE RE-SEEDED AND SUCH RE-SEEDED SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDED AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING OR SODDING SHALL FIRST RECEIVE A 6-INCH LAYER OF CLEAN, FRIABLE TOPSOIL. THE SOIL SHALL BE DISCED AND SHALL BE GRADED IN CONFORMANCE WITH THE GRADING PLAN.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES AND TO INFORM THE LANDSCAPE ARCHITECT OF ANY CONFLICTS PRIOR TO COMMENCING LANDSCAPING.

GENERAL UTILITY NOTES

- BEDDING SHALL EXTEND A MINIMUM OF 4" BELOW THE PIPE, UNLESS OTHERWISE NOTED ON THE PLANS. BEDDING SHALL BE OF UNIFORM GRADATION MDT 6AA STONE OR MDT CLASS II GRANULAR MATERIAL FOR SANITARY AND STORM PIPE AND MDT CLASS II GRANULAR MATERIAL ONLY FOR WATERMAIN.
- WHERE UNSTABLE GROUND CONDITIONS ARE ENCOUNTERED, STONE BEDDING SHALL BE USED AS DIRECTED BY THE ENGINEER.
- BACKFILL SHALL BE OF A SUITABLE MATERIAL AND SHALL BE FREE OF ANY ORGANIC MATERIALS AND ROCKS.
- BACKFILL ABOVE THE PIPE SHALL BE OF GRANULAR MATERIAL MDT CLASS II TO A POINT 12" ABOVE THE TOP OF THE PIPE. WHERE THE TRENCH IS NOT WITHIN THE INFLUENCE OF THE ROAD, SUITABLE SITE MATERIAL MAY BE COMPACTED AND UTILIZED FROM A POINT 12" ABOVE THE PIPE TO GRADE. WHERE THE TRENCH IS WITHIN A 1:1 INFLUENCE OF THE ROAD, GRANULAR MATERIAL, MDT CLASS II OR III, IS TO BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 12" IN THICKNESS. COMPACTION SHALL BE 95% AS DETERMINED BY AASHTO T99.
- 18" MINIMUM VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION IS TO BE MAINTAINED BETWEEN WATERMAIN AND SANITARY/STORM SEWER TO THE MAXIMUM EXTENT POSSIBLE.

GENERAL STORM NOTES

- ALL STORM PIPE LENGTHS ARE SHOWN FROM C/L TO C/L OF STRUCTURE OR FROM C/L OF STRUCTURE TO DISCHARGE END OF FLARED END SECTION.
 - STORM PIPE MATERIALS SHALL BE AS FOLLOWS:
 2.1. RCP(REINFORCED CONCRETE PIPE): SHALL MEET THE REQUIREMENTS OF ASTM C76 WITH MODIFIED GROOVED TONGUE AND RUBBER GASKETS MEETING THE REQUIREMENTS OF ASTM C443. RCP TO BE EITHER CLASS IV OR V AS CALLED OUT ON THE PLANS.
 - STORM PIPE JOINTS SHALL MEET THE REQUIREMENTS OF ASTM D3212. HDPE AND PP PIPE GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477.
 - ALL STORM PIPE TO HAVE WATERTIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED ON THE PLANS.
 - STORM DRAINAGE STRUCTURES SHALL BE FURNISHED WITH STEPS WHICH SHALL BE STEEL ENCASED WITH POLYPROPYLENE PLASTIC OR EQUIVALENT. STEPS SHALL BE SET AT 16" CENTER TO CENTER.
 - ALL FLARED END SECTIONS 15" AND LARGER SHALL BE FURNISHED WITH AN ANIMAL GRATE.
 - FLARED END SECTIONS DISCHARGING STORM WATER SHALL RECEIVE A MINIMUM OF 10 SQ YDS OF PLAIN COBBLESTONE RIP RAP WITH A MINIMUM STONE SIZE OF 6" AND SHALL BE PLACED ON A GEOTEXTILE FABRIC WRAP.
 - ALL CATCH BASINS WITHIN THE ROADWAY SHALL INCLUDE INSTALLATION OF 6" DIAMETER PERFORATED PIPE SUBDRAIN.
 - STORM DRAINAGE STRUCTURE COVERS SHALL BE OF THE FOLLOWING (OR APPROVED EQUAL):
- | COVER USE | FRAME | GRATE/BACK |
|-----------|-------------------|--|
| 'MH' | ALL | 1040 |
| 'CB' | TYPE A CURB | 7000-11-M1 |
| 'CB' | TYPE B CURB | 7065-11-M1 |
| 'CB' | PAVEMENT/SHOULDER | 1020-M1 |
| 'CB' | OPEN AREA | 1020-01 |
| 'CB' | GUTTER | 5100 |
| | | SANITARY-SOLID SELF-SEALING STORM-VENTED FLAT GRATE WITH VERT. OPEN BACK |
| | | FLAT GRATE WITH ROLL BACK |
| | | BEEHIVE GRATE 4" HIGH |
| | | CONCAVE INLET |

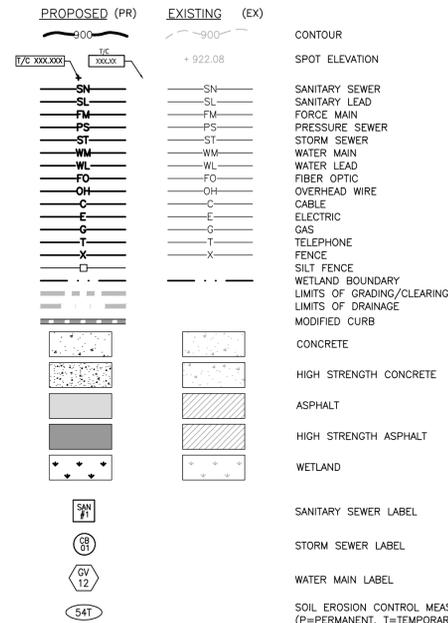
GENERAL SANITARY NOTES

- ALL SANITARY PIPE LENGTHS ARE SHOWN FROM C/L OF STRUCTURE TO C/L OF STRUCTURE.
- SANITARY PIPE MATERIALS SHALL BE AS FOLLOWS:
 2.1. PVC SDR-23.5 (SANITARY LEADS)
- ALL PVC SDR SANITARY SEWER PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3034 AND D2241. PVC SCHED 40 PIPE SHALL MEET THE REQUIREMENTS OF ASTM D1785. GASKET JOINTS FOR SANITARY PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3139 AND D3312.
- SANITARY STRUCTURES SHALL BE FURNISHED WITH STEPS WHICH SHALL BE STEEL ENCASED WITH POLYPROPYLENE PLASTIC OR EQUIVALENT. STEPS SHALL BE SET AT 16" CENTER TO CENTER.
- ALL NEW MANHOLES SHALL BE MINIMUM 4' DIAMETER. PRECAST MANHOLE SECTIONS AND AN ECCENTRIC CONE. PRECAST MANHOLE JOINTS SHALL BE INSTALLED WITH BUTYL ROPE MEETING THE REQUIREMENTS OF ASTM C590.
- MANHOLES SHALL BE CONSTRUCTED WITH FLOW CHANNEL WALLS THAT ARE FORMER, AT A MINIMUM, TO THE SPRINGLINE OF THE PIPE.
- ALL NEW MANHOLES SHALL HAVE AN APPROVED FLEXIBLE, WATERTIGHT SEALS WHERE PIPES PASS THROUGH MANHOLE WALLS.
- WHEREVER AN EXISTING MANHOLE IS TO BE TAPPED, THE STRUCTURE SHALL BE CORED AND A KOR-N-SEAL BOOT UTILIZED FOR THE PIPE CONNECTION.
- ALL MANHOLES SHALL BE PROVIDED WITH WATERTIGHT COVERS. COVERS TO BE EJCO 1040 TYPE 'A' SOLID COVER.
- A MAXIMUM OF 12" OF GRADE ADJUSTMENT RINGS SHALL BE USED TO ADJUST THE FRAME ELEVATION. BUTYL ROPE SHALL BE USED BETWEEN EACH ADJUSTMENT RING.
- SANITARY SEWER LATERALS SHALL HAVE A MINIMUM SLOPE OF 1.0%.
- CLEANOUTS SHALL BE INSTALLED EVERY 100', AT ALL BENDS AND STUBS.
- PUBLIC SANITARY SEWER SHALL BE CENTERED WITHIN A 20 FOOT WIDE SANITARY SEWER EASEMENT.

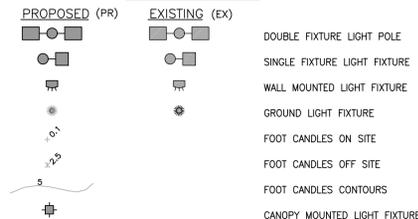
GENERAL WATERMAIN NOTES

- WATERMAIN PIPE MATERIALS SHALL BE AS FOLLOWS:
 1.1. D.I.P. CL52 (WATERMAIN)
- WATERMAIN FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO AWWA C110.
- WATERMANS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C651. BAC-T SAMPLES SHALL BE TAKEN IN ACCORDANCE WITH 9235.11110 OF THE ADMINISTRATIVE RULES PROMULGATED UNDER MICHIGAN SAFE DRINKING WATER ACT, 1976 PA 399, AS AMENDED.
- ALLOWABLE LEAKAGE OR HYDROSTATIC PRESSURE TESTING SHALL BE IN ACCORDANCE WITH AWWA C600 AND C605.
- MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURERS CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.
- A FULL STICK OF PIPE SHALL BE LAID CENTERED AT A PIPE CROSSING IN ORDER TO MAINTAIN THE MAXIMUM SEPARATION OF WATERMAIN JOINT TO THE CROSSING PIPE.
- WATERMAIN SHALL BE INSTALLED WITH A MINIMUM OF 5.5' OF COVER FROM FINISHED GRADE TO TOP OF PIPE AND NO MORE THAN 8' OF COVER, UNLESS SPECIAL CONDITIONS WARRANT.
- WATERMAIN VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES, NON-RISING STEMS, COUNTERCLOCKWISE OPEN, AWWA C509.
- FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE WITH CAST IRON VALVE BOX. THE HYDRANT PUMPER HOSE CONNECTION SHALL FACE THE ROADWAY.
- THE BREAKAWAY FLANGE AND ALL BELOW GRADE FITTINGS SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.
- PUBLIC WATERMAIN SHALL BE CENTERED WITHIN A 25 FOOT WIDE WATERMAIN EASEMENT.

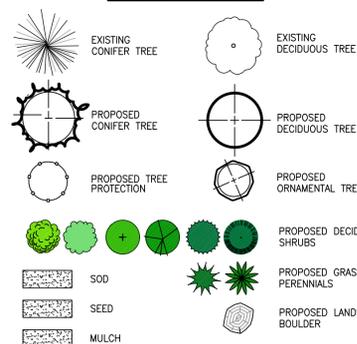
LINES & HATCHES LEGEND



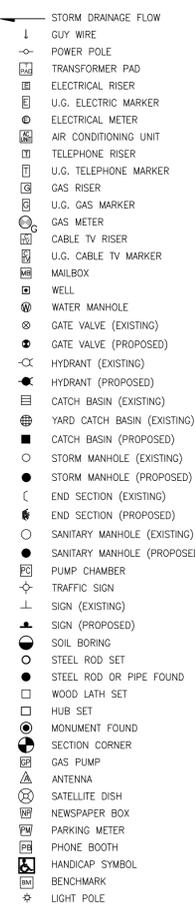
LIGHTING LEGEND



LANDSCAPE LEGEND



SYMBOL LEGEND



ABBREVIATIONS

FFE	FINISHED FLOOR ELEVATION
BFE	BASEMENT FLOOR ELEVATION
GFE	GARAGE FLOOR ELEVATION
FG	FINISHED GRADE
T/A	TOP OF ASPHALT
T/CO	TOP OF CONCRETE
T/C	TOP OF CURB
T/W	TOP OF WALK
T/P	TOP OF PIPE
B/P	BOTTOM OF PIPE
F/L	FLOW LINE
RIM	RIM ELEVATION (AT FLOW LINE)
INV	INVERT ELEVATION
MH	MANHOLE
CB	CATCH BASIN
RY	REAR YARD
YD	YARD DRAIN
RD	ROOF DRAIN
FES	FLARED END SECTION
CMP	CORRUGATED METAL PIPE
OPP	CORRUGATED PLASTIC PIPE
RCP	REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
DIP	DUCTILE IRON PIPE
GV	GATE VALVE
GWB	GATE VALVE IN WELL
GVB	GATE VALVE IN BOX
HYD	HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
UP	UTILITY POLE
NFV	NOT FIELD VERIFIED
TBR	TO BE REMOVED
L	LIBER
P	PAGE
L.C.R.	L.C.R. LIVINGSTON COUNTY RECORDS
(M&R)	MEASURED AND RECORD
L.O.B.	POINT OF BEGINNING

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THESE PLANS AND THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THE PLANS.

BEFORE ANY WORK BEGINS, THE CONTRACTOR SHALL CALL MISS DIG AT 1-800-487-7171 OR VISIT MISSDIG.COM TO OBTAIN A MISS DIG TICKET.

BEBOSS
 Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**

PREPARED FOR: **SPRINGBORN PROPERTIES**
 3332 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3388

TITLE: **GENERAL NOTES & LEGENDS**

NO.	DATE	REVISION PER
1	4-1-24	
2	6-20-24	
3	7/26/24	
4	9/24/24	

DESIGNED BY: **ST/PC**

DRAWN BY: **DH/NL**

CHECKED BY:

SCALE: **NO SCALE**

JOB NO: **23-134**

DATE: **3/22/24**

SHEET NO. **2**



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

SITE STATISTICAL DATA:
 ZONED: 'NR PUD' - PER PUD AGREEMENT SETBACKS TO FOLLOW GCD ZONING
 DEVELOPMENT TYPE/USE PROPOSED: CARWASH
 ADJACENT ZONING: NR PUD

MIN LOT: 1.0 AC SIZE; MIN LOT WIDTH 150 FT; MAX DEPTH/WIDTH RATIO 4:1
 MAX BLDG. HGT: 35-FT (2-STORIES) (TO 'BEAM HEIGHT' PER ORDINANCE)
 MAX LOT COVERAGES: BUILDING 35%, IMPERVIOUS SURFACES 75%

GROSS SITE AREA: ±1.54 AC (NET 1.39 AC [60,550 SQFT.] EXCL. OF R.O.W.)
 MIN. LOT WIDTH ALONG GRAND RIVER AVE: 226.81-FT
 DEPTH-WIDTH RATIO: 1.54:1
 PROPOSED BUILDING HEIGHT: 31.5-FT
 BUILDING COVERAGE (FOOTPRINT): 6,877 SQFT (11.4%)
 IMPERVIOUS SURFACE (EXCL. OF BLDG.): 35,360 SQFT (0.81 AC) (58.4%)
 PERVIOUS SURFACE: 18,313 SQFT. (0.42 AC) (30.2%)
 TOTAL LOT COVERAGE (BLDG + IMPERVIOUS): 42,237 / 60,550 = 69.8%

MIN. SETBACKS REQUIRED AT PROPOSED BUILDING (NO ADJACENT RESIDENTIAL):

FRONT - NORTH:	REQUIRED: 35-FT (SERVICE DR ONLY)	PROVIDED: 58-FT
REAR - SOUTH:	50-FT (FROM R.O.W.)	125.4-FT (VARIES, MIN)
SIDE - EAST:	15-FT (FROM R.O.W.)	87.6-FT (VARIES, MIN)
SIDE - WEST:	15-FT	36.5-FT (VARIES, MIN)

PARKING CALCULATIONS:
 CARWASH = 2 SPACES + 1 SPACE / EMPLOYEE PEAK SHIFT = 3 SPACES
 INCLUDING MIN 1 VAN ACCESSIBLE BARRIER-FREE SPACE
 STACKING SPACES: MIN 15 PER EACH AUTOMATIC BAY
 MIN 2 EACH PER SELF-SERVE BAY
 LOADING SPACE: MIN 1, 10-FT x 50-FT x 14-FT CLEAR, REQUIRED

PROVIDED PARKING: 5 VACUUM STATIONS + 1 EMPLOYEE = 6 TOTAL SPACES
 (INCLUDING 1 VAN ACCESSIBLE BARRIER-FREE SPACE)
 PROVIDED STACKING SPACES: 20 COMBINED FOR AUTOMATIC BAYS
 (SPLIT LANES) + 4 IN BAYS
 MIN. 2+ EACH FOR 4 SELF-SERVE BAYS
 [IN-BAY-TYPE SYSTEM ONLY]

PROVIDED LOADING = N/A

- GENERAL NOTES**
- ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.
 - ALL SIGNS SHALL BE BUILDING MOUNTED AND SHALL MEET DEVELOPMENT'S PUD AND TOWNSHIP SIGN ORDINANCE REQUIREMENTS.
 - THE BUILDING ADDRESS SHALL BE A MINIMUM 6" HIGH LETTERS OF CONTRASTING COLORS AND BE CLEARLY VISIBLE FROM THE STREET. THE LOCATION AND SIZE SHALL BE VERIFIED PRIOR TO INSTALLATION.
 - A KEY BOX/KNOX BOX SHALL BE LOCATED NEAR THE FRONT ENTRY (FINAL LOCATION TO BE DETERMINED BETWEEN THE OWNER & FIRE MARSHALL).
 - ONE SIDE OF THE SITE CIRCULATION ROUTE SHALL BE MARKED AS A FIRE LANE AND SHALL HAVE APPROPRIATE SIGNAGE.
 - SITE CIRCULATION ROUTE SHALL BE CONSTRUCTED TO BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 84,000 LBS.
 - A MINIMUM VERTICAL CLEARANCE OF 13.5 FEET SHALL BE MAINTAINED THROUGHOUT THE SITE. THIS INCLUDES ENCROACHMENTS FROM LARGE TREE CANOPIES, LIGHTING, ETC.
 - DURING THE CONSTRUCTION PROCESS, THE BUILDING WILL BE EVALUATED FOR EMERGENCY RESPONDER RADIO SIGNAL STRENGTH. IF COVERAGE IS FOUND TO BE QUESTIONABLE OR INADEQUATE; AN APPROVED CONTRACTOR SHALL BE HIRED TO PERFORM A GRID TEST OF THE FACILITY. IF THE SIGNAL STRENGTH COVERAGE IS FOUND TO BE NON-COMPLIANT, AN APPROVED EMERGENCY RESPONDER RADIO COVERAGE SYSTEM SHALL BE PROVIDED IN THE BUILDING.
 - SITE LIGHTING SHALL BE PLACED ON TIMERS TO BE OFF DURING NON-USE HOURS TO THE EXTENT POSSIBLE WHILE MAINTAINING SITE SAFETY. SITE LIGHTING SHALL BE PROGRAMMED TO TURN OFF AT NIGHT WHEN ACTIVITIES ARE NO LONGER OCCURRING ON THE PROPERTY.

TRIP GENERATION SUMMARY

LAND USE DESCRIPTION*	ITE CAT.	SIZE	UNIT	AVG DAILY TRAFFIC (vpd)	WEEKDAY AM PEAK HOUR		WEEKDAY PM PEAK HOUR			
					(vph)		(vph)			
					TOTAL	IN	TOTAL	IN	OUT	
CARWASH SELF-SERVICE	947	4	WASH STALLS	432	32	16	16	32	16	16
ENTERING (%) / EXITING (%)					100%	50%	50%	100%	50%	50%
CARWASH AUTOMATIC (NON-TUNNEL TYPE)	948	3.26	TH-GFA**	***	46	23	23	38	19	19
ENTERING (%) / EXITING (%)					100%	50%	50%	100%	50%	50%
TOTALS					78	39	39	70	35	35
GENOA TOWNSHIP THRESHOLD FOR TIS						100	100	100	100	100
TIS REQUIRED						NO	NO	NO	NO	NO

* TRIP DATA PER INSTITUTE OF TRAFFIC ENGINEERS (ITE) TRIP GENERATION MANUAL 10TH EDITION - VOLUME 2 - PART 3
 ** PER THOUSAND SQUARE FEET OF GROSS FLOOR AREA
 *** TOTAL DAILY TRAFFIC NOT LISTED; AM PEAK HOUR IS MAX WEEKDAY PEAK HOUR OF ADJ TRAFFIC IN PM



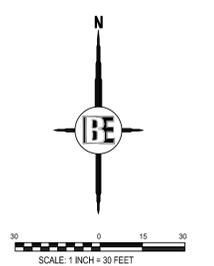
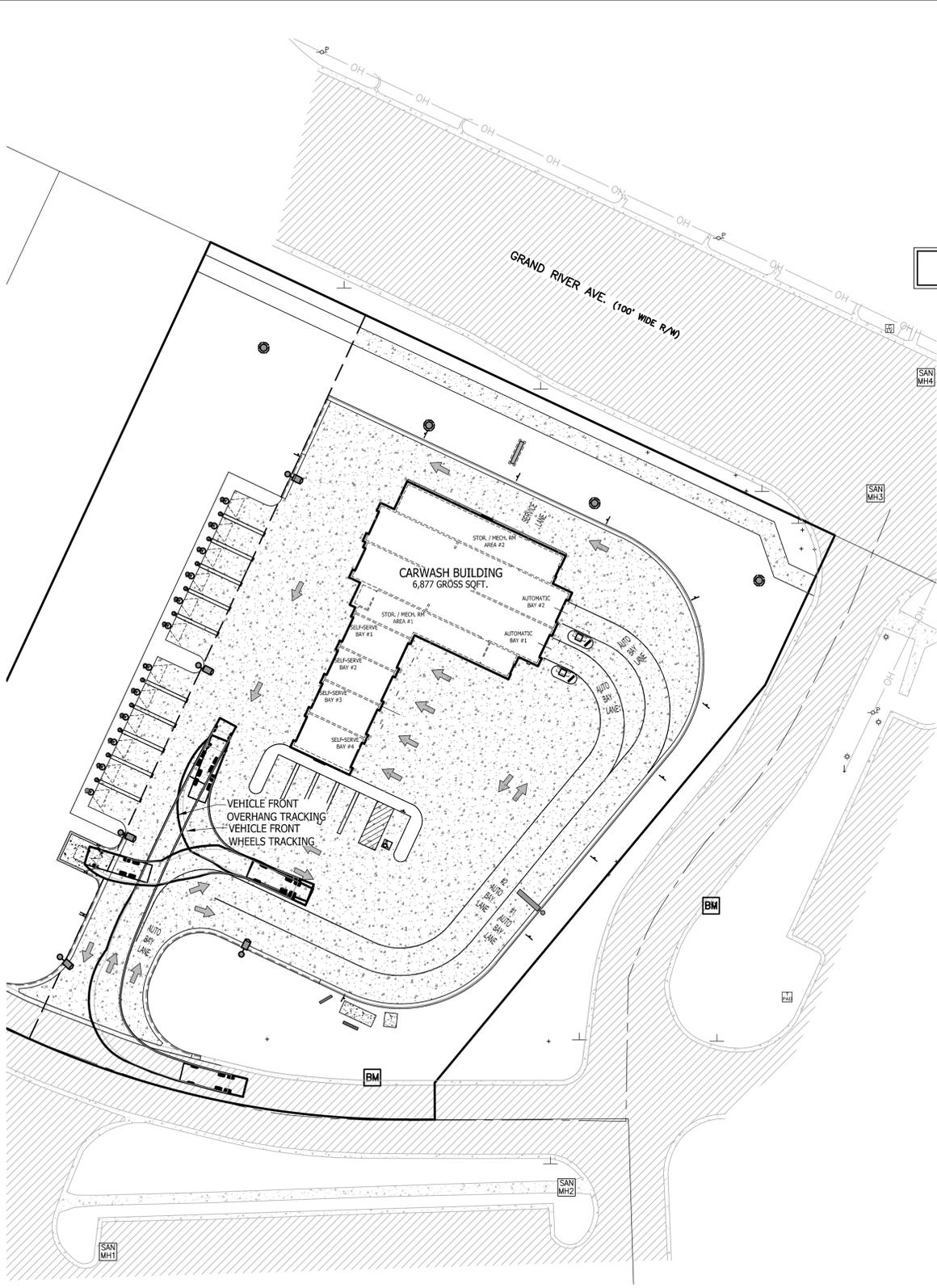
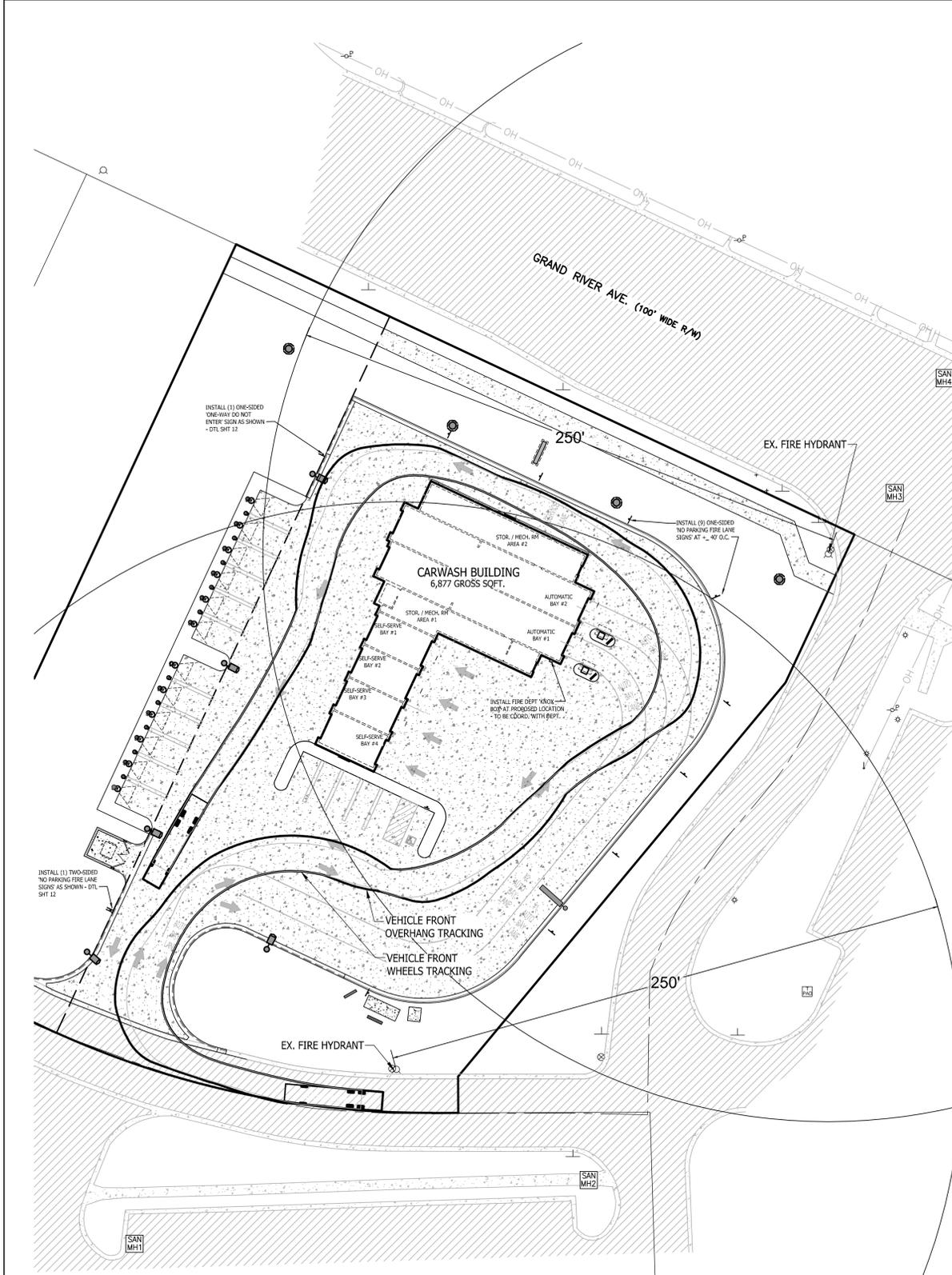
BEBOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3332 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3358

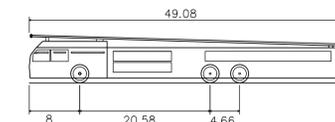
TITLE: SITE PLAN

NO.	DATE	REVISION PER
1	4-1-24	SSC REVIEW COMMENTS
2	6-20-24	ELEC. TRANSFER
3	7/26/24	AMDG COMMENTS
4	9/24/24	PROPERTY ACQ. / VACUUMS / ENTRANCE

DESIGNED BY: PC
 DRAWN BY: DH/NL
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 3/22/24
 SHEET NO. 5

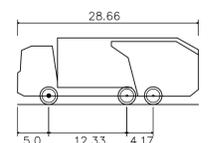


SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



FIRE LADDER TRUCK
VEHICLE TRACKING PLAN

Brighton Area Fire Authority	49.083ft
Overall Length	8.167ft
Overall Width	7.500ft
Overall Body Height	0.750ft
Min Body Ground Clearance	8.167ft
Track Width	5.00s
Lock-to-lock time	45.00°
Max Steering Angle (Virtual)	



WASTE HAULING TRUCK
VEHICLE TRACKING PLAN

Mack TerraPro Cabover 6x4 MRU613 + Wayne Curbtender 31cu yd	28.6ft
Overall Length	8.0ft
Overall Width	10.5ft
Overall Body Height	1.3ft
Min Body Ground Clearance	8.0ft
Track Width	6.0s
Lock-to-lock time	33.5ft
Curb to Curb Turning Radius	

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BE ENGINEERING
CALL MSS DIG
1-800-482-7171
www.be-engineering.com

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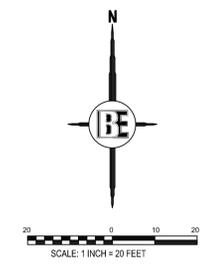
PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: CIRCULATION PLAN

NO.	BY	DATE	REVISION PER
4	NL	9/24/24	PROPERTY ACQ. / VACUUMS / ENTRANCE
3	PC	7/26/24	PC CONST. CHANGE / MTR SERV. / MHDG COMMS
2	PC	6-20-24	PC CONST. CHANGES / ELEC. TRANSFER
1	PC	4-1-24	SESC REVIEW COMMENTS
NO	BY	DATE	REVISION PER

DESIGNED BY: PC
DRAWN BY: DH/NL
CHECKED BY:
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 3/22/24
SHEET NO. 6

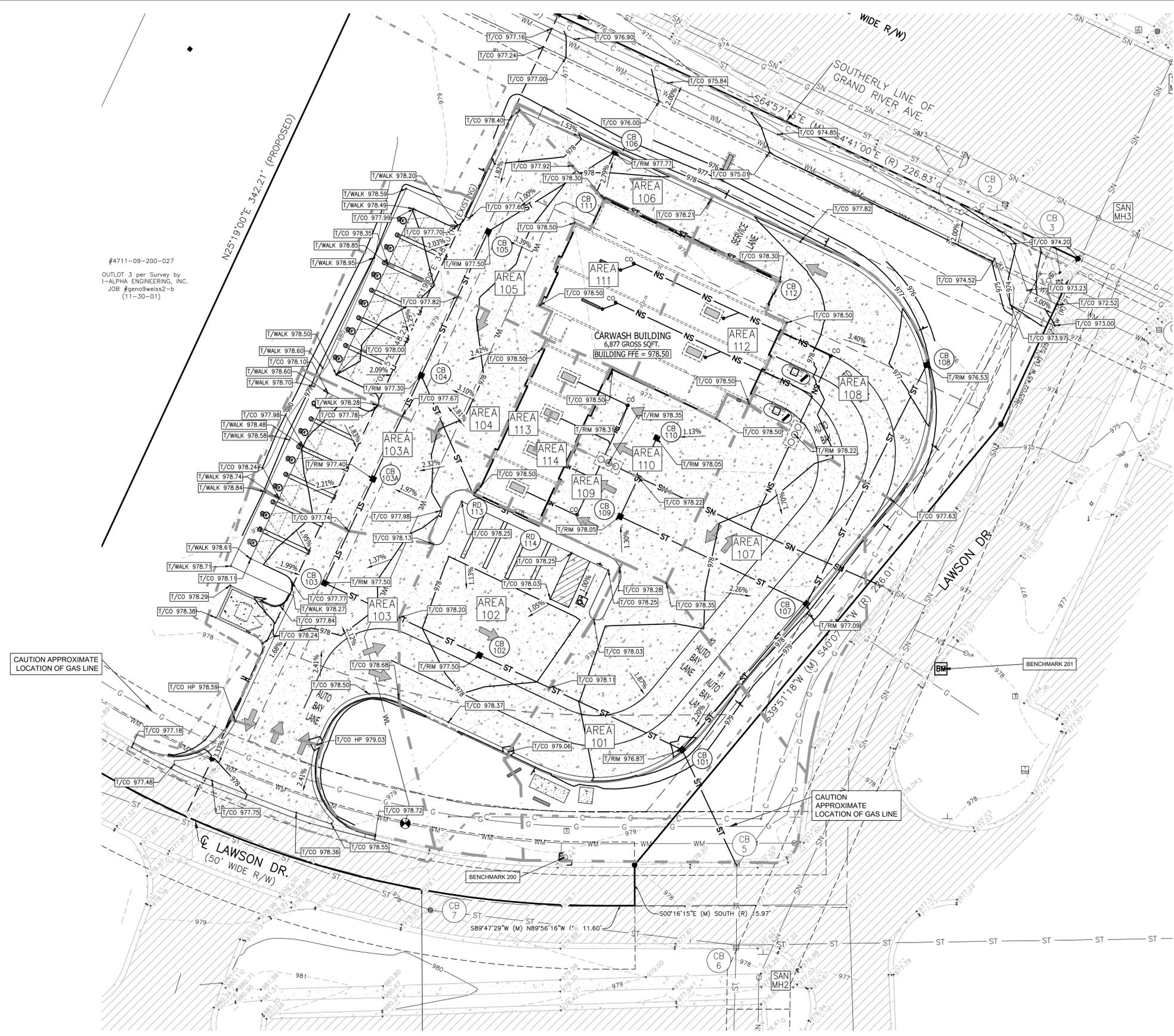
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SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

DRAINAGE AREA TABLE				
DRAINAGE AREA	TOTAL AREA (AC)	IMP. AREA (AC)	C VALUE	A'C
101	0.21	0.10	0.54	0.12
102	0.17	0.13	0.73	0.13
103	0.17	0.12	0.68	0.12
103A	0.08	0.08	0.83	0.07
104	0.10	0.09	0.83	0.08
105	0.10	0.09	0.83	0.08
106	0.03	0.03	0.90	0.03
107	0.15	0.11	0.72	0.11
108	0.12	0.12	0.90	0.11
109	0.04	0.04	0.90	0.04
110	0.05	0.05	0.90	0.04
111	0.06	0.06	0.90	0.05
112	0.06	0.06	0.90	0.05
113	0.02	0.02	0.90	0.02
114	0.02	0.02	0.90	0.02
TOTALS	1.39	1.12	0.71	0.99

SITE BENCHMARKS (NAVD88):
 -BM #200 = BM ARROW TOP HYDRANT
 ELEV.=981.66
 -BM #201 = BM CHIS X W/S LPOLE CONC BASE
 ELEV.=980.88



#4711-09-200-027
 OUTLOT 3 per Survey by
 I-ALPHA ENGINEERING, INC.
 JOB #geno@alphae2-b
 (11-30-01)

CAUTION APPROXIMATE
 LOCATION OF GAS LINE

CAUTION APPROXIMATE
 LOCATION OF GAS LINE

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PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3335 HIGH HILLCREST DRIVE
 HOWELL, MI. 48843
 313.350.3358
 TITLE: GRADING & DRAINAGE PLAN

NO.	BY	DATE	REVISION PER
1	ST/PC	9/24/24	PROPERTY ACQ. / VACUUMS/ ENTRANCE
2	DH/NL	7/26/24	PROPERTY ACQ. / VACUUMS/ ENTRANCE
3	ST/PC	6-20-24	PC CONST. CHANGE / MTR SERV. / MHDC COMMS
4	ST/PC	4-1-24	PC CONST. CHANGES / ELEC. TRNSFMTR
5	ST/PC	4-1-24	SECC REVIEW COMMENTS
6	ST/PC	4-1-24	SECC REVIEW COMMENTS
7	ST/PC	4-1-24	SECC REVIEW COMMENTS

DESIGNED BY: ST/PC
 DRAWN BY: DH/NL
 CHECKED BY:
 SCALE: 1" = 20'
 JOB NO: 23-134
 DATE: 3/22/24
 SHEET NO. **7**

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

THE LOCATION AND EXTENT OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE LOCATION AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN THE LOCATION AND DEPTH OF EXISTING UTILITIES AND THE PLANS.

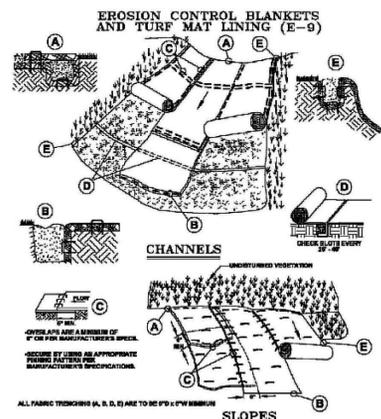
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LIVINGSTON COUNTY SOIL EROSION PERMIT TEMPLATE
TEMPORARY CONTROLS AND SEQUENCE

- NOTIFY LIVINGSTON COUNTY DRAIN COMMISSIONER'S OFFICE 24 HOURS PRIOR TO START OF GRADE WORK.
- IN ACCORDANCE WITH PUBLIC ACT NO. 53, OF 1974 THE PERMIT HOLDER SHALL CALL MISS DIG FOR STAKING AND LOCATING OF UTILITIES, AT LEAST 72 HOURS IN ADVANCE OF THE START OF ANY WORK.
- (IMPORTANT NOTICE) RETENTION/DETENTION PONDS SHALL BE EXCAVATED, TOPSOILED, SEED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. INGRESS/EGRESS MUST HAVE LARGE CRUSHED ROCK TO REDUCE THE TRACKING OF SOIL ONTO THE PUBLIC TRAFFIC AREAS. SEE DETAIL ITEMS BELOW.
- 36" M.D.T. SPECIFICATION TYPE SILT FABRIC FENCE AS SHOWN ON PLANS SHALL BE PLACED AND MAINTAINED ALONG PERIMETER ON ALL LOW LYING AREAS OF THE CONSTRUCTION SITE TO FILTER RUNOFF BEFORE LEAVING PROJECT SITE.
- ALL TEMPORARY EROSION CONTROL DEVICES AS NOTED ON PLANS SHALL BE INSTALLED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
- PLAN DOES DENOTE A DETAILED EROSION CONTROL DEVICE TO RESTRICT TRACKING OF MATERIAL ONTO THE HIGHWAY. STONE DIAPERS SHALL BE INSTALLED AT ALL INGRESS/EGRESS AREAS OF THE SITE PRIOR TO THE START OF MASSIVE EARTH DISRUPTION. DIAPERS SHALL BE OF CRUSHED STONE AND SHALL HAVE A MINIMUM LENGTH OF 100' LINEAL FEET.
- RETENTION PONDS
- RETENTION/DETENTION/SEDIMENTATION PONDS SHALL BE EXCAVATED, TOPSOILED, SEED, MULCHED AND TACKED PRIOR TO THE START OF MASSIVE EARTH DISRUPTION.
- DETENTION POND OUTLETS SHALL BE OF THE STANDPIPE AND STONE FILTER SYSTEM, WITH TRASH SCREEN. OUTLET FLOW SHALL NOT EXCEED 0.20 CUBIC FEET OF WATER PER SECOND/PER ACRE. POND DIKES SHALL HAVE A MINIMUM OF ONE (1) FOOT OF FREEBOARD. AN EMERGENCY SPILLWAY SHALL BE CONSTRUCTED WITHIN THE FREEBOARD LEVEL.
- THE EMERGENCY SPILLWAY FROM THE DETENTION POND SHALL BE SODDED AND PEGGED, OR RIP RAPPED, 15 FEET PAST THE TOE OF THE SLOPE OF THE BERM.
- DIKES AND BERMS SHALL BE FREE OF ALL ORGANIC MATTER.
- RETENTION/DETENTION PONDS SHALL BE FENCED WITH A 4" CHAIN LINK FENCE, INCLUDING A 12" ACCESS GATE FOR MAINTENANCE UNLESS MINIMUM 5 FT. HORIZONTAL TO 1 FT. VERTICAL. SIDE SLOPES ARE PROVIDED. THE FENCE SHALL BE INSTALLED AT THE OUTER PORTION OF THE BERM, TO ALLOW FOR MAINTENANCE WORK TO BE DONE INSIDE THE FENCE.
- ALL UNIMPROVED DISTURBED AREAS SHALL BE STRIPPED OF TOPSOIL WHICH WILL BE STORED ONSITE DURING THE EXCAVATING STAGE. TOPSOIL PILES SHALL BE SEED, MULCHED, OR MATTED WITH STRAW IN THE NON-GROWING SEASON, IMMEDIATELY AFTER THE STRIPPING PROCESS IS COMPLETED, TO PREVENT WIND AND WATER EROSION.
- SOIL EROSION CONTROLS SHALL BE MONITORED DAILY BY THE ON-SITE ENGINEER, OR CONTRACTOR, WHICHEVER CASE APPLIES.

SLOPES AND DITCHES

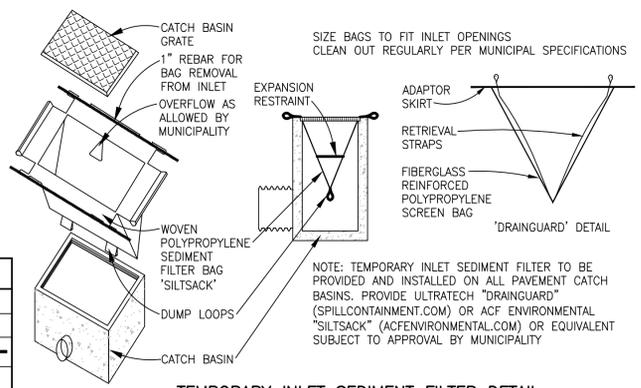
- ON SITE DITCHES SHALL BE OF THE FLAT BOTTOM TYPE MINIMUM WIDTH OF 2' WITH A MINIMUM OF 3' HORIZONTAL TO 1 VERTICAL. SIDE SLOPES, 3:1.
- DITCHES WITH STEEP SLOPES WILL NEED FLOW CHECKS TO PREVENT SCOURING OF THE DITCH BOTTOM. THESE SHALL BE INSTALLED AS DIRECTED BY THE ENGINEER OR INSPECTOR.
- SLOPES IN EXCESS OF 3 HORIZONTAL TO 1 VERTICAL SHALL NOT BE USED EXCEPT WITH A MECHANICAL DEVICE SUCH AS A RETAINING WALL, TERRACING, OR OTHER PRIOR APPROVED DEVICE.
- STORM DRAINS
- ALL STORM WATER STRUCTURES, CATCH BASINS AND/OR MANHOLES, IF BUILT, SHALL BE PLASTERED ON BOTH THE INSIDE AND OUTSIDE OF THE STRUCTURES. GROUTING AND POINTING WILL BE NECESSARY AT THE CASTING AND STRUCTURE JOINT TO PREVENT LEAKAGE AND THE RESULTING SOIL MOVEMENT, AROUND THE STRUCTURE.
- STORM WATER INLETS SHALL HAVE AS A TEMPORARY CONTROL A STRAW BARRIER AND STONE FILTER INSTALLED ALONG THE INLET DURING CONSTRUCTION. AS AN ALTERNATIVE TO THE STRAW BARRIER, A BURLAP AND PEA STONE FILTER MAY BE USED. THREE LAYERS OF BURLAP FIBER AND A FILTER OF PEA STONE MINIMUM 1 FT. IN DEPTH CAN BE USED. DUE TO THE POROSITY OF THE BURLAP FILTER THE MINIMUM OF 1 FT. OF STONE IS VERY IMPORTANT. THE CONTROL SHALL BE INSTALLED AS SOON AS THE STRUCTURE IS BUILT AND INSPECTED DAILY.
- BURLAP AND PEA STONE FILTERS WILL NEED TO BE CHANGED AFTER EACH RAINFALL.
- COUNTY CODE REQUIRES A MINIMUM PIPE SIZE OF 12" IN DIAMETER. IF SMALLER PIPE IS NEEDED FOR OUTLET PURPOSES THE 12" CAN BE BAFFLED TO THE CORRECT SIZE. ALL PIPE SHALL MEET THE 12" DIAMETER CODE SIZE.
- ALL STORM DRAIN OUTLETS 15" IN DIAMETER OR LARGER SHALL HAVE ANIMAL GUARDS INSTALLED TO PREVENT ENTRANCE TO THE SYSTEM.



SURFACE WATER & COUNTY DRAINS
BASEN (STORMWATER) - APPROX. 610'-FT SOUTHEAST (PART OF DEVELOPMENT)
WETLAND - APPROXIMATELY 380'-FT EAST (PART OF LAKE SYSTEM)
LAKES - APPROXIMATELY 1,280 FT NORTHEAST TO LAKE CHEMUNG

SOIL EROSION CONTROL MEASURES
 P=PERMANENT T=TEMPORARY
 TOTAL DISTURBED AREA = 1.43 AC (62,418 SQFT)

NO.	DESCRIPTION	DATE
1	STRIPPING & STOCKPILING TOPSOIL	
6	SEEDING WITH MULCH AND/OR MATING	9/24/24
14	AGGREGATE COVER	7/26/24
15	FRAMING	6-20-24
16	CURB & OUTER	4-1-24
35	STORM SEWER	
36	CATCH BASIN, DRAIN INLET	
40	INLET SEDIMENT FILTER	
54	SILT FENCE	



PROPOSED CONST. SCHEDULE FOR THE YEAR 2024

ACTIVITY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
DEMO & CLEAR							
MASS GRADING							
BUILDING CONSTRUCTION							
UNDERGROUND UTILITY							
FINAL GRADING							
SEED & MULCH							

CONTROLS & MEASURES POST CONSTRUCTION SEQUENCE

ACTIVITY	WEEKLY	MONTHLY	AS REQUIRED
MAINTAIN LANDSCAPING, REPLACE MULCH	X	X	X
CLEAN INLETS		X	X
COLLECT LITTER	X	X	X
SWEEP PARKING LOT	X	X	X

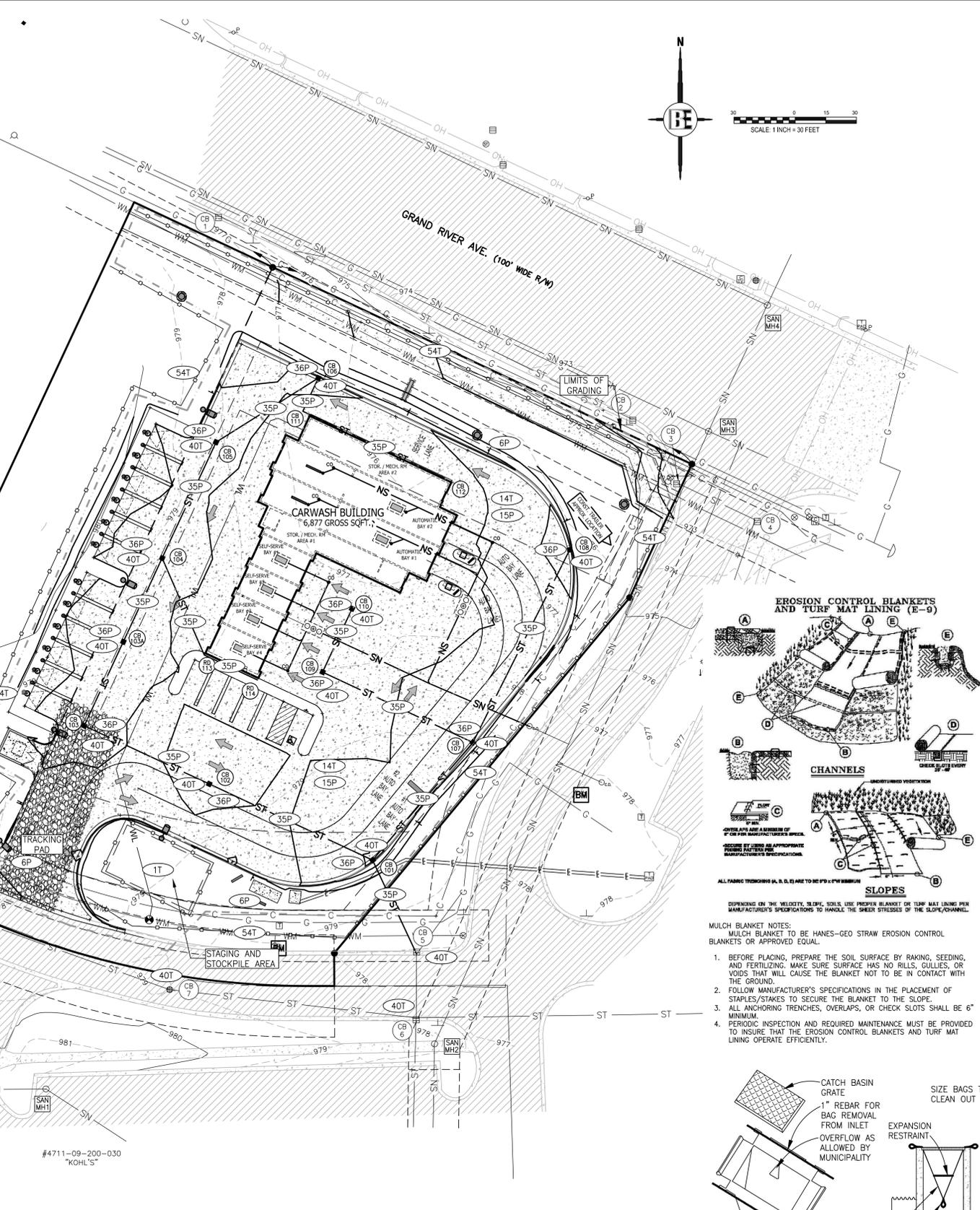
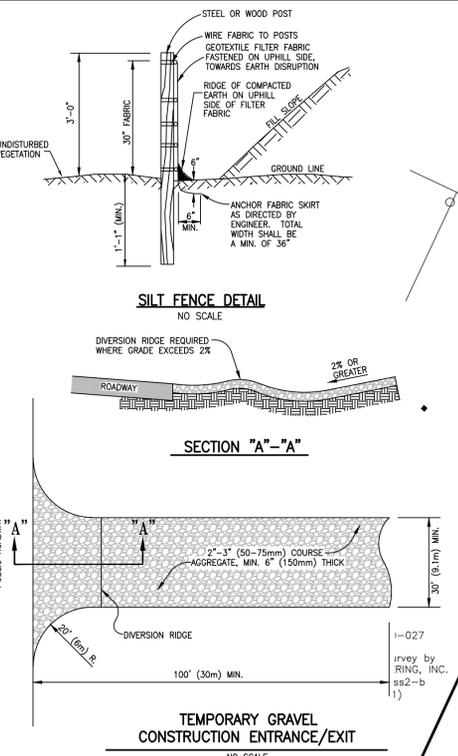
CONTROLS & MEASURES NARRATIVE

ACTIVITY	DESCRIPTION
MAINTAIN LANDSCAPING, REPLACE MULCH	COLLECT GRASS, TREE, AND SHRUB CLIPPINGS. DISPOSE IN APPROVED CONTAINER. REPLACE DEAD SOD, TREES AND SHRUBS.
CLEAN INLETS	REMOVE LITTER, SEDIMENT, AND DEBRIS. DISPOSE OF IN APPROVED LANDFILL.
COLLECT LITTER	DISPOSE OF WITH INLET DEBRIS.
SWEEP PARKING LOT	REMOVE MUD, DIRT, GREASE AND OIL WITH PERIODIC SWEEPING.
DUST CONTROL	SPRINKLE WATER AS NEEDED

CONSTRUCTION SEQUENCE

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.

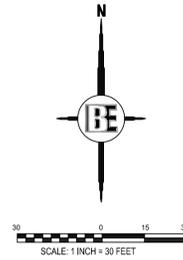
NO.	ACTIVITY	DATE
1	INSTALL SILT FENCE AS SHOWN ON PLANS	
2	ROUGH GRADE AND INSTALL STORM DRAINAGE	
3	INSTALL INLET PROTECTION ON STORM INLETS	
4	START BLDG. CONSTRUCTION	
5	INSTALL PAVEMENT	
6	INSTALL LANDSCAPE	
7	FINE GRADE AROUND BUILDING, SPREAD TOPSOIL, SEED OR SOD AS APPLICABLE.	
8	REMOVE ALL EROSION CONTROL STRUCTURES	
9	REMOVE ACCUMULATED SILT FROM ALL EXISTING DRAINAGE.	



STORM WATER MANAGEMENT NARRATIVE

PRE-DEVELOPMENT:
THE SITE CURRENTLY SITS VACANT AND SHEET FLOWS FROM SOUTH TO NORTH TO THE GRAND RIVE AVENUE STORM SEWER SYSTEM.

POST DEVELOPMENT:
THE SITE WILL BE DEVELOPED AND PAVED FOR USE AS A CAR WASH. THE SITE WILL CONTAIN A STORM SEWER COLLECTION SYSTEM WHICH WILL COLLECT ALL ON-SITE (AND SOME TRIBUTARY OFF-SITE) STORM WATER AND ROUTE IT TO THE EXISTING STORM SYSTEM ALONG LAWSON DRIVE.



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

SITE BENCHMARKS (NAVD88):

- BM #200 = BM ARROW TOP HYDRANT ELEV.=981.66
- BM #201 = BM CHIS X W/S LPOLE CONC BASE ELEV.=980.88

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

BEBOSS Engineering
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
1-800-488-7171
www.beboss.com

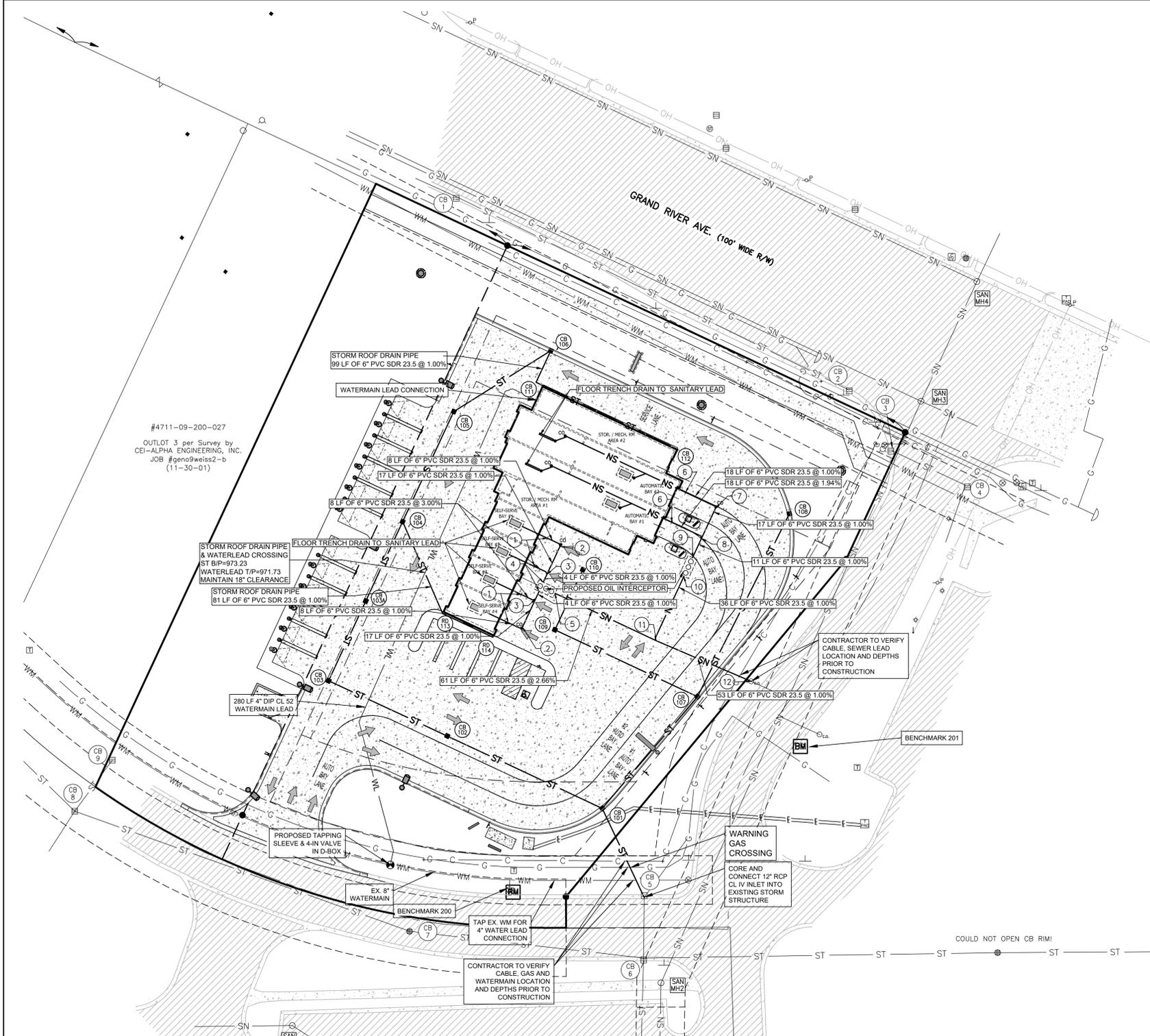
BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**
PREPARED FOR: **SPRINGBORN PROPERTIES**
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3338

TITLE: **UTILITY PLAN**

DESIGNED BY: ST/PC
DRAWN BY: DH/NL
CHECKED BY:
SCALE: 1" = 30'
JOB NO: 23-134
DATE: 3/22/24
SHEET NO. **9A**

NO	BY	REVISION	PER	DATE
1	ST/PC	ISSUE FOR PERMIT		3/22/24
2				
3				
4				



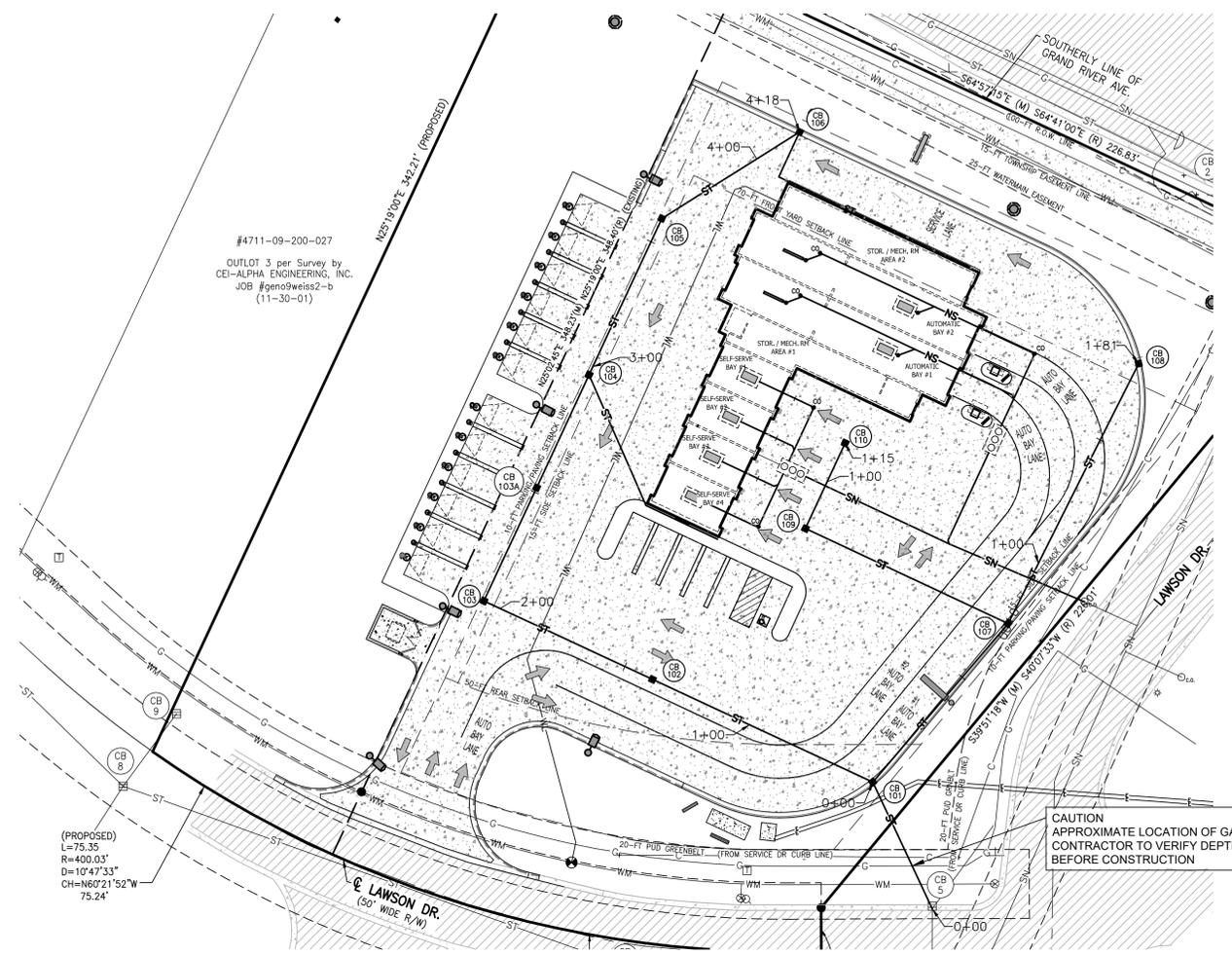
STRUCTURE NAME	STRUCTURE DETAILS
CB101	RIM = 976.87 48" Ø COVER TYPE 'K' 12" INV SE = 969.13 12" INV NW = 971.75 2' SUMP 12" INV NE = 969.13
CB102	RIM = 977.50 48" Ø COVER TYPE 'D' 12" INV SE = 972.19 12" INV NE = 972.19
CB103	RIM = 977.50 48" Ø COVER TYPE 'D' 12" INV SE = 972.52 12" INV NE = 972.52
CB103A	RIM = 977.40 48" Ø COVER TYPE 'D' 12" INV SW = 972.74 12" INV NE = 972.74
CB104	RIM = 977.30 48" Ø COVER TYPE 'D' 12" INV SW = 972.97 12" INV NE = 972.97 6" INV SE = 973.37
CB105	RIM = 977.50 48" Ø COVER TYPE 'D' 12" INV SW = 973.28 12" INV NE = 973.28
CB106	RIM = 977.77 48" Ø COVER TYPE 'K' 12" INV SW = 973.58 6" INV SW = 973.97
CB107	RIM = 977.09 48" Ø COVER TYPE 'K' 12" INV SW = 969.51 12" INV NE = 969.51 2' SUMP 12" INV NW = 971.13
CB108	RIM = 976.53 48" Ø COVER TYPE 'K' 12" INV SW = 970.04
CB109	RIM = 978.05 48" Ø COVER TYPE 'D' 12" INV SE = 971.54 12" INV NE = 971.54
CB110	RIM = 978.05 48" Ø COVER TYPE 'D' 12" INV SW = 971.71

LOCATION/DESCRIPTION	ELEVATION
1 SELF SERVE BAYS STUB	975.28
2 CLEANOUTS #1	975.20
3 WYE	975.04
4 OIL/WATER SEPARATOR INLET	975.00
5 OIL/WATER SEPARATOR OUTLET	974.70
6 AUTOMATIC SERVE BAYS STUB	974.20
7 CLEANOUT #2	974.02
8 WYE	973.85
9 OIL/WATER SEPARATOR INLET	973.74
10 OIL/WATER SEPARATOR OUTLET	973.44
11 CLEANOUT #3	973.08
12 EX. CLEANOUT	972.55

CONTRACTOR TO VERIFY DEPTH AND LOCATION OF EXISTING SANITARY STUB

FROM	TO	DRAIN AREA	ACRES A	RUNOFF COEFF C	EQUIV. AREA A'C	INTEN-SITY I	TIME OF CONC. Tc	ADDL. RUNOFF Q	RUNOFF Q	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FLOWING FULL (FPS)	HYDRAULIC GRADIENT SLOPE %	ACTUAL SLOPE USED	MANNING COEFFICIENT	MANNING FLOW CAPACITY	MANNING'S VELOCITY (FT/SEC)	TIME (MIN)	HG ELEV UPPER END	HG ELEV LOWER END	RIM ELEV UPPER END	RIM ELEV LOWER END	INVERT UPPER END	INVERT LOWER END
106	105	106	0.03	0.90	0.03	4.38	15.00	0.46	0.57	59	12	2.25	0.24%	0.50%	0.013	2.53	3.22	0.31	974.48	974.34	977.77	977.50	973.58	973.28
105	104	105	0.10	0.83	0.08	4.34	15.31	0.30	0.92	62	12	2.49	0.30%	0.50%	0.013	2.53	3.22	0.32	974.34	974.15	977.50	977.30	973.28	972.97
104	103A	104	0.10	0.83	0.08	4.31	15.63	0.17	1.44	45	12	2.86	0.40%	0.50%	0.013	2.53	3.22	0.23	974.15	973.97	977.30	977.40	972.97	972.74
103A	103	103A	0.08	0.83	0.07	4.28	15.86		1.74	45	12	3.06	0.45%	0.50%	0.013	2.53	3.22	0.23	973.97	973.77	977.40	977.50	972.74	972.52
103	102	103	0.17	0.68	0.12	4.26	16.10		2.24	68	12	3.78	0.69%	0.48%	0.013	2.48	3.15	0.36	973.77	973.30	977.50	977.50	972.52	972.19
102	101	102	0.17	0.73	0.13	4.22	16.46		2.77	88	12	4.18	0.84%	0.50%	0.013	2.53	3.22	0.46	973.30	972.55	977.50	976.87	972.19	971.75
101	EX	101	0.21	0.54	0.12	4.18	16.91	1.32	4.57	51	12	6.61	2.11%	1.25%	0.013	3.99	5.09	0.17	970.37	969.30	976.87	-	969.13	968.50
108	107	108	0.12	0.90	0.11	4.38	15.00	0.49	1.05	105	12	2.15	0.22%	0.50%	0.013	2.53	3.22	0.55	970.89	970.66	976.53	977.09	970.04	969.51
107	101	107	0.15	0.72	0.11	4.32	15.55	0.35	1.32	76	12	2.81	0.38%	0.50%	0.013	2.53	3.22	0.39	970.66	970.37	977.09	976.87	969.51	969.13
110	109	110	0.05	0.90	0.04	4.38	15.00		0.18	34	12	1.50	0.11%	0.50%	0.013	2.53	3.22	0.18	972.51	972.34	978.05	978.05	971.71	971.54
109	107	109	0.04	0.90	0.04	4.36	15.18		0.35	81	12	1.93	0.18%	0.50%	0.013	2.53	3.22	0.42	972.34	971.93	978.05	977.09	971.54	971.13
112	111	112	0.06	0.90	0.05	4.38	15.00		0.23	77	6	2.29	0.64%	1.00%	0.013	0.56	2.87	0.45	975.44	974.95	978.50	978.50	974.92	974.15
111	106	111	0.06	0.90	0.05	4.33	15.45		0.46	18	6	2.84	0.98%	1.00%	0.013	0.56	2.87	0.10	974.95	974.78	978.50	-	974.15	973.98
114	113	114	0.02	0.90	0.02	4.38	15.00		0.09	29	6	1.72	0.36%	1.00%	0.013	0.56	2.87	0.17	974.57	974.46	978.50	978.50	974.17	973.88
113	104	113	0.02	0.90	0.02	4.36	15.17		0.17	52	6	2.15	0.56%	1.00%	0.013	0.56	2.87	0.30	974.46	974.17	978.50	977.30	973.88	973.37

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

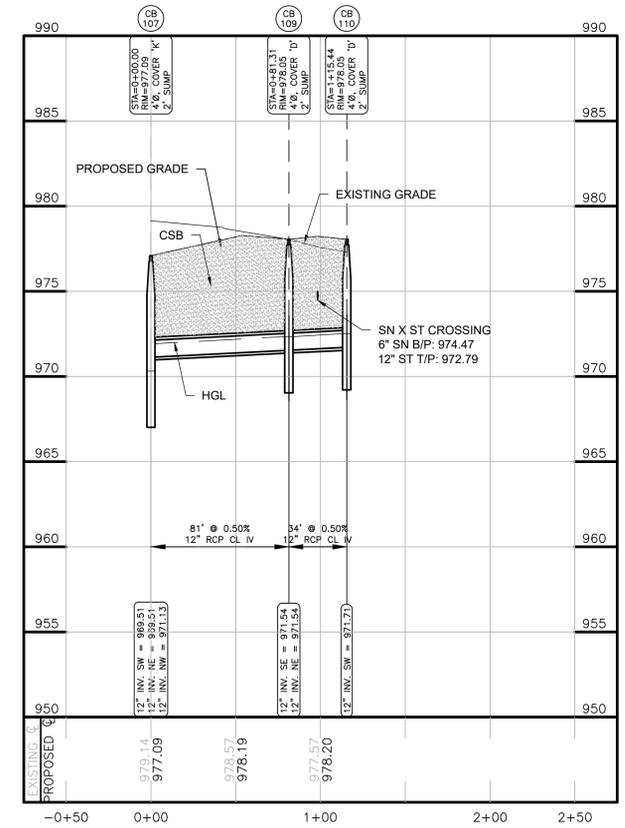
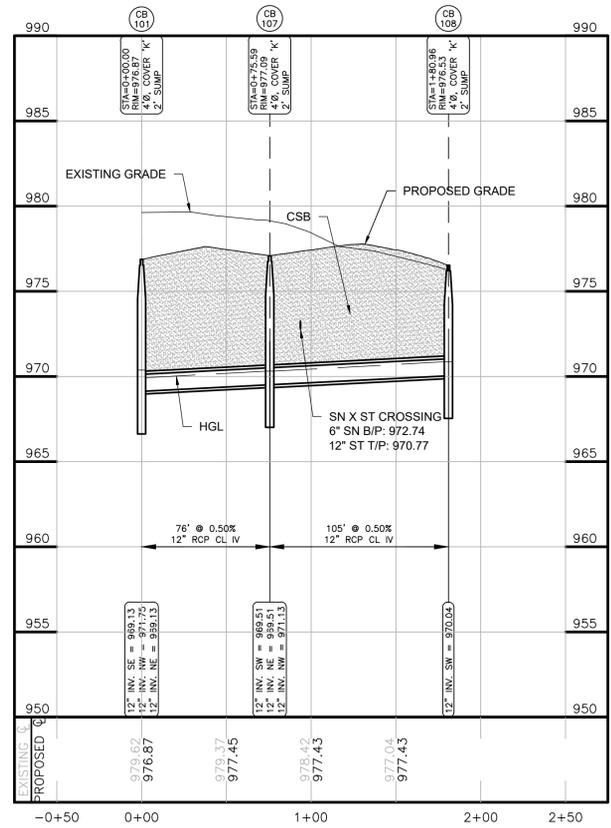
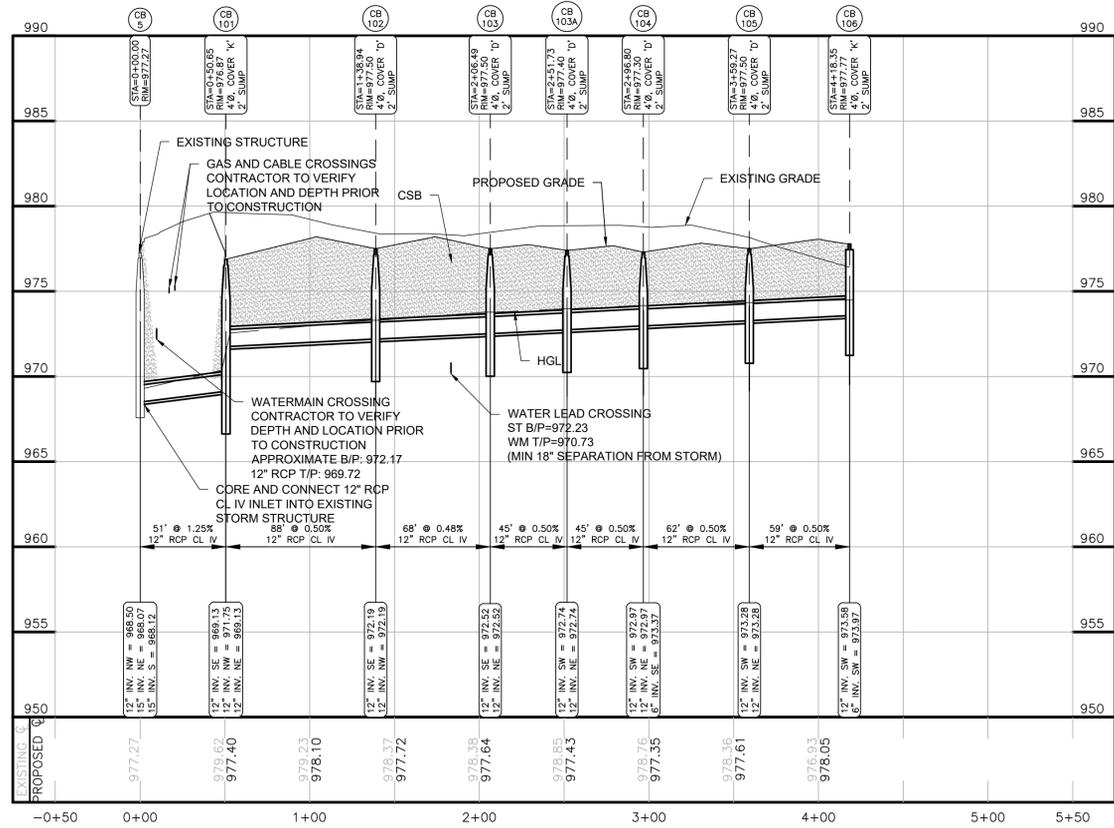


#4711-09-200-027
 OUTLOT 3 per Survey by
 CEI-ALPHA ENGINEERING, INC.
 JOB #genweiss-2-a
 (11-30-01)



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION.

BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670



PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
 PREPARED FOR: SPRINGBORN PROPERTIES
 3338 HIGHLAND STREET DRIVE
 HOWELL, MI. 48843
 313.350.3338

NO.	DATE	REVISION PER	CONSTR. CHANGE / ENTRANCE
4	9/18/24		

DESIGNED BY: PC/DH
 DRAWN BY: DH
 CHECKED BY:
 SCALE: AS NOTED
 JOB NO: 23-134
 DATE: 3/22/24
 SHEET NO. 9B



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 AutoCAD PDF (Small Plot) p3



SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

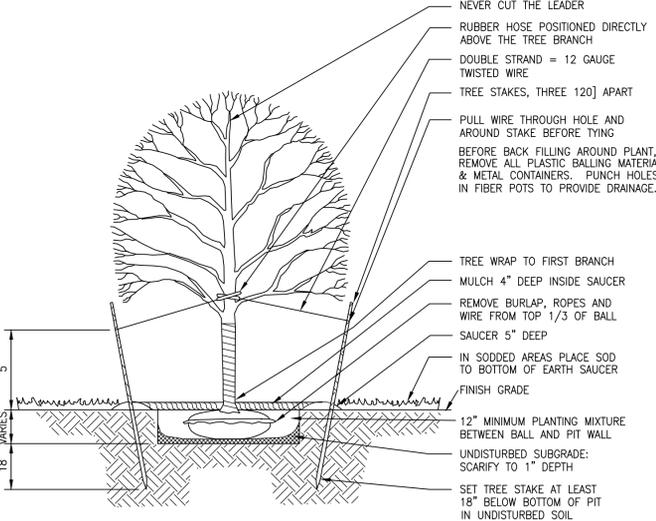
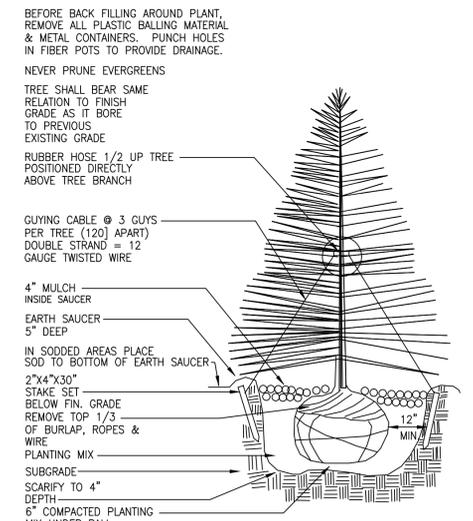
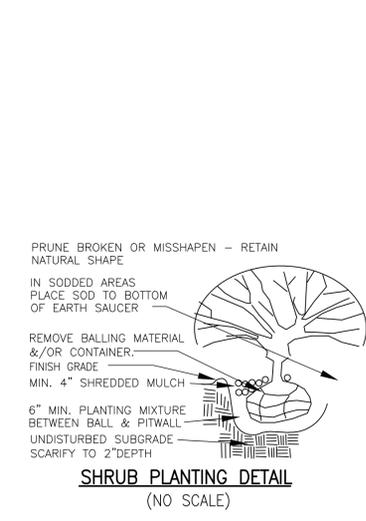
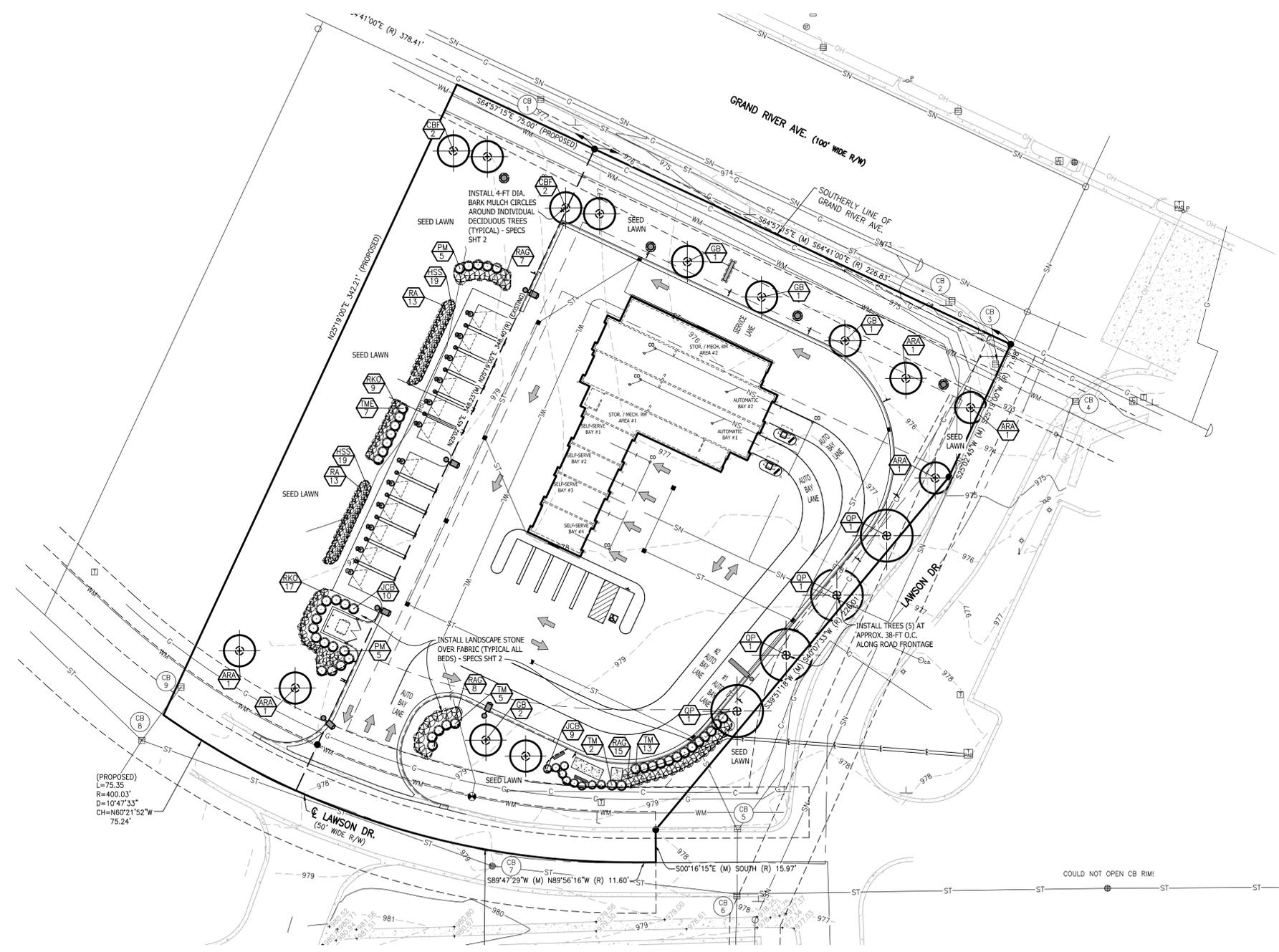
LANDSCAPE CALCULATIONS 'NR PUD' ZONING (FOLLOWING SECTION 12.02):

REQUIRED:
 GREENBELTS - PUBLIC R.O.W.'S - GRAND RIVER AVE & LAWSON DR. (PRIVATE RD.) 1 CANOPY TREE / 40 LFT FRONTAGE, MIN 20 FT WIDTH
 BUFFER - WEST ADJ. TO COMMERCIAL - TYPE C: 1 CANOPY OR CONIFER TREE OR 4 SHRUBS / 20 LFT MIN. 10 FT WIDTH
 PARKING AREA (<10 SPACES): N/A - 3 USE CALCULATED / PROVIDED SPACES BELOW MIN.
 DETENTION / RETENTION BASIN: N/A - TO CONNECT TO OVERALL DEVELOPMENT SYSTEM
 ACCESSORY STRUCTURES (DUMPSTER ENCLOSURE): SCREENED WITH SHRUBS IF IN 'VISIBLE LOCATION'

PROVIDED:
 GREENBELT - PUBLIC R.O.W. - GRAND RIVER AVE: 226.83 LFT FRONTAGE (+75 LFT) / 40 = 8 CANOPY TREES REQ'D & PROVIDED
 ALONG EAST PROP. LINE - LAWSON DRIVE: 226.01 LFT / 40 = 6 DECIDUOUS TREES PROVIDED
 ALONG SOUTH PROP. LINE - LAWSON DRIVE: 181.38 LFT (+75 LFT) / 40 = 6 DECIDUOUS TREES REQ'D AS BUFFER PROPOSE 3 DECID. TREES + 29 CONIFER SHRUBS + 23 DECID. SHRUBS BEING EQUIVALENT TO OVER 17 SHRUBS / TREE
 BUFFER - WEST PROP. LINE ADJ. TO COMMERCIAL - TYPE C: 348.40 LFT / 20 = 18 TREES OR 72 SHRUBS OR COMBINATION 1 DECID. TREE + 17 CONIFER SHRUBS + 97 DECID. SHRUBS PROVIDED
 DUMPSTER ENCLOSURE: SCREENED WITH 10 CONIFER SHRUBS

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
DECIDUOUS TREES					
CBF	4	<i>Carpinus betulus</i> 'Frans Fontaine'	Frans Fontaine European Hornbeam	2-1/2" cal.	B-B
ARA	5	<i>Acer rubrum</i> 'Isis KW 78'	Armstrong Gold Red Maple	2-1/2" cal.	B-B
GB	5	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Columnar Ginkgo	2-1/2" cal.	B-B
QP	4	<i>Quercus palustris</i>	Northern Pin Oak	2-1/2" cal.	B-B
CONIFER SHRUBS					
JCB	19	<i>Juniperus chinensis</i> 'Blue Point'	Blue Point Juniper	48" ht./#5	Cont.
PM	10	<i>Pinus mugo</i> 'Mops'	Mops Mugo Pine shrub	24" ht./#3	Cont.
TM	20	<i>Taxus X Media</i> 'Densiformis'	Densiformis Yew	36" ht./#5	Cont.
TME	7	<i>Taxus X Media</i> 'Everlow'	Everlow Yew	36" ht./#5	Cont.
DECIDUOUS SHRUBS					
HSS	38	<i>Hydrangea serrata</i> 'Smmmaktr'	Mountain Stuff Red Hydrangea	18" ht./#3	Cont.
RA	26	<i>Ribes Alpinum</i> 'Greenmound'	Greenmound Currant	18" ht./#3	Cont.
RKO	17	<i>Rosa x</i> 'Knock Out Red'	Knock Out Red Shrub Rose	24" ht./#3	Cont.
RAG	39	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht./#3	Cont.

SUPPLEMENTAL LANDSCAPE NOTES
 1. ANY SUBSTITUTIONS OF PLANT MATERIAL FROM THE APPROVED SITE PLAN WILL BE APPROVED BY THE TOWNSHIP.



PROJECT: SOAPOY BUCKET CARWASH
 PREPARED FOR: SPRINGBORN PROPERTIES
 3535 HIGH HILLCREST DR
 HOWELL, MI 48843
 313.350.3386
 TITLE: LANDSCAPE PLAN
 DESIGNED BY: PC
 DRAWN BY: PC
 CHECKED BY:
 SCALE: 1" = 30'
 JOB NO: 23-134
 DATE: 3/22/24
 SHEET NO: 10

BEBOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 517.546.4836 FAX 517.548.1670

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power	Mounting Height
P1		7	Lithonia Lighting	DSX0 LED P3 40K 80CRI BLC3	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control	5870	0.9	68.95	24'-0"
P2		1	Lithonia Lighting	DSX0 LED P3 40K 80CRI TFTM	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Forward Throw	8247	0.9	68.95	24'-0"
P3		1	Lithonia Lighting	DSX0 LED P3 40K 80CRI RCCO	D-Series Size 0 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control	5923	0.9	68.95	24'-0"
W1		4	Lithonia Lighting	WDGE2 LED P3 40K 80CRI TFTM	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE FORWARD THROW MEDIUM OPTIC	3166	0.9	32.1375	15'-0"
W2		5	Lithonia Lighting	WDGE2 LED P3 40K 80CRI T15	WDGE2 LED WITH P3 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 1 SHORT OPTIC	3089	0.9	32.1375	15'-0"
D1		79	Gotham Architectural Lighting	EVO2 40/02 AR LD ND	EVO 2 INCH RECESSED DOWNLIGHT, ROUND, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, NARROW, 80 CRI	280	0.9	3.3799	20'-0"
A		2	Lithonia Lighting	CSS L48 ALO3 (3000) MVOLT SWW3 (40) 80CRI	Contractor LED Single Strip, 48", 3000 Lumens, 120-277V, 4000K, 80 CRI	1972	0.9	26.2789	12'-0"

VACUUM CANOPY ARCH LIGHT								
SYMBOL	LABEL	QTY.	DESCRIPTION	CATALOG NUMBER	LAMP	LUMENS PER LAMP	LLF	WATTAGE
LF	10	C&G LIGHTING GPX LOW-PROFILE, DRIVERLESS LINKABLE IP67 LED LINEAR LUMINAIRE	GPX 4-SO-40K-GC	1 LED	2400	0.85	18	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking & Drive Lanes	X	1.6 fc	8.3 fc	0.4 fc	20.8:1	4.0:1
Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Overall/Grade	+	0.4 fc	8.3 fc	0.0 fc	N/A	N/A

General Note
 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

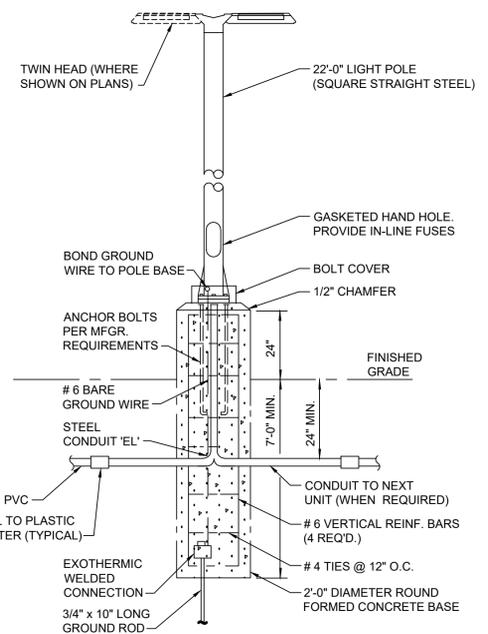
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT CONTROLS@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
 THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

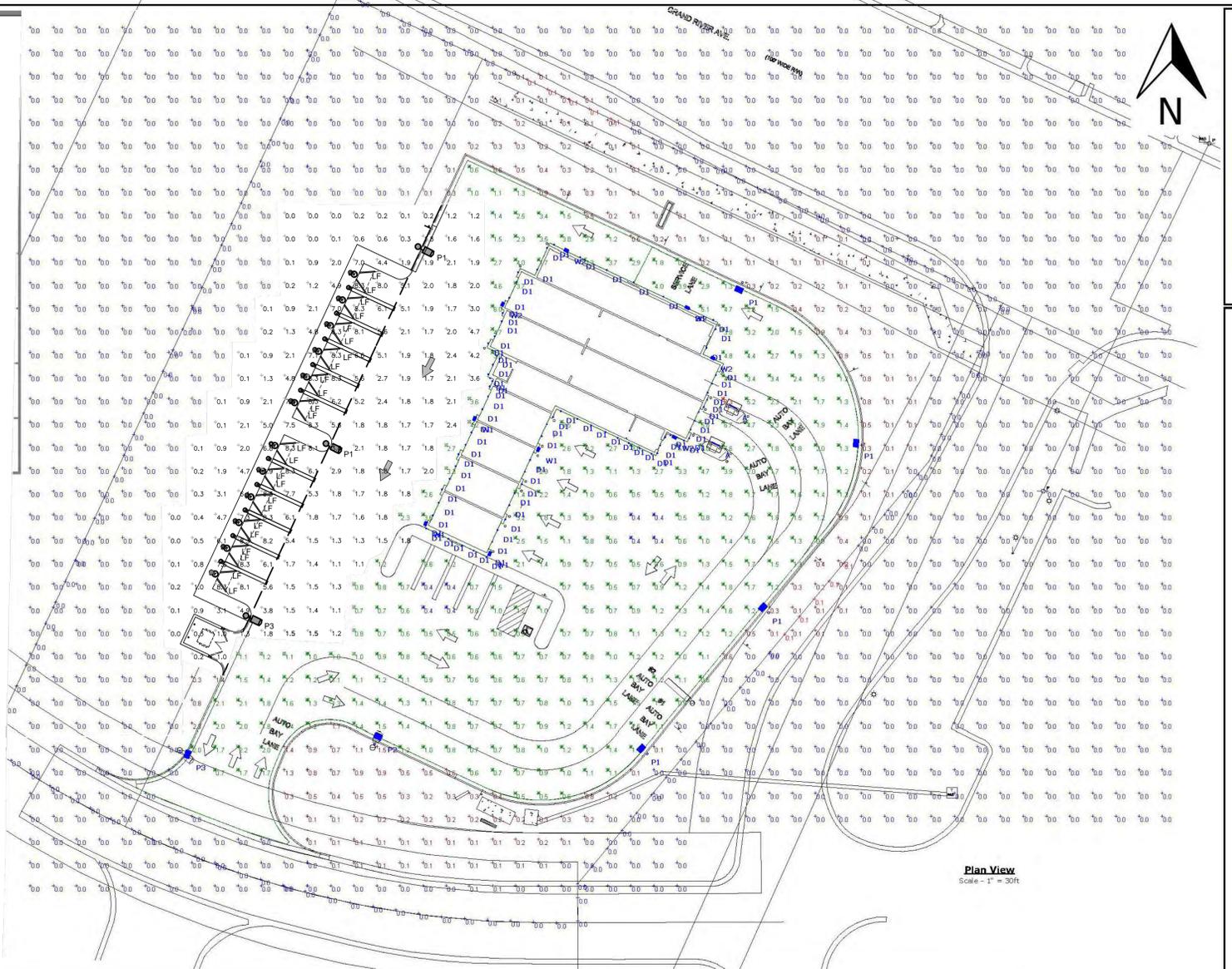
Ordering Note
 FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
 THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSES ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
 MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



LIGHT POLE BASE DETAIL
 (NOT TO SCALE - BY BOSS ENGINEERING)



Plan View
 Scale = 1" = 30ft

www.ggled.net

Direct AC Driverless

Low-Profile, Driverless Linkable IP67 LED Linear Luminaire

Product Features
 Maintenance-Free Driverless Design
 Connects directly to AC. The voltage will auto-adjust to the driver or electronic ballast, for extreme reliability and long life. No need for a ballast.

Performance Summary
 Delivered Light Output: Up to 8000 Lumens
 Efficacy: 120 lm/w
 CRI: 90+ (CRI 90+)
 CCT: 3000K-6000K
 Lifetime: Designed to last 100,000 hours @ 24/7
 Warranty: 5 years (See application for terms)
 Mounting: Surface or V-Mount
 Protection Class: IP67
 Voltage: 120VAC or 277VAC Input
 Maximum Run Length: Refer to the table on page 2
 Ambient Temperature: -40°C to 50°C

Ordering Information

Product	Length	Lumen Output	Color Temp.	Lens Diffusion	UV Protector	Thru-Glass Wall	Notes
GPX	2'	50	50K	Blank	Blank	Blank	120V
	4'	100	40K	UVS	UVS	UVS	277V
	6'	150	50K	Blank	Blank	Blank	120V
	8'	200	40K	UVS	UVS	UVS	277V

Power & Connection Accessories

Cable	Type	Length	Wire	Description
GPX-10P1	10'	16	16 AWG SJTW	10' Power Cable (Rated for 100V-240V AC)
GPX-10P2	10'	16	16 AWG SJTW	10' Power Cable (Rated for 100V-240V AC)
GPX-10P4	10'	16	16 AWG SJTW	10' Power Cable (Rated for 100V-240V AC)
GPX-10P8	10'	16	16 AWG SJTW	10' Power Cable (Rated for 100V-240V AC)
GPX-10P16	10'	16	16 AWG SJTW	10' Power Cable (Rated for 100V-240V AC)
GPX-10P32	10'	16	16 AWG SJTW	10' Power Cable (Rated for 100V-240V AC)

D-Series Size 0 LED Area Luminaire

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

Specifications
 EPA: 0.44 ft
 Length: 26.18" (6.75m)
 Width: 14.06" (3.57m)
 Height H1: 7.26" (1.84m)
 Height H2: 7.46" (1.90m)
 Weight: 23.58 (5.3kg)

Ordering Information

Series	LEDs	Color Temperature	Color Rendering Index	Mounting	Voltage
DSX0 LED	Forward optics	3000K	90CRI	AIR	120V/277V
	Blank optics	4000K	90CRI	TTS	120V/277V
	Blank optics	5000K	90CRI	TSM	120V/277V
	Blank optics	6000K	90CRI	TSM	120V/277V
	Blank optics	3000K	90CRI	TSM	120V/277V
	Blank optics	4000K	90CRI	TSM	120V/277V
	Blank optics	5000K	90CRI	TSM	120V/277V
	Blank optics	6000K	90CRI	TSM	120V/277V

Shipped included
 1x 26.18" (6.75m) luminaire
 1x 14.06" (3.57m) luminaire
 1x 7.26" (1.84m) luminaire
 1x 7.46" (1.90m) luminaire
 1x 120V/277V power cable
 1x 120V/277V power cable
 1x 120V/277V power cable
 1x 120V/277V power cable

gotham | EVO

Multiple Layers of Light

General Illumination Round Downlight 2"

Feature Set
 • Blending distribution with feathered edges provides even illumination on horizontal and vertical surfaces
 • Bounding Ray™ optical design
 • 50° Beam to reduce and reduce image
 • Field interchangeable optic
 • Fully serviceable and adjustable lensed LED light engine
 • 70% lumen maintenance at 60,000 hours

Introduction
 The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

Series	LEDs	Color Temperature	Color Rendering Index	Mounting	Voltage
EV02	Forward optics	3000K	90CRI	AIR	120V/277V
	Blank optics	4000K	90CRI	TTS	120V/277V
	Blank optics	5000K	90CRI	TSM	120V/277V
	Blank optics	6000K	90CRI	TSM	120V/277V
	Blank optics	3000K	90CRI	TSM	120V/277V
	Blank optics	4000K	90CRI	TSM	120V/277V
	Blank optics	5000K	90CRI	TSM	120V/277V
	Blank optics	6000K	90CRI	TSM	120V/277V

Shipped included
 1x 2" round downlight
 1x 2" round downlight
 1x 2" round downlight
 1x 2" round downlight

WDGE2 LED Architectural Wall Sconce Precision Refractive Optic

Introduction
 The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with all-light AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

Specifications
 Depth (D1): 7"
 Depth (D2): 1.5"
 Height: 9"
 Width: 11.5"
 Weight: 13.5 lbs (without options)

WDGE2 LED Family Overview

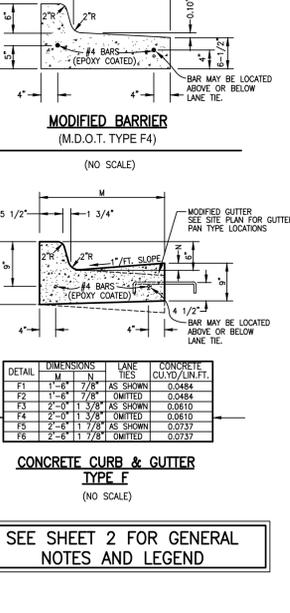
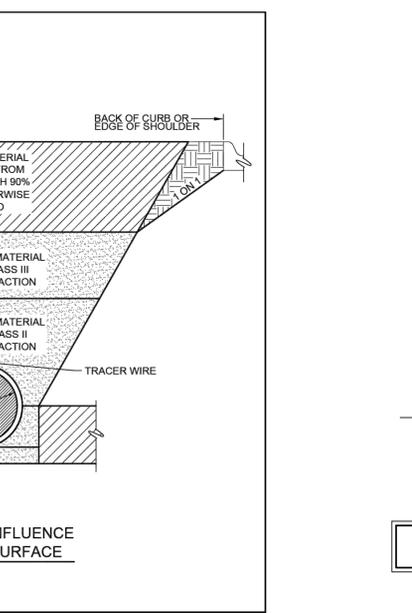
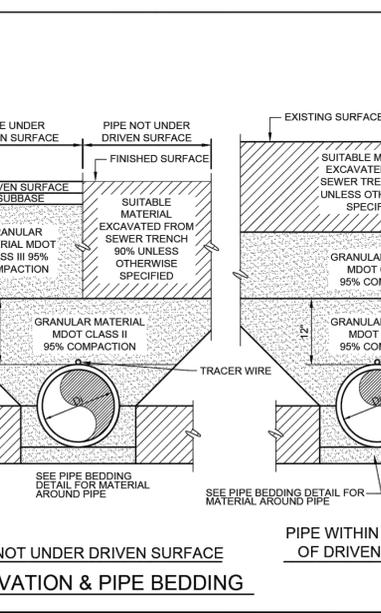
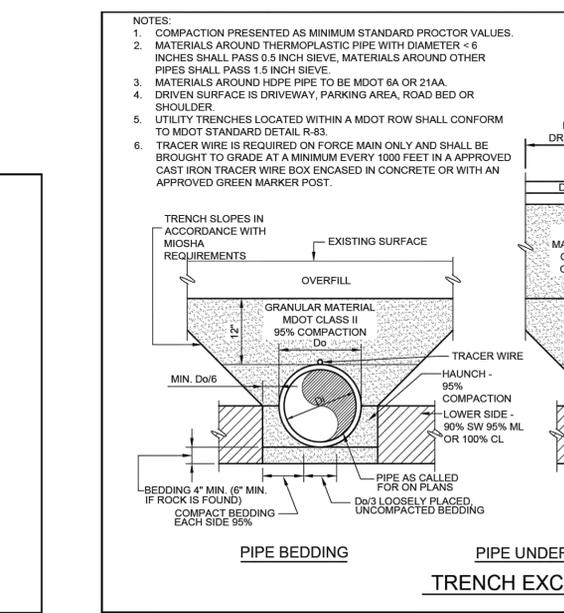
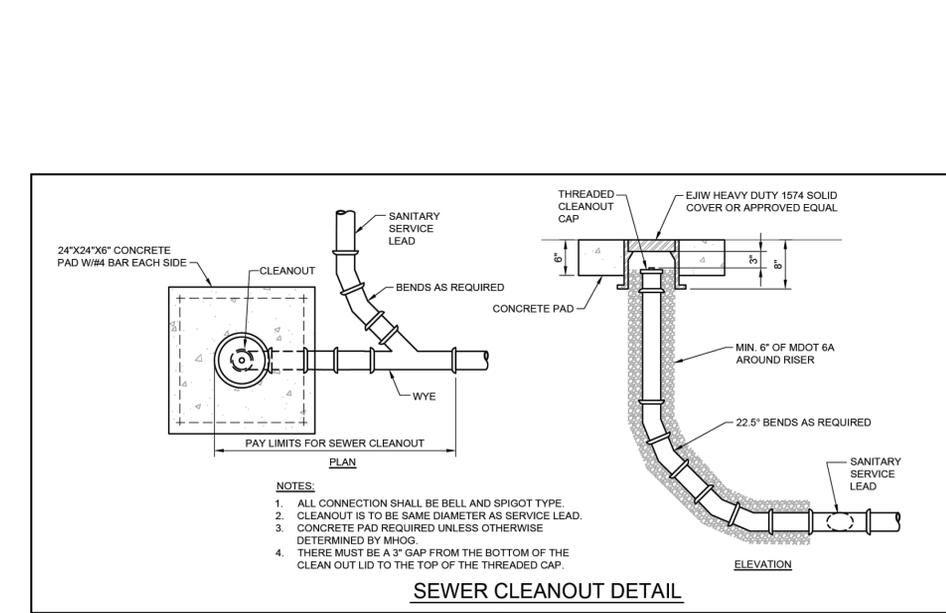
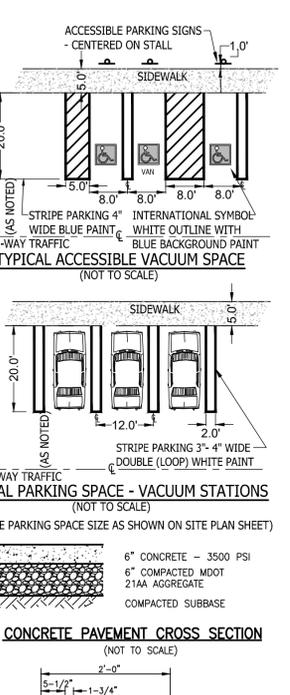
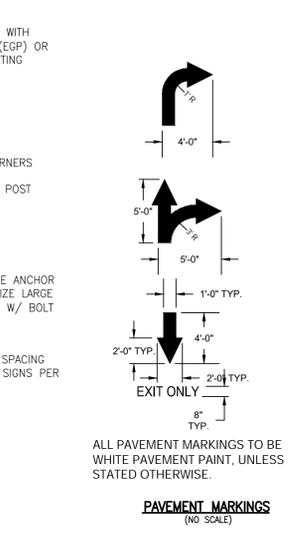
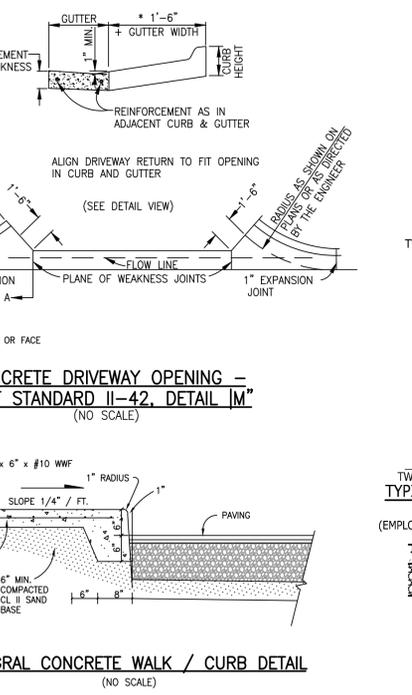
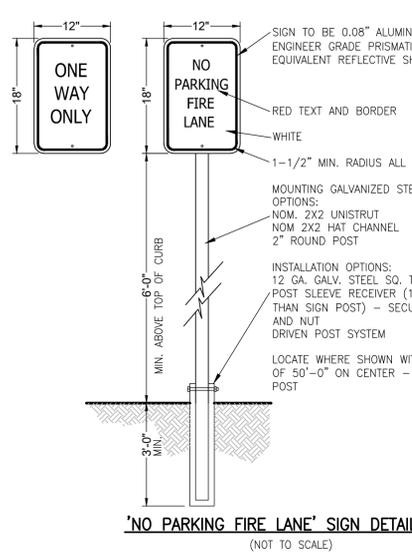
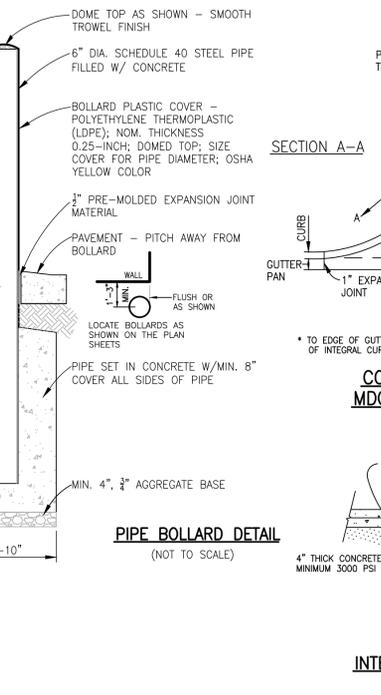
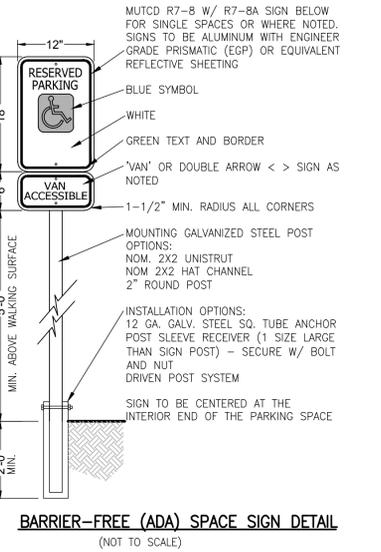
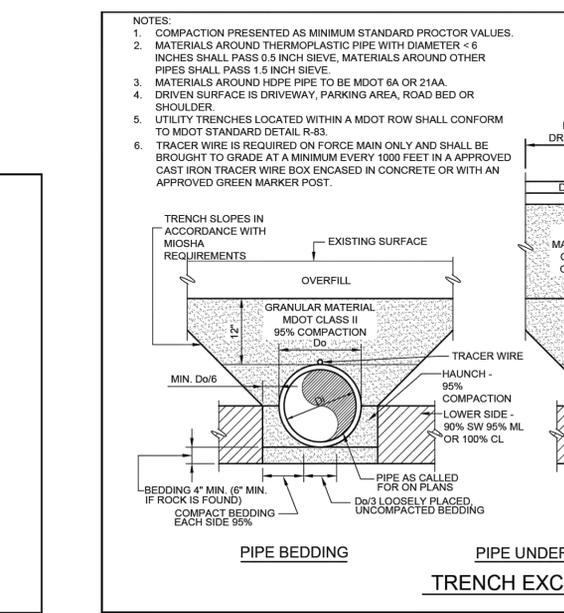
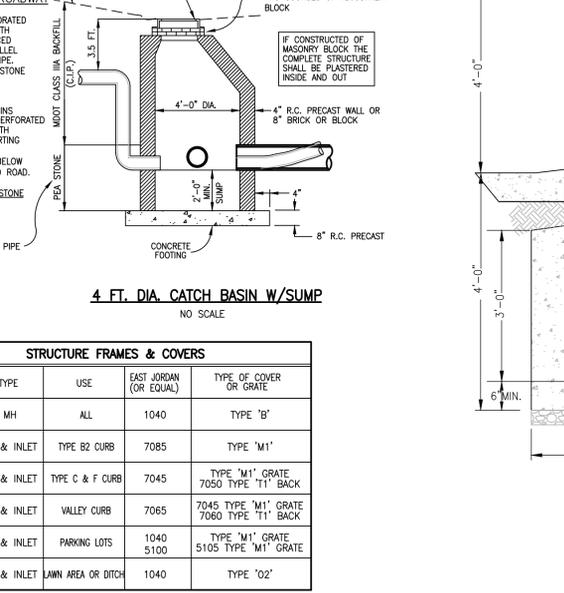
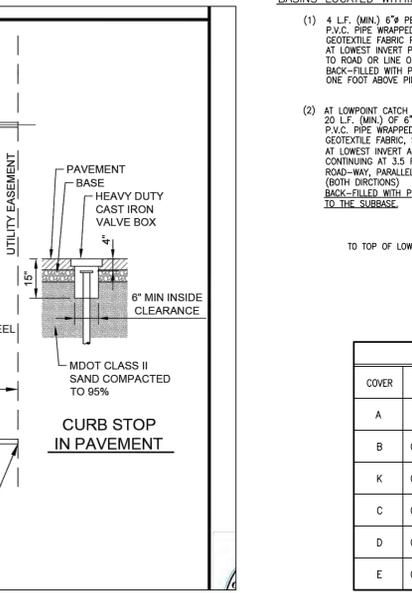
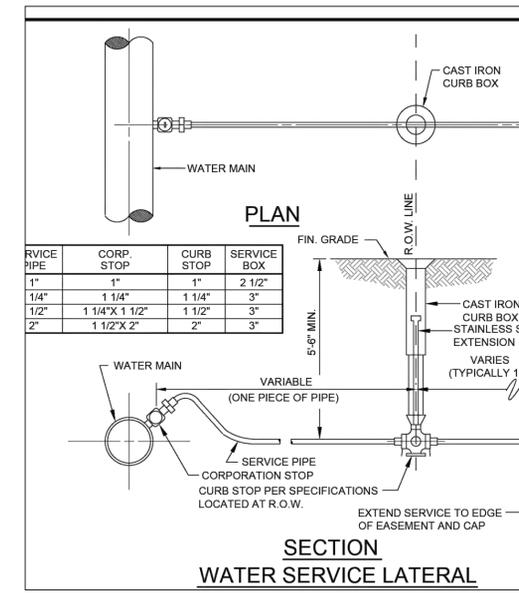
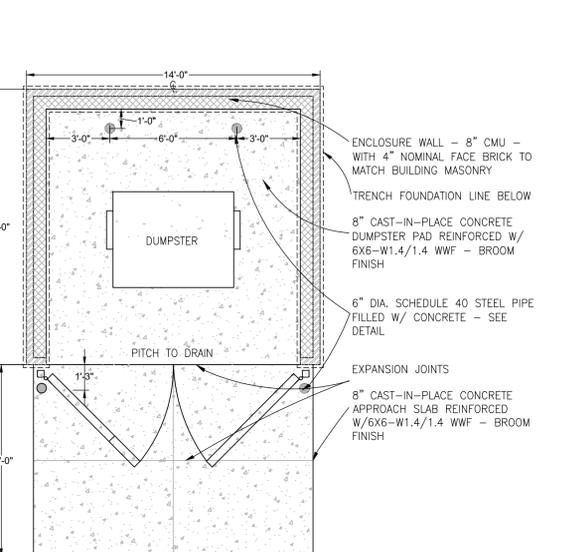
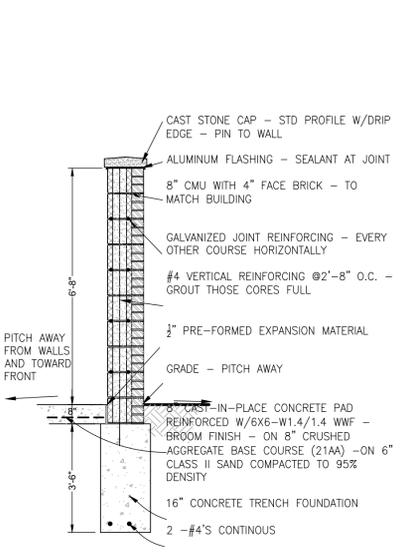
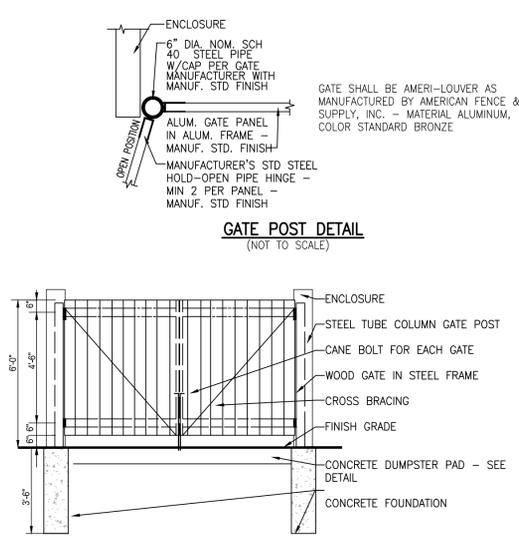
Luminaire	Optic	Standard I.E.C. CCT	Color Temp. CCT	Series	75	150	300	450	600	75	150	300	450	600
WDGE2 LED	Visual Comfort	40K	18W	Standard / Right	---	750	1,200	2,000	---	---	---	---	---	---
WDGE2 LED	Visual Comfort	10W	18W	Standard / Right	---	1,200	2,000	3,000	4,500	6,000	---	---	---	---
WDGE2 LED	Precision Reflector	10W	18W	Standard / Right	700	1,200	2,000	3,000	4,500	---	---	---	---	---
WDGE2 LED	Precision Reflector	15W	18W	Standard / Right	---	7,500	8,500	10,000	12,000	---	---	---	---	---
WDGE2 LED	Precision Reflector	---	---	Standard / Right	---	12,000	16,000	20,000	22,000	25,000	---	---	---	---

Ordering Information

Series	Package	Color Temperature	CRI	Mounting	Voltage	Shipping included	Shipping separately
WDGE2 LED	P1	27K	90CRI	TRM	120V	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire
	P2	40K	90CRI	TRM	120V	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire
	P3	50K	90CRI	TRM	120V	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire
	P4	6000K	90CRI	TRM	120V	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire	1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire 1x 11.5" x 9" x 7" luminaire

SOAPPY BUCKET GENOA TOWNSHIP
 EXTERIOR PHOTOMETRIC PLAN
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 BK
 Date
 09/23/2024
 Scale
 Not to Scale
 Drawing No.
 #23-19570 V3



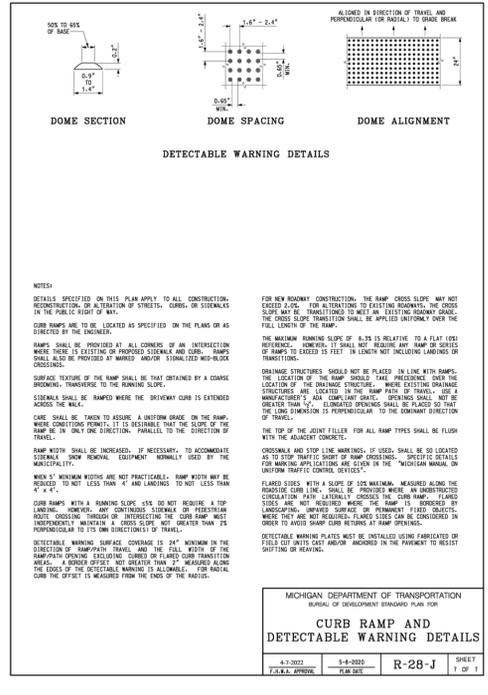
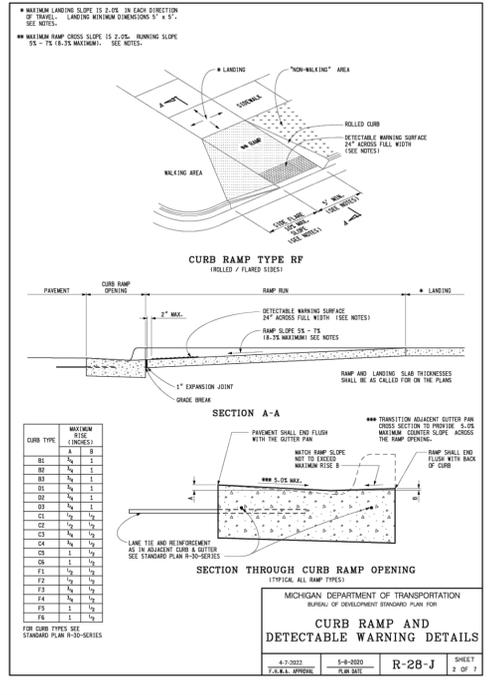
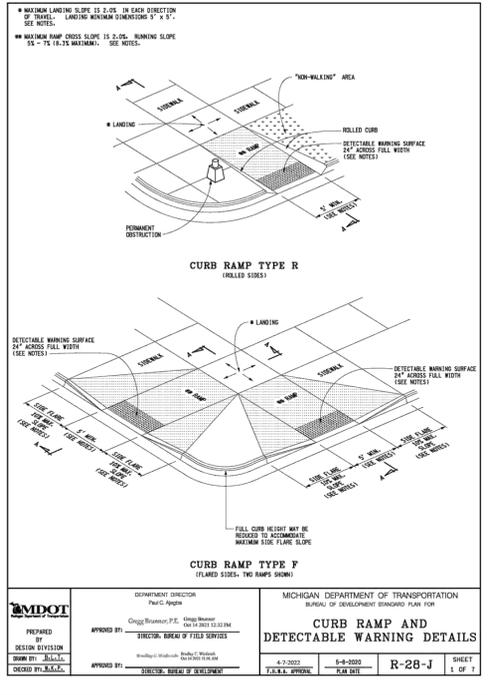
BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3358

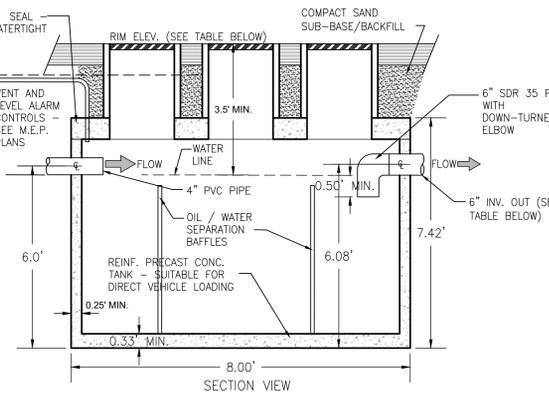
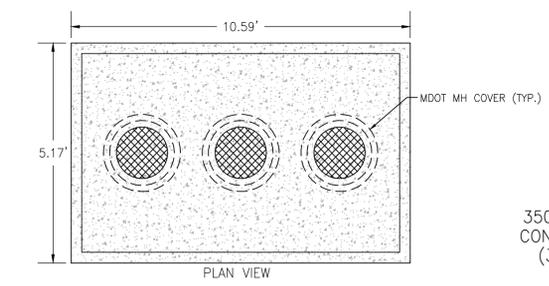
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NO.	DATE	REVISION PER
1	4-1-24	NO BY
2	6-20-24	SSC REVIEW COMMENTS
3	7/26/24	ELEC. TRANSFER
4	9/24/24	VACUUMS/ ENTRANCE

DESIGNED BY: ST
DRAWN BY: DH
CHECKED BY:
SCALE: NO SCALE
JOB NO: 23-134
DATE: 3/22/24
SHEET NO. 12

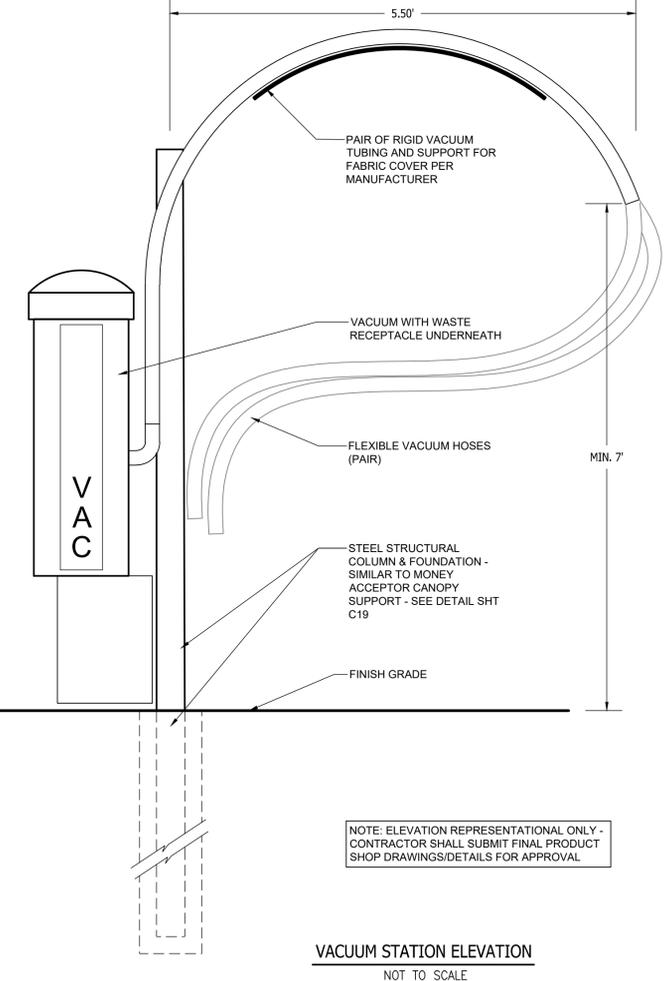
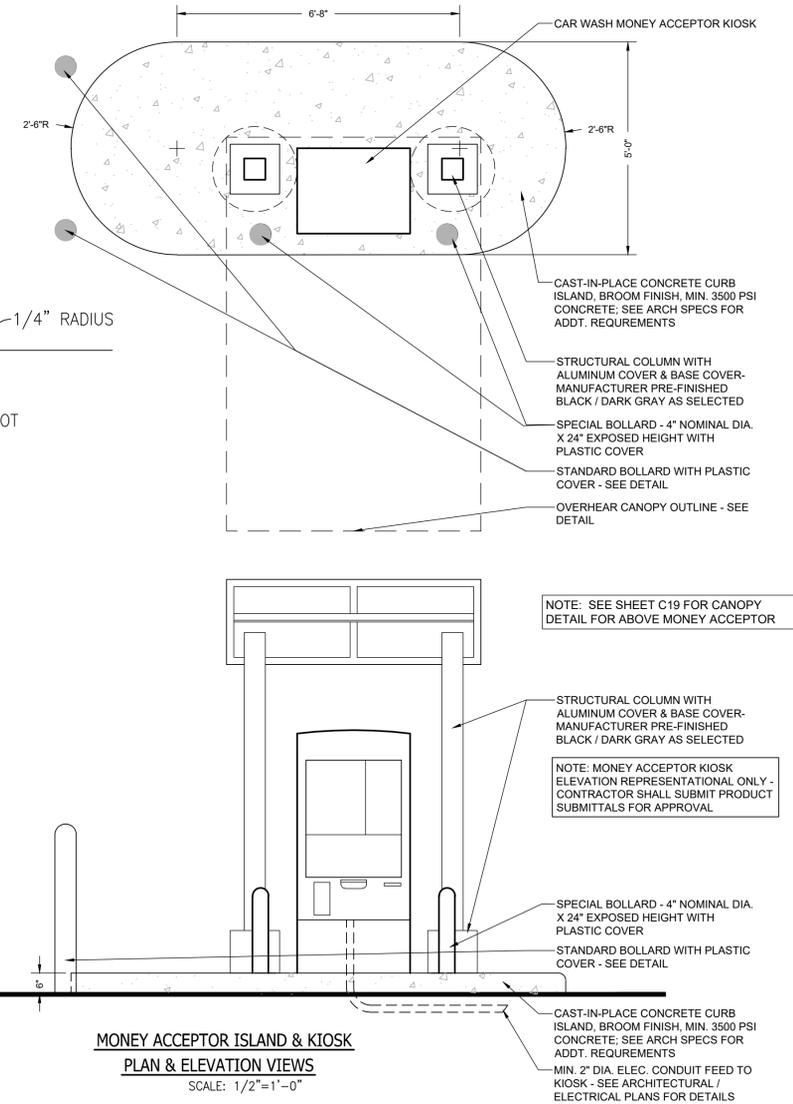
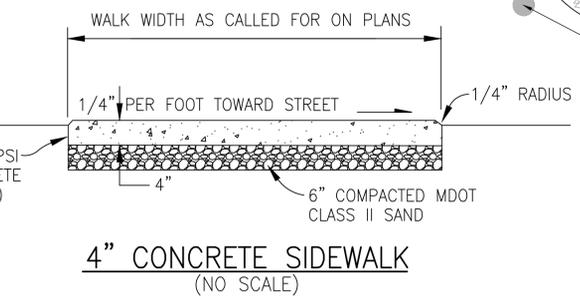


SEE SHEET 2 FOR GENERAL NOTES AND LEGEND



CARWASH MONITORING & OIL INTERCEPTOR TANK DTL (TYP.)
NOT TO SCALE

TANK DETAILS		
NAME	RIM ELEV.	6" INV. OUT
TANK 1	911.64	907.97
TANK 2	912.00	908.50
TANK 3	911.67	908.06
TANK 4	911.54	907.72
TANK 5	910.40	906.55



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THEREFORE, THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE THE LOCATION OR DEPTH OF ANY UTILITIES IS SIGNIFICANTLY FROM THE PLANS.

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

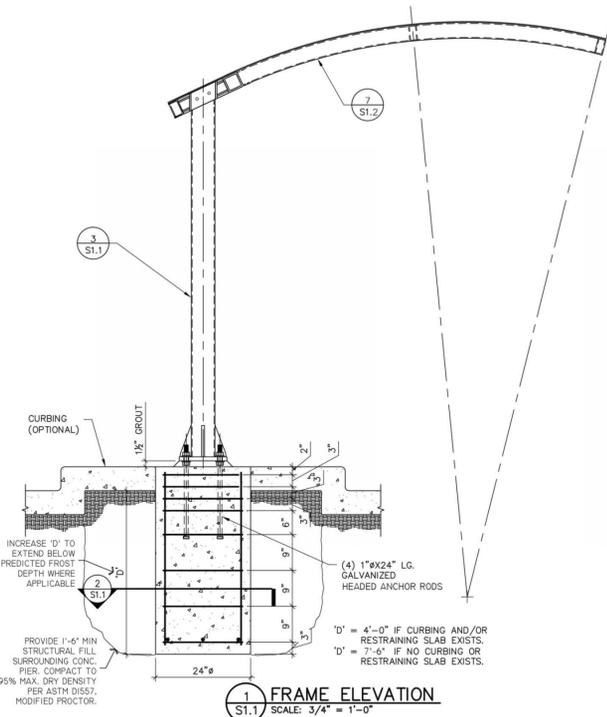
PROJECT: **SOAPY BUCKET CARWASH - LAWSON DR.**

PREPARED FOR: **SPRINGBORN PROPERTIES**
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

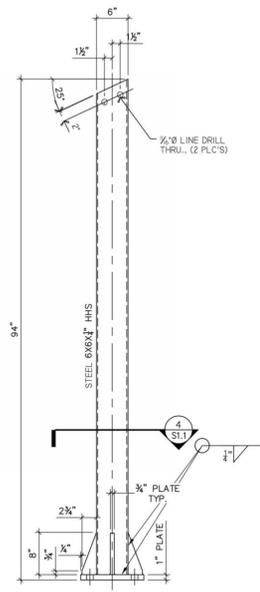
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1	INL	9/24/24	PROPERTY ACQ. / VACUUMS / ENTRANCE
2	PC	7/26/24	CONST. CHANGE / WTR. SERV. / MDO COVER
3	PC	6-20-24	CONST. CHANGES / ELEC. TRANSFER
4	PC	4-1-24	SSIC REVIEW COMMENTS

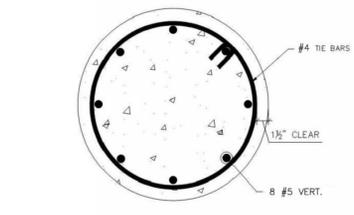
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DRAWN BY: AS NOTED
CHECKED BY:
SCALE: AS NOTED
JOB NO: **23-134**
DATE: 3/22/24
SHEET NO. **13**



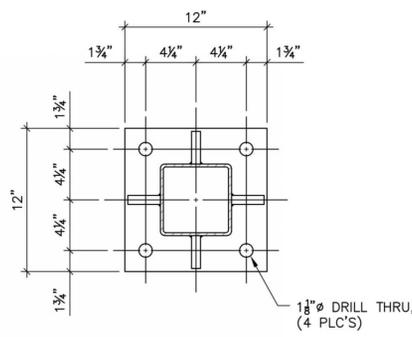
1 FRAME ELEVATION
S1.1 SCALE: 3/4" = 1'-0"



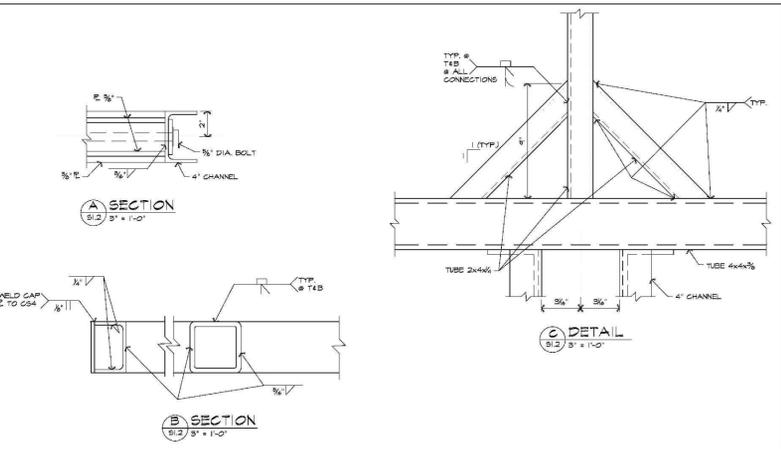
3 POST DETAIL
S1.1 SCALE: 1" = 1'-0"



2 SECTION THRU FOUNDATION
S1.1 SCALE: 1 1/2" = 1'-0"



4 SECTION - BASE PLATE
S1.1 SCALE: 1 1/2" = 1'-0"



MONEY ACCEPTOR CANOPY DETAILS
SCALES AS NOTED
[DRAWINGS PROVIDED - BY OTHERS]

STRUCTURAL STEEL NOTES

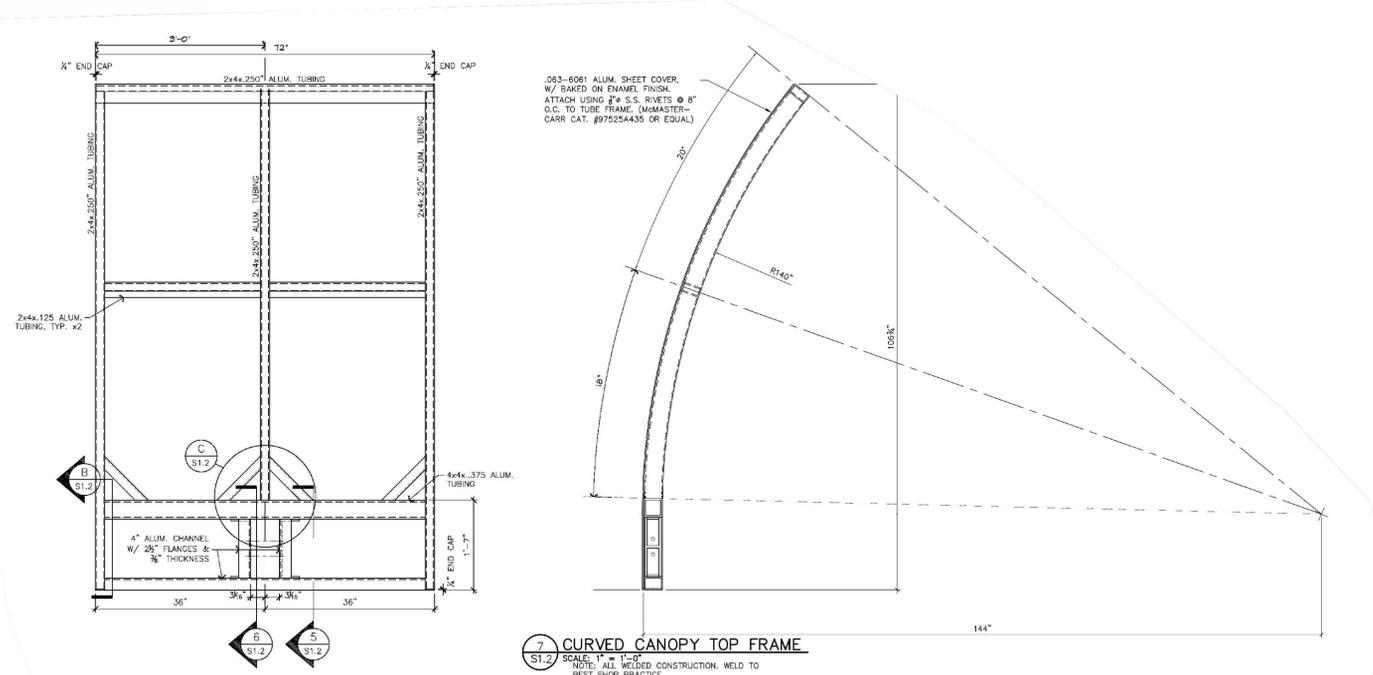
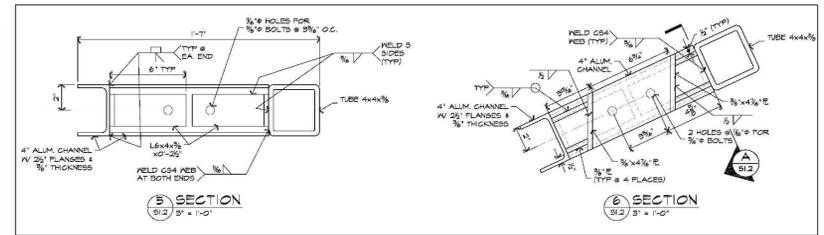
- COMPLY WITH AISC'S "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS--ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN," RCSC'S "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A 325 OR A 490 BOLTS," AND AWS D1.1 "STRUCTURAL WELDING CODE--STEEL."
- HOLLOW STEEL SECTIONS: ASTM A500, GRADE B, F_y = 46 KSI.
- PLATES, BARS & OTHER SHAPES: ASTM A36
- ANCHOR BOLTS & NUTS: ASTM F1554, GR. 36, HEADED RODS, AND ASTM A36 NUTS. INSURE THAT RODS ARE FREE OF OIL AND DEBRIS PRIOR TO PLACEMENT.
- GROUT: ASTM C 1107, NONMETALLIC, SHRINKAGE RESISTANT, PREMIXED.
- FABRICATE STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND TOLERANCE LIMITS OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" FOR STRUCTURAL STEEL.
- SHOP PRIMER: ONE COAT OF RED OXIDE, MIN. (2) MILS THICK. TOUCH-UP ANY DAMAGED SURFACES AFTER ERECTION.
- ERECT STRUCTURAL STEEL ACCORDING TO AISC SPECIFICATIONS AND WITHIN ERECTION TOLERANCES OF AISC'S "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES."
- SET BASE AND BEARING PLATES ON WEDGES, SHIMS, OR SETTING NUTS. TIGHTEN ANCHOR BOLTS, CUT OFF WEDGES OR SHIMS FLUSH WITH EDGE OF PLATE, AND PACK GROUT SOLIDLY BETWEEN BEARING SURFACES AND PLATES.
- ALL WELDING SHALL BE DONE IN ACCORDANCE WITH AWS BY CERTIFIED WELDERS. WELD FILLER ALLOY SHALL BE ONE OF THE FOLLOWING: 5183, 5356, 5554, OR 5556.
- BREAK ALL SHARP EDGES.
- ALL ALUMINUM SHALL BE 6061 ALLOY.
- THE STRUCTURE IS DESIGNED FOR LOADS IN ACCORDANCE WITH THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE 2005 EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS PUBLICATION "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES", ASCE7-05.

- A. ROOF LIVE LOAD: 25 PSF
- B. WIND LOAD:
- BASIC WIND SPEED V = 120 MPH
 - WIND IMPORTANCE FACTOR I = 1
 - OCCUPANCY CATEGORY II
 - WIND EXPOSURE EXPOSURE B
 - INTERNAL PRESSURE COEFFICIENT GCPI = 0.0
- C. FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE = 2000 PSF.

CAST-IN-PLACE CONCRETE

- COMPLY WITH ASTM C94; ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"; ACI 318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"; AND CRSI'S "MANUAL OF STANDARD PRACTICE."
- CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI. CONCRETE THAT WILL NOT BE EXPOSED TO FREEZE-THAW CYCLES SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- REINFORCING BARS SHALL NOT BE SPLICED.
- DEFORMED REINFORCING BARS: ASTM A615, GRADE 60.
- PORTLAND CEMENT: ASTM C150, TYPE 1.
- FLY ASH: ASTM C618, TYPE F (LIMITED TO 15 PERCENT OF TOTAL CEMENT CONTENT).
- PROPORTION NORMAL-WEIGHT CONCRETE MIXES TO PROVIDE THE FOLLOWING PROPERTIES:
A. COMPRESSIVE STRENGTH: 3000 PSI AT 28 DAYS FOR BUILDING FOUNDATIONS AND FOOTINGS.
- DO NOT ADD WATER TO CONCRETE DURING DELIVERY, AT PROJECT SITE, OR DURING PLACEMENT, UNLESS APPROVED BY ENGINEER.
- PROTECT CONCRETE FROM PHYSICAL DAMAGE OR REDUCED STRENGTH DUE TO WEATHER EXTREMES DURING MIXING, PLACING, AND CURING. REPAIR SURFACE DEFECTS AS REQ'D.
- STRUCTURAL FILL SHALL BE CLEAN, NON-FROST SUSCEPTIBLE SAND AND GRAVEL MEETING THE GRADATION REQUIREMENTS GIVEN BELOW:

STRUCTURAL FILL	
SIEVE SIZE	PERCENT FINER BY WEIGHT
4 INCH	100
3 INCH	90 TO 100
3/4 INCH	25 TO 90
#40	0 TO 30
#200	0 TO 5



7 CURVED CANOPY TOP FRAME
S1.2 SCALE: 1" = 1'-0"

SEE SHEET 2 FOR GENERAL NOTES AND LEGEND

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BEFORE ANY DIGGING CALL M.S.S. DIG 1-800-482-7171 or call 517-546-4836

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
517.546.4836 FAX 517.548.1670

PROJECT: SOAPY BUCKET CARWASH - LAWSON DR.
PREPARED FOR: SPRINGBORN PROPERTIES
3332 HIGH HILLCREST DRIVE
HOWELL, MI. 48843
313.350.3388

TITLE: CONSTRUCTION DETAILS-3

NO	BY	DATE	REVISION PER
1	PC	4-1-24	SSC REVIEW COMMENTS
2	PC	6-20-24	ELEC. TRANSFER
3	PC	7/26/24	MISC. COMMENTS
4	NL	9/24/24	PROPERTY ACQ. / VACUUMS/ ENTRANCE

DESIGNED BY: BY OTHERS
DRAWN BY: BY OTHERS
CHECKED BY:
SCALE: AS NOTED
JOB NO: 23-134
DATE: 3/22/24
SHEET NO. 14

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
PUBLIC HEARING
September 9, 2024**

MINUTES

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Jeff Dhaenens, Tim Chouinard, and Glynis McBain. Absent were Greg Rassel and Eric Rauch. Also present were Planning Director Amy Ruthig, Shelby Byrne of Tetra Tech, and Brian Borden of Safebuilt.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner McCreary, supported by Commissioner Dhaenens, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

None

CALL TO THE PUBLIC:

The call to the public was made at 6:31 pm with no response.

OPEN PUBLIC HEARING #1...Consideration of a site plan amendment for a proposed 56-space parking lot addition for Community Bible Church. The property is located at 7372 Grand River Avenue, southwest corner of Grand River and Harte Drive. The request is petitioned by Tower Group.

A. Disposition of Site Plan (9-4-24)

Mr. Scott Tousignant of Boss Engineering and Mr. Brian Townsley of Tower Group were present. Mr. Tousignant showed the revised site plan. The change is the parking lot has been shifted 10 feet to meet the required setback from Harte Drive and the internal sidewalk has been removed.

Mr. Borden reviewed his letter dated September 3, 2024.

1. The excess parking proposed requires Planning Commission approval in accordance with Section 14.02.06.
2. The applicant must address any comments provided by the Township's engineering consultant and/or the Brighton Area Fire Authority.

He added that they meet all of the ordinance requirements; however, they are over the maximum allowable parking by 170 percent but they provided the justification for that at the previous meeting.

Ms. Byrne stated she has no issues with the plan.

The Brighton Area Fire Authority Fire Marshal's letter dated September 4, 2024, states the following:

The Fire Authority is conditionally accepting the current proposed layout based on the existing access sidewalk remaining in place equipped for fire apparatus access. If the remaining future additions are constructed, the parking lot will require reconfiguration to accommodate emergency vehicle access and circulation.

Mr. Tousignant stated they are working with Mr. Harte for a shared parking agreement. When that is confirmed, they will provide a copy to the township.

The call to the public was made at 6:37 pm with no response.

Moved by Commissioner Chouinard, supported by Commissioner Dhaenens, to approve the site plan amendment dated August 20, 2024 for a proposed 56-space parking lot addition for Community Bible Church, with the following conditions:

- Per Section 14.02.06 of the ordinance, the Planning Commission approves the 170 percent excess parking
- The applicant shall work to secure a shared parking agreement with Mr. Harte and provide a copy of that agreement to the township.

The motion carried unanimously.

OPEN PUBLIC HEARING #2...Consideration of a rezoning application and environmental impact assessment to rezone parcel 4711-23-100-005 (125 acres) and a portion of parcel 4711-14-300-030 (14 acres of 50 acres) from Agriculture (AG) to Public Recreation Facilities (PRF). The properties are located on the north and south side of Crooked Lake Road, east of Dorr Road. The request is petitioned by Genoa Charter Township.

A. Recommendation of Rezoning.

B. Recommendation of Environmental Impact Assessment (9-4-24)

Ms. Ruthig stated the township was able to buy the old Herbst farm property. Staff is proposing to rezone it from Agriculture to Public Recreation Facilities.

Mr. Borden reviewed his letter dated September 6, 2024.

1. Overall, PRF zoning is consistent with the rezoning criteria of Section 22.04 of the Township Zoning Ordinance.

2. The majority of the subject property is planned as Public, which is consistent with PRF zoning. The remaining area is planned for Large Lot Residential due to the fact that the Township did not own this portion of the property when the Master Plan was adopted.
3. The request is consistent with the goals and objectives of the Township's Master Plan, as well as the intent and purpose of the PRF District and Zoning Ordinance.
4. The request is anticipated to be compatible with environmental conditions and the surrounding area.
5. The host of uses permitted in PRF are compatible with existing and planned uses in the surrounding area.
6. PRF zoning is appropriate based on current site conditions and ownership.
7. Consideration should be given to any technical comments provided by the Township Engineer, Utilities Director and/or Fire Authority with respect to compatibility/capacity of infrastructure and services.

Ms. Byre had no comments as she prepared the Impact Assessment.

Commissioner Chouinard asked if there are plans for the house. Ms. Ruthig stated that MHOG is restoring the barns on the site to store their materials. Staff is working with an architect to provide information on what can be done with the house and how much it will cost.

There was a discussion regarding what types of uses are planned for this property. Ms. Ruthig noted there is a site plan in the packet; however, it is just a concept. Mr. Borden stated this property is consistent with both the master plan and the recreation plan.

The call to the public was made at 6:48 pm.

Ms. Janice Carl of 3125 Old Carriage Trail asked when the plan for this property will be available for the community to review. Ms. Ruthig stated there are no current plans for these properties. Ms. Carl stated the sledding hill light stays lit most of the night in the winter. She wants to review the plans to make sure there are no lights that stay on at night and what the noise level will be.

Ms. Laura Trout of 6285 Crooked Lake stated that anything that is done on these two properties will immediately affect them as their property is in the middle of them. She asked if Crooked Lake will be paved. There are cars that speed up and down the road late at night and they dump trash. She asked how the township will address this, will there be increased security, and what will the level of traffic be. Chairman Grajek advised that this is very preliminary and when plans are proposed, there will be public meetings to receive residents' comments.

The call to the public was closed at 6:55 pm.

Moved by Commissioner Dhaenens, supported by Commissioner Chouinard, to recommend to the Township Board approval of the rezoning application to rezone parcel 4711-23-100-005 (125 acres) and a portion of parcel 4711-14-300-030 (14 acres of 50 acres) from Agriculture (AG) to Public Recreation Facilities (PRF) as this is consistent with the Townships Future Land Use Map, goals of the township and its citizens for recreational facilities, and will not have a negative impact on the township citizens. **The motion carried unanimously.**

No commissioners had concerns or questions regarding the Impact Assessment.

Moved by Commissioner Dhaenens, supported by Commissioner McCreary, to recommend to the Township Board approval of the Environmental Impact Assessment dated 9-4-24 to rezone parcel 4711-23-100-005 (125 acres) and a portion of parcel 4711-14-300-030 (14 acres of 50 acres) from Agriculture (AG) to Public Recreation Facilities (PRF). **The motion carried unanimously.**

ADMINISTRATIVE BUSINESS:

Staff Report

Ms. Ruthig stated the Special Planning Commission meeting is confirmed for September 17 at the Brighton Center for the Performing Arts. The packet will be available tomorrow or Wednesday.

There will be four cases on the October Planning Commission meeting agenda.

Staff has received the PUD Agreement for the apartment complex proposed for the corner of Dorr Road and Grand River. It is being reviewed by the township attorney.

Ms. Ruthig stated the trees have been installed on the Char-Ann property owned by Steve Gronow.

The Grand River Plaza submitted their site plan, but it did not show facade changes to the Dunham's store front, which was included in the original proposal. This is due to the lease agreement with the tenant. She is working with the developer.

Approval of the August 12, 2024 Planning Commission meeting minutes

One change was noted.

Moved by Commissioner McCreary, seconded by Commissioner Chouinard, to approve the minutes of the August 12, 2024 Planning Commission Meeting as amended. **The motion carried unanimously.**

Member Discussion

Ms. Ruthig stated that the case regarding the residents in the Glen Echo Subdivision is back in the Livingston County Courts after being heard by the Supreme Court..

Adjournment

Moved by Commissioner McCreary, seconded by Commissioner McBain, to adjourn the meeting at 7:12 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary

DRAFT

**GENOA CHARTER TOWNSHIP
PLANNING COMMISSION
SPECIAL MEETING
7878 Brighton Road
Brighton, MI 48116
PUBLIC HEARING
June 10, 2024**

MINUTES

CALL TO ORDER: Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:30 p.m. Present were Chris Grajek, Marianne McCreary, Jeff Dhaenens, and Tim Chouinard, and Glynis McBain, Absent were Greg Rassel and Eric Rauch. Also present were Kelly VanMarter, Township Manager, Township Attorney Joe Seward, Planning Director Amy Ruthig, Brian Borden of Safebuilt, and Shelby Byrne of Tetra Tech.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner McCreary, supported by Commissioner Dhaenens, to approve the agenda with addition of a presentation by the Township Manager. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST:

None

TOWNSHIP MANAGER PRESENTATION

Ms. VanMarter provided a presentation introducing the Planning Commissioners, noting there are two members absent this evening, the laws of the planning process, next steps after tonight's meeting, the procedures, rules, and expectations for tonight's meeting, tonight's order of events, and the public comment process.

Attorney Seward provided a description of the PUD process per the State of Michigan Statute. The Planning Commission does not make a decision on the items this evening; they make recommendations to the Township Board for their decision. He understands that the public believes that the PUD Agreement has expired because the ordinance only allows for two years; however, the PUD Agreement with the applicant states that it shall be in effect for seven years.

CALL TO THE PUBLIC:

The call to the public was made at 6:44 pm with no response.

OPEN PUBLIC HEARING #1... Consideration of an amendment to the Latson Road Innovation Interchange PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan. The PUD amendment includes amendments to the list of uses, PUD design guidelines and the conceptual PUD plan. The parcels included in the request are as follows: 1882 Latson Road (4711-08-400-020), 1896 Latson Road (4711-08-400-006), 1908 Latson Road (4711-08-400-004), 3799 Clover Bend Ct. (4711-08-400-012), 3796 Clover Bend Ct. (4711-08-400-013), 3854 Clover Bend Ct. (4711-08-400-014), 3912 Clover Bend Ct. (4711-08-400-015) and vacant parcel #4711-17-200-008 which are located south of the CSX Rail Line on the west side of Latson Road. Also includes 1895 Latson Road (4711-09-300-031) located east of Latson Road and south of the CSX Rail Line and vacant parcel #4711-09-300-044 located on the north side of Beck Road, south of expressway ramp. The request also includes the removal of parcel 4711-09-300-040 (5.74 acres) that is currently zoned ICPUD and is proposed to be removed from the existing Innovation Interchange PUD and incorporated into the proposed Latson Road/I-96 Interchange Commercial PUD. The request is petitioned by Todd Wyett.

- A. Recommendation of PUD Agreement Amendment
- B. Recommendation of Environmental Impact Assessment
- C. Recommendation of amended Conceptual Plan

Mr. Alan Green, representing the property owner and the developer, provided a history of the Latson Road and I-96 interchange, and the master planning of the property in the area to allow regional economic developmental opportunities for both the City of Howell and Genoa Township. There was engineering done to determine what water and sewer improvements were needed to accommodate this type of development. MHOG has upgraded the sewer mains in this area. The Township then developed zoning classifications to allow the development of this area.

In 2019, the developer presented the PUD to the Township and public meetings were held. The PUD Agreement was approved in October of 2020. One of the conditions of this approval was that the developer install the water and sewer based on what was determined to be needed by the Township. This was completed in 2022.

He reviewed the revisions to the PUD Agreement being requested this evening, which is to remove the commercial uses from the east side of Latson Road, south of the railroad and move them to the north, closer to the interchange. Then the area to the south will allow for the same types of uses that are allowed in the portion of the PUD on the west side of Latson Road. He showed the proposed changes on a site plan map.

Mr. Brad Strader with MKSK Studios showed a concept plan. He provided a review of the proposed amendments and which type of uses and building sizes would be allowed and which ones would be prohibited. He showed the increased landscape buffers that are being proposed.

Mr. Eric Lord from Atwell Hicks showed the water and sewer utilities that have been installed on the site, noting that the developer has spent over \$1 million to install these utilities. The change of uses being proposed on the east side of Latson Road will reduce the amount of traffic from what was originally proposed.

Mr. Borden reviewed his letter dated September 10, 2024.

1. PUD Agreement:
 - a. The applicant must address any comments provided by the Township Attorney and staff.
 - b. He suggests that language regarding the timing of development remain, such that development must commence on the west side of Latson Road prior to the east side.
 - c. He noted Exhibits A and B need minor corrections.
2. Use Tables:
 - a. The applicant must provide a track changes version of the Use Table from the currently approved version.
 - b. Buildings greater than 40,000 square feet in the west area should be listed as "permitted" as opposed to "N/A".
 - c. He suggests that accessory outdoor storage be prohibited in the east area, as opposed to being special land use, which is how it is now.
3. Conceptual PUD Plan/Design Guidelines:

They have addressed his concerns, however, there are changes needed
4. Impact Assessment:
 - a. The revised Impact Assessment has corrected the discrepancies noted in his initial review letter.

Ms. Byrne reviewed her letter dated September 10, 2024.

The site plan provided is still very conceptual and all future developments within the PUD will need to have their own site plan review and approval.

SANITARY AND WATER SERVICES

1. The previous impact assessment noted that the PUD will be serviced by water and sewer services through MHOG and GO-SWATH. Water and sanitary sewer extension to the south side of I-96 has been completed in anticipation of the proposed development. Furthermore, the expanded PUD area was already included in the assumptions made when completing the basis of design for the South Latson Road Water and Sewer improvements.

TRAFFIC AND ROAD CONCEPTS

1. Upon review of the Fleis & Vandenbrink executive memo for the Latson Road PUD Amendment it is apparent that light industrial use will generate less traffic than the originally proposed retail/service uses. Even if the numbers are off a bit in the end, she believes what matters is that the total number of trips would be less than originally evaluated in the study, which is the finding of this report.

2. It should be noted that the difference in trips reported would be at the site driveways; however, the trip difference for new trips on the adjacent roadway network would be less given the relatively high portion of pass-by trips:
 - o Original commercial development, total trips, AM inbound: 170
 - o Proposed light industrial development, total trips, AM inbound: 51
 - o Difference: 119 trips, but this is at the site driveway

As the site is developed, additional traffic counts will be needed.

Ms. Julie Kroll of Fleiss and Vanderbrink stated the trip generation is what was decreased when the proposed uses were changed on the east side of Latson Road. Commissioner McCreary noted that there are softball fields being developed to the south of this site so she asked if they were included. Ms. Kroll stated that was not included in this study. Additional traffic studies will be done when specific users are determined.

Commissioner Dhaenens asked the developer if they would consider a 100-foot buffer using some of the existing trees. Mr. Green stated if there is existing vegetation to accommodate that size buffer, they would consider it. Has also asked if it has been determined that there is a need for these types of uses in this area. Mr. Green stated they were under contract for almost all of 2023 with a significant user for a large part of the west side, and they changed their mind. They have also had inquiries for potential users. This is considered to be a prime development site.

Ms. VanMarter advised the Planning Commission that she and Ms. Ruthig were aware that there was interest in this land, but they were not aware that there was a contract.

Commissioner McCreary asked if there is any thought for the development of colleges, universities or higher education. They are not listed in the PUD but are in the ordinance. Mr. Green noted it is a permitted use, but they have not had discussions regarding that type of use. Mr. Borden stated that since it is in the ordinance, it would be allowed but agrees it would be clearer if they were included in the PUD Agreement.

Commissioner McCreary knows that the applicant has spent a significant amount of time and money to develop this the correct way and she finds that this PUD as intended is to complement the area around it. It is not to duplicate the areas around the Latson Road Grand River area, but to add additional amenities. She finds that the submission is not acceptable to be reviewed due to the many outstanding items and corrections that are needed as noted by staff. She is recommending that Item #1 to be postponed this evening.

Moved by Commissioner McCreary, supported by Commissioner Chouinard, to postpone approval of the PUD Agreement Amendment, Environmental Impact Assessment, and amended Conceptual Plan to allow the applicant to address the issues in the packet noted by township staff and provide a clearer and more precise packet. **The motion carried unanimously.**

Commissioner Dhaenens values Mr. Rassel and Mr. Rauch's input. He would like to have them present. The uses make sense where they are being moved to, but there are details that are missing.

Commissioner Chouinard would like to see which trees would be saved to accommodate the possibly larger buffer zone.

Commissioner McBain would like to have more details so the Planning Commission knows what they are voting on. She would like to see the larger buffers so the residents can continue to enjoy the beauty of the area. She doesn't see who is responsible for maintaining all of the landscaping, and other elements after the construction is complete.

The call to the public was opened at 7:38 pm.

Ms. Denise Pollicella of 4200 Sweet Road is the representative for the Coalition to Stop the Latson Road PUD. They do not oppose rezoning of this area, but they do oppose this rezoning. They are in favor of responsible development, but they do not believe this is the township's vision. Her legal opinion is that the PUD is expired. She thanked the township for including the coalition in the discussions. The current application is over 220 pages and was done in a hurry and is very sloppy work. They need noise mitigation, light pollution mitigation, and they want the developer to ensure this development is compatible with the surrounding residential properties.

Mr. Bill Reiber of 3154 Stillriver Drive thanked the Planning Commission for noting that there needs to be more clarification, who will maintain the property, and if there is a need for this. He asked the people here tonight to raise their hand if they are part of the coalition. There are a lot of people here who voted on August 6 because they were not happy how this was going. He urges the Planning Commission to also table Item #2.

Mr. Josh Moore of 3210 Lakewood Shores Drive spoke about the American flag that was hung this evening.

Mr. Andrew Kimball of 1039 E Davis Road stated there are a lot of vacant industrial and commercial properties in Genoa Township. He has not met one person in this township who said they want this development. They do not want industries and more gas stations. People moved here to get away from commercial development. He requests that this is tabled.

Mr. Mike Wilbanks of 2914 Russell Drive moved here for the greenspace. Genoa Township is the crown jewel of the area. People moved here to get away from development. People can stop this and not give in to corporations. He asked the board to keep the residents' interests in mind.

Mr. Rick Soucy of 4554 Golf View Drive stated the way people feel about this has not changed. We cannot stop the developer but we can make it be something we can live with.

Ms. Michelle Herbert of 4857 New Haven Drive expressed her concerns with the process. People do not want this. The board should listen to the people.

Ms. Evelyn Malloy of 10915 Arbour Drive worked 26 years in zoning, planning, and code enforcement. Many times she visited light industrial areas for smoke, light pollution, noise, stench, etc. complaints. There are many code enforcement issues that can come from this type of use. There should be more detailed information and definitions provided to the public at this meeting.

Ms. Linda Byer of 2627 Chilson Road agrees with what was said this evening. She suggested a locally owned restaurant village for the east side of Latson Road. She asked the township to listen to the public tonight.

Ms. Janine Iyer of 2396 Brighton Road thanked the commissioners for their service to the community, thoughtfully reviewing the proposal, and the comments this evening. This has been rushed through and going forward it should be looked at methodically. Residents do not want this development.

Ms. Diane Hoskins of 4166 Sweet Road has lived here for 43 years and has a refuge for the wildlife which have been pushed out, and this will push them out more. There are vacant properties in Livingston County. When Latson Road was widened, many people lost parts of their property. The community would not welcome this development.

Ms. Tracy Pardiac agrees with the question if there is a need for this. She agrees with Mr. Dhaenens that this is going to be developed, but not like this. She summarized the results of a township survey, noting that most residents want to maintain open space. The township didn't listen to their own residents.

Mr. Eric Herbert of 4857 New Haven reviewed the ordinance where it speaks that development must be compatible with surrounding uses and how it will affect the surrounding properties. There should be details how this development will affect property values. He would like to have this tabled until the new Board of Trustees is sworn in on November 20.

Ms. Suzanne Cunningham of 3413 Dewdrop Lane objects to the need for and the location of the gas station. It is located near 12 residential water wells. The runoff can affect these.

Mr. Eugene Ivanov of 2620 S Latson Road stated the answers on the developer's application show that it was not taken seriously. There is no proof that there is a need for this development. There are vacant properties on Grand River. There will be increased traffic.

Genoa Township Planning Commission Special Meeting
September 17, 2024
Unapproved Minutes

Ms. Jim McArdle of 2581 Fishbeck Road stated that if a community college was developed here, it would bring more traffic. He does not know if there is a need for another hotel. The only people who are interested in this are the developer and the people who want to sell their property.

Ms. Kristine Lindsey of 3920 Highcrest can stand in her yard on Crooked Lake and hear I-96 when it is quiet and this will not get any better if this is developed. The application states that crime, emergency services, tax burdens, and impact on public facilities will all be minimal. This statement is not backed up by this statement. These uses bring crime. This will increase the tax burden for these services.

Debra Towles of 3210 Pineview Trail backs up to this development. She urges the Planning Commission to table Agenda Item #2 also. If something is going to be built there, it should serve the community. This will not serve the community. There is a housing and labor shortage in this community. She asked the developer to publish a list of all who are interested in this property, asked when the traffic study was done, and asked if the commission would have a sit-down meeting with the coalition representatives and Mr. Wyett and work on this together.

Mr. Ben Marhofer of 4179 Sweet Road stated his home is very close to the proposed gas station. He moved to Genoa Township in 2013 and has three kids. He wants to raise his family in a safe neighborhood. He urged the Planning Commission to table this item until the new Board of Trustees is sworn in.

Ms. Deb Beattie of 3109 Pineview Trail has lived here for 35 years. She agrees with what has been said this evening. In 2020, the residents were not aware of the meeting and she is upset they were not included. The residents are clear as to what they will and will not accept.

Mr. Mark Behreht of 4180 Timberview Drive disagrees with the demand for this development. This area has always been and should stay a bedroom community. The decision that was done can be undone. The township should do the right things for the residents.

Mr. Alan Rankin of 3875 Cloverview Court invited everyone to drive down his private road. It is beautiful. It will be surrounded on three sides by this development. He was at the meeting in October 2020 and pleaded with the Planning Commission to not approve this. There are hardwood trees and wildlife around his property. It was unfair that it was done during COVID. He loves this community and the people. Todd Wyett never told him or his neighbors what he wanted to do with his property.

Ms. Melanie Johnson of 3990 Chilson Road asked if Mr. Wyett has been involved in this property and this interchange since the 1990's.

The call to the public was closed at 8:39 pm.

Ms. Ruthig read an email submitted by Susan Nickels of 4935 Fairways Drive opposing this amendment. She asked to have it tabled until the new Board of Trustees can review it. She provided graphs showing the public responses from the Livingston County Master Plan workshop, showing most people want open space and do not want manufacturing, distribution and warehouses, and research and development.

The Planning Commission took a 10-minute break from 8:43 to 8:53 pm.

OPEN PUBLIC HEARING #2... Consideration of a rezoning application, PUD Agreement, Environmental Impact Assessment and conceptual PUD Plan requesting approval for the Latson Road/I-96 Interchange Commercial PUD. The proposed development involves rezoning parcel 4711-09-300-046 (7.44 acres) from CE to ICPUD. Parcel 4711-09-300-040 (5.74 acres) is currently zoned ICPUD and is proposed to be removed from the existing Innovation Interchange/Latson Road PUD and incorporated into the proposed Latson Road/I-96 Interchange Commercial PUD with parcel 4711-09-300-046. The parcels are located east of Latson Road, between Beck Road and the CSX rail line. The request is petitioned by Todd Wyett.

- A. Recommendation of Rezoning
- B. Recommendation of Environmental Impact Assessment
- C. Recommendation of PUD Agreement
- D. Recommendation of Conceptual PUD Plan

Mr. Alan Green, representing the property owner and the developer, reviewed the proposal, which is a new PUD of seven acres on the east side of Latson Road, north of the railroad tracks and south of Beck Road that was purchased from MDOT. They would like it to be rezoned to a ICPUD and the approximate five acres to the east of this property be added to it. Uses here could be retail, hotel, gas station, coffee shop, etc.

Mr. Brad Strader with MKSK Studios showed a concept plan and the design guidelines. He provided a review of which type of uses would be allowed and which ones would be restricted.

Mr. Eric Lord from Atwell Hicks reviewed the utilities on the site.

Ms. Julie Kroll of Fleiss and Vanderbrink reviewed the traffic impact study for this property, which included the methodology of performing the study and her traffic improvement recommendations.

Mr. Borden reviewed his letter dated September 10, 2024.

1. PUD Qualifying Conditions (Section 10.02):
 - a. The Township may reduce the minimum site area provided “the design elements of a proposed development are integrated into and consistent with the broader Master Plan Latson Road Subarea Plans with compatible land uses.”
 - b. The application form states that public utilities are available; however, the Impact Assessment identifies the sewer extension as proposed (water is currently available).
 - c. He suggests the applicant provide a Utility Construction Agreement as part of this project.
 - d. The applicant must address any technical comments provided by the Township Engineer and/or Utilities Director.
2. Rezoning Criteria (Section 22.04):
 - a. The proposed zoning designation of ICPUD is consistent with the I-96/Latson Road Subarea Plan and goals of the Township Master Plan.
 - b. If the wetland is regulated, it should be blended into the overall site design.
 - c. The applicant must address any technical comments provided by the Township’s engineering consultant, Utilities Director and/or Brighton Area Fire Authority.
 - d. Rezoning is necessary to implement the vision and goals of the I-96/Latson Road Subarea Plan.
3. Conceptual PUD Plan, including PUD Agreement and Design Guidelines (Section 10.03.06):
 - a. There is an inconsistency between the PUD Agreement and Design Guidelines with respect to the height of a hotel.
 - b. The applicant must address any comments provided by the Township’s engineering consultant and/or the Livingston County Road Commission with respect to the Traffic Impact Study.
 - c. The applicant must address any comments provided by the Utilities Director.
 - d. The applicant must address staff and/or Township Attorney comments.

Ms. Byrne reviewed her letter dated September 10, 2024.

The site plan provided is conceptual and her comments on the engineering design are general in nature.

SANITARY AND WATER SERVICES

1. The impact assessment shows that this development will connect to the proposed gravity sewer along Latson Road to a proposed pump station. The sewer, pump station, and force main will need to be constructed as part of this development. When the sewer system is designed it will need to be coordinated with the Innovation Interchange PUD on the west side of Latson Road to ensure both PUDs can be served by the proposed pump station.

DRAINAGE AND GRADING

1. The impact assessment states that a stormwater management system will be designed for the development in accordance with LCDC requirements. The site is tributary to the Marion Genoa Drain that is a county maintained and operated drain. The LCDC office will need to be included in the stormwater master plan development process.

TRAFFIC AND ROAD CONCEPTS

1. The revised traffic impact study has addressed all her previous comments.

Commissioner Chouinard questioned when the main traffic study was done. Ms. Kroll stated it was done in May 2023.

Commissioner Dhaenens hopes that the developer is listening to the public comments. He thanked the applicant for reviewing this proposal.

Commissioner McCreary noted that the public would like to know every use that would be allowed and what would be prohibited. The application has comments from staff and the consultants and she believes this should be postponed because needs to be more clear.

- A. Recommendation of Rezoning
- B. Recommendation of Environmental Impact Assessment
- C. Recommendation of PUD Agreement
- D. Recommendation of Conceptual PUD Plan

Moved by Commissioner McCreary, supported by Commissioner McBain, to postpone approval of the Rezoning, Environmental Impact Assessment, PUD Agreement and Conceptual PUD Plan to allow the applicant to address the issues in the packet noted by township staff and provide a clearer and more precise packet. **The motion carried unanimously.**

Commissioner McBain stated that with the amount of opposition to this project, the petitioner should make sure that as much detail is included. She hopes that when it is returned there will be a lot more detail, what are some other options, and address the concerns of the community.

The call to the public was made at 9:24 pm.

Debra Towles of 3210 Pineview Trail stated previously the rezoning was done on the southern portion of Latson road from CE to this ICPUD, but if they are developing the west side first, why are they requesting to rezone the east side this evening.

Ms. Denise Pollicella of 4200 Sweet Road does not know why the applicant is looking to develop more land when the land he has is not being developed. There would be no buffer

between this development and the residents. She would suggest that townhomes be here to act as a buffer. A gas station would be sloping toward residential properties with no mitigation proposed. She thanked the Planning Commission and staff this evening.

Mr. Jim Carpenter of 4715 Stillmeadow agrees with the Planning Commission that the developer did not present a detailed plan. He is concerned about the proposed traffic improvements needed and there was no discussion about the traffic further south on Latson.

Ms. Evelyn Malloy of 10915 Arbour Drive complimented the planning consultant stating that the fire authority must review the plans. With planning, preserving mature trees and water quality should be considered.

Mr. Alan Rankin of 3875 Cloverview Court questioned if Mr. Wyett purchased this property from MDOT is this a conflict of interest because Todd Wyett was a Chairperson for Michigan State Transportation.

Mr. Greg Wallega of 4905 New Haven asked if the second item on tonight's agenda was approved by the Planning Commission and the Township Board and the first was not approved, could the developer start building on the east side of Latson Road. Ms. VanMarter stated that the first item on tonight's agenda included removal of land that is part of the second so the way they are currently proposed, they have to be done at the same time. She noted that two these proposals are conceptual only, so nothing would be able to be developed until final approval is received.

Mr. Andrew Kimball of 1039 East Davis Road asked if there is a wetland on this property and if so, would the 25 foot setback be observed. The wetlands need to be protected.

Ms. Kristine Lindsey of 3920 Highcrest Drive has lived in Genoa Township for more than 50 years and where she grew up has changed. When the residents saw what was approved in the original PUD they were astounded. There could be a 200,000 square foot warehouse on farmland. The developer should stay as close to the ordinance as possible.

Ms. Agnie Bisbikis of 2511 Little Sunset Trail is a new resident to Genoa Township. She understands that this has been approved, and it can be developed, but they did not move here for large warehouses.

Mr. Ben Marhofer of 4179 Sweet Road urged the Planning Commission to table this until the new trustees are sworn in. He is concerned about light and sound pollution. The buffer zone of 100 feet is not hard to ask.

Ms. Tracy Pardiac stated this is not needed or wanted by our community. The only reason for this project is Todd Wyett's wallet. He is going to come in and destroy the land, take his money and leave. The township should care.

The call to the public was closed at 9:43 pm.

ADMINISTRATIVE BUSINESS:

Adjournment

Moved by Commissioner McCreary, seconded by Commissioner Chouinard, to adjourn the meeting at 9:44 pm. **The motion carried unanimously.**

Respectfully Submitted,

Patty Thomas, Recording Secretary

DRAFT

Amy Ruthig

From: Adam VanTassell
Sent: Wednesday, September 25, 2024 7:37 PM
To: Amy Ruthig
Subject: Fw: Planning Commission Minutes

From: Joseph Moore <jmoore9622@gmail.com>
Sent: Wednesday, September 25, 2024 7:18:31 PM
To: info@genoa.org <info@genoa.org>
Subject: Planning Commission Minutes

Good Evening,

My name is Joseph Moore and I live at 3210 Lakewood Shores Dr, Howell MI 48843. The secretary recorded my name as "Josh Moore" which is completely wrong. Also, I didn't just speak about how the flag was "hung." I spoke about how the township disrespected the flag for the way it was displayed. The fact everyone else has a description of what they spoke about, the least y'all can do is record things properly. Starting with correcting my name and recording my concern correctly. I'll be waiting to hear from you.

Joseph Moore
3210 Lakewood Shores Dr
Howell, MI 48843
Cell 412-304-9333
[Jmoore9622@gmail.com](mailto:jmoore9622@gmail.com)