

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
OCTOBER 17, 2023  
6:30 P.M.  
AGENDA**

Call to Order:

Pledge of Allegiance:

Elections of Officers:

Introductions:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m)*

OLD BUSINESS:

1. 23-30...A request by Ben Cross and Chris Bonk, 5680 Glen Echo Drive, for a height and setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct new retaining walls and a fence.

NEW BUSINESS:

2. 23-25...A request by Christina Papi, 1604 Green Meadows, for side and front yard setback variances, and any other variance deemed necessary by the Zoning Board of Appeals to construct a garage.
3. 23-31...A request by Daniel Lalko, 4845 Pinehurst Court, for a rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct a patio.
4. 23-32...A request by John and Cheryl Cleary, 3820 Crystal Valley Road, for a front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct a detached garage.

Administrative Business:

1. Approval of minutes for the September 19, 2023 Zoning Board of Appeals meeting.
2. Correspondence
3. Member Discussion
4. Adjournment



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 23-30 Meeting Date: September 19, 2023

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Chris Bank Ben Cross Email: chrisbank@B5contractor.com  
crossbenjamin7@gmail.com  
 Property Address: 5680 Glen Echo Dr Phone: 248 462 0458  
 Present Zoning: LRR Tax Code: 11-10-301-126

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.

Please explain the proposed variance below:

1. Variance requested/intended property modifications: We are requesting a setback variance for retaining wall. We are requesting a variance for 6ft tall fence past front of existing home to replace old 6ft tall fence that was taken down recently. We are requesting a variance for the setback on steps to existing entry door.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Please see attached

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Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

Please see attached

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Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

Please see attached

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Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Please see attached

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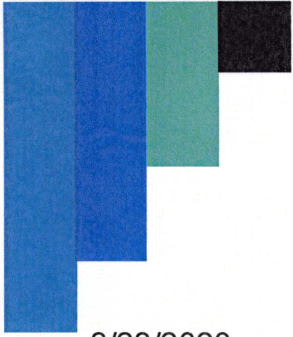
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**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 8/22/2023 Signature: Benji C



8/22/2023

Ben Cross  
5680 Glen Echo Dr.  
Howell, MI 48843

Genoa Twp  
Variance Application

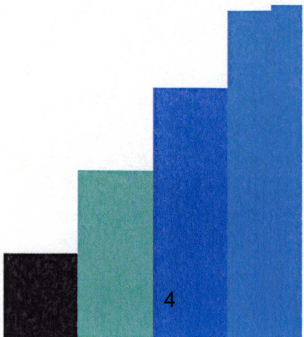
Dear Recipient,

**Practical Difficulty/Substantial Justice**

This site has many practical difficulties compared to most other residential properties in our township. To list a few of them, this home is located on a corner lot with basically two front yards (this impacts the setback requirements) as well as having slopes down to the road over 50% that are not maintainable. This property also has a multifamily apartment building with a large parking lot to the rear that has vehicles coming and going all hours of the day and night.

**Extraordinary Circumstances**

This site's topography is extreme to say the least. The front yard grade drops 6-8 ft over 10 linear feet along most of the east facing side and almost a 9ft drop on the west facing side. Retaining walls are a must to keep earth from eroding down the hill, and to protect the foundation of the home and steps to go up to the existing entry of the home. The rear property line had an existing 6ft privacy fence to the corner which was removed to be replaced with a new one. The current resident did not create either of these situations but is only trying to keep his property in good repair. In it's current state, his foundation and sidewalks to his existing entry door are being eroded. Having no fence along the apartment building parking lot is a safety hazard for him and his family including pets. All residents should be able to have access to their home in a safe manor.





**Public Safety and Welfare**

This site is currently a safety and welfare concern for both the resident and the community as it stands. If the Variance is granted the site will be much safer for all. Currently there are boulder walls right to the road on the east facing side that vehicles can and do hit during winter conditions coming down the hill. With our plan there will be an additional 4 ft from right away creating much safer conditions. The resident will be able to maintain his property and enter his home safely along with protecting the foundation, stairs and walks.

**Impact on Surrounding Neighborhood**

Granting this variance will have a net positive impact on all the neighbors, by creating a safer and maintainable site for all.

Warm regards,

**Chris Bonk, B5 Contractor Service**  
Residents' representative



2911 Dorr Road  
 Brighton, MI 48116  
 810.227.5225  
 810.227.3420 fax  
 genoa.org

**SUPERVISOR**

Bill Rogers

**CLERK**

Paulette A. Skolarus

**TREASURER**

Robin L. Hunt

**TRUSTEES**

Jean W. Ledford

H. James Mortensen

Terry Croft

Diana Lowe

**MANAGER**

Kelly VanMarter

**New drawings were provided however no revisions were required in the staff report.**

**MEMORANDUM**

**TO:** Genoa Township Zoning Board of Appeals  
**FROM:** Amy Ruthig, Zoning Official  
**DATE:** September 14, 2023  
**RE:** ZBA 23-30

Staff met with the applicant on September 14<sup>th</sup>, 2023 after staff received the planning consultant’s review letter. A revised site plan that indicates the setbacks and height of the walls and fences for the variances that are being requested was submitted.

**Summary**

The proposed project is to allow the stairs and walls that have been constructed without a permit to remain and for additional retaining walls and a 6-foot privacy fence.

**Variance Requests**

The following is the section of the Zoning Ordinance that the variance is being requested from:

**(j) Retaining walls.** Retaining walls may be permitted subject to the following conditions:

1. Front Yard: Retaining walls within the required front yard shall not exceed three (3) feet in height and shall not be located within twenty (20) feet of the front lot line or be less than two (2) feet from the side lot line.
2. Side and Rear Yard: Retaining walls within the required side or rear yard shall not exceed a height of six (6) feet and shall not be located closer than two (2) feet to the side or rear lot line.

**11.04.03 (c) Fences and Walls**

2. Unless specifically authorized elsewhere in this Ordinance, fences and walls located within the front yard in any residential zoning district shall not exceed three (3) feet in height, or be in excess of forty-nine (49) percent (%) solid or impervious.

11.04.03 (h) Steps, stairways and stoops.

(a) **Steps, stairways and stoops.** Unroofed and unenclosed steps, stairways and stoops may encroach in the required yards as follows:

(1) Encroachments into required yards shall be allowed as indicated in the table below:

Front Yard	Rear Yard	Waterfront Yard <sup>(1)</sup>	Side Yard	
			Side Yard 10’ or less in LRR	Side Yard
10 ft.	15 ft.	15 ft. <sup>(1)</sup>	2 ft.	5 ft.

Applicant is requesting the following variances:

**Retaining Wall FRONT YARD Height Variance**

**Required Front Yard Wall Height:** 3'  
**Proposed Height:** 7'4" at the tallest point  
**Variance Amount:** 4'4"

**Retaining Wall FRONT YARD Setback Variance**

**Required Front Yard Setback:** 20'  
**Proposed Side Yard Setback:** 4' at the closest point  
**Variance Amount:** 16'

**Retaining Wall SIDE YARD Height Variance**

**Required Side Yard Wall Height:** 6'  
**Proposed Height:** 8'6" at the tallest point  
**Variance Amount:** 2'6"

**Retaining Wall SIDE YARD Setback Variance**

**Required Side Yard Setback:** 2'  
**Proposed Side Yard Setback:** 0'  
**Variance Amount:** 2'

**Fence Height and Impervious Variance**

**Required Front Yard Height:** 3'  
**Proposed Height:** 6'  
**Variance Amount:** 3'

**Required Impervious %:** 49%  
**Proposed Impervious%:** 100%  
**Variance Amount:** 51%

**Steps Projection Variance (Setback from ROW should be 25' with 10' projection)**

**Allowed Front Yard Setback:** 25'  
**Proposed Front Yard Setback:** 9'  
**Variance Amount:** 16'

**Summary of Findings of Fact- After a quick review of the revised site plan, I offer the possible findings of fact for your consideration:**

Please note that in order for a variance to be approved it has to meet all of the standards in 23.05.03.

- (a) Practical Difficulty/Substantial Justice** –Strict compliance with the zoning requirements would prevent the applicant from completing the retaining wall project that has been started however would not prevent the use of the property. Please see attached pictures of the property prior to the work being started on the lot.
- (b) Extraordinary Circumstances** – The exceptional or extraordinary condition of the property is the irregular shape and topography of the lot. Applicant should demonstrate that these walls are the least amount necessary and that there are no other alternatives than what is being proposed. In addition, applicant should demonstrate that the unpermitted work and grading did not alter the

previous grade to require the extensive variance requests. The request for the 6-foot privacy fence is self-created due to the apartment complex being located behind the home prior to the home being built and the previous 6-foot fence was removed after staff told the owner he could not replace the fence after it was removed.

**(c) Public Safety and Welfare** – The granting of the variances will not impair an adequate supply of light and air to adjacent property. Due to the proposed location of the front retaining walls being located 4 feet from the road right of way and the topography from Grand River Avenue could unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**(d) Impact on Surrounding Neighborhood** – The proposed variance would not have an impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

### **Recommended Conditions**

If the Zoning Board of Appeals grants the variance requests staff recommends the following conditions be placed on the approval.

1. Grading and soil erosion plan by civil engineer shall ensure stabilization of slopes and there are no impacts to adjacent parcels.
2. Civil engineer shall
3. The retaining wall construction plans must be certified by a license engineer prior to permit issuance.
4. Must receive a permit from the Livingston County Drain Commissioner.

If the Zoning Board of Appeals denies the variance requests staff recommends the following conditions be placed on the denial:

1. All unpermitted walls and stairs shall be removed within 30 days.
2. The property shall be restored and graded to ensure no impact of neighboring properties or the road.
3. Must receive a permit from the Livingston County Drain Commissioner.



Vice Chairperson McCreary agrees that one of the hardships is the location of the other aspects of the golf course. Board Member Kreutzberg agrees.

**Moved** by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #23-29 for Matt DeLapp of Singh Development a street front yard setback variance of 40 feet, 63 inches from the required 75 feet, for a front yard setback of 34 feet, 37 inches, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably prevent or restrict the intended use of the property.
- This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties in the area.
- The proposed clubhouse is to maintain the original location and character of the area.
- The variance is necessary due to the extraordinary circumstances the damage from fire and the property layout, the existing course, parking and storage facility do not allow for an alternate clubhouse location without significant hardship or alteration of the existing course property.
- Granting this variance will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. Approval of the Site Plan from the Planning Commission.

**The motion carried unanimously with a roll call vote.**

7. 23-30...A request by Ben Cross and Chris Bonk, 5680 Glen Echo Drive, for a height and setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct new retaining walls and a fence.

Mr. Ben Cross, the owner, and Mr. Chris Bonk, the contractor, were present.

Mr. Bonk acknowledged that the project was started without receiving approval. It was started by a different contractor than himself.

Mr. Cross stated he believed the contractor was doing the right things and it was irresponsible for him to not have checked.

Mr. Bonk stated this property has two front yards, the elevation drops on the west side about 12 feet and about eight feet on the other side. The property is eroding along the roadway. He showed photographs of the erosion and a survey describing where the retaining walls will be placed. He added that the neighbor is glad that the retaining wall will go all of the way to the property line as it helps with their erosion as well.

They are requesting a variance to allow a six-foot high fence in the front yard. The hardship for this variance is because the property abuts a commercial business, which is not well

maintained, so having a six-foot tall fence is necessary to allow Mr. Cross and his family to safely enjoy their property.

Board Member Kreutzberg stated this is the most difficult project she has seen. She would like to see the engineering plans. Mr. Bonk stated they have complete engineering plans; but they will not show elevations. He provided a description of the retaining walls, including their locations and heights.

Vice Chairman McCreary is concerned with the retaining wall being close to this road because it is on a hill and a curve.

Board Member Fons would like to see more details of the project showing how all of the elements tie together, such as the walls, the fence, the landscaping, etc. He suggested the applicant draw a profile. He would not be able to vote yes without all of that information. Mr. Bonk believes that they have provided that information on their plans.

Board Member Ledford would not vote for this tonight. She would like to see the additional information.

The call to the public was made at 10:32 pm.

Mr. Bill Cozart of 5716 Glen Echo Drive has lived here since 1980 and what is being proposed by Mr. Cross will be a benefit. It will provide better vision than what is there currently. The six-foot fence along the back is needed to shield the dumpster, tires, and other trash on the commercial property from the residents on Glen Echo. It is a safety and security issue.

Mr. Brian Monte of 5716 Long Point stated this is currently an eyesore, it's a safety hazard, and it is eroding into the lake. Mr. Cross is spending his own money to improve the neighborhood. He is in support of this project.

The call to the public was closed at 10:37 pm.

After a brief discussion regarding what additional information the board would like to see, the applicant requested to have their case tabled this evening.

**Moved** by Board Member Ledford, seconded by Board Member Kreutzberg, to table Case #23-30 until the next scheduled ZBA meeting of October 17, per the petitioner's request.

**The motion carried unanimously.**

**Administrative Business:**

1. Approval of minutes for the August 15, 2023 Zoning Board of Appeals meeting.

September 13, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	5680 Glen Echo Drive – Dimensional Variance Review
<b>Location:</b>	5680 Glen Echo Drive – southwest corner of Glen Echo Drive and Long Pointe Drive
<b>Zoning:</b>	LRR Lakeshore Resort Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variances related to accessory structures for the existing residence at 5680 Glen Echo Drive.

The proposal entails a retaining wall along the westerly side lot line, 2 retaining walls and in the front yard, new stairs in the front yard, and 2 fences in the front yard.

The submittal does not provide sufficient details to accurately identify the number and extent of variances and should not be approved at this time. It should be noted that the drawing was not reproduced at the scale noted (so trying to scale items such as setbacks cannot be done accurately).

At least 3 variances are needed for front yard fencing – a height increase from 3’ to 6’, a 100% solid privacy fence, and a 50% solid privacy fence (where the maximum allowed is 49%). However, no details are provided.

Furthermore, there are steps that encroach into the front yard; however, the actual setback proposed is not identified. The Ordinance allows such structures to encroach by up to 10’ into the required setback.

Additionally, there are multiple retaining walls that do not identify height (6’ maximum in the side and rear yard, and 3’ maximum in the front yard), and no details are provided.

Portions of these retaining walls also encroach into the required setbacks (2’ for side and rear yard, and 20’ for the front yard), though the actual setbacks provided are not identified.

In our best estimation, the proposal seeks 12 variances, as follows:

1. 6’ fence in the front yard;
2. 100% solid fence in the front yard;
3. 50% solid fence in the front yard;
4. Stairs that encroach by more than 10’ into the front yard;
5. Retaining wall that encroaches into the 2’ side/rear setback;
6. Retaining wall that encroaches into the 2’ side setback;
7. Retaining wall that encroaches into the 2’ side setback;
8. Retaining wall that encroaches into the 20’ front setback;
9. Retaining wall that encroaches into the 20’ front setback;
10. Retaining wall in the side/rear yard that exceeds 6’ in height;
11. Retaining wall in the front yard that exceeds 3’ in height; and
12. Retaining wall in the front yard that exceeds 3’ in height.

The number of variances is excessive without even knowing the full extent for some of them.

Lastly, no part of the submittal was prepared by a licensed engineer, as is required for retaining walls over 3' in height.

As it relates to a ZBA review, this causes added concern as we have no idea whether the walls proposed, which account for 8 variances, have been designed to require only the minimum amount of variance necessary (substantial justice).

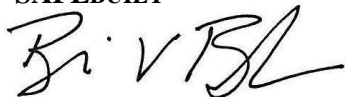
It is likely that there are alternative designs that reduce the number and/or extent of variances sought.

The site does have some extraordinary circumstances that may support some amount of variance; however, it is difficult to believe that 12 variances is the minimum necessary to grant relief.

The applicant should be directed to modify the plan such that all necessary details are provided, and that the number and extent of variances is minimized.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

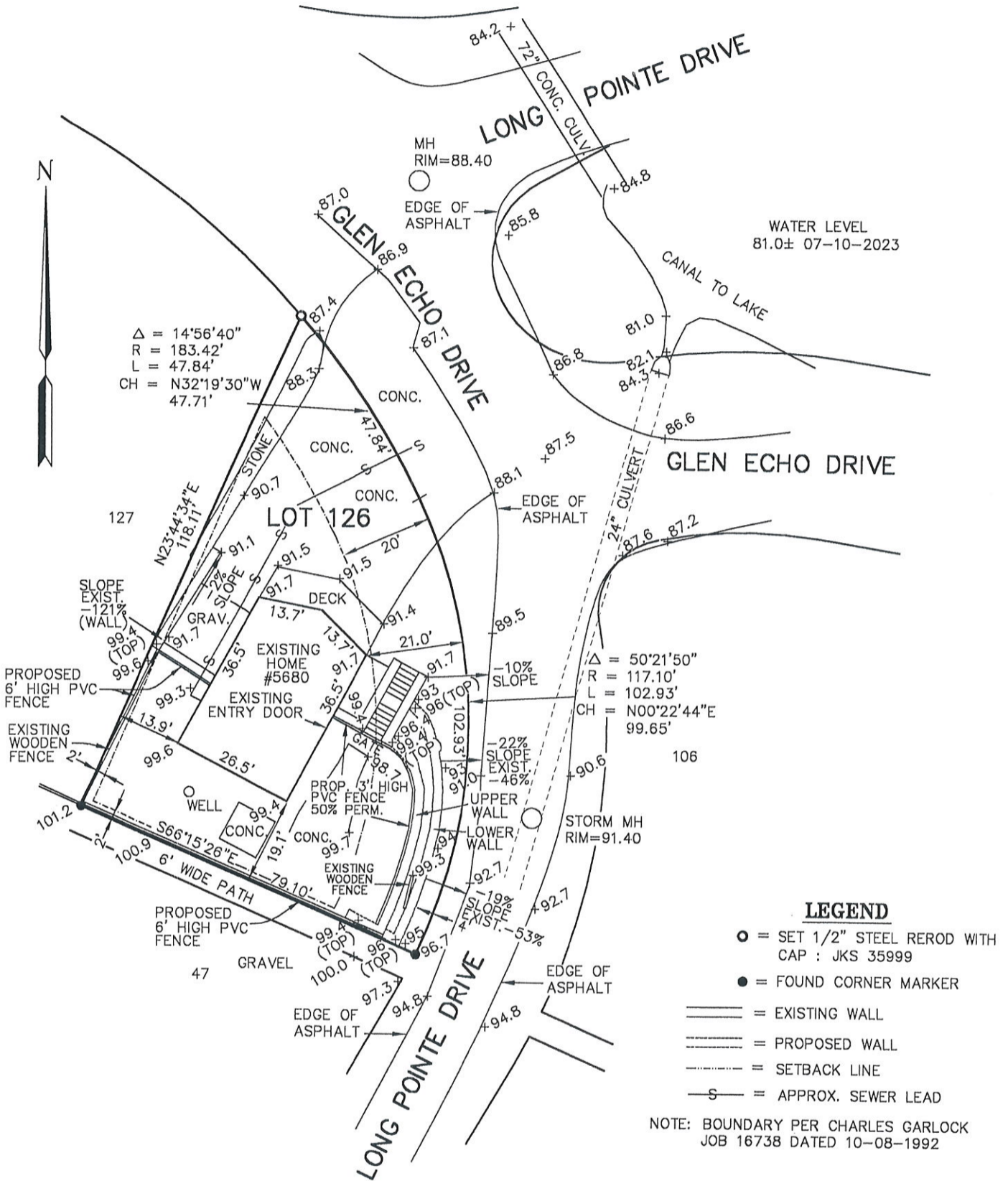
Respectfully,  
**SAFE BUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and written in a cursive-like font.

Brian V. Borden, AICP  
Michigan Planning Manager

**SKETCH OF EXISTING CONDITIONS**

LOT 126 OF "GLEN ECHO" ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 1 OF DEEDS ON PAGE 75 IN THE OFFICE OF THE REGISTER OF DEEDS FOR LIVINGSTON COUNTY, MICHIGAN.



**LEGEND**

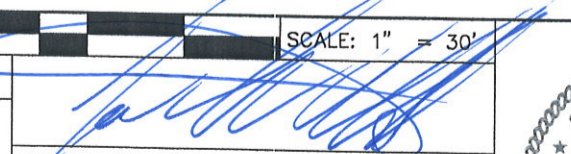
- = SET 1/2" STEEL REROD WITH CAP : JKS 35999
- = FOUND CORNER MARKER
- = EXISTING WALL
- - - = PROPOSED WALL
- = SETBACK LINE
- S- = APPROX. SEWER LEAD

NOTE: BOUNDARY PER CHARLES GARLOCK JOB 16738 DATED 10-08-1992

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND HEREIN PLATTED AND DESCRIBED ON 07/11/2023, AND THAT THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN LIMITS ACCEPTED BY THE PRACTICE FOR MICHIGAN PROFESSIONAL SURVEYORS, AND THAT ALL OF THE REQUIREMENTS OF ACT NO. 132, P.A. 1970 (AS AMENDED) HAVE BEEN COMPLIED WITH.

NOTE: BEARINGS ARE BASED ON A PREVIOUS SURVEY BY CHARLES GARLOCK

CLIENT: <b>BENJAMIN CROSS</b>		SCALE: 1" = 30'
SECTION: 10 TOWN: 2 NORTH RANGE: 5 EAST		 JACK K. SMITH PROFESSIONAL SURVEYOR No. 35999
GENOA TOWNSHIP LIVINGSTON COUNTY, MICHIGAN		
DATE: 07-13-2023	CREW: JKS/CG	<b>GARLOCK-SMITH</b> <b>PROFESSIONAL SURVEYORS</b> 4655 OAK GROVE ROAD HOWELL, MICHIGAN 48855 (517) 546 - 3340 GARLOCKSMITH@COMCAST.NET
BOOK NO. 220 PG 31	COMP: JKS	
	DRAWN: JKS	
SHEET 1 OF 1	REV: 08-22-2023	

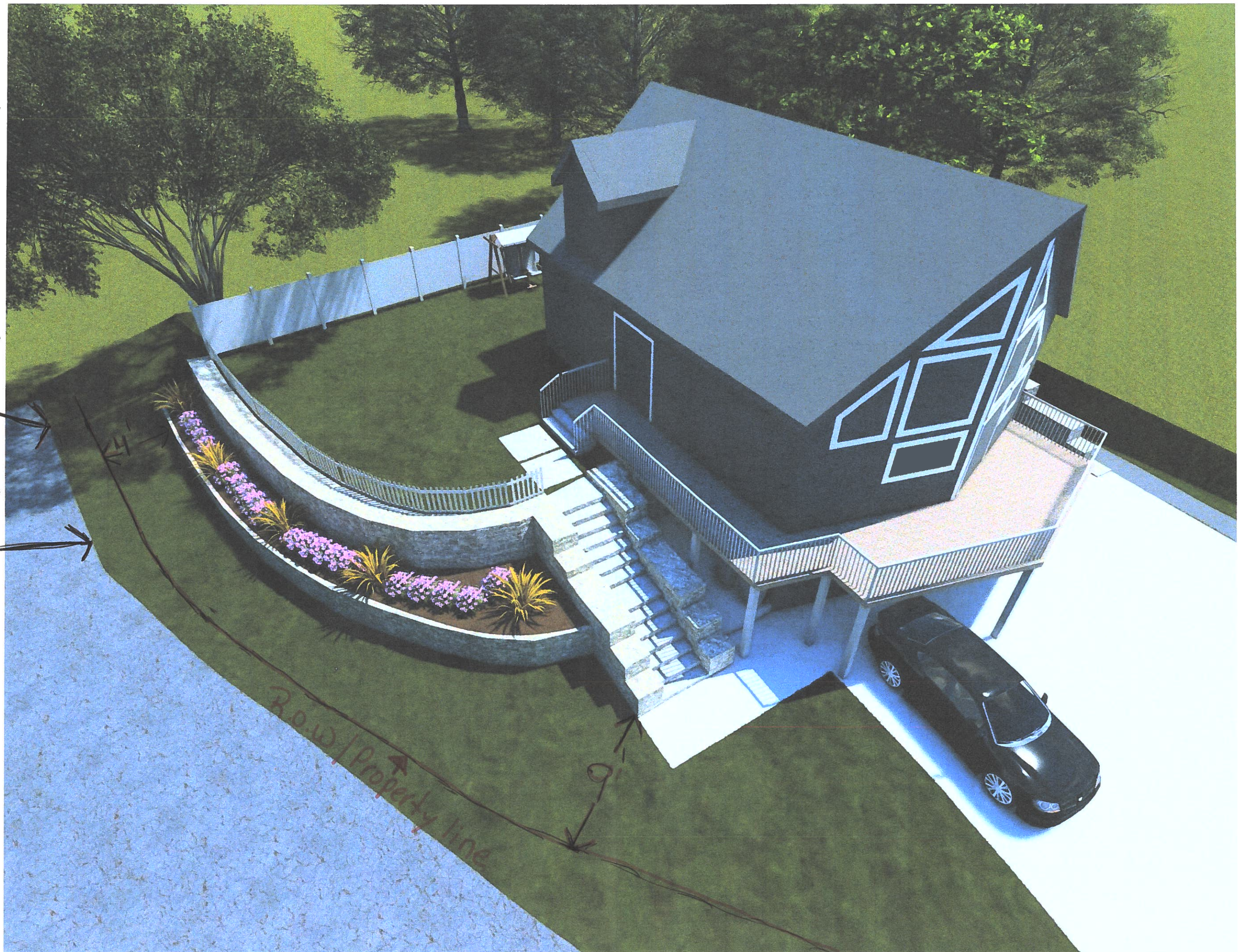


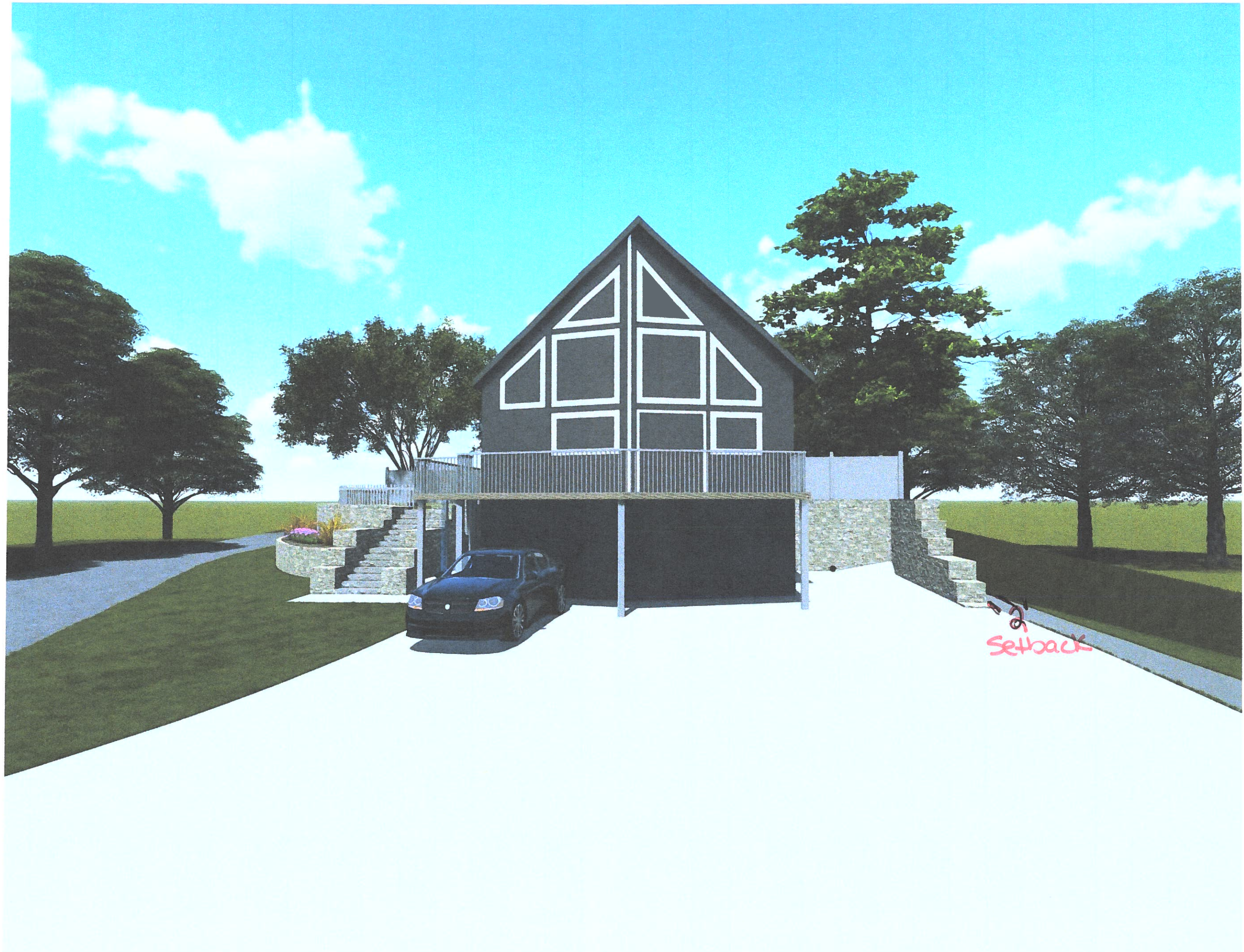
Ben Cross  
680 Glen Echo

Road to Wall  
7' min.

New Sod  
installed

Row/Property line







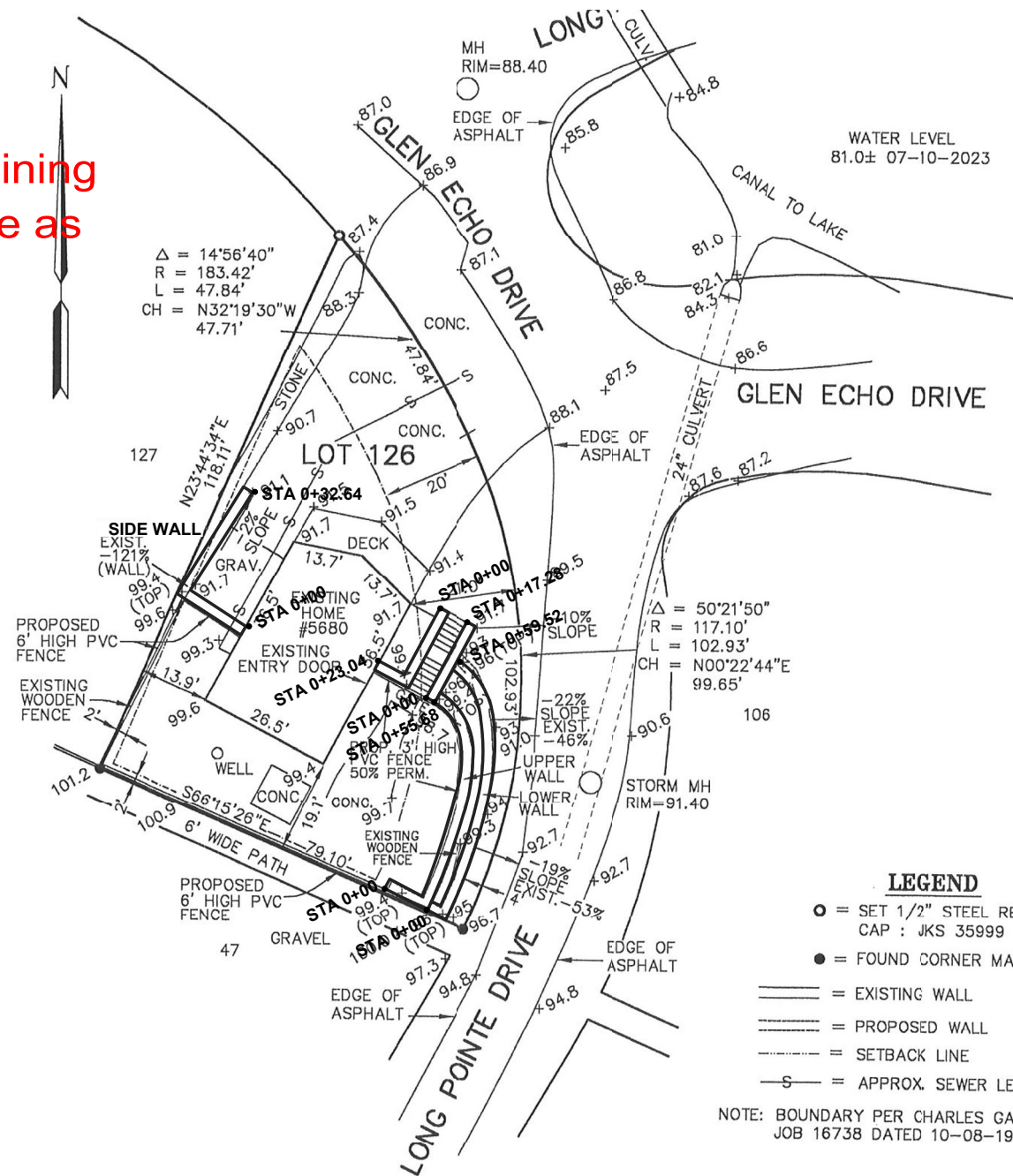




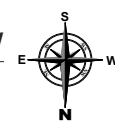
**PROPOSED REDI-ROCK RETAINING WALLS**  
 5680 GLEN ECHO DR., HOWELL, LIVINGSTON COUNTY, MI 48843



Due to the size of the complete retaining wall report, the full report is available as packet #2 on the website.



**SCHEMATIC PLAN VIEW**  
 SCALE: N.T.S.



- LEGEND**
- = SET 1/2" STEEL REROD WITH CAP : JKS 35999
  - = FOUND CORNER MARKER
  - = EXISTING WALL
  - = PROPOSED WALL
  - - - = SETBACK LINE
  - - - = APPROX. SEWER LEAD

NOTE: BOUNDARY PER CHARLES GARLOCK  
 JOB 16738 DATED 10-08-1992

NOTE:  
 - THE PLAN VIEW IS FOR ILLUSTRATION PURPOSES ONLY.  
 - WALLS MUST BE LAID OUT BY REGISTERED LAND SURVEYOR  
 BASED ON THE PROJECT GRADING PLANS.

**INDEX**

SHEET	DESCRIPTION
RW-0	TITLE SHEET
RW-1	WALL ELEVATION
RW-2#	WALL DETAILS
RW-3	SPECIFICATIONS AND CONSTRUCTION NOTES

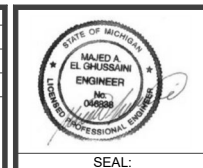
DATE	REVISIONS	BY
06-12-23	SUBMITTAL	M.G.
09-18-23	REVISED PER OWNER	M.G.

DATE	REVISIONS	BY



CLIENT:  
**BEN CROSS**  
 5680 GLEN ECHO DR.  
 HOWELL, MI 48843  
 248-462-0458

DESIGN BY: D.H.  
 CHECKED BY: M.G.  
 APPROVED BY: M.G.  
 COPYRIGHT 2023  
 GES-LLC

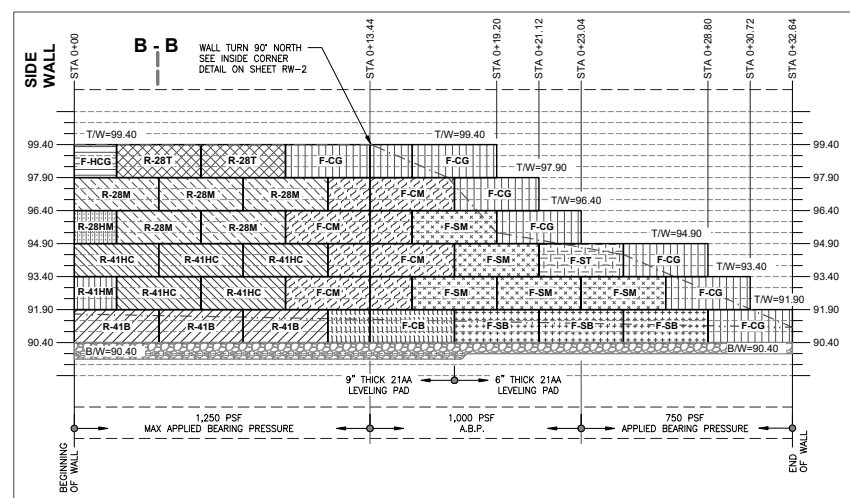
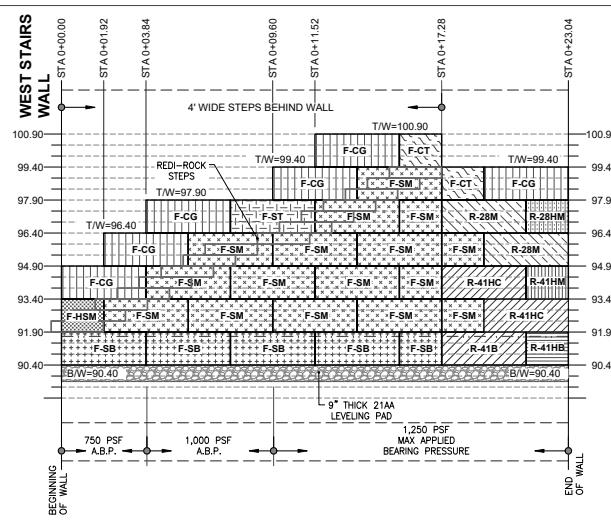
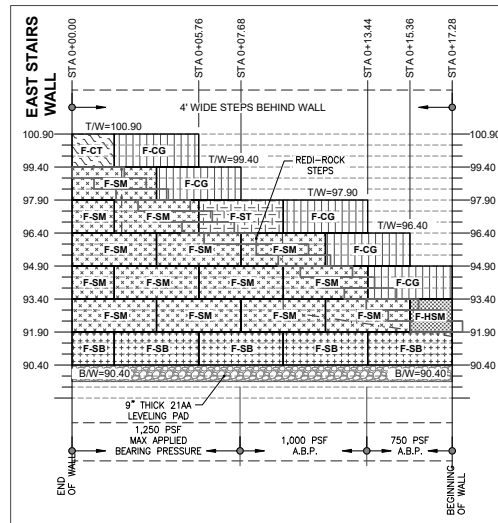
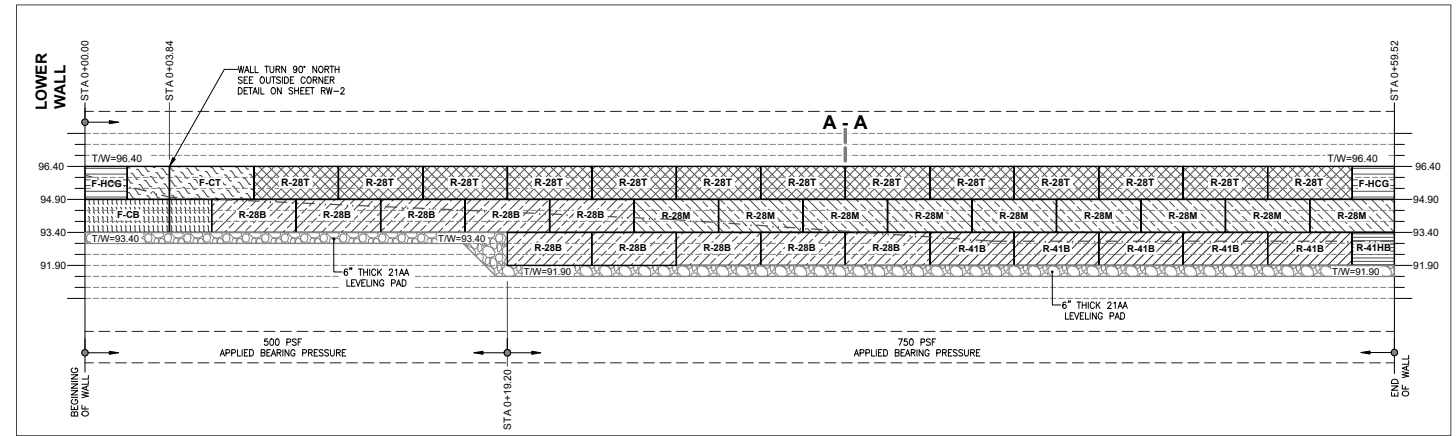
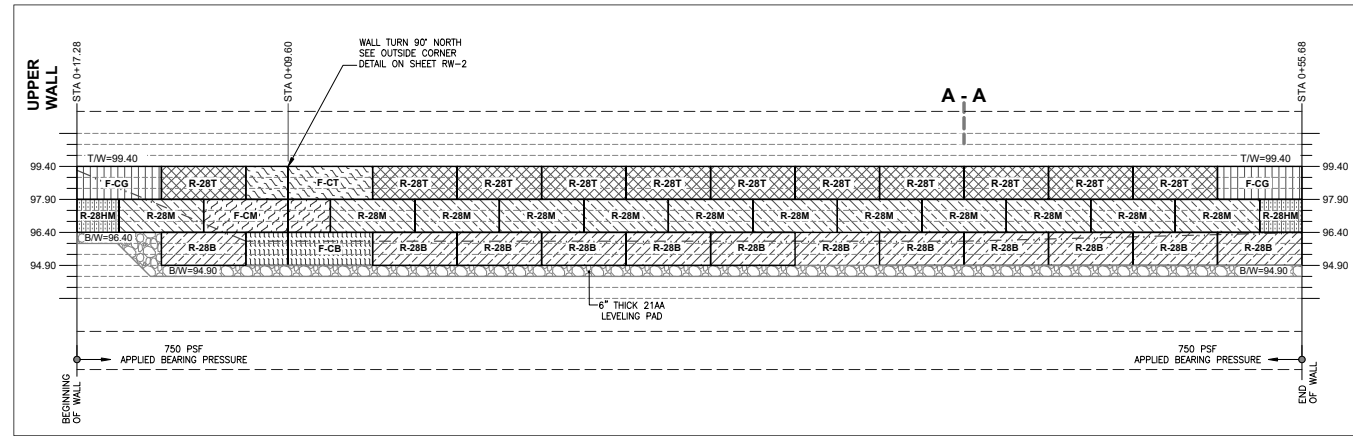


**GES-LLC**  
 Civil Engineering • Surveying • Consulting  
 5711 SOUTH ASHFORD WAY  
 YPSILANTI, MI 48197  
 PHONE: 734-272-9763

**PROPOSED REDI-ROCK® RETAINING WALLS**  
 5680 GLEN ECHO DRIVE  
 HOWELL, LIVINGSTON COUNTY, MI  
**TITLE SHEET**

SCALE:  
**AS NOTED**  
 PROJECT No.: **23-112**  
 SHEET No.: **RW-0**

# REDI-ROCK® WALL ELEVATION



<b>REDI-ROCK</b>		
LEGEND:	QUANTITIES	
	CORNER GARDEN TOP	= 20 BLOCKS
	HALF CORNER GARDEN TOP	= 3 BLOCKS
	CORNER TOP	= 5 BLOCKS
	CORNER MIDDLE	= 5 BLOCKS
	CORNER BOTTOM	= 3 BLOCKS
	F.S. STRAIGHT TOP	= 3 BLOCKS
	F.S. STRAIGHT MIDDLE	= 35 BLOCKS
	F.S. HALF STRAIGHT MIDDLE	= 2 BLOCKS
	F.S. STRAIGHT BOTTOM	= 13 BLOCKS
	28" TOP	= 26 BLOCKS
	28" MIDDLE	= 28 BLOCKS
	28" BOTTOM	= 22 BLOCKS
	HALF 28" MIDDLE	= 4 BLOCKS
	41" HOLLOW CORE	= 7 BLOCKS
	41" BOTTOM	= 9 BLOCKS
	HALF 41" MIDDLE	= 2 BLOCKS
	HALF 41" BOTTOM	= 2 BLOCKS
	6" TO 9" THICK MDOT 21AA CRUSHED LIMESTONE LEVELING LAYER (TYP.)	
	FINISH GRADE AT TOP OF WALL	
	FINISH GRADE IN FRONT OF WALL	
	T/W=100.00 B/W=100.00	TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION

**NOTES:**

- BLOCKS TO CONSIST OF REDI-ROCK UNITS AS NOTED IN LEGEND, AS SUPPLIED BY LICENSED REDI-ROCK PRODUCER (REDI-WALL, LLC 5700 E. HIGHLAND RD., HOWELL, MI 48843).
- DESIGN IS BASED ON THE LOCATIONS AND ELEVATIONS SHOWN ON THE "SKETCH OF THE EXISTING CONDITIONS", SHEET 1 OF 1, PREPARED BY GARLOCK-SMITH PROFESSIONAL SURVEYORS, REVISED DATE 08-22-23. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL ELEVATIONS AND DIMENSIONS SHOWN ON THE CURRENT RETAINING WALL SHOP DRAWINGS PRIOR TO CONSTRUCT THE WALL. ANY DISCREPANCIES OR DIFFERENCES SHOULD BE CORRECTED PRIOR TO WALL INSTALLATION.
- MAINTAIN MIN. BURIED BLOCKS AS SHOWN IN ELEVATION VIEW (MIN. 6-INCH).
- WALL TO BE SUPPORTED ON 6 TO 9 INCH MIN. MDOT 21AA CRUSHED LIMESTONE LEVELING PAD, COMPACTED TO MIN. 95% OF MAX. DRY DENSITY (MODIFIED PROCTOR).
- FALL PROTECTION FENCING WHERE APPLICABLE SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. TO BE DESIGN BY OTHERS AND INSTALLED BY OWNER. SEE SHEET RW-2.2 FOR TYPICAL REDI-ROCK DETAILS.
- 4" MIN. DIA. PERFORATED DRAIN TILE WRAPPED IN FILTER FABRIC TO BE DAYLIGHTED AT MAX. 25-FEET C/C AND AT END OF WALLS WITH RODENT GUARD.
- WALL STATION NUMBERS REFERS TO FRONT OF WALL. THE WALL SHALL BE LAID OUT BY A CERTIFIED LAND SURVEYOR.
- FIELD CUT/ TRIM THE TAIL OF REDI-ROCK BLOCK FOR THE RADIUS SECTIONS OF THE UPPER & LOWER WALLS IF REQUIRED DURING INSTALLATION.

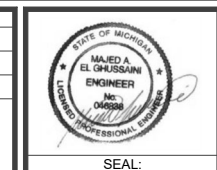
DATE	REVISIONS	BY
06-12-23	SUBMITTAL	M.G.
09-18-23	REVISED PER OWNER	M.G.

DATE	REVISIONS	BY



CLIENT:  
**BEN CROSS**  
5680 GLEN ECHO DR.  
HOWELL, MI 48843  
248-462-0458

DESIGN BY: D.H.  
CHECKED BY: M.G.  
APPROVED BY: M.G.  
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PHONE: 734-272-9763

**PROPOSED REDI-ROCK® RETAINING WALLS**  
5680 GLEN ECHO DRIVE  
HOWELL, LIVINGSTON COUNTY, MI  
**WALL ELEVATION**

SCALE: 
PROJECT No.: <b>23-112</b>
SHEET No.: <b>RW-1</b>

RETAINING BLOCKS 28" Series	
<b>R-28T 28" (710mm) TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1200 lb (544 kg) / 1100 lb (500 kg) Block Volume: 8.07 ft <sup>3</sup> (228 m <sup>3</sup> ) / 7.38 ft <sup>3</sup> (209 m <sup>3</sup> ) Center of Gravity: 14.2" (360 mm)	<b>R-28HT 28" (710mm) HALF TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 670 lb (304 kg) / 600 lb (272 kg) Block Volume: 4.01 ft <sup>3</sup> (113 m <sup>3</sup> ) / 3.70 ft <sup>3</sup> (105 m <sup>3</sup> ) Center of Gravity: 15.7" (398 mm)
<b>R-28M 28" (710mm) MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1050 lb (476 kg) / 970 lb (440 kg) Block Volume: 11.28 ft <sup>3</sup> (318 m <sup>3</sup> ) / 10.39 ft <sup>3</sup> (293 m <sup>3</sup> ) Center of Gravity: 13.07" (332 mm)	<b>R-28HM 28" (710mm) HALF MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 570 lb (258 kg) / 510 lb (231 kg) Block Volume: 5.64 ft <sup>3</sup> (159 m <sup>3</sup> ) / 5.20 ft <sup>3</sup> (147 m <sup>3</sup> ) Center of Gravity: 14.7" (373 mm)
<b>R-28B 28" (710mm) BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1360 lb (617 kg) / 1250 lb (567 kg) Block Volume: 12.18 ft <sup>3</sup> (342 m <sup>3</sup> ) / 11.39 ft <sup>3</sup> (321 m <sup>3</sup> ) Center of Gravity: 14.2" (360 mm)	<b>R-28HB 28" (710mm) HALF BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 730 lb (330 kg) / 660 lb (299 kg) Block Volume: 6.09 ft <sup>3</sup> (172 m <sup>3</sup> ) / 5.60 ft <sup>3</sup> (157 m <sup>3</sup> ) Center of Gravity: 13.8" (350 mm)

RETAINING BLOCKS 41" Series	
<b>R-41T 41" (1030mm) TOP*</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1700 lb (772 kg) / 1550 lb (703 kg) Block Volume: 12.22 ft <sup>3</sup> (344 m <sup>3</sup> ) / 11.37 ft <sup>3</sup> (321 m <sup>3</sup> ) Center of Gravity: 14.2" (360 mm)	<b>R-41HT 41" (1030mm) HALF TOP*</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 910 lb (413 kg) / 820 lb (372 kg) Block Volume: 6.11 ft <sup>3</sup> (172 m <sup>3</sup> ) / 5.69 ft <sup>3</sup> (160 m <sup>3</sup> ) Center of Gravity: 15.7" (398 mm)
<b>R-41M 41" (1030mm) MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 2310 lb (1050 kg) / 2140 lb (970 kg) Block Volume: 20.91 ft <sup>3</sup> (592 m <sup>3</sup> ) / 19.24 ft <sup>3</sup> (542 m <sup>3</sup> ) Center of Gravity: 13.07" (332 mm)	<b>R-41HM 41" (1030mm) HALF MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1210 lb (549 kg) / 1100 lb (500 kg) Block Volume: 10.46 ft <sup>3</sup> (293 m <sup>3</sup> ) / 9.62 ft <sup>3</sup> (271 m <sup>3</sup> ) Center of Gravity: 14.7" (373 mm)
<b>R-41B 41" (1030mm) BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 2940 lb (1330 kg) / 2710 lb (1230 kg) Block Volume: 26.36 ft <sup>3</sup> (743 m <sup>3</sup> ) / 24.15 ft <sup>3</sup> (680 m <sup>3</sup> ) Center of Gravity: 13.8" (350 mm)	<b>R-41HB 41" (1030mm) HALF BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1520 lb (688 kg) / 1380 lb (625 kg) Block Volume: 13.18 ft <sup>3</sup> (371 m <sup>3</sup> ) / 12.58 ft <sup>3</sup> (354 m <sup>3</sup> ) Center of Gravity: 13.8" (350 mm)

RETAINING BLOCKS 60" Series	
<b>R-60M 60" (1520mm) MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 3200 lb (1450 kg) / 2920 lb (1325 kg) Block Volume: 28.00 ft <sup>3</sup> (791 m <sup>3</sup> ) / 26.15 ft <sup>3</sup> (740 m <sup>3</sup> ) Center of Gravity: 31.0" (787 mm) / 28.0" (712 mm)	<b>R-60HM 60" (1520mm) HALF MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1600 lb (725 kg) / 1460 lb (663 kg) Block Volume: 14.00 ft <sup>3</sup> (396 m <sup>3</sup> ) / 13.08 ft <sup>3</sup> (370 m <sup>3</sup> ) Center of Gravity: 33.0" (838 mm) / 30.0" (762 mm)
<b>R-60B 60" (1520mm) BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 3600 lb (1630 kg) / 3280 lb (1488 kg) Block Volume: 31.60 ft <sup>3</sup> (891 m <sup>3</sup> ) / 29.00 ft <sup>3</sup> (817 m <sup>3</sup> ) Center of Gravity: 31.0" (787 mm) / 28.0" (712 mm)	<b>R-60HB 60" (1520mm) HALF BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1800 lb (815 kg) / 1640 lb (744 kg) Block Volume: 15.80 ft <sup>3</sup> (445 m <sup>3</sup> ) / 14.50 ft <sup>3</sup> (408 m <sup>3</sup> ) Center of Gravity: 33.0" (838 mm) / 30.0" (762 mm)

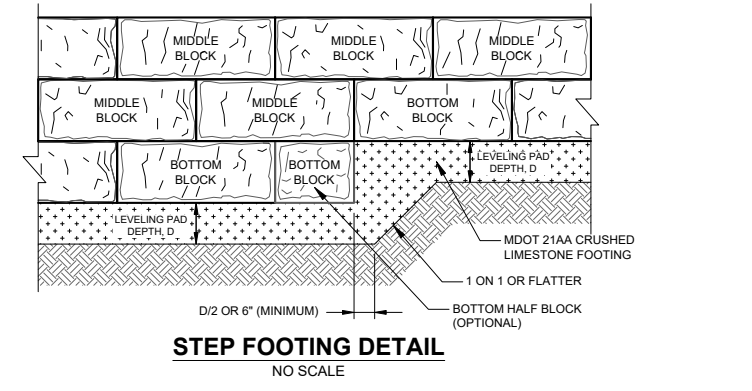
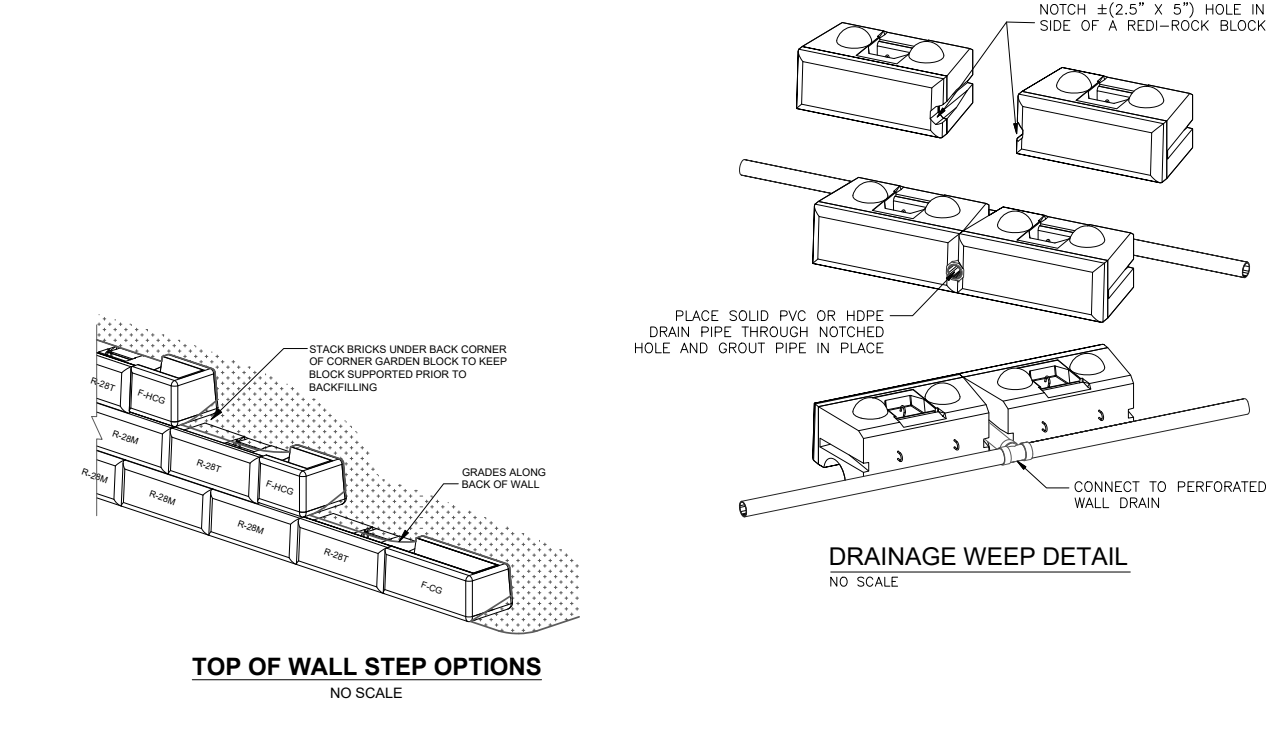
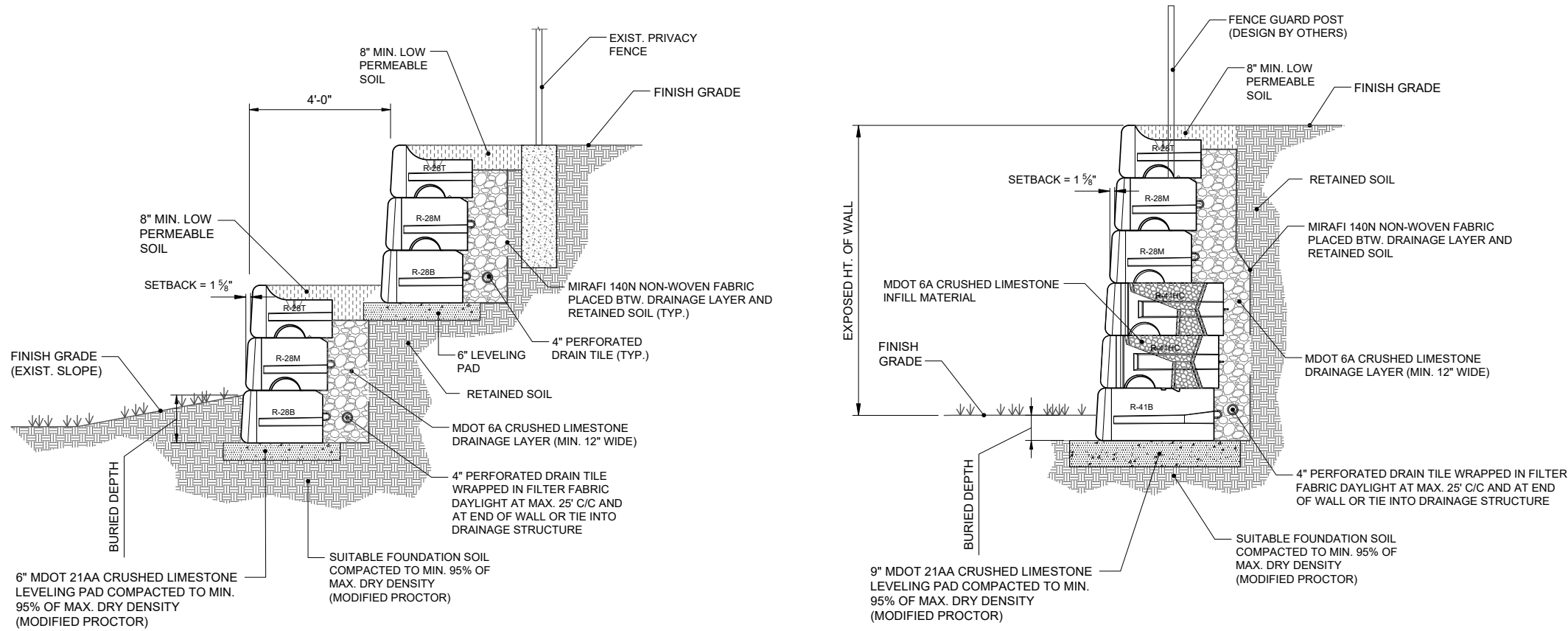
ACCESSORIES (CAP AND STEP BLOCKS) Caps & Steps	
<b>A-2SC TWO-SIDED</b> Block Weight: 620 lb (281 kg) Block Volume: 4.42 ft <sup>3</sup> (125 m <sup>3</sup> )	<b>A-4SC FOUR-SIDED</b> Block Weight: 470 lb (213 kg) Block Volume: 3.33 ft <sup>3</sup> (93 m <sup>3</sup> )
<b>A-3SC THREE-SIDED</b> Block Weight: 460 lb (209 kg) Block Volume: 3.29 ft <sup>3</sup> (92 m <sup>3</sup> )	<b>A-3ST2 THREE-SIDED STEP 72"</b> Block Weight: 1220 lb (553 kg) Block Volume: 8.67 ft <sup>3</sup> (243 m <sup>3</sup> )

FREESTANDING BLOCKS Free Standing	
<b>F-5M STRAIGHT MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1050 lb (476 kg) / 970 lb (440 kg) Block Volume: 9.84 ft <sup>3</sup> (276 m <sup>3</sup> ) / 9.04 ft <sup>3</sup> (255 m <sup>3</sup> )	<b>F-5G STRAIGHT GARDEN TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1050 lb (476 kg) / 970 lb (440 kg) Block Volume: 9.84 ft <sup>3</sup> (276 m <sup>3</sup> ) / 9.04 ft <sup>3</sup> (255 m <sup>3</sup> )
<b>F-5B STRAIGHT BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1050 lb (476 kg) / 970 lb (440 kg) Block Volume: 9.84 ft <sup>3</sup> (276 m <sup>3</sup> ) / 9.04 ft <sup>3</sup> (255 m <sup>3</sup> )	<b>F-5T STRAIGHT TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1050 lb (476 kg) / 970 lb (440 kg) Block Volume: 9.84 ft <sup>3</sup> (276 m <sup>3</sup> ) / 9.04 ft <sup>3</sup> (255 m <sup>3</sup> )

FREESTANDING BLOCKS Corner Blocks	
<b>F-CM CORNER MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1370 lb (620 kg) / 1250 lb (567 kg) Block Volume: 12.01 ft <sup>3</sup> (338 m <sup>3</sup> ) / 11.37 ft <sup>3</sup> (321 m <sup>3</sup> )	<b>F-CG CORNER GARDEN TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1370 lb (620 kg) / 1250 lb (567 kg) Block Volume: 12.01 ft <sup>3</sup> (338 m <sup>3</sup> ) / 11.37 ft <sup>3</sup> (321 m <sup>3</sup> )
<b>F-CB CORNER BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1600 lb (725 kg) / 1460 lb (663 kg) Block Volume: 14.00 ft <sup>3</sup> (396 m <sup>3</sup> ) / 13.08 ft <sup>3</sup> (370 m <sup>3</sup> )	<b>F-CT CORNER TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1600 lb (725 kg) / 1460 lb (663 kg) Block Volume: 14.00 ft <sup>3</sup> (396 m <sup>3</sup> ) / 13.08 ft <sup>3</sup> (370 m <sup>3</sup> )

FREESTANDING BLOCKS Half Corner Blocks	
<b>F-HCM HALF CORNER MIDDLE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 680 lb (308 kg) / 620 lb (281 kg) Block Volume: 4.8 ft <sup>3</sup> (134 m <sup>3</sup> ) / 4.4 ft <sup>3</sup> (124 m <sup>3</sup> )	<b>F-HCG HALF CORNER GARDEN TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 680 lb (308 kg) / 620 lb (281 kg) Block Volume: 4.8 ft <sup>3</sup> (134 m <sup>3</sup> ) / 4.4 ft <sup>3</sup> (124 m <sup>3</sup> )
<b>F-HCB HALF CORNER BOTTOM</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 770 lb (349 kg) / 700 lb (318 kg) Block Volume: 6.8 ft <sup>3</sup> (190 m <sup>3</sup> ) / 6.2 ft <sup>3</sup> (174 m <sup>3</sup> )	<b>F-HCT HALF CORNER TOP</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 770 lb (349 kg) / 700 lb (318 kg) Block Volume: 6.8 ft <sup>3</sup> (190 m <sup>3</sup> ) / 6.2 ft <sup>3</sup> (174 m <sup>3</sup> )

RETAINING BLOCKS Hollow Core	
<b>R-41HC 41" (1030mm) HOLLOW-CORE</b> Face Texture: Cobble / Limestone / Kingstone / Ledgerstone Block Weight: 1480 lb (670 kg) / 1320 lb (600 kg) Block Volume: 11.62 ft <sup>3</sup> (328 m <sup>3</sup> ) / 10.39 ft <sup>3</sup> (293 m <sup>3</sup> ) Center of Gravity: 32.0" (813 mm) / 29.0" (737 mm) Web Volume: 6.33 ft <sup>3</sup> (177 m <sup>3</sup> )	



DATE	REVISIONS	BY	DATE	REVISIONS	BY
06-12-23	SUBMITTAL	M.G.			
09-18-23	REVISED PER OWNER	M.G.			



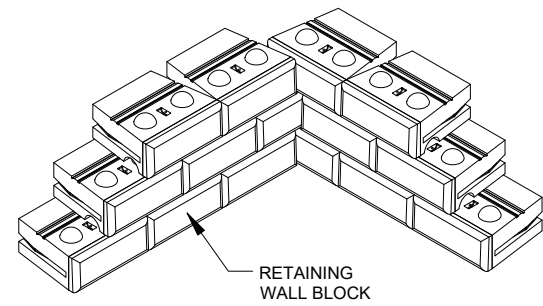
CLIENT:  
**BEN CROSS**  
 5680 GLEN ECHO DR.  
 HOWELL, MI 48843  
 248-462-0458

DESIGN BY: D.H.  
 CHECKED BY: M.G.  
 APPROVED BY: M.G.  
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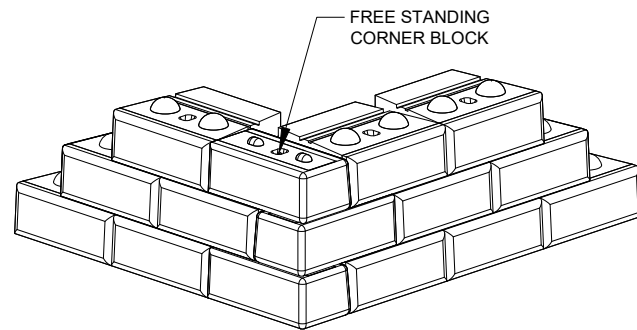
**GES-LLC**  
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 5711 SOUTH ASHFORD WAY  
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 PHONE: 734-272-9763

**PROPOSED REDI-ROCK® RETAINING WALLS**  
 5680 GLEN ECHO DRIVE  
 HOWELL, LIVINGSTON COUNTY, MI  
**WALL DETAILS**

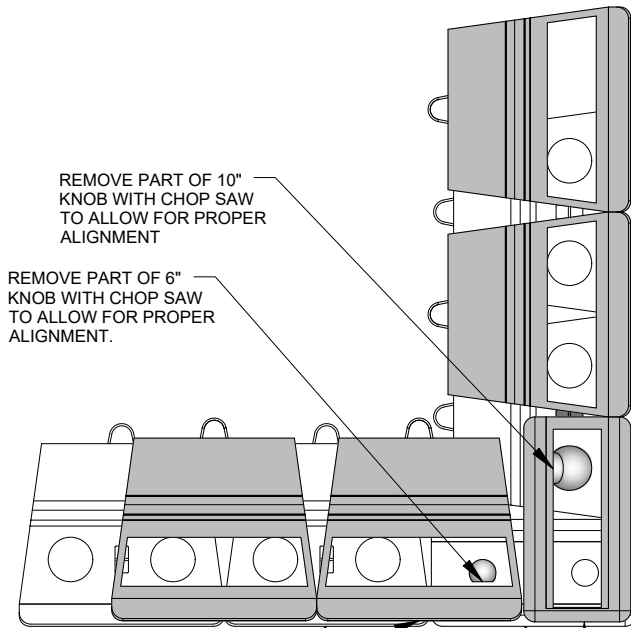
SCALE:  
**AS NOTED**  
 PROJECT No.: 23-112  
 SHEET No.: **RW.2.1**



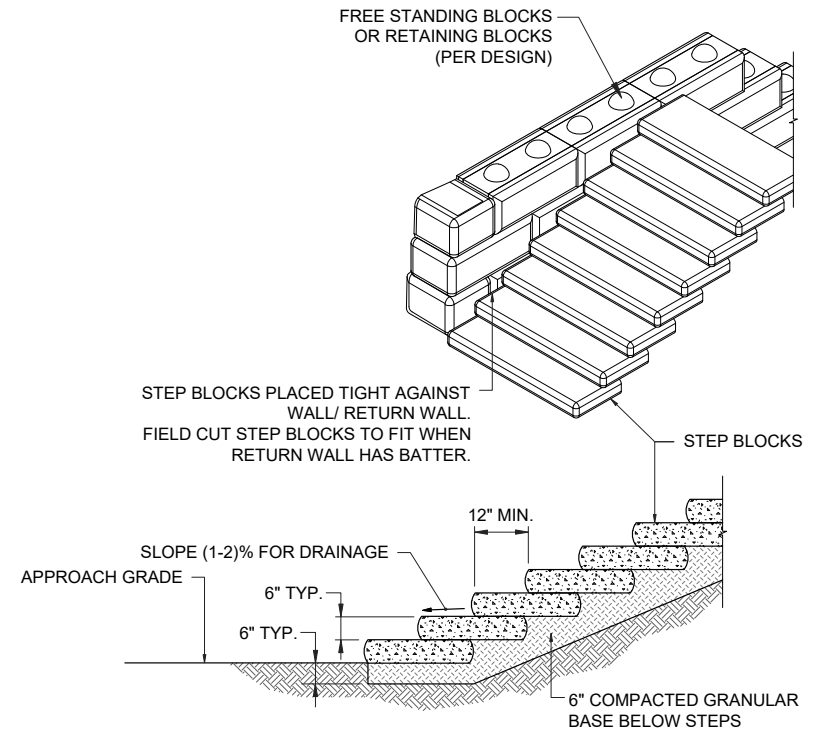
**90° INSIDE CORNER**  
(28" AND 41" SERIES)



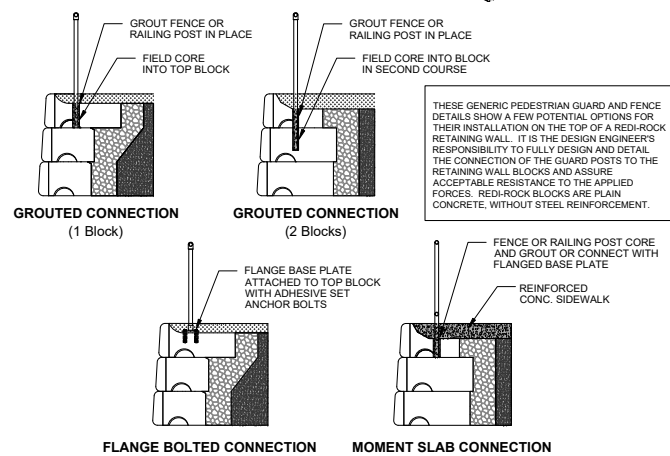
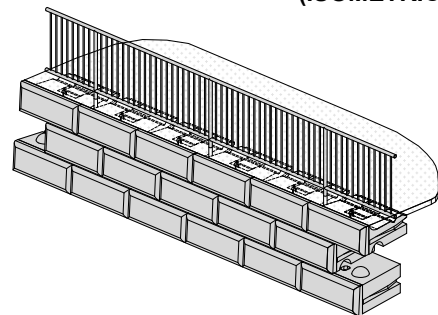
**90° OUTSIDE CORNER**  
(ISOMETRIC VIEW)



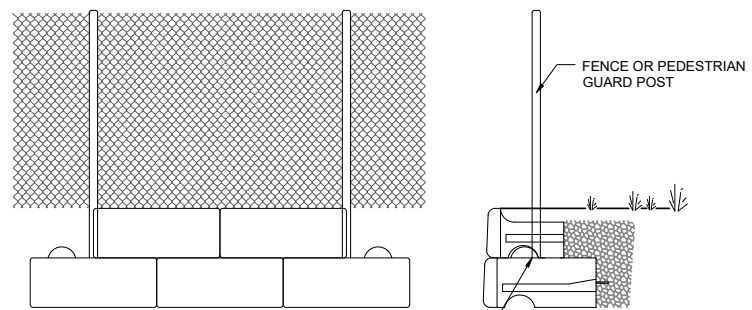
**TOP VIEW**  
(NO SCALE)  
**90° OUTSIDE CORNER**  
**DETAIL**  
(28" AND 41" SERIES)



**STEPS THROUGH WALL (TYP.)**  
NO SCALE



**FENCE OR PEDESTRIAN**  
**GUARD CONNECTION OPTIONS**



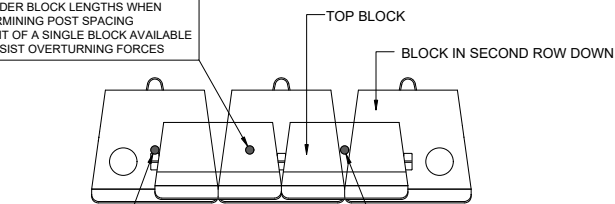
**FRONT VIEW**

**SIDE VIEW**

**CONNECTION OPTION #1**  
ANCHOR INTO THE TOP BLOCK  
• CONSIDER BLOCK LENGTHS WHEN DETERMINING POST SPACING  
• WEIGHT OF A SINGLE BLOCK AVAILABLE TO RESIST OVERTURNING FORCES

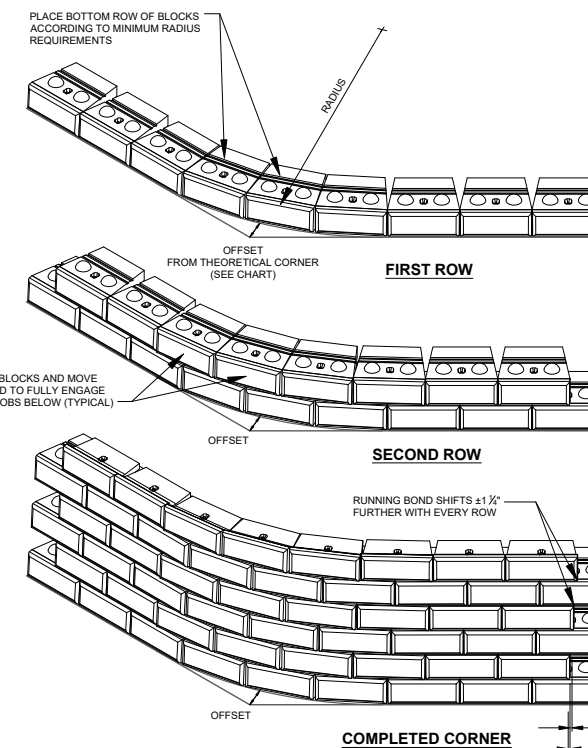
**CONNECTION OPTION #2**  
GROUT POSTS IN V-SHAPED OPENING BETWEEN TOP BLOCKS  
• SPACING IN MULTIPLES OF 46 1/8"  
• WEIGHT OF 2 ADJACENT BLOCKS AVAILABLE TO RESIST OVERTURNING FORCES

**CONNECTION OPTION #3**  
CORE THROUGH TOP BLOCK AND GROUT POSTS IN V-SHAPED OPENING BETWEEN LOWER BLOCKS  
• SPACING IN MULTIPLES OF 46 1/8" (1172 MM)  
• WEIGHT OF 2 ADJACENT BLOCKS ON SECOND LEVEL DOWN AND 3 TOP ROW BLOCKS AVAILABLE TO RESIST OVERTURNING FORCES



**TOP VIEW**

**FENCE OR PEDESTRIAN**  
**GUARD CONNECTION LOCATIONS**



**MINIMUM RADIUS AND**  
**OFFSET FOR BOTTOM ROW**

NUMBER OF COURSES	HEIGHT OF BLOCKS	RADIUS FROM FACE OF BLOCK	OFFSET
1	1'-6"	14'-6"	± 14 3/4"
2	3'-0"	14'-8"	± 14 1/2"
3	4'-6"	14'-10"	± 14 1/8"
4	6'-0"	15'-0"	± 14 1/8"
5	7'-6"	15'-2"	± 15"
6	9'-0"	15'-4"	± 15 1/8"
7	10'-6"	15'-6"	± 15 3/8"
8	12'-0"	15'-8"	± 15 1/2"
9	13'-6"	15'-10"	± 15 5/8"
10	15'-0"	16'-0"	± 15 3/4"
11	16'-6"	16'-2"	± 16"
12	18'-0"	16'-4"	± 16 1/8"
13	19'-6"	16'-6"	± 16 1/4"
14	21'-0"	16'-8"	± 16 1/2"

**OUTSIDE CORNER**  
**RADIAL SOLUTION**  
(28" AND 41" SERIES)

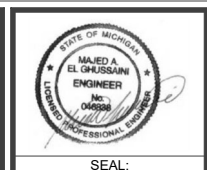
DATE	REVISIONS	BY
06-12-23	SUBMITTAL	M.G.
09-18-23	REVISED PER OWNER	M.G.

DATE	REVISIONS	BY



CLIENT:  
**BEN CROSS**  
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DESIGN BY: D.H.  
CHECKED BY: M.G.  
APPROVED BY: M.G.  
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5711 SOUTH ASHFORD WAY  
YPSILANTI, MI 48197  
PHONE: 734-272-9763

**PROPOSED REDI-ROCK® RETAINING WALLS**  
5680 GLEN ECHO DRIVE  
HOWELL, LIVINGSTON COUNTY, MI  
**WALL DETAILS**

SCALE:  
**AS NOTED**  
PROJECT No.: **23-112**  
SHEET No.: **RW.2.1**

# SPECIFICATION FOR REDI-ROCK® 28"- 41"- 60" SERIES WALL SYSTEM

## PART 1: GENERAL

### 1.1 SCOPE

WORK INCLUDES FURNISHING AND INSTALLING CONCRETE MODULAR RETAINING WALL UNITS AT THE LOCATIONS AND ELEVATIONS SHOWN ON "SHOP DRAWINGS", AS PER "SKETCH OF EXISTING CONDITIONS", SHEET 1 OF 1, PREPARED BY GARLOCK-SMITH PROFESSIONAL SURVEYORS, REVISED DATE 08-22-2023.

### 1.2 REFERENCE STANDARDS

- A. ASTM C94 READY-MIXED CONCRETE
- B. ASTM C1372 SEGMENTAL RETAINING WALL UNITS
- C. FHWA-NHI-10-024 VOLUME I AND GEC 11 DESIGN OF MECHANICALLY STABILIZED EARTH WALLS AND REINFORCED SOIL SLOPES.
- D. FHWA-NHI-10-025 VOLUME II AND GEC 11 DESIGN OF MECHANICALLY STABILIZED EARTH WALLS AND REINFORCED SOIL SLOPES.
- E. NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA) DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS (ASD), 3RD EDITION.
- F. REDI-ROCK DESIGN RESOURCE MANUAL, V20, BY REDI-ROCK INTERNATIONAL, LLC.
- G. PRECAST MODULAR BLOCK-DESIGN MANUAL FOR GRAVITY WALLS-VOL 1, BY ASTER BRANDTS, DBA OF REDI-ROCK INTERNATIONAL, LLC., 2022.
- H. INTERNATIONAL BUILDING CODE 2018.
- I. MICHIGAN BUILDING CODE 2018

### 1.3 DELIVERY, STORAGE, AND HANDLING

1. CONTRACTOR SHALL CHECK THE MATERIALS UPON DELIVERY TO ASSURE PROPER MATERIAL HAS BEEN RECEIVED.
2. CONTRACTOR SHALL PREVENT EXCESSIVE MUD, WET CEMENT AND LIKE MATERIALS FROM COMING IN CONTACT WITH THE SRW UNITS.
3. CONTRACTOR SHALL PROTECT THE MATERIALS FROM DAMAGE. DAMAGED MATERIAL SHALL NOT BE INCORPORATED IN THE PROJECT.

### 1.4 DEFINITIONS:

1. PRECAST MODULAR BLOCK (PMB) UNIT - MACHINE-PLACED, "WET CAST" CONCRETE MODULAR BLOCK RETAINING WALL FACING UNIT.
2. DRAINAGE AGGREGATE - CLEAN, CRUSHED STONE PLACED WITHIN AND IMMEDIATELY BEHIND THE PRECAST MODULAR BLOCK UNITS TO FACILITATE DRAINAGE AND REDUCE COMPACTION REQUIREMENTS IMMEDIATELY ADJACENT TO AND BEHIND THE PRECAST MODULAR BLOCK UNITS.
3. UNIT CORE FILL - CLEAN, CRUSHED STONE PLACED WITHIN THE HOLLOW VERTICAL CORE OF A PRECAST MODULAR BLOCK UNIT. TYPICALLY, THE SAME MATERIAL USED FOR DRAINAGE AGGREGATE AS DEFINED ABOVE.
4. FOUNDATION ZONE - SOIL ZONE IMMEDIATELY BENEATH THE LEVELING PAD.
5. RETAINED ZONE - SOIL ZONE IMMEDIATELY BEHIND THE DRAINAGE AGGREGATE AND WALL INFILL FOR WALL SECTIONS DESIGNED AS MODULAR GRAVITY STRUCTURES.
6. LEVELING PAD - HARD, FLAT SURFACE UPON WHICH THE BOTTOM COURSE OF PRECAST MODULAR BLOCKS IS PLACED. THE LEVELING PAD MAY BE CONSTRUCTED WITH CRUSHED STONE OR CAST-IN-PLACE CONCRETE. A LEVELING PAD IS NOT A STRUCTURAL FOOTING.
7. WALL INFILL - THE FILL MATERIAL PLACED AND COMPACTED BETWEEN THE DRAINAGE AGGREGATE AND THE EXCAVATED SOIL FACE IN RETAINING WALL SECTIONS DESIGNED AS MODULAR GRAVITY STRUCTURES.

## PART 2: MATERIALS

### 2.1 WALL UNITS

- A. WALL UNITS SHALL BE REDI-ROCK® BLOCKS, GREY LEDGESTONE TEXTURE, SUBJECT OF OWNER'S APPROVAL, AS PRODUCED BY REDI-WALL, LLC 5700 E. HIGHLAND RD., HOWELL, MI 48843.
- B. WALL UNITS SHALL BE MADE WITH READY-MIXED CONCRETE IN ACCORDANCE WITH ASTM C94, LATEST REVISION.
- C. EXTERIOR BLOCK DIMENSIONS SHALL BE UNIFORM AND CONSISTENT. MAXIMUM DIMENSIONAL DEVIATIONS SHALL BE 1% EXCLUDING THE ARCHITECTURAL SURFACE. MAXIMUM WIDTH (FACE TO BACK) DEVIATION INCLUDING THE ARCHITECTURAL SURFACE SHALL BE 1.0 INCH.
- D. EXPOSED FACE SHALL BE FINISHED AS SPECIFIED. OTHER SURFACES TO BE SMOOTH FORM TYPE. DIME-SIZE BUG HOLES ON THE BLOCK FACE MAY BE PATCHED AND/OR SHAKE-ON COLOR STAIN CAN BE USED TO BLEND INTO THE REMAINDER OF THE BLOCK FACE.

### 2.2 LEVELING LAYER AND FREE DRAINING BACKFILL

- A. LEVELING LAYER SHALL BE MDOT 21AA CRUSHED LIMESTONE COMPACTED TO MIN. 95% OF THE MAX. DRY DENSITY (MODIFIED PROCTOR).
- B. FREE DRAINING MATERIAL SHALL BE MDOT 6A CRUSHED LIMESTONE AND SHALL BE PLACED TO A MINIMUM OF 12" WIDTH BEHIND THE BACK OF THE WALL AND SHALL EXTEND VERTICALLY FROM THE BOTTOM OF THE WALL TO AN ELEVATION 4" BELOW THE TOP OF WALL. PEA-GRAVEL IS NOT ALLOWED AS A SUBSTITUTION OF THE DRAINAGE MATERIAL.
- C. ANY BACKFILL DUE TO EXCAVATION SHALL CONSIST OF MDOT CLASS II SAND, COMPACTED TO MIN. 95% OF THE MAX. DRY DENSITY (MODIFIED PROCTOR).
- D. MIRAFI-140 OR EQUAL, NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED BETWEEN THE FREE DRAINING BACKFILL MATERIAL THE AND RETAINED / BACKFILL SOIL.
- E. WHERE ADDITIONAL FILL IS NEEDED, CONTRACTOR SHALL SUBMIT SAMPLE AND SPECIFICATIONS TO THE ENGINEER FOR APPROVAL.

### 2.3 DRAINAGE

- A. EXTERNAL DRAINAGE SHALL BE EVALUATED BY THE PROJECT CIVIL ENGINEER.

## PART 3: CONSTRUCTION OF WALL SYSTEM

### 3.1 EXCAVATION

- A. CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES SHOWN ON THE CONSTRUCTION DRAWINGS.

### 3.2 FOUNDATION SOIL PREPARATION

- A. EXISTING UNSUITABLE SOILS, IF ENCOUNTERED, MUST BE REMOVED FROM BELOW THE LEVELING LAYER AND REPLACED WITH 21AA CRUSHED LIMESTONE OR 1"x3" CRUSHED LIMESTONE. FILL UNDERCUT AND REPLACEMENT MUST EXTEND OUTWARD AND DOWNWARD FROM THE OF LEVELING LAYER ON A SLOPE OF 2V : 1H.
- B. IN-SITU FOUNDATION SOIL SHALL BE EXAMINED BY THE PROJECT GEOTECHNICAL ENGINEER TO ENSURE THAT THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH. SOIL NOT MEETING THE REQUIRED STRENGTH SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE, COMPACTED MATERIAL.

### 3.3 LEVELING LAYER PLACEMENT

- A. LEVELING LAYER SHALL BE PLACED AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- B. LEVELING LAYER SHALL BE PLACED ON UNDISTURBED SUITABLE NATIVE SOILS OR 1"x3" CRUSHED LIMESTONE OR CRUSHED CONCRETE STABILIZED PAD, AS DIRECTED BY THE PROJECT GEOTECHNICAL ENGINEER.
- C. LEVELING LAYER SHALL BE COMPACTED AND SHALL BE CONSTRUCTED TO THE PROPER ELEVATION TO ENSURE THE FINAL ELEVATION SHOWN ON THE PLANS.
- D. LEVELING LAYER SHALL HAVE A 6 TO 9 INCHES MINIMUM DEPTH, AS SHOWN ON PLANS. LEVELING PAD DIMENSIONS SHALL EXTEND BEYOND THE BLOCKS IN ALL DIRECTIONS TO A DISTANCE OF AT LEAST 6 TO 9 INCHES, RESPECTIVELY.

### 3.4 UNIT INSTALLATION

- A. THE FIRST COURSE OF WALL UNITS SHALL BE PLACED ON THE PREPARED LEVELING LAYER WITH THE AESTHETIC SURFACE FACING OUT AND THE FRONT EDGES TIGHT TOGETHER. ALL UNITS SHALL BE CHECKED FOR LEVEL AND ALIGNMENT AS THEY ARE PLACED.
- B. ENSURE THAT UNITS ARE IN FULL CONTACT WITH LEVELING LAYER. PROPER CARE SHALL BE TAKEN TO DEVELOP STRAIGHT LINES AND SMOOTH CURVES ON BASE COURSE AS PER WALL LAYOUT.  
THE BACKFILL IN FRONT AND BACK OF ENTIRE BASE ROW SHALL BE PLACED AND COMPACTED TO FIRMLY LOCK THEM IN PLACE. CHECK ALL UNITS AGAIN FOR LEVEL AND ALIGNMENT. ALL EXCESS MATERIAL SHALL BE SWEEPED FROM TOP OF UNITS. PLACE AN 18 INCH X 12 INCH PIECE OF NON-WOVEN GEOTEXTILE FABRIC IN THE VERTICAL JOINT BETWEEN THE BLOCKS TO PREVENT THE DRAINAGE AGGREGATE AND BACKFILL MATERIAL FROM MIGRATING THROUGH THE VERTICAL JOINTS BETWEEN BLOCKS.
- C. INSTALL NEXT COURSE OF WALL UNITS ON TOP OF BASE ROW. POSITION BLOCKS TO BE OFFSET FROM SEAMS OF BLOCKS BELOW. BLOCKS SHALL BE PLACED FULLY FORWARD SO KNOB AND GROOVE ARE ENGAGED. CHECK EACH BLOCK FOR PROPER ALIGNMENT AND LEVEL. BACKFILL TO 12 INCH WIDTH BEHIND BLOCK WITH FREE DRAINING BACKFILL. SPREAD BACKFILL IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES. EMPLOY METHODS USING LIGHTWEIGHT COMPACTION EQUIPMENT THAT WILL NOT DISRUPT THE STABILITY OR BATTER OF THE WALL. HAND-OPERATED PLATE COMPACTION EQUIPMENT SHALL BE USED AROUND THE BLOCK AND WITHIN 3 FEET OF THE WALL TO ACHIEVE CONSOLIDATION.
- D. INSTALL EACH SUBSEQUENT COURSE IN LIKE MANNER. REPEAT PROCEDURE TO THE EXTENT OF WALL HEIGHT.
- E. ALLOWABLE CONSTRUCTION TOLERANCE AT THE WALL FACE IS 2 DEGREES VERTICALLY AND 1 INCH IN 10 FEET HORIZONTALLY.
- F. ALL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL BUILDING CODES AND REQUIREMENTS, INCLUDING PROPER FALL PROTECTION. FALL PROTECTION RAILING/ FENCING TO BE INSTALLED IN CONFORMANCE WITH LOCAL AND STATE CODES. THE DESIGN OF THE FALL PROTECTION SYSTEM TO BE PERFORMED BY OTHERS AND INSTALLED BY OWNER/ OWNER'S REPRESENTATIVE.

### 3.5 QUALITY CONTROL

- A. OWNER MUST RETAIN SERVICES OR A QUALIFIED PROFESSIONAL TO PERFORM QUALITY ASSURANCE CHECKS OF INSTALLATION'S WORK. THE PROFESSIONAL ENGINEER AND/OR THIRD PARY INSPECTION AGENCY SHOULD INSPECT AT MINIMUM THE SUITABILITY OF THE FOUNDATION SOILS, TO CONDUCT TESTS RELATED TO THE SOIL BEARING CAPACITY, TO PERFORM DENSITY TESTING ON LEVELING PAD AND BACKFIL GRANULAR MATERIAL.

3.6 DESIGN OF WALL IS BASED ON THE "SKETCH OF EXISTING CONDITIONS", SHEET 1 OF 1, PREPARED BY GARLOCK-SMITH PROFESSIONAL SURVEYORS, REVISED DATE 08-22-2023. THE SOIL DESIGN PARAMETERS ARE ESTIMATED, NO GEOTECHNICAL EXPLORATION REPORT WAS AVAILABLE AT THE TIME OF DESIGNING THE RETAINING WALL.

### 3.7 DESIGN PARAMETERS:

#### 3.7.1 DESIGN OF WALL BASED ON THE FOLLOWING PARAMETERS:

	EFFECTIVE FRICTION ANGLE	EFFECTIVE COHESION	MOIST UNIT WT.
RETAINED SOIL	32°	0	120 PCF
DRAINAGE FILL	38°	0	110 PCF
FOUNDATION SOIL	32°	0	125 PCF
LEVELING PAD	40°	0	135 PCF

3.7.2 DESIGN SURCHARGE LOADS:  
100 PSF LIVE LOAD (PEDESTRIAN/ CONSTRUCTION/ MAINTENANCE);  
550 PSF DEAD LOAD (UPPER WALL SURCHARGE)

3.7.3 THE DESIGN SOIL PARAMETERS TO BE VERIFIED AND APPROVED BY THE OWNER'S REPRESENTATIVE OR PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION OF THE RETAINING WALL.

MAXIMUM APPLIED BEARING PRESSURE: 1,250 PSF. (SEE CURRENT "ELEVATION VIEW" SHEETS (RW-1) FOR APPLIED BEARING PRESSURE FOR EACH SECTIONS OF THE REDI-ROCK RETAINING WALL).

## PART 4: AVAILABILITY

**REDI-WALL, LLC**  
5700 E. HIGHLAND RD.  
HOWELL, MI 48843  
810-936-1451  
MR. BLAINE PICKHOVER

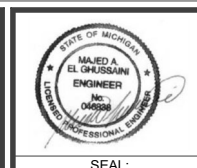
DATE	REVISIONS	BY
06-12-23	SUBMITTAL	M.G.
09-18-23	REVISED PER OWNER	M.G.

DATE	REVISIONS	BY



CLIENT:  
**BEN CROSS**  
5680 GLEN ECHO DR.  
HOWELL, MI 48843  
248-462-0458

DESIGN BY: D.H.  
CHECKED BY: M.G.  
APPROVED BY: M.G.  
COPYRIGHT 2023  
GES-LLC



**GES-LLC**  
Civil Engineering ♦ Surveying ♦ Consulting  
5711 SOUTH ASHFORD WAY  
YPSILANTI, MI 48197  
PHONE: 734-272-9763

**PROPOSED REDI-ROCK® RETAINING WALLS**  
5680 GLEN ECHO DRIVE  
HOWELL, LIVINGSTON COUNTY, MI  
**SPECIFICATIONS & CONSTRUCTION NOTES**

SCALE:  
**AS NOTED**  
PROJECT No.: **23-112**  
SHEET No.: **RW-3**

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
US BANK TRUST	CROSS BENJAMIN	208,900	05/23/2017	WD	03-ARM'S LENGTH	2017R-016271	BUYER/SELLER	100.0
PRAY BEVERLY	US BANK TRUST	216,307	01/03/2017	WD	10-FORECLOSURE	2017R-003324	BUYER/SELLER	0.0
PRAY, RONALD & BEVERLY	PRAY BEVERLY	0	01/12/2005	WD	21-NOT USED/OTHER	4703/0718	BUYER/SELLER	0.0
PRAY, RONALD & BEVERLY		162,000	04/07/1995	WD	03-ARM'S LENGTH	1914-0084	BUYER/SELLER	100.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: LRR	Building Permit(s)	Date	Number	Status
5680 GLEN ECHO DR	School: HOWELL PUBLIC SCHOOLS		HOME	10/18/1994	94-345	NO START
	P.R.E. 100% 05/23/2017					
Owner's Name/Address	MAP #: V23-30					
CROSS BENJAMIN 5680 GLEN ECHO DR HOWELL MI 48843-9120	2024 Est TCV Tentative					

Tax Description	X	Improved		Vacant	Land Value Estimates for Land Table 4301.WEST LAKE CHEMUNG								
		Public	Improvements		Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
SEC. 10 T2N, R5E, GLEN ECHO LOT 126 ALSO EXTENDING THE LOT LINES TO THE WATERS EDGE PER CIRCUIT COURT CASE #18-29855-CZ RECORDED DEED # 2022R-008791 & 2022R-008792, CORRECTED 8/21	X		Dirt Road		I CANAL FRONT	50.00	79.00	1.0000	1.0000	2000	100		100,000
	X		Gravel Road		F NONLF SURPLUS	34.00	79.00	1.0000	1.0000	600	100		20,400
			Paved Road		84 Actual Front Feet, 0.15 Total Acres Total Est. Land Value = 120,400								
			Storm Sewer										
			Sidewalk										
			Water										
			Sewer										
			Electric										
			Gas										
			Curb										
			Street Lights										
			Standard Utilities										
			Underground Utils.										

Comments/Influences	Topography of Site	Level	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
		Rolling	2024	Tentative	Tentative	Tentative			Tentative
		Low	2023	60,000	133,500	193,500			118,432C
		High	2022	60,000	104,300	164,300			112,793C
		Landscaped	2021	33,600	100,800	134,400			109,190C
		Swamp							
		Wooded							
		Pond							
		X Waterfront							
		Ravine							
		Wetland							
		Flood Plain							
		X REFUSE							



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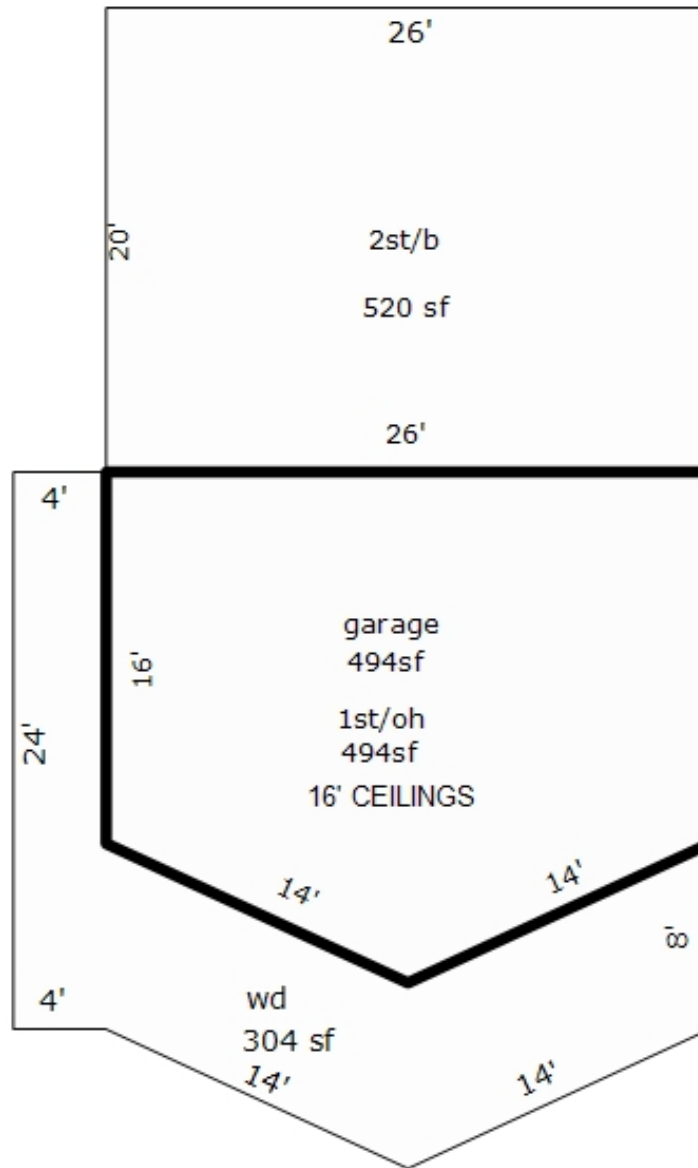
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story 1 Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas	Area 304	Type Treated Wood	Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: 2 Wall Foundation: 42 Inch Finished?: Yes Auto. Doors: 0 Mech. Doors: 0 Area: 494 % Good: 0 Storage Area: 0 No Conc. Floor: 0			
X	Wood Frame	(4) Interior			Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace X Forced Heat & Cool Heat Pump No Heating/Cooling												
Building Style: C		Drywall Paneled	Plaster Wood T&G	Trim & Decoration													
Yr Built 1997	Remodeled 0	Ex	X Ord	Min	Size of Closets												
Condition: Good		Lg	X Ord	Small	Central Air Wood Furnace												
Room List		Doors:	Solid X	H.C.	(12) Electric												
	Basement 1st Floor 2nd Floor 3 Bedrooms	(5) Floors			0 Amps Service												
		Kitchen: Other: Other:			No./Qual. of Fixtures												
(1) Exterior		X Ex.	Ord.	Min	No. of Elec. Outlets												
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings			Many	X Ave.	Few										
		(13) Plumbing			Average Fixture(s) 2 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan												
(2) Windows		(7) Excavation			(14) Water/Sewer												
X	Many Avg. Few	X	Large Avg. Small	Basement: 520 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0	Public Water 1 Public Sewer 1 Water Well 1000 Gal Septic 2000 Gal Septic												
	Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens	(8) Basement			Lump Sum Items:												
		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor	(9) Basement Finish			Chimney: Brick											
(3) Roof		Recreation SF Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)	Joists: Unsupported Len: Cntr.Sup:			Notes:  ECF (4307 W. LK CHEMUNG LK FRONT) 1.410 => TCV: 289,730											
X	Gable Hip Flat	Gambrel Mansard Shed	126	(10) Floor Support													
X	Asphalt Shingle																
Chimney: Brick																	

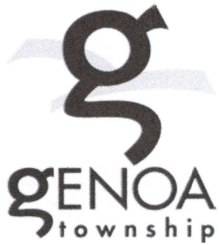
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



3 BEDROOMS  
2 FULL BATH  
1 PFFP  
A/C  
ASPHALT DW - NW



\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-25 Meeting Date: Oct 17, 2023  
~~Sept. 19th @ 6:30pm~~

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Christina Papi Email: gstoddart55@gmail.com  
Property Address: 1604 Greenmeadows Phone: 810-522-7722  
Brighton, MI 48114  
Present Zoning: Residential Tax Code: 4711-12-401-050

**ARTICLE 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Current ordinance states garage must be built 10' behind house, however, septic tank and septic field are there, so will not fit. Would like to put garage beside and slightly in front of the house.

Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

*Buyer of this property would like to have a garage but it will not fit according to the ordinance because the septic field and tank are in that location (at the back ~~behind the house~~). Requesting to build a garage beside and slightly in front of house.*

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

*The ordinance calls for a garage to be 10' behind the house which is where the septic tank and septic field are located. Many homes on the street have garages at the side and at front of house. These addresses on Greenmeadows have garages at side and front of home: 1627, 1702, 1738, 1750*

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

*A garage does not have a negative impact on public safety and welfare*

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

*A garage will not have a negative impact, but will increase this property's value as well as the surrounding neighborhood.*

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: *Aug 4, 2023* Signature: *Christina S. Papi*

Genoa Township Hall

2911 Dorr Rd

Brighton, MI 48116

To: Genoa Zoning Board Authority

Our home at 1604 Greenmeadows, Brighton, MI 48114 is in the process of being sold to Christina Papi. She would like to add a garage as soon as we close. Since the home is still in our name, Christina Papi needs a letter granting her permission to do so. This letter is giving her our permission to add a garage and needs the zoning board to grant her a variance to do so. Please accept this letter which grants her permission to add a garage to the property.

Thank you kindly,

*STEVEN NORDSTROM*

3:06p.m. 09-18-2023

2846d32

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Steven Nordstrom

*NICOLE NORDSTROM*

2:13p.m. 09-18-2023

9d5b42b

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Nicole Nordstrom



October 10, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	1604 Greenmeadows Drive – Dimensional Variance Review
<b>Location:</b>	1604 Greenmeadows Drive – west side of Greenmeadows, north of Twin Beach Drive
<b>Zoning:</b>	MHP Manufactured Housing Park District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variances for the construction of a new detached accessory building for the existing dwelling at 1604 Greenmeadows Drive.

The subject site is a conforming MHP lot containing a compliant dwelling and detached accessory building (shed)

The proposal entails a 384 square foot (16’ x 24’) detached garage that encroaches into the front yard of the site. The proposed building is also located only 6” from the dwelling.

In accordance with Section 11.04.02, two dimensional variances are needed for the following:

- A detached accessory building partially located within the front yard (which is not allowed); and
- A detached accessory building situated 6” from the principal building (where a minimum of 10’ is required).

**SUMMARY**

1. The submittal notes the location of the septic tank/field as factors that necessitate partial placement in the front yard; however, there is sufficient room to shift the proposed building to the west such that it is not in the front yard (practical difficulty/substantial justice).
2. There is limited property width to accommodate the required spacing between buildings, though the building could be shifted 2’ to the south to reduce the extent of the variance sought (substantial justice).
3. The property exceeds the minimum width and area required for a lot in the MHP; so, it may simply be the case that this site cannot accommodate a detached garage (practical difficulty/substantial justice).
4. In order to meet the substantial justice test, the applicant needs to minimize the number and extent of variances sought (substantial justice).
5. The submittal identifies the septic tank location as an extraordinary circumstance; however, there is sufficient area to shift the proposed building such that it does not encroach into the front yard (extraordinary circumstance).
6. The spacing requirement has its foundation in the need for fire separation between buildings. If the Board is to consider favorable action on the request, we strongly suggest that the Brighton Area Fire Authority be consulted for any concerns (public safety and welfare).
7. It is unclear how the 6” space between buildings would be maintained in terms of landscaping/ground cover or be kept free of any debris that may find its way into such a small area (public safety and welfare).
8. The submittal notes other dwellings in the neighborhood with garages that encroach into the front yard; however, it is unclear whether these are attached or detached buildings. We request the applicant clarify (impact on surrounding neighborhood).



*Aerial view of site and surroundings (looking north)*

## VARIANCE REVIEW

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** Variance from the Zoning Ordinance is not necessary to maintain the existing dwelling.

The submittal notes the location of the septic tank/field as factors that necessitate partial placement in the front yard; however, based on the drawing provided, there is sufficient room to shift the proposed building to the west such that it is not in the front yard.

This adjustment would block a window on the south side of the dwelling, but would not block access to/from the door depicted.

There is limited property width to accommodate the required spacing between buildings, though the building could be shifted 2' to the south to reduce the extent of the variance sought. However, the property exceeds the minimum width and area required for a lot in the MHP; so, it may simply be the case that this site cannot accommodate a detached garage.

In order to meet the substantial justice test, the applicant needs to minimize the number and extent of variances sought (as suggested above).

- 2. Extraordinary Circumstances.** The submittal identifies the septic tank location as an extraordinary circumstance; however, as noted above, there is sufficient area to shift the proposed building such that it does not encroach into the front yard.
- 3. Public Safety and Welfare.** One of our primary concerns with the request is the reduced spacing proposed between buildings (6" as opposed to 10').

The spacing requirement has its foundation in the need for fire separation between buildings. If the Board is to consider favorable action on the request, we strongly suggest that the Brighton Area Fire Authority be consulted for any concerns.

Additionally, it is unclear how the 6" space between buildings would be maintained in terms of landscaping/ground cover or be kept free of any debris that may find its way into such a small area.

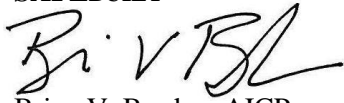
- 4. Impact on Surrounding Neighborhood.** The submittal notes other dwellings in the neighborhood with garages that encroach into the front yard; however, it is unclear whether these are attached or detached buildings.

We suggest the applicant clarify this for the Board, as only detached accessory buildings are not allowed in the front yard (attached garages are simply subject to setback requirement for principal buildings).

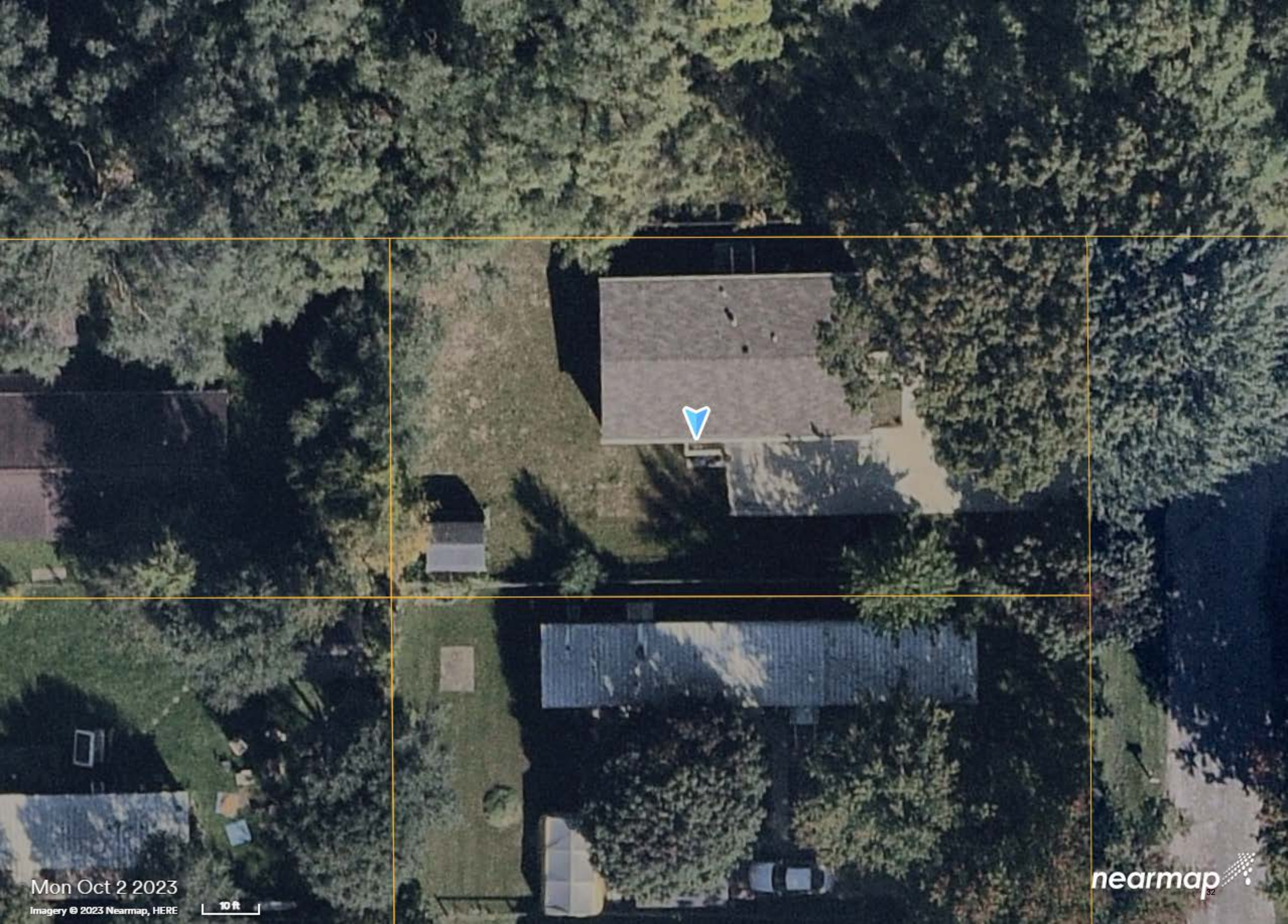
Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

**SAFE BUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP  
Michigan Planning Manager



Mon Oct 2 2023

Imagery © 2023 Nearmap, HERE

10 ft

nearmap 



Parcel #  
4711-12-401-050

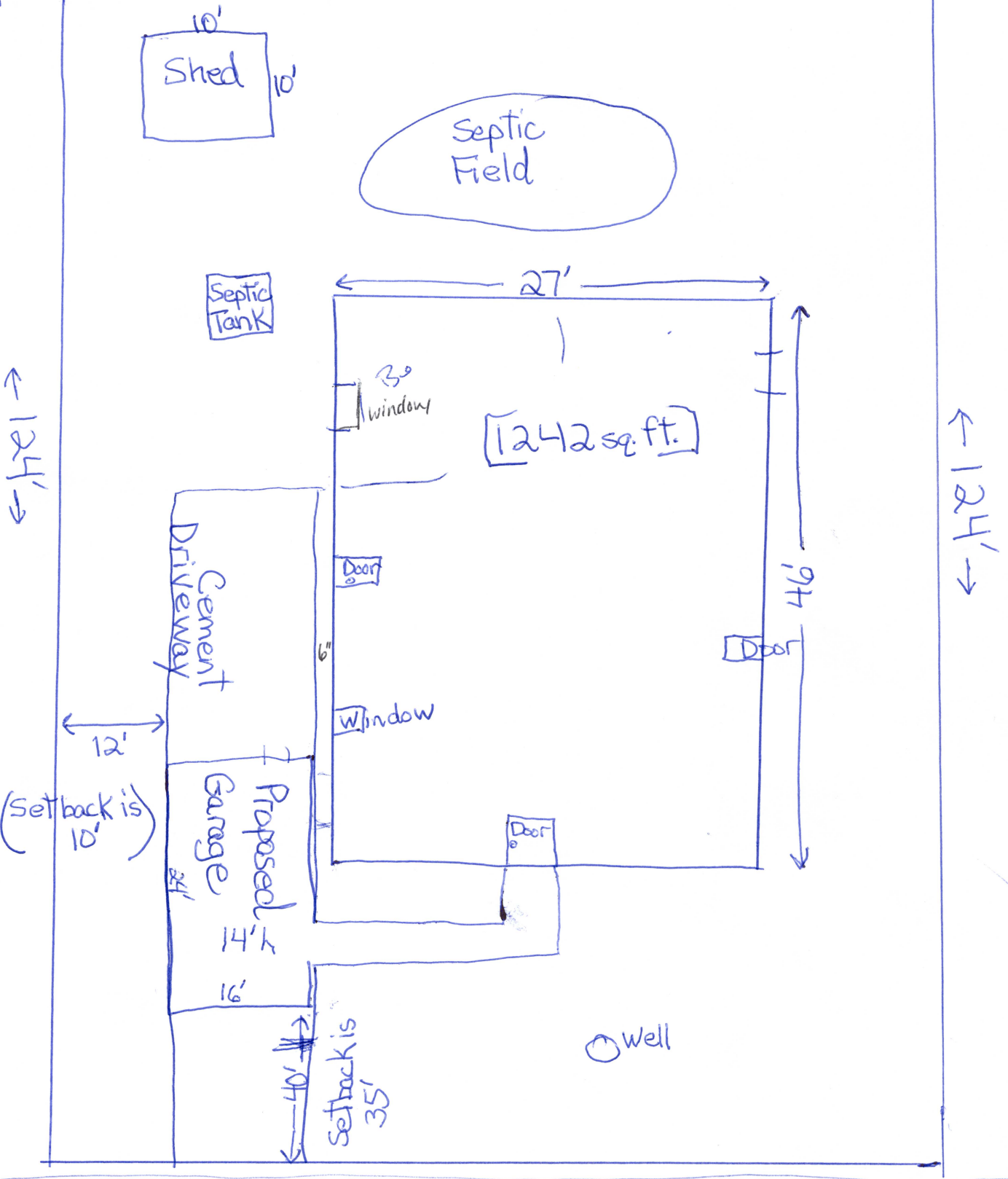
Everything except shed  
is 2yrs old.

1604 Greenmeadows Dr.

← 63' →

Brighton  
48114

.18 acre



Greenmeadows Dr.  
(Zoned Residential) Genoa Twp.

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.
NORDSTROM STEVEN & NICOLE	PAPI CHRISTINA	175,000	09/27/2023	WD	03-ARM'S LENGTH	2023R-018106	BUYER/SELLER	100.0
BARRIOS REBECCA	NORDSTROM STEVEN & NICOLE	100	04/30/2023	QC	09-FAMILY	2023R-009595	BUYER/SELLER	0.0
NORDSTROM, STEVEN	BARRIOS REBECCA	100	11/16/2020	QC	21-NOT USED/OTHER	2020R-042061	BUYER/SELLER	0.0
NORDSTROM, DONALD & REBECCA		0	04/25/1996	QC	21-NOT USED/OTHER	2054-0944	BUYER/SELLER	0.0

Property Address	Class: RESIDENTIAL-IMPROV	Zoning: MHP	Building Permit(s)	Date	Number	Status
1604 GREENMEADOWS DR	School: HOWELL PUBLIC SCHOOLS		Residential New Constructi	11/18/2020	P20-201	7 FINAL BL
	P.R.E. 100% 09/28/2023		Demolition	11/17/2020	PW20-127	7 FINAL BL
Owner's Name/Address	MAP #: V23-25		Demolition	09/04/2020	PW20-093	
PAPI CHRISTINA 1604 GREENMEADOWS DR BRIGHTON MI 48114	2024 Est TCV Tentative		RES MISCEL	02/15/2010	W10-008	NO START
	X Improved	Vacant	Land Value Estimates for Land Table 4404.SUBURBAN MOBILE HOME ESTATES			
	Public Improvements		* Factors *			

Tax Description	Description	Frontage	Depth	Front	Depth	Rate	%Adj.	Reason	Value
SEC. 12 T2N, R5E, "SUBURBAN MOBILE HOME ESTATES" LOT 50	<Site Value A> A STANDARD LOT					20000	100		20,000
		0.00	Total Acres	Total Est. Land Value =					20,000

Comments/Influences	Land Improvement Cost Estimates	Description	Rate	Size	% Good	Cash Value
		Dirt Road				
		Gravel Road				
		Paved Road				
		Storm Sewer				
		Sidewalk				
		Water	D/W/P: 3.5 Concrete	6.91	36 50	124
		Sewer	D/W/P: 3.5 Concrete	6.91	36 50	124
		Electric	Wood Frame	30.27	100 50	1,513
		Gas	Total Estimated Land Improvements True Cash Value =			1,761
		Curb				
		Street Lights				
		Standard Utilities				
		Underground Utils.				

Topography of Site	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
X Level	2024	Tentative	Tentative	Tentative			Tentative
Rolling	2023	10,000	60,400	70,400			70,400S
Low	2022	8,000	63,900	71,900			70,118C
High	2021	8,000	2,400	10,400			8,027C
Landscaped							
Swamp							
Wooded							
Pond							
Waterfront							
Ravine							
Wetland							
Flood Plain							
REFUSE							

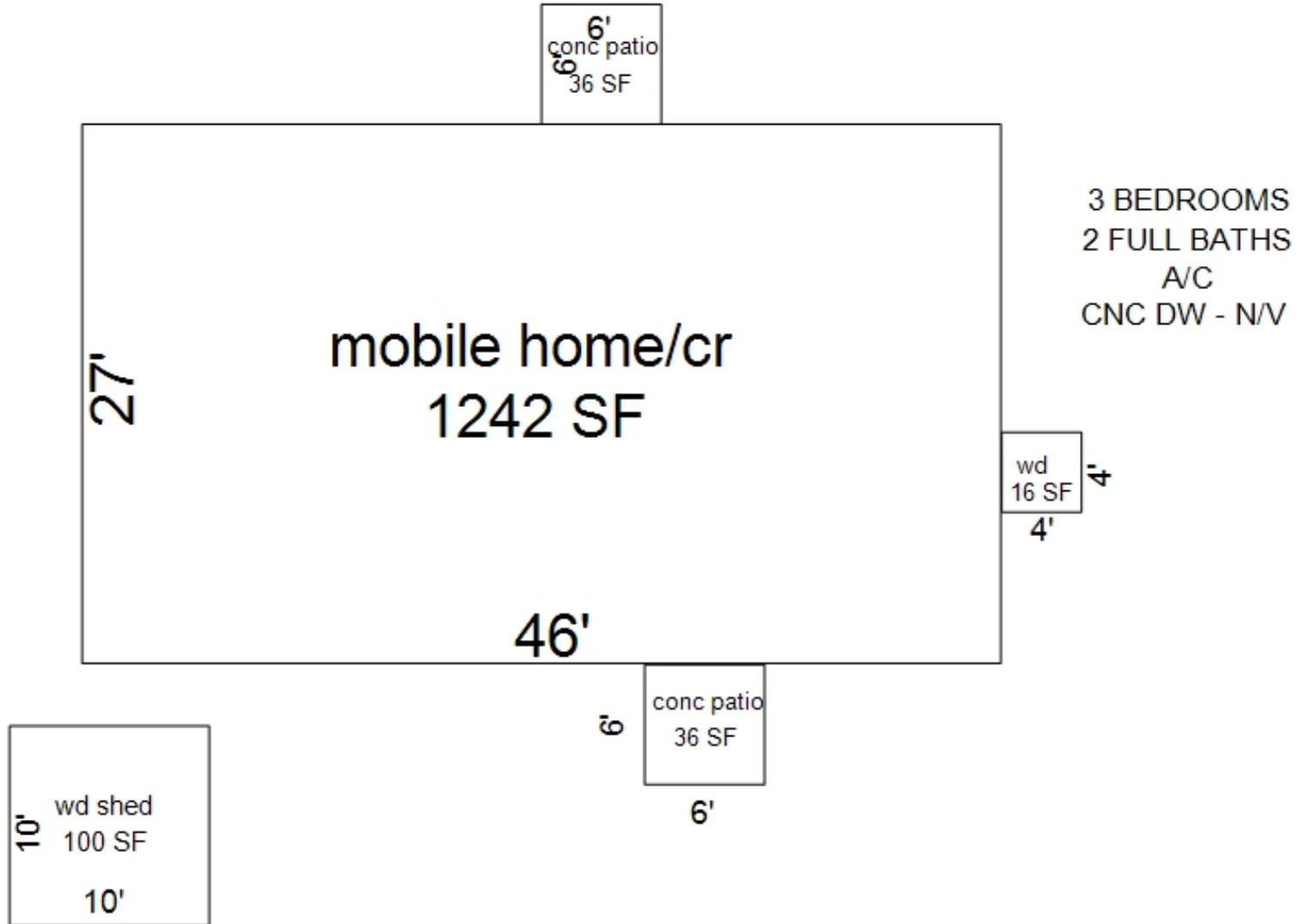


Who	When	What	Year	Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
4711-12-401-050	06/28/2021	JB 07/18/2023 REVIEWED R	2023	10,000	60,400	70,400			70,400S
The Equalizer. Copyright (c) 1999 - 2009.		JB 06/28/2021 INSPECTED	2022	8,000	63,900	71,900			70,118C
Licensed To: Township of Genoa, County of Livingston, Michigan		JB 12/15/2020 INSPECTED	2021	8,000	2,400	10,400			8,027C

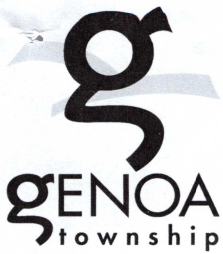
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage																	
X	Single Family	X	Eavestrough	X	Gas	Oil	Elec.	Appliance Allow.	Cook Top	Interior 1 Story	Interior 2 Story	Area	Type	16	Treated Wood	Year Built:																
	Mobile Home	X	Insulation		Wood	Coal											Steam	Dishwasher	Garbage Disposal	Two Sided	Exterior 1 Story	Exterior 2 Story	Car Capacity:									
	Town Home	0	Front Overhang	X	Forced Warm Air			Bath Heater	Vent Fan	Hot Tub	Unvented Hood	Vented Hood	Intercom	Jacuzzi Tub	Jacuzzi repl.Tub	Oven	Microwave	Standard Range	Self Clean Range	Sauna	Trash Compactor	Central Vacuum	Security System	Class: Good	Effec. Age: 0	Floor Area:	Total Base New : 153,834	E.C.F.	Total Depr Cost: 153,834	Estimated T.C.V: 127,682	X 0.830	No Conc. Floor:
	Duplex	0	Other Overhang		Warm & Cool Air	Wall Furnace																										
X	Wood Frame	(4) Interior															Bsmnt Garage:															
		X	Drywall		Plaster											Carport Area:																
			Paneled		Wood T&G												Roof:															
Building Style:		Trim & Decoration																Roof:														
C																																
Yr Built	Remodeled	Ex	X	Ord	Min											Roof:																
2021	0																															
Condition: Good		Size of Closets															Roof:															
		Lg	X	Ord	Small																											
Room List		Doors:	Solid	X	H.C.											Roof:																
	Basement	(5) Floors																														
	1st Floor	Kitchen:															Roof:															
	2nd Floor	Other:																														
	2 Bedrooms	Other:																														
(1) Exterior		No./Qual. of Fixtures															Roof:															
		Ex.	X	Ord.	Min																											
	Wood/Shingle	No. of Elec. Outlets															Roof:															
	Aluminum/Vinyl	Many		X	Ave.	Few																										
	Brick	(13) Plumbing															Roof:															
X	Vinyl	Average Fixture(s)																														
X	Insulation	2 3 Fixture Bath															Roof:															
		2 Fixture Bath																														
(2) Windows		(7) Excavation															Roof:															
		Basement: 0 S.F.																														
X	Many		Large														Roof:															
	Avg.	X	Avg.																													
	Few		Small														Roof:															
		Basement: 0 S.F.																														
		Crawl: 0 S.F.															Roof:															
		Slab: 0 S.F.																														
		Height to Joists: 0.0															Roof:															
		(8) Basement																														
	Wood Sash	Conc. Block															Roof:															
	Metal Sash	Poured Conc.																														
	Vinyl Sash	Stone															Roof:															
	Double Hung	Treated Wood																														
	Horiz. Slide	Concrete Floor															Roof:															
	Casement	(9) Basement Finish																														
	Double Glass	(14) Water/Sewer															Roof:															
	Patio Doors	Public Water																														
	Storms & Screens	Public Sewer															Roof:															
		Water Well																														
(3) Roof		1 1000 Gal Septic															Roof:															
		2000 Gal Septic																														
X	Gable		Gambrel														Roof:															
	Hip		Mansard																													
	Flat		Shed														Roof:															
		(10) Floor Support																														
X	Asphalt Shingle	Joists:															Roof:															
		Unsupported Len:																														
		Cntr.Sup:															Roof:															
		Lump Sum Items:																														
Chimney:																	Roof:															

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
 2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
 (810) 227-5225 | FAX (810) 227-3420

Case # 23-30 Meeting Date: 10-17-23

PAID Variance Application Fee

\$215.00 for Residential | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: Daniel Lalko Email: danny.lalko@gmail.com

Property Address: 4845 Pinehurst ct Phone: 810 772-3449

Present Zoning: SR Tax Code: 4711-25-400-020

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: Rear set

Rear set back, Property is legal Non Conforming  
Adding out side Patio with Future fire Place and reverse  
gable Roof, Patio is extension of existing rear of  
house structure.

**Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.**

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

Current setbacks would allow Approx 8' structure

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

The Non conforming lot is too narrow to allow for a building Envelope.

The Variance is the least amount necessary.

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

No interference to surrounding Properties.

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

Zero impact to Surrounding neighborhood.

**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 9-1-2023 Signature: Dunbar

October 10, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	4845 Pinehurst Court – Dimensional Variance Review
<b>Location:</b>	4845 Pinehurst Court – east side of Pinehurst Court, north of Brighton Road
<b>Zoning:</b>	SR Suburban Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking a dimensional variance for the construction of a new covered porch along the rear of the existing residence at 4845 Pinehurst Court.

The property is a nonconforming SR lot with deficient lot area and width. The existing residence is also nonconforming due to deficient front and rear yard setbacks.

The proposal entails a 245 square foot (12.3’ x 20’) extension of an existing covered porch along the rear of the residence.

In accordance with Section 3.04.01, one dimensional variance is needed for the following:

- A covered porch with a 23.3’ rear yard setback (where a minimum setback of 50’ is required).

## SUMMARY

1. The property is 94.7’ deep with a building envelope depth of 4.7’ (40’ front setback and 50’ rear setback required). This condition is the essence of a practical difficulty (practical difficulty).
2. The setback proposed matches that of the existing covered porch, so approval will not increase the extent of the existing nonconformity. A single variance matching an established nonconforming setback is in keeping with the test for substantial justice (substantial justice).
3. The property is quite shallow in relation to its width – the allowable SR building envelope is only 4.7’ deep (extraordinary circumstance).
4. Given the nature of the proposal and the property, granting of the variance will not impair the supply of light and air to adjacent properties, nor will it unreasonably impact traffic or public safety (public safety and welfare).
5. Based on review of aerial photos, the presence of existing vegetation will limit views of the covered porch from adjacent properties. The proposal matches the established setback of a similar structure along the rear of the residence (impact on surrounding neighborhood).



*Aerial view of site and surroundings (looking east)*

## VARIANCE REVIEW

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** Variance from the Zoning Ordinance is not necessary to maintain the existing residence; however, site conditions essentially preclude any expansion without a variance.

More specifically, the property is 94.7' deep with a building envelope depth of 4.7' (40' front setback and 50' rear setback required). This condition is the essence of a practical difficulty.

Additionally, the setback proposed matches that of the existing covered porch, so approval will not increase the extent of the existing nonconformity.

In our opinion, a single variance matching an established nonconforming setback is in keeping with the test for substantial justice.

- 2. Extraordinary Circumstances.** The property is quite shallow in relation to its width. As noted above, the allowable SR building envelope is only 4.7' deep.

The property depth is exacerbated by the deficient lot size (nonconforming area and width when compared to a standard SR lot).

- 3. Public Safety and Welfare.** Given the nature of the proposal and the property, granting of the variance will not impair the supply of light and air to adjacent properties, nor will it unreasonably impact traffic or public safety.

- 4. Impact on Surrounding Neighborhood.** Based on review of aerial photos, the presence of existing vegetation will limit views of the covered porch from adjacent properties.

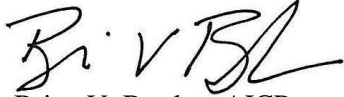
As previously noted, the covered porch extension will match existing conditions in terms of the rear setback provided.



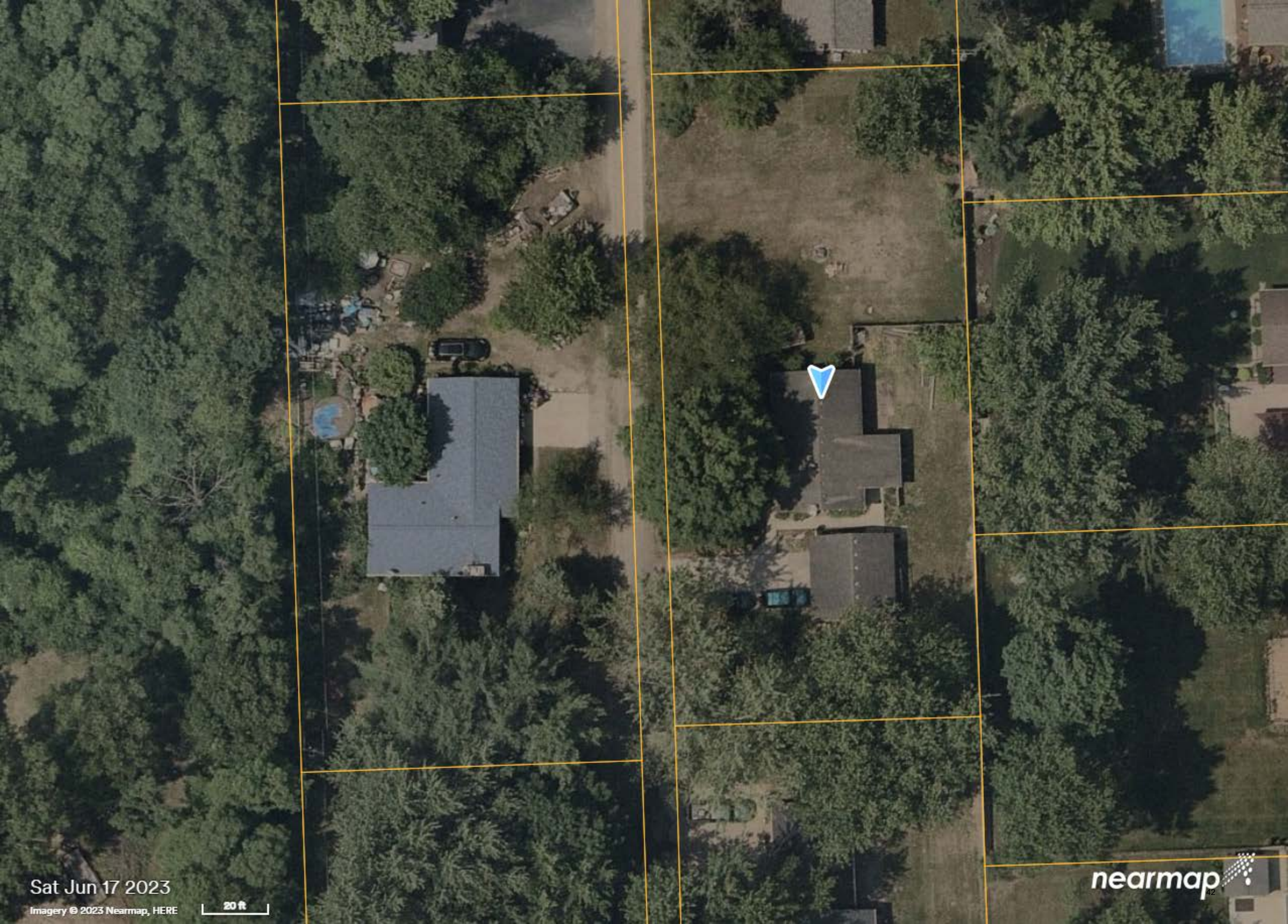
Genoa Township ZBA  
**4845 Pinehurst Court**  
Dimensional Variance Review  
Page 3

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,  
**SAFEBUILT**

A handwritten signature in black ink, appearing to read "B. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP  
Michigan Planning Manager

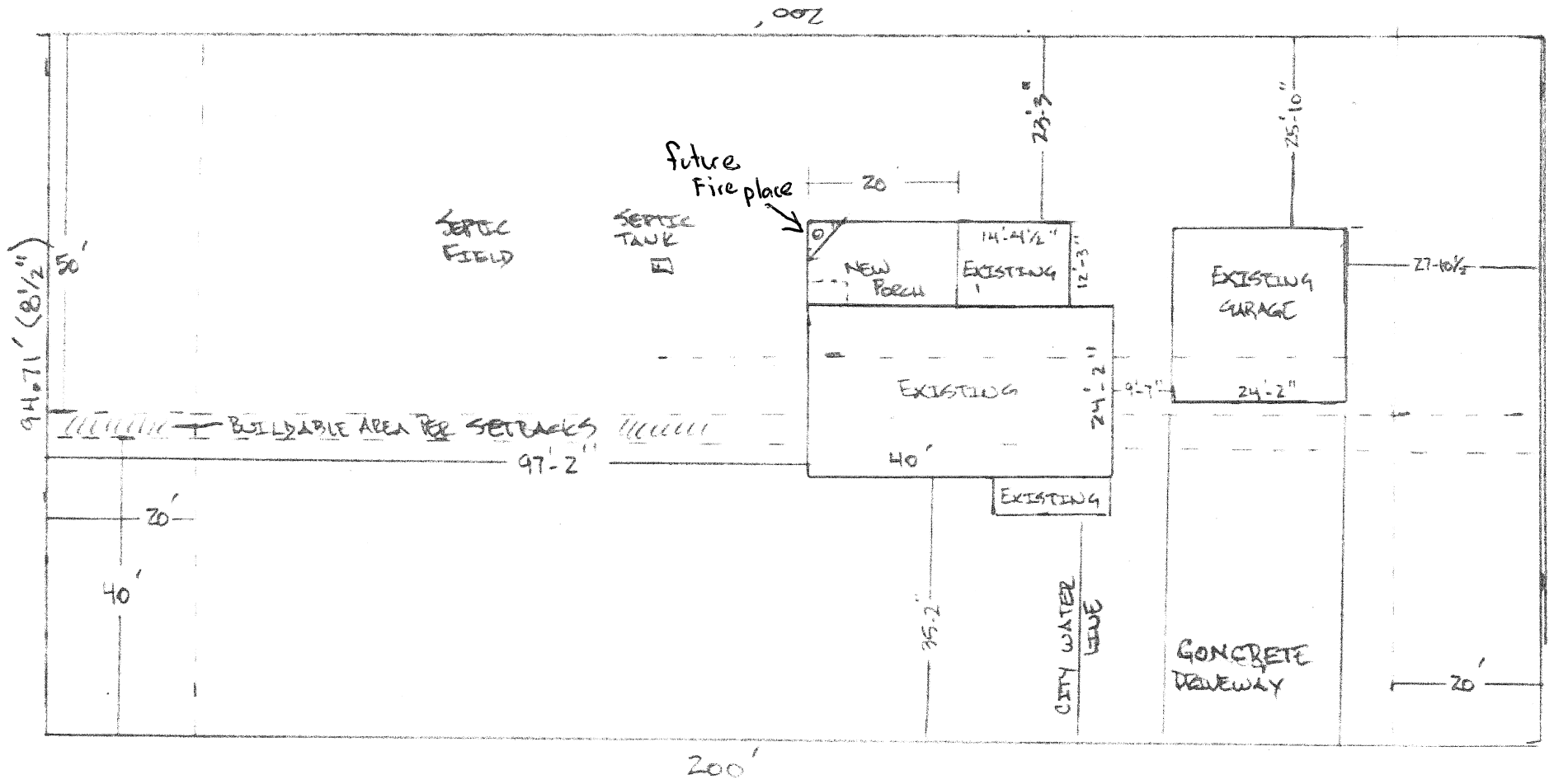


Sat Jun 17 2023

Imagery © 2023 Nearmap, HERE

20 ft

nearmap



4845 PINEHURST  
 BRIGHTON, MI 48116

ROAD

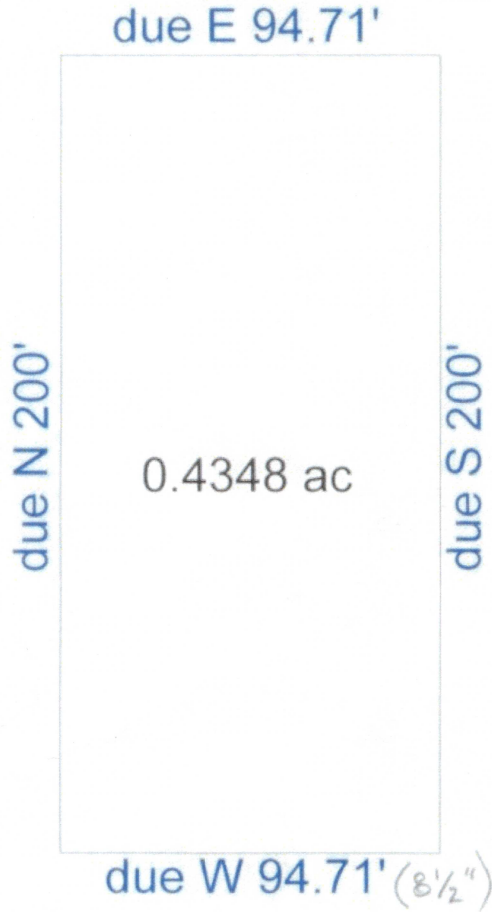
1/2" = 10'

# SKETCH/AREA TABLE ADDENDUM

## SUBJECT INFO

File No.: Parcel No.: 4711-25-400-020  
 Property Address: 4845 PINEHURST CT  
 City: BRIGHTON County: LIVINGSTON State: MI ZipCode: 48116  
 Owner: LALKO DANIEL & RAQUEL  
 Client: 00000 Client Address:  
 Appraiser Name: Inspection Date:

## SKETCH



Sketch by ApexSketch

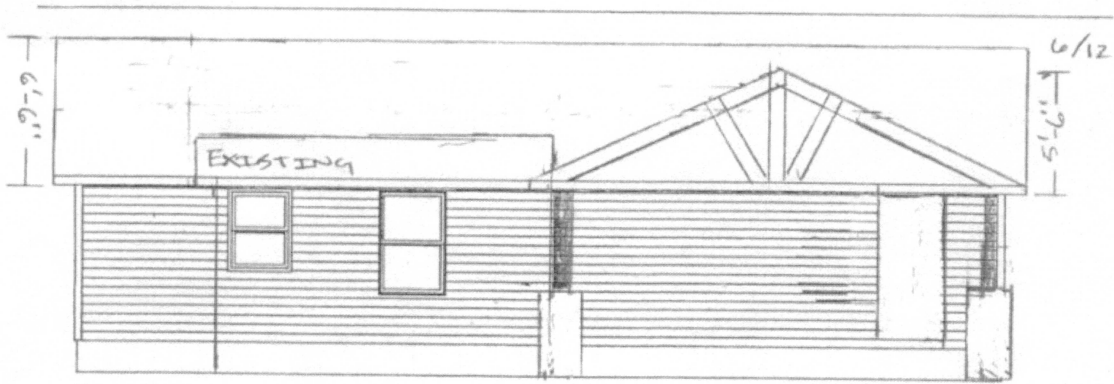
### AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
SITE	Subject Site	1	18942	589	18942

### COMMENT TABLE 1

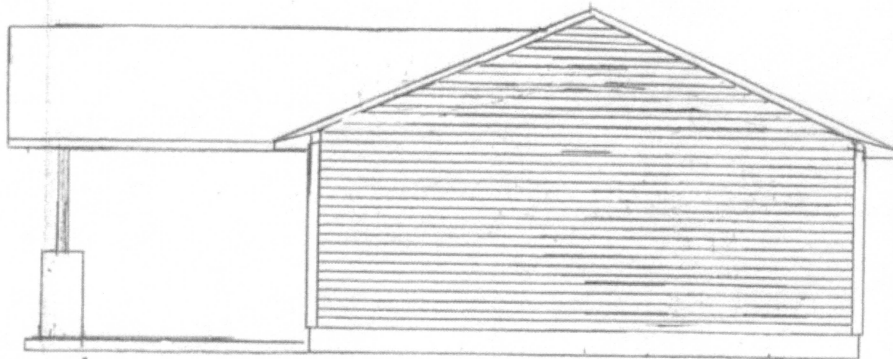
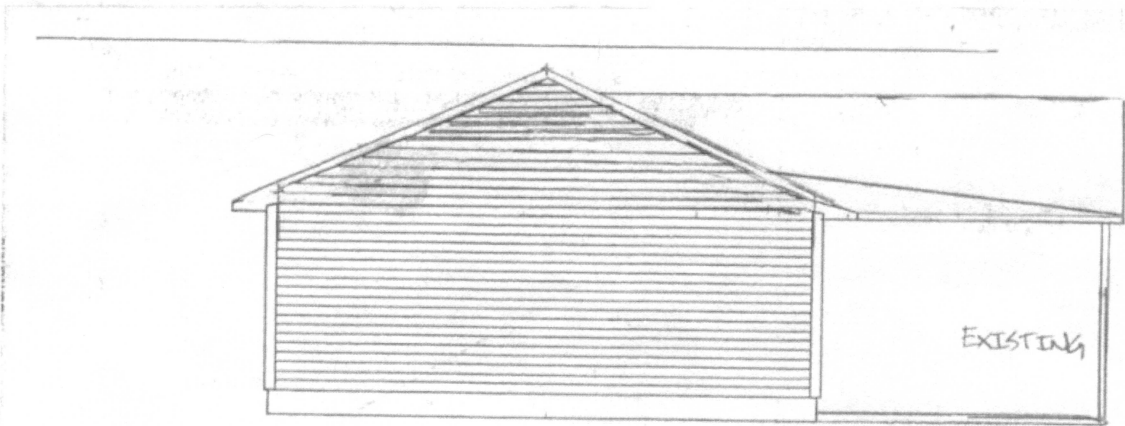
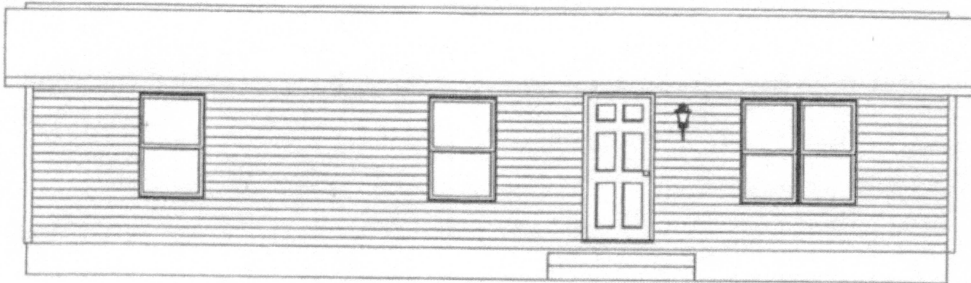
### COMMENT TABLE 2

### COMMENT TABLE 3



REAR ELEVATION

1/8" SCALE



future → FUTURE ↑

SCALE: 1/8" = 1/8"

Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.		
WELLS FARGO BANK	LALKO DANIEL & RAQUEL	96,299	12/13/2013	WD	10-FORECLOSURE	2014R-000141	BUYER/SELLER	100.0		
ROE, DANTE J. & ELIZABETH	WELLS FARGO BANK	114,043	06/13/2012	SD	10-FORECLOSURE	2012R-022797	BUYER/SELLER	0.0		
ROE, DANTE	ROE, DANTE J. & ELIZABETH	0	10/24/2002	QC	21-NOT USED/OTHER	3606-0675	BUYER/SELLER	0.0		
ROE, ELIZABETH J.	ROE, ELIZABETH & DANTE	0	08/05/1998	QC	21-NOT USED/OTHER	2401-0028	BUYER/SELLER	0.0		
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: SR		Building Permit(s)		Date	Number	Status
4845 PINEHURST CT		School: BRIGHTON AREA SCHOOLS								
Owner's Name/Address		P.R.E. 100% 12/13/2013								
LALKO DANIEL & RAQUEL 4845 PINEHURST CT BRIGHTON MI 48116-1339		MAP #: V23-31		2024 Est TCV Tentative						
Tax Description		X Improved		Vacant		Land Value Estimates for Land Table 4009.HOLLY DILLON MAG				
SEC. 25 T2N, R5E BEG E 18.42 FT & N 232 FT FROM NW COR OF LOT 33 SUNSET SUB, TH W 94.71 FT, N 200 FT, E 94.71 FT, S 200 FT TO BEG		Public Improvements		* Factors *		Description Frontage Depth Front Depth Rate %Adj. Reason Value				
Comments/Influences		Dirt Road		<Site Value D> PINEHURST SITE		60000		100		60,000
		Gravel Road		200 Actual Front Feet, 0.44 Total Acres		Total Est. Land Value =				60,000
		Paved Road								
		Storm Sewer								
		Sidewalk								
		Water								
		Sewer								
		Electric								
		Gas								
		Curb								
		Street Lights								
		Standard Utilities								
		Underground Utils.								
		Topography of Site								
		Level								
		Rolling								
		Low								
		High								
		Landscaped								
		Swamp								
		Wooded								
		Pond								
		Waterfront								
		Ravine								
		Wetland								
		Flood Plain								
		X REFUSE								
		Who		When		What		Year		Land Value
								2024		Tentative
								2023		30,000
								2022		30,000
								2021		30,000
										72,600
										102,600
										70,900
										100,900
										60,800
										90,800
										79,269C
										75,495C
										73,084C

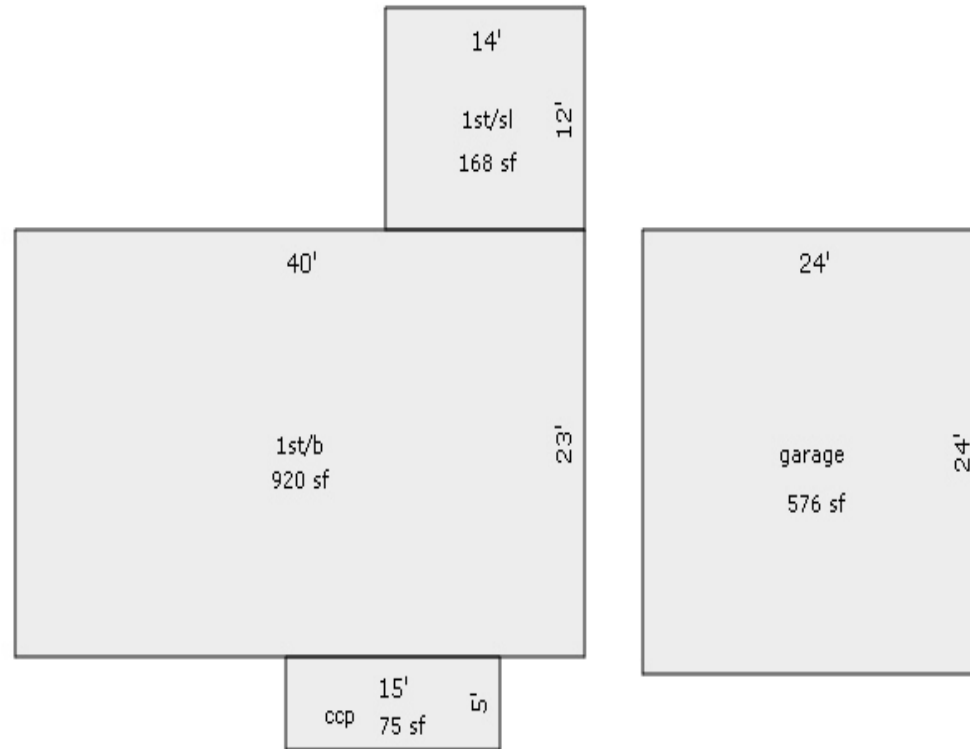


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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks			(17) Garage		
X	Single Family Mobile Home Town Home Duplex A-Frame	Eavestrough Insulation 0 Front Overhang 0 Other Overhang		X	Gas Wood	Oil Coal	Elec. Steam				Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided			Area Type 75 CCP (1 Story)		Year Built: Car Capacity: Class: C Exterior: Siding Brick Ven.: 0 Stone Ven.: 0 Common Wall: Detache Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 576 % Good: 0 Storage Area: 0 No Conc. Floor: 0		
X	Wood Frame	(4) Interior		X	Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling			Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System			1 Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove Direct-Vented Gas					Class: C Effec. Age: 30 Floor Area: 1,088 Total Base New : 241,749 Total Depr Cost: 169,223 Estimated T.C.V: 162,454		
Building Style: C		Drywall Paneled		Plaster Wood T&G														
Yr Built 1968		Remodeled 0		Ex		X	Ord	Min										
Condition: Good		Trim & Decoration		Size of Closets		Lg		X	Ord	Small								
Room List		Doors:		Solid		X	H.C.		Central Air Wood Furnace									
Basement 1st Floor 2nd Floor 3 Bedrooms		(5) Floors		(12) Electric			0 Amps Service											
(1) Exterior		Kitchen: Other: Other:		No./Qual. of Fixtures			Ex. X Ord. Min			Cost Est. for Res. Bldg: 1 Single Family C			Cls C Blt 1968					
X	Wood/Shingle Aluminum/Vinyl Brick	(6) Ceilings		No. of Elec. Outlets			Many X Ave. Few			Ground Area = 1088 SF Floor Area = 1088 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=70/100/100/100/70								
Insulation		(7) Excavation		(13) Plumbing			Average Fixture(s) 1 3 Fixture Bath 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet Extra Sink Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Building Areas								
(2) Windows		(8) Basement		Basement: 920 S.F. Crawl: 0 S.F. Slab: 168 S.F. Height to Joists: 0.0						1 Story Siding Exterior Foundation Size Cost New Depr. Cost 1 Story Siding Basement 920 168 Total: 169,199 118,438								
X	Many Avg. Few	X	Large Avg. Small	(9) Basement Finish					Other Additions/Adjustments									
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(10) Floor Support		Conc. Block Poured Conc. Stone Treated Wood Concrete Floor						Basement Living Area 816 30,714 21,500 Water/Sewer 1000 Gal Septic 1 5,106 3,574 Public Water 1 1,568 1,098 Porches CCP (1 Story) 75 2,285 1,599 Garages Class: C Exterior: Siding Foundation: 42 Inch (Unfinished) Base Cost 576 26,041 18,229 Fireplaces Exterior 1 Story 1 6,836 4,785 Totals: 241,749 169,223								
(3) Roof		Recreation SF 816 Living SF Walkout Doors (B) No Floor SF Walkout Doors (A)		(14) Water/Sewer			1 Public Water Public Sewer Water Well 1 1000 Gal Septic 2000 Gal Septic			Notes:			ECF (4009 HOLLY,DILLION,MAG) 0.960 => TCV: 162,454					
X	Gable Hip Flat	Gambrel Mansard Shed		Lump Sum Items:														
X	Asphalt Shingle	Joists: Unsupported Len: Cntr.Sup:																

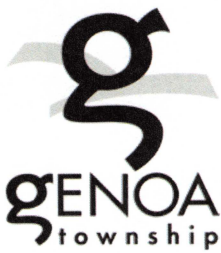
\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



Sketch by Apex Medina™

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*





**GENOA CHARTER TOWNSHIP VARIANCE APPLICATION**  
2911 DORR ROAD | BRIGHTON, MICHIGAN 48116  
(810) 227-5225 | FAX (810) 227-3420

Case # 23-32

Meeting Date: October 17, 2023 @ 6:30pm

PAID Variance Application Fee

**\$215.00 for Residential** | \$300.00 for Sign Variance | \$395.00 for Commercial/Industrial

Applicant/Owner: John and Cheryl Cleary Email: johngc62@comcast.net

Property Address: 3820 Crystal Valley Dr., Howell, 48843 Phone: 248.921.4117

Present Zoning: Single Family – Rural Residential Tax Code: 4711-32-201-010

**ARTICLE 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals.**

Each application for Variance is considered individually by the ZBA. The ZBA is a board of limited power; it cannot change the Zoning Ordinance or grant relief when it is possible to comply with the Zoning Ordinance. It may provide relief where due to unique aspects of the property with strict application of the zoning ordinance to the land results in practical difficulties or unnecessary hardship.

The applicant is responsible for presenting the information necessary to support the relief requested. While much of the necessary information is gathered through the completed application, other information may be gathered by on-site visits, other sources, and during the ZBA meeting. ZBA members, township officials and township staff may visit the site without prior notification to property owners.

**Failure to meet the submittal requirements and properly stake the property showing all proposed improvements may result in postponement or denial of this petition.**

Please explain the proposed variance below:

1. Variance requested/intended property modifications: To construct an accessory structure (detached garage) in front yard (corner lot).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Please note that the packet and staff report for your scheduled Zoning Board of Appeals meeting will be available to review at <https://www.genoa.org/government/boards/zoningboard> five days prior to the meeting.**

The following is per Article 23.05.03 of the Genoa Township Ordinance:

**Criteria Applicable to Dimensional Variances.** No variance in the provisions or requirements of the Ordinance shall be authorized by the Board of Appeals unless it is found from the evidence that all of the following conditions exist:

**Under each please indicate how the proposed project meets each criteria.**

Practical Difficulty/Substantial Justice. Compliance with the strict letter of the restrictions governing area, setbacks, frontage, height, bulk, density, or other dimensional provisions would unreasonably prevent the use of the property. Granting of a requested variance or appeal would do substantial justice to the applicant as well as to other property owners in the district and is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same zoning district and vicinity of the subject parcel.

**Due to the large size of the front yard on this corner lot, topographic challenges, and heavily wooded areas elsewhere on the lot, the location of the proposed accessory structure is limited to the proposed location.**

Extraordinary Circumstances. There are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district or the variance would make the property consistent with the majority of other properties in the vicinity. The need for the variance was not self-created by the applicant.

**Due to the location of the septic field, current driveway location, extremely large front yard, and irregular lot size, the proposed location appears to be the least intrusive location that honors the building setbacks and its significant mature hardwoods surrounding.**

Public Safety and Welfare. The granting of the variance will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.

**The project will comply with all required setbacks on this 2-acre lot and the granting of the variance will not impair or diminish the supply of light and air to adjacent properties. Also, the granting of the variance is not expected to impact traffic or public safety.**

Impact on Surrounding Neighborhood. The variance will not interfere with or discourage the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

**The granting of the variance is not expected to adversely impact neighboring properties, as well as the surrounding neighborhood. There are currently other accessory structures in the subdivision. The Homeowners Association Board has reviewed and approved the proposed location of the accessory structure.**  
**Attendance by the applicant is required at the Zoning Board of Appeals meeting.**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the Zoning Board of Appeals (ZBA).**

**After the decision is made regarding your Variance approval a land use permit will be required with additional site plans and construction plans.**

Date: 9/13/2023 Signature: John B. Cleary / Cheryl E. Cleary  
*John B. Cleary Cheryl E. Cleary* 50



October 10, 2023

Zoning Board of Appeals  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Amy Ruthig, Planning Director
<b>Subject:</b>	3820 Crystal Valley Drive – Dimensional Variance Review
<b>Location:</b>	3820 Crystal Valley Drive – southeast corner of Crystal Valley Drive and Leelanau Court
<b>Zoning:</b>	RR Rural Residential District

Dear Board Members:

At the Township’s request, we have reviewed the materials submitted seeking dimensional variance to construct a detached accessory building for the existing residence at 3820 Crystal Valley Drive.

The existing residence and property comply with the dimensional requirements of the RR District.

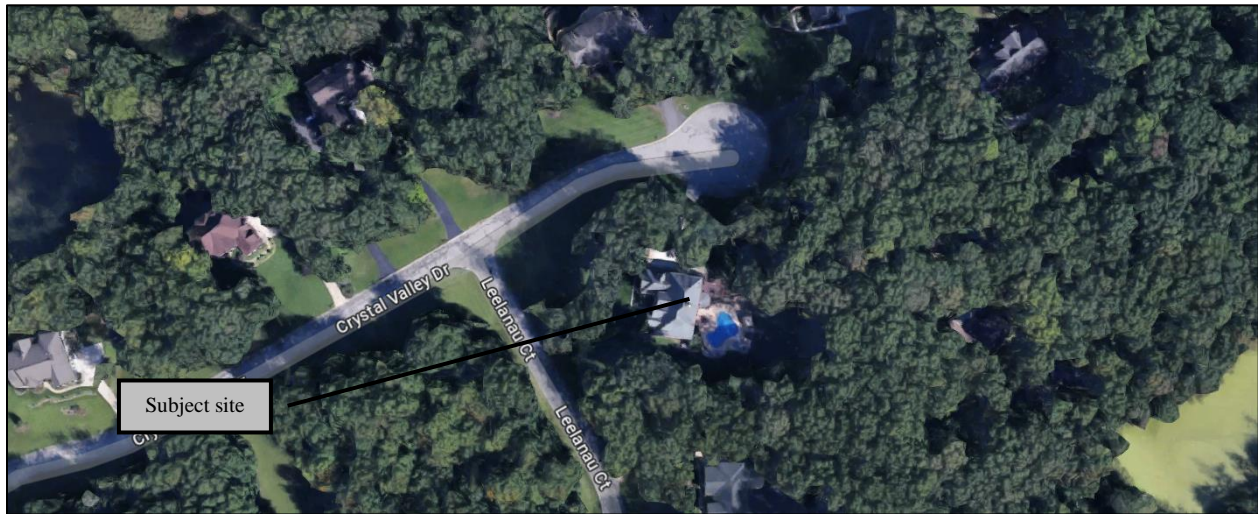
The proposal entails a 772 square foot detached accessory building located in the Crystal Valley Drive front yard.

In accordance with Section 11.04.02, dimensional variances are needed for the following:

- A detached accessory building within the front yard (where such structures are not permitted).

**SUMMARY**

1. The property configuration, utilities, and site topography combine to create difficulty for locating a detached accessory building. (practical difficulty).
2. The 1 variance sought is the minimum necessary to grant relief, so the applicant has minimized the number and extent of variances (substantial justice).
3. Side or rear yard alternatives are not reasonable given topography and utility location (substantial justice).
4. The Board could view strict compliance as unnecessarily burdensome (practical difficulty).
5. The most noticeable extraordinary circumstance is the relatively odd lot shape (extraordinary circumstance).
6. If this were a conventional corner lot, and not one along the side of cul-de-sac, the property building would be situated behind the front of the residence, and a variance would not be necessary (extraordinary circumstance).
7. Given the nature of the proposal and the surrounding area, granting of the variance will not impair the supply of light and air to adjacent properties, nor will it unreasonably impact traffic or public safety. (public safety and welfare).
8. If the Board considers favorable action, we suggest a condition that the existing vegetation be maintained to the greatest extent possible to help mitigate impacts of front yard placement. The Board may also consider requiring additional landscaping (impact on surrounding neighborhood).



*Aerial view of site and surroundings (looking north)*

## **VARIANCE REVIEW**

We have reviewed the request in accordance with the dimensional variance review criteria of Section 23.05.03, as follows:

- 1. Practical Difficulty/Substantial Justice.** Variances are not necessary to maintain the existing residence; however, the property configuration, utilities, and site topography combine to create difficulty for locating a detached accessory building.

Side or rear yard placement would be the typical alternatives, but the site's topography and location of utilities will not allow such placement without significant site alterations.

Based on these conditions, the Board could view strict compliance as unnecessarily burdensome to the applicant.

Additionally, the 1 variance sought is the minimum necessary to grant relief, so the applicant has minimized the number and extent of variances.

- 2. Extraordinary Circumstances.** The most noticeable extraordinary circumstance is the relatively odd lot shape. The site is a corner lot with frontage along the side of a cul-de-sac, which creates an odd shape.

If this were a conventional corner lot, and not one along the side of cul-de-sac, the property building would be situated behind the front of the residence, and a variance would not be necessary.

As previously referenced, topography and utilities only complicate placement when combined with the shape of the lot.

- 3. Public Safety and Welfare.** Given the nature of the proposal and the surrounding area, granting of the variance will not impair the supply of light and air to adjacent properties, nor will it unreasonably impact traffic or public safety.
- 4. Impact on Surrounding Neighborhood.** Based on the combination of setback from the roadway and presence of existing vegetation, we expect that views of the accessory building will be limited.

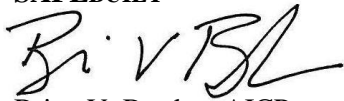
If the Board considers favorable action, we suggest a condition that the existing vegetation be maintained to the greatest extent possible to help mitigate impacts of front yard placement.

The Board may also consider requiring additional landscaping.

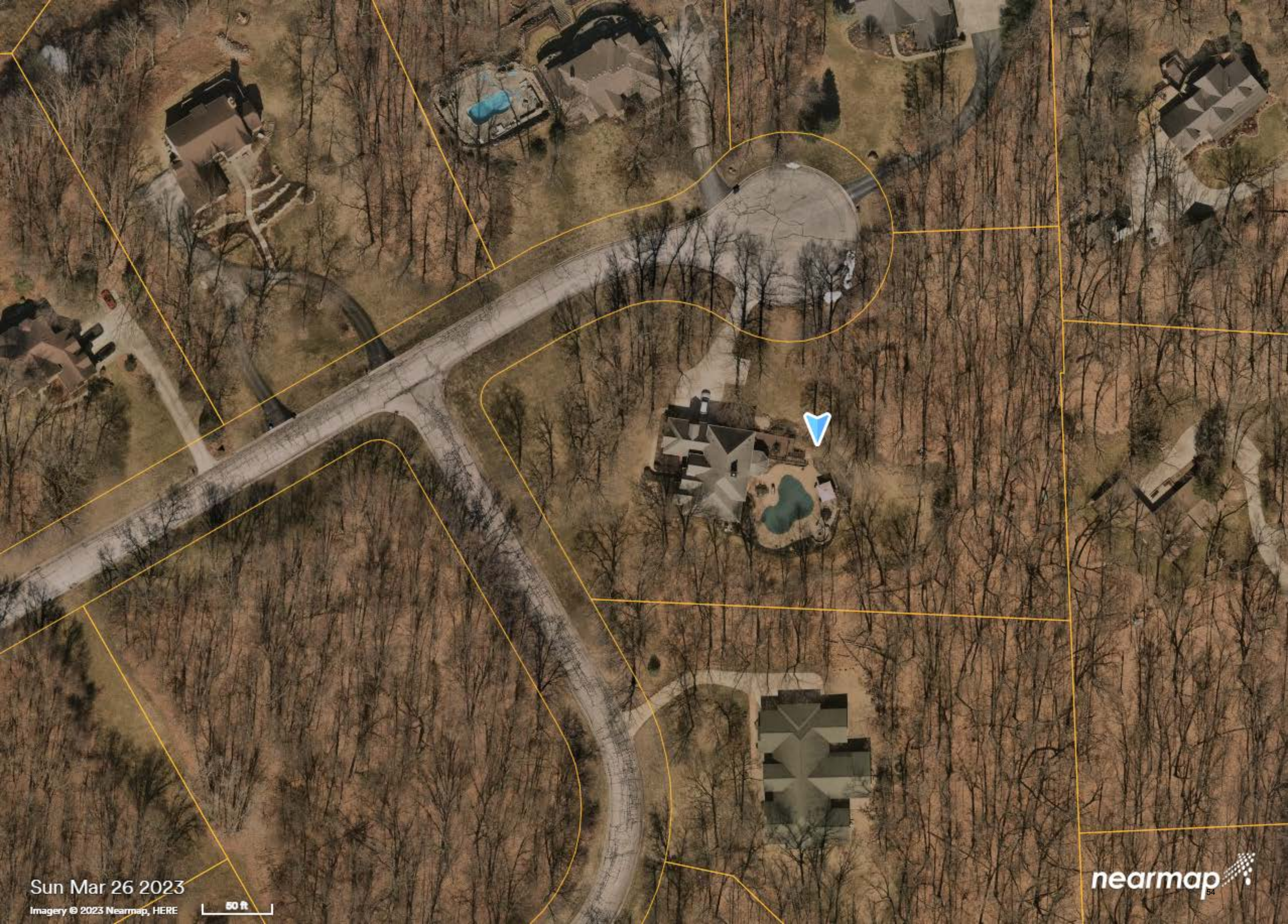
Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

**SAFE BUILT**

A handwritten signature in black ink, appearing to read "Bri. V. Borden". The signature is stylized and cursive.

Brian V. Borden, AICP  
Michigan Planning Manager



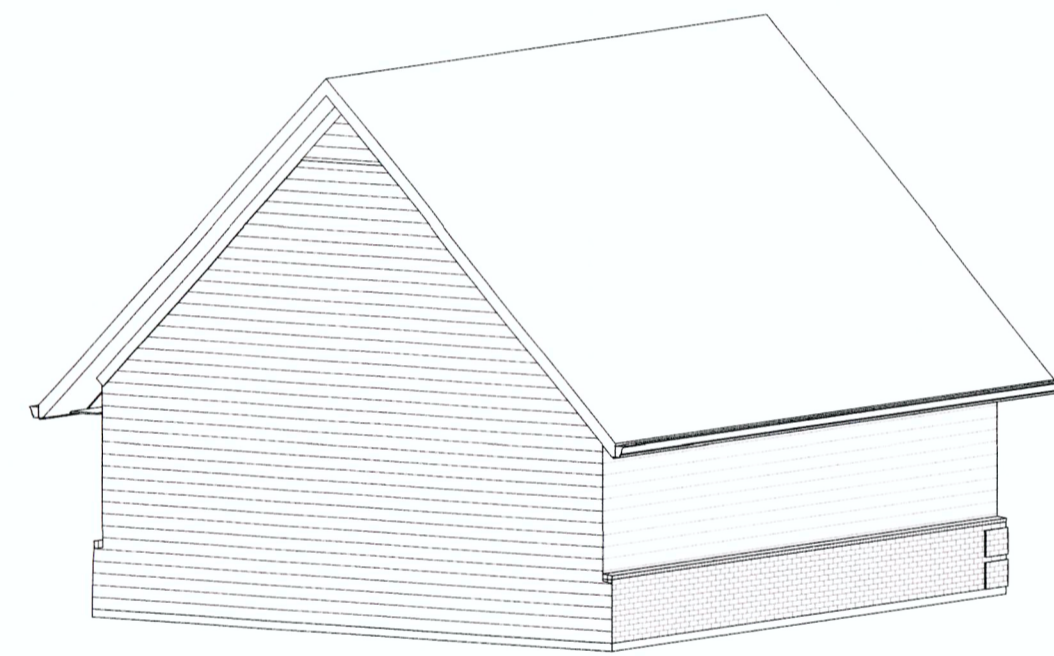
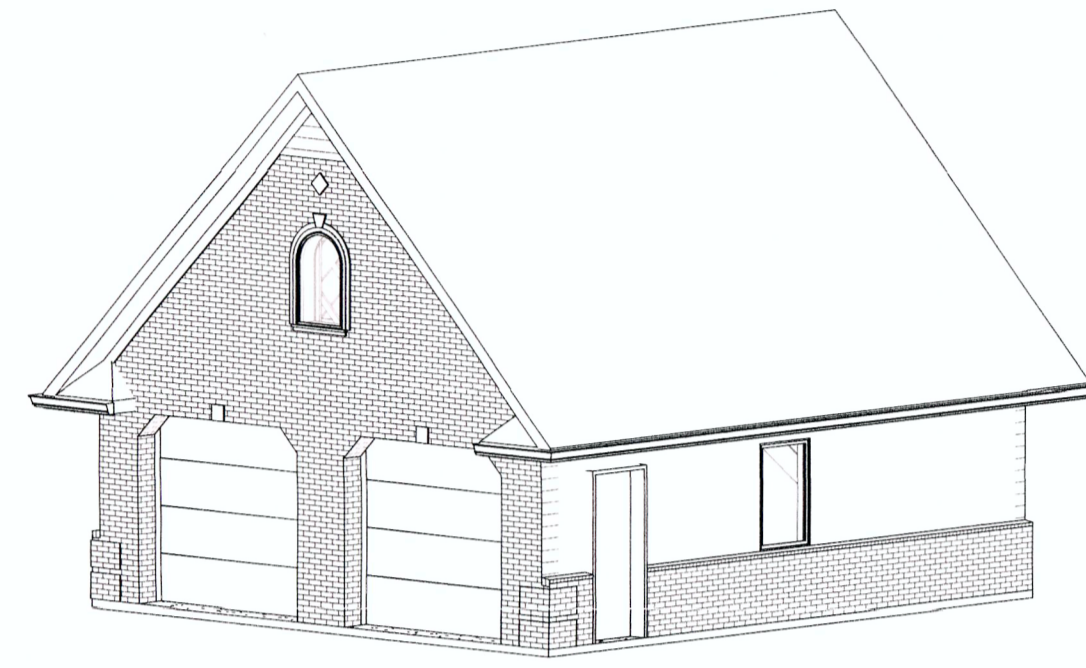
Sun Mar 26 2023

Imagery © 2023 Nearmap, HERE

50 ft

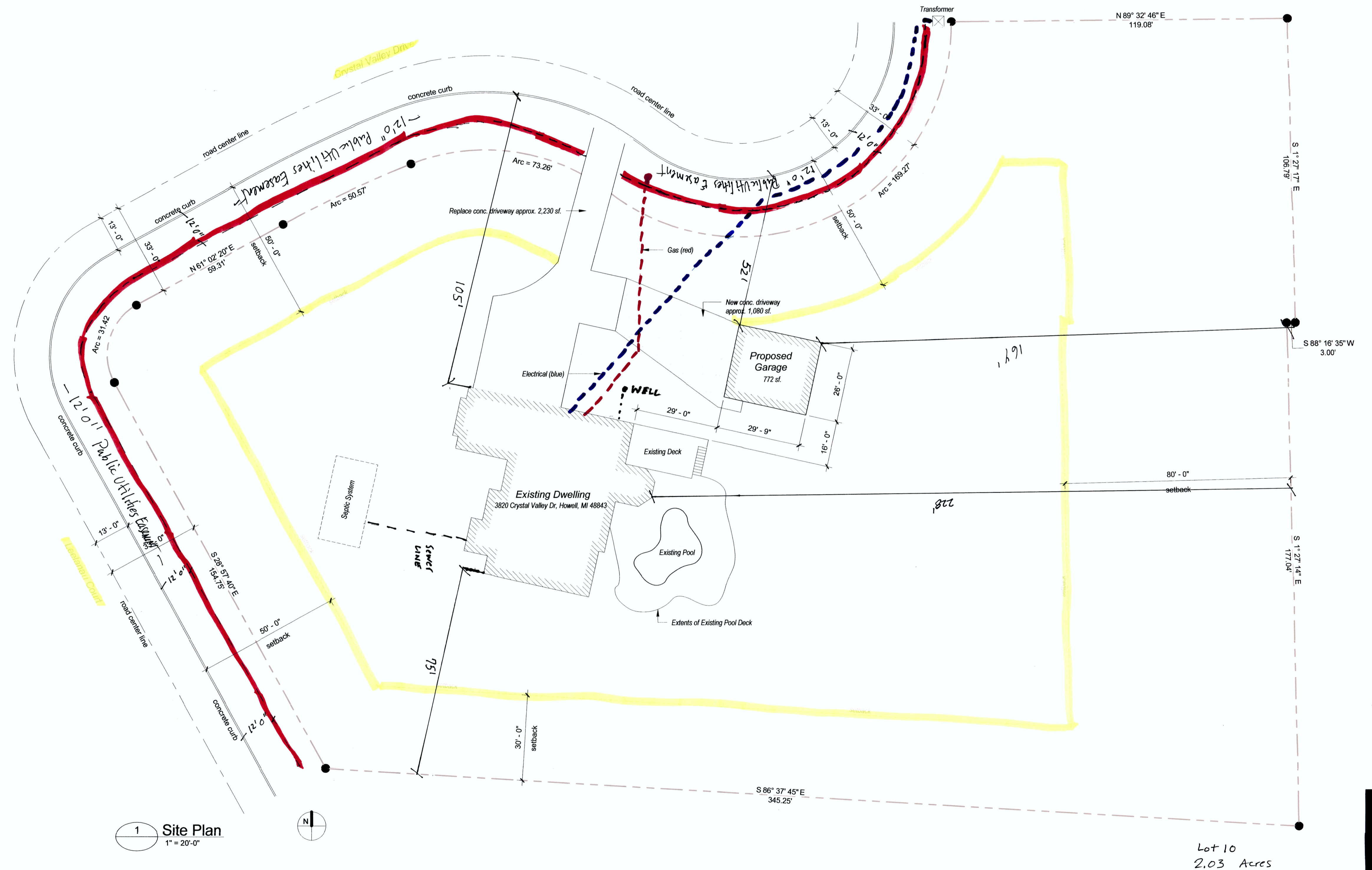
# John Cleary Cleary Detached Garage

3820 Crystal Valley Dr, Howell, MI 48843



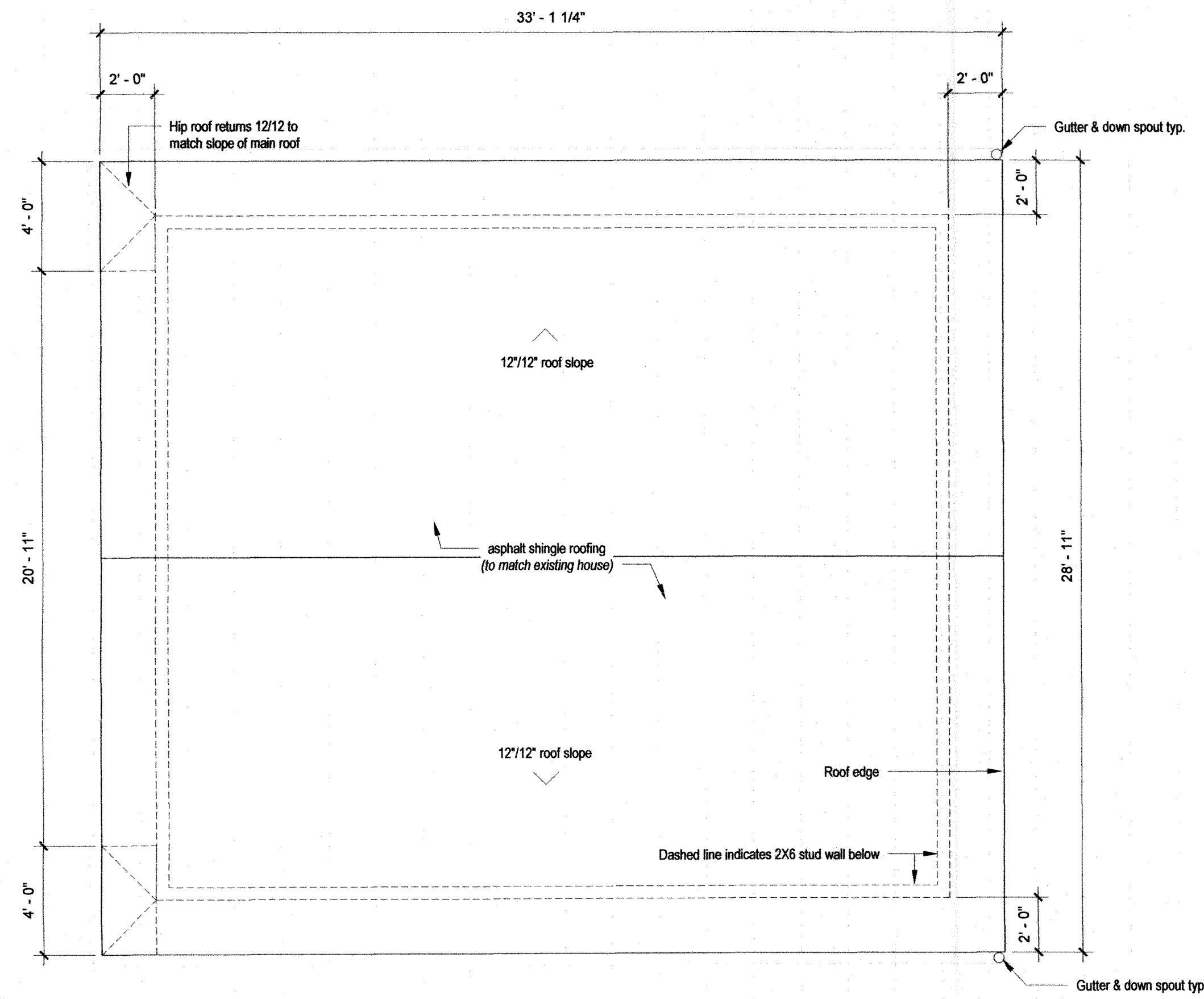
**Sheet List:**

- A000 - Cover/ Site Plan
- A211 - New Work Plans
- A401 - Elevations

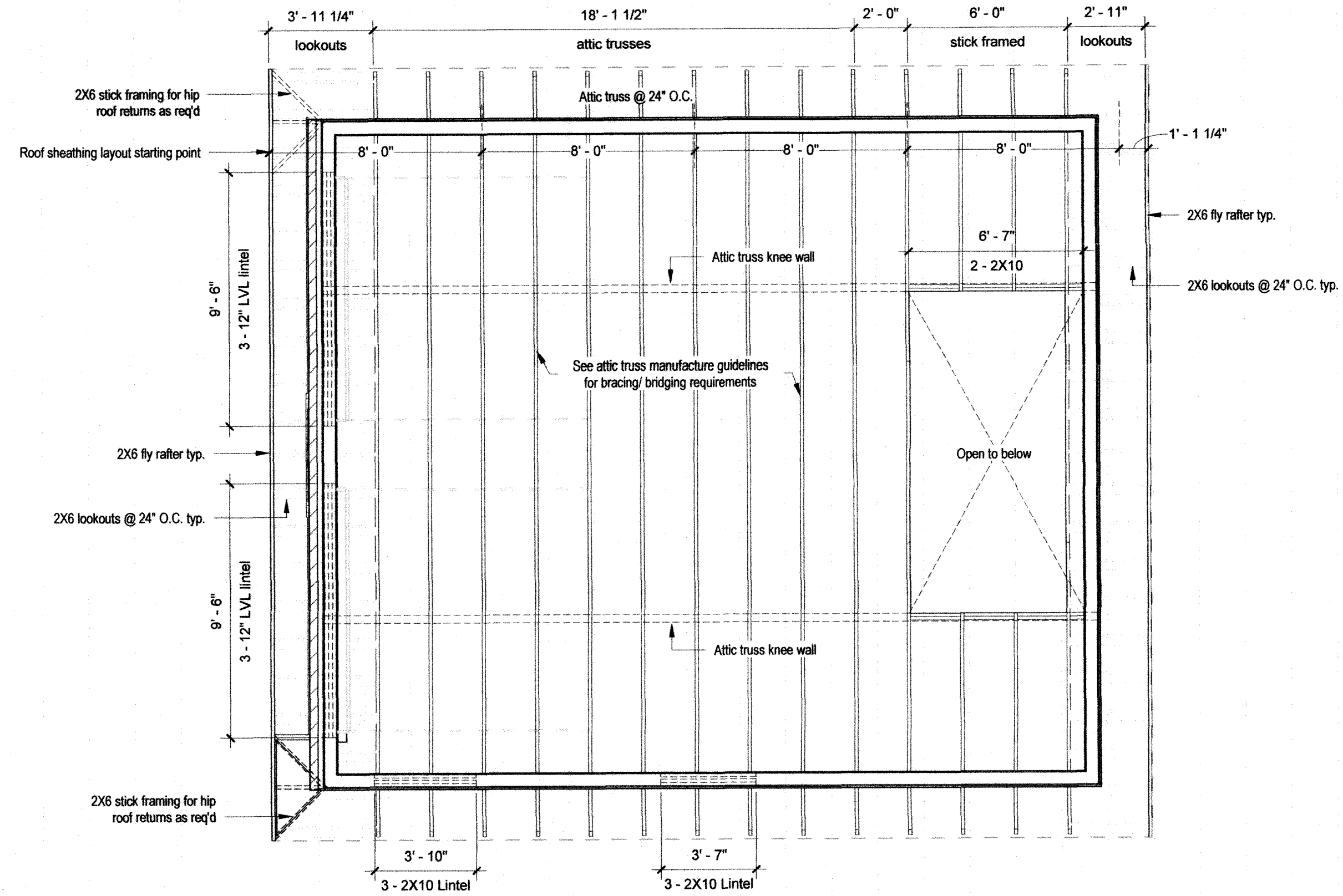


1 Site Plan  
1" = 20'-0"

Lot 10  
2.03 Acres

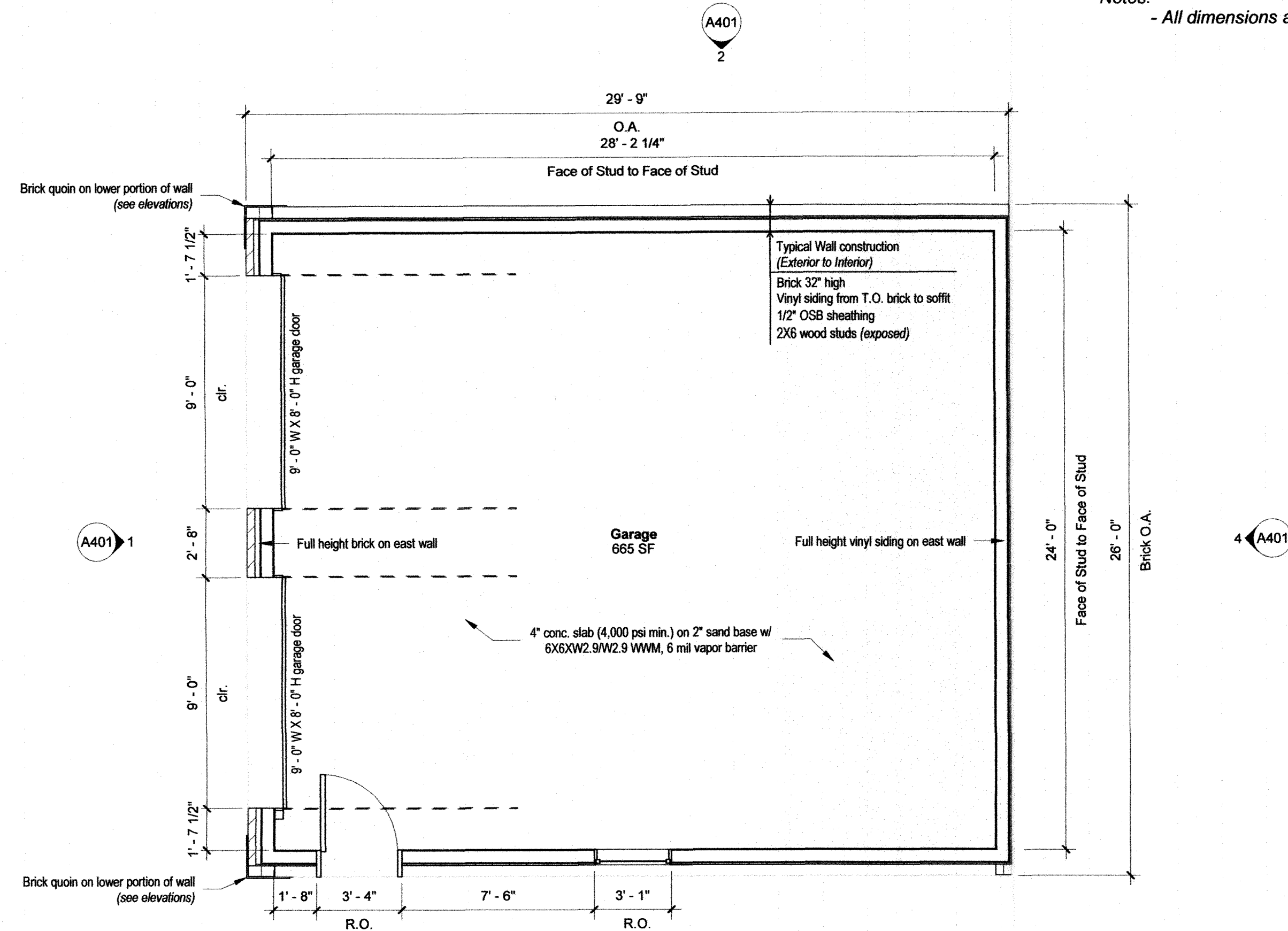


4 Roof Plan  
1/4" = 1'-0"

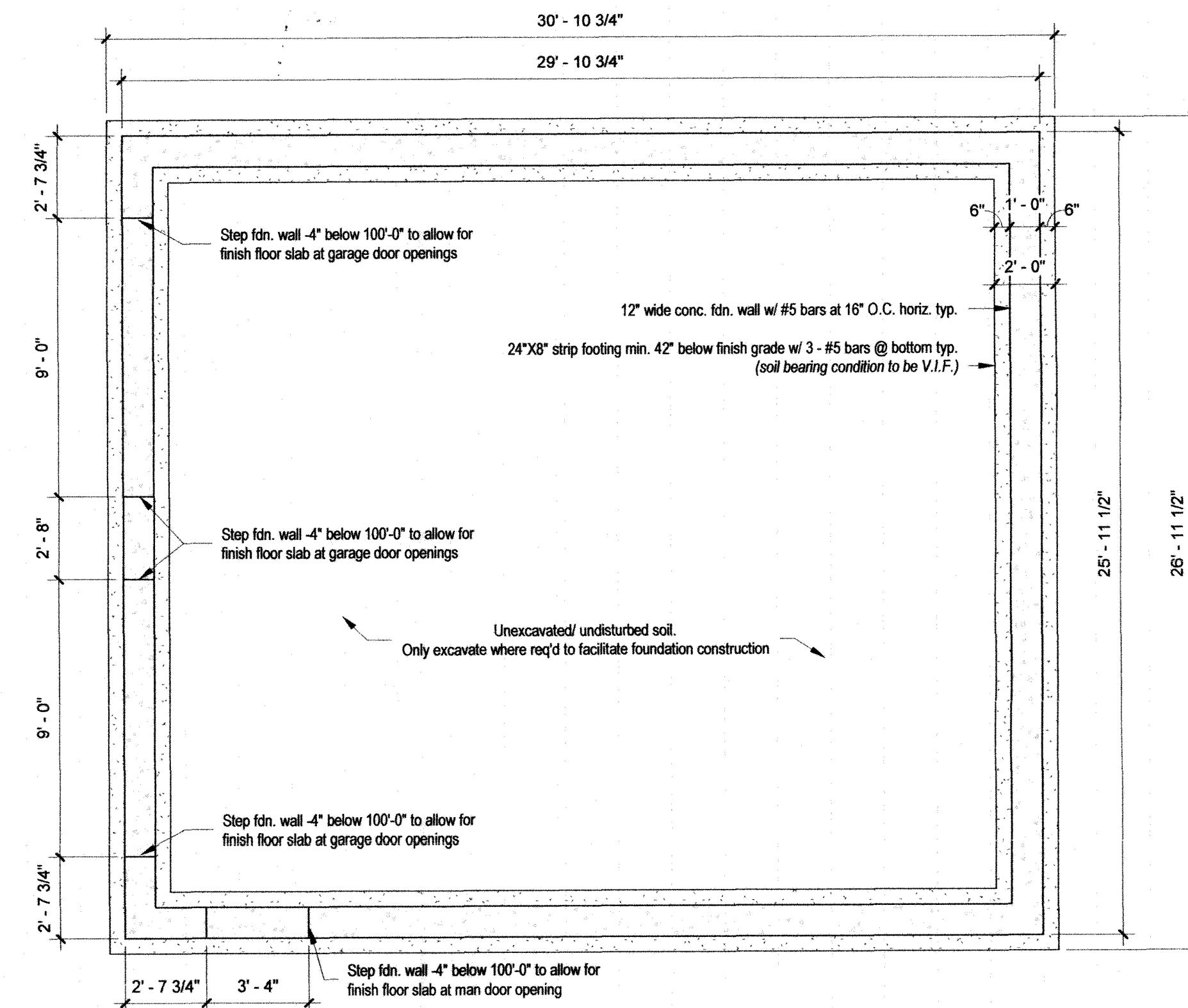


3 Framing Plan  
1/4" = 1'-0"

Notes:  
- All dimensions are to face of stud unless noted otherwise



2 Garage Plan  
1/4" = 1'-0"



1 Foundation Plan  
1/4" = 1'-0"

Permits	08.25.2023
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John Cleary  
Cleary Detached Garage  
3820 Crystal Valley Dr, Howell, MI 48843

New Work Plans

08.25.2023  
print date

Job number  
A211  
Sheet Number

25/08/2023 7:16:00 AM





Grantor	Grantee	Sale Price	Sale Date	Inst. Type	Terms of Sale	Liber & Page	Verified By	Prcnt. Trans.							
CLEARY, JOHN & CHERYL	CLEARY JOHN & CHERYL REV I	100	10/01/2021	QC	14-INTO/OUT OF TRUST	2021R-040464	BUYER/SELLER	0.0							
GIESE, FRANK & KATHLEEN	CLEARY	85,000	03/03/1998	WD	03-ARM'S LENGTH		BUYER/SELLER	100.0							
BRENNAN, KAREN		328,750	09/30/1996	WD	03-ARM'S LENGTH	2096-0029	BUYER/SELLER	100.0							
GIESE, FRANK & KATHLEEN		140,000	09/27/1996	LC	16-LC PAYOFF	2096-0031	BUYER/SELLER	0.0							
Property Address		Class: RESIDENTIAL-IMPROV		Zoning: RR		Building Permit(s)		Date	Number	Status					
3820 CRYSTAL VALLEY DR		School: HOWELL PUBLIC SCHOOLS		INGROUND POOL		05/14/2012		P12-050	NO START						
Owner's Name/Address		P.R.E. 100% 05/04/2000		HOME		04/01/1999		99-128	NO START						
CLEARY JOHN & CHERYL REV LIV TRUST 3820 CRYSTAL VALLEY DR HOWELL MI 48843-5405		MAP #: V23-32		2024 Est TCV Tentative											
Tax Description		X Improved		Vacant		Land Value Estimates for Land Table 4035.CRYSTAL VALLEY									
SEC 32 T2N R5E, CRYSTAL VALLEY SITE CONDOMINIUM UNIT # 10		Public Improvements		* Factors *		Description Frontage Depth Front Depth Rate %Adj. Reason Value									
Comments/Influences		Dirt Road		<Site Value A> SITE VALUE		85000 100		85,000							
		Gravel Road		0.00 Total Acres		Total Est. Land Value =		85,000							
		Paved Road		Land Improvement Cost Estimates		Description Rate Size % Good Cash Value									
		Storm Sewer		Pool: Plastic		60.12		684 46		18,916					
		Sidewalk		Total Estimated Land Improvements True Cash Value =		18,916									
		Water													
		Sewer													
		Electric													
		Gas													
		Curb													
		Street Lights													
		Standard Utilities													
		Underground Utils.													
		Topography of Site													
		Level													
		Rolling													
		Low													
		High													
		Landscaped													
		Swamp													
		Wooded													
		Pond													
		Waterfront													
		Ravine													
		Wetland													
		Flood Plain													
		X REFUSE													
		Who		When		What		Year		Land Value	Building Value	Assessed Value	Board of Review	Tribunal/Other	Taxable Value
								2024		Tentative	Tentative	Tentative			Tentative
								2023		42,500	259,000	301,500			269,296C
								2022		42,500	244,000	286,500			256,473C
								2021		42,500	231,100	273,600			248,280C

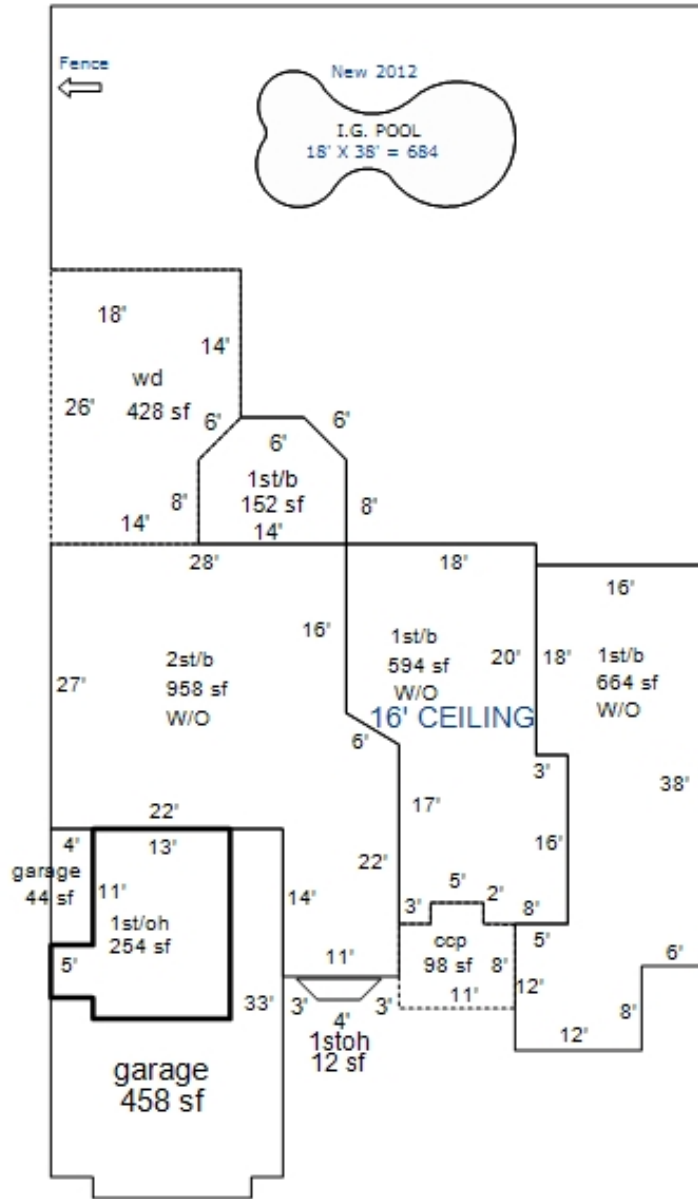


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\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

Building Type		(3) Roof (cont.)		(11) Heating/Cooling			(15) Built-ins			(15) Fireplaces			(16) Porches/Decks		(17) Garage																																																																																																																								
X	Single Family Mobile Home Town Home Duplex A-Frame		Eavestrough Insulation 0 Front Overhang 0 Other Overhang	X	Gas Wood	Oil Coal	Elec. Steam		Appliance Allow. Cook Top Dishwasher Garbage Disposal Bath Heater Vent Fan Hot Tub Unvented Hood Vented Hood Intercom Jacuzzi Tub Jacuzzi repl.Tub Oven Microwave Standard Range Self Clean Range Sauna Trash Compactor Central Vacuum Security System		Interior 1 Story Interior 2 Story 2nd/Same Stack Two Sided Exterior 1 Story Exterior 2 Story Prefab 1 Story Prefab 2 Story Heat Circulator Raised Hearth Wood Stove 1 Direct-Vented Gas	Area 98 428	Type CCP (1 Story) Treated Wood	Year Built: 2000 Car Capacity: Class: B Exterior: Brick Brick Ven.: 0 Stone Ven.: 0 Common Wall: 1.5 Wal Foundation: 42 Inch Finished?: Auto. Doors: 0 Mech. Doors: 0 Area: 756 % Good: 0 Storage Area: 0 No Conc. Floor: 0																																																																																																																									
X	Wood Frame	(4) Interior		Forced Air w/o Ducts Forced Air w/ Ducts Forced Hot Water Electric Baseboard Elec. Ceil. Radiant Radiant (in-floor) Electric Wall Heat Space Heater Wall/Floor Furnace Forced Heat & Cool Heat Pump No Heating/Cooling			X			Class: B Effec. Age: 17 Floor Area: 3,592 Total Base New : 878,233 Total Depr Cost: 728,936 Estimated T.C.V: 583,149		E.C.F. X 0.800		Bsmnt Garage: Carport Area: Roof:																																																																																																																									
Building Style: B		Trim & Decoration		Central Air Wood Furnace			(12) Electric			Cost Est. for Res. Bldg: 1 Single Family B			Cls B		Blt 2000																																																																																																																								
Yr Built 2000	Remodeled 0	Ex	X Ord	Min	No./Qual. of Fixtures			Ground Area = 2622 SF Floor Area = 3592 SF. Phy/Ab.Phy/Func/Econ/Comb. % Good=83/100/100/100/83			Building Areas																																																																																																																												
Condition: Good		Lg	X Ord	Small	Ex. X Ord. Min			Phy/Ab.Phy/Func/Econ/Comb. % Good=83/100/100/100/83			Building Areas																																																																																																																												
Room List		Doors:	Solid X	H.C.	No. of Elec. Outlets			Building Areas																																																																																																																															
	Basement 1st Floor 2nd Floor 4 Bedrooms	(5) Floors		(13) Plumbing			Other Additions/Adjustments																																																																																																																																
(1) Exterior		Kitchen: Other: Other:		Average Fixture(s)			Basement, Outside Entrance, Below Grade																																																																																																																																
X	Wood/Shingle Aluminum/Vinyl Brick  Insulation	(6) Ceilings		3 3 Fixture Bath 2 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 2 Extra Sink 1 Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Plumbing																																																																																																																																
(2) Windows		(7) Excavation		2 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 2 Extra Sink 1 Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Water/Sewer																																																																																																																																
Many Avg. Few	X Large Avg. Small	Basement: 2368 S.F. Crawl: 0 S.F. Slab: 0 S.F. Height to Joists: 0.0		2 2 Fixture Bath Softener, Auto Softener, Manual Solar Water Heat No Plumbing Extra Toilet 2 Extra Sink 1 Separate Shower Ceramic Tile Floor Ceramic Tile Wains Ceramic Tub Alcove Vent Fan			Water Well, 200 Feet																																																																																																																																
Wood Sash Metal Sash Vinyl Sash Double Hung Horiz. Slide Casement Double Glass Patio Doors Storms & Screens		(8) Basement		1 1000 Gal Septic 2000 Gal Septic			Porches																																																																																																																																
(3) Roof		(9) Basement Finish		Lump Sum Items:			Deck																																																																																																																																
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X	Asphalt Shingle	(10) Floor Support		Joists: Unsupported Len: Cntr.Sup:			Garages																																																																																																																																
Chimney: Brick							Class: B Exterior: Brick Foundation: 42 Inch (Unfinished) Base Cost																																																																																																																																
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2 Fixture Bath	2	14,629	12,142																																																																																																																																				
Extra Sink	2	3,643	3,024																																																																																																																																				
Separate Shower	1	3,334	2,767																																																																																																																																				
Water/Sewer																																																																																																																																							
1000 Gal Septic	1	6,418	5,327																																																																																																																																				
Water Well, 200 Feet	1	12,968	10,763																																																																																																																																				
Porches																																																																																																																																							
CCP (1 Story)	98	4,106	3,408																																																																																																																																				
Deck																																																																																																																																							
Treated Wood	428	7,914	6,569																																																																																																																																				
Garages																																																																																																																																							
Class: B Exterior: Brick Foundation: 42 Inch (Unfinished)																																																																																																																																							
Base Cost		756	57,237																																																																																																																																				
<<<<< Calculations too long. See Valuation printout for complete pricing. >>>>>																																																																																																																																							

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*



- 4 Bedrooms
- 3 Full Baths
- 2 Extra Sinks
- 1 Sep. Shower
- 2 1/2 Baths
- 1 Pre Fab F.P.
- Finished Basement

\*\*\* Information herein deemed reliable but not guaranteed\*\*\*

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
September 19, 2023 - 6:30 PM**

**MINUTES**

**Call to Order:** Vice Chairperson McCreary called the regular meeting of the Zoning Board of Appeals to order at 6:30 pm. The members and staff of the Zoning Board of Appeals were present as follows: Marianne McCreary, Jean Ledford, Craig Fons, Michelle Kreutzberg, and Amy Ruthig, Planning Director. Absent were Greg Rassel and Bill Rockwell.

**Pledge of Allegiance:** The Pledge of Allegiance was recited.

**Introduction:** The members of the Board and staff introduced themselves.

**Conflict of Interest:** None

**Approval of the Agenda:**

**Moved** by Board Member Ledford, seconded by Board Member Kreutzberg, to approve the agenda as presented. **The motion carried unanimously.**

**Call to the Public:**

The call to the public was opened at 6:33 pm with no response.

**OLD BUSINESS:**

1. 23-20...A request by Dave McManus, 4143 Highcrest Drive, for front, side, building lot coverage, impervious surface lot coverage and waterfront setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct a new home.

Mr. McManus stated that he has made revisions to his plans and is only requesting three variances, not the five listed on the agenda. Ms. Ruthig said there are four variances needed due to the cantilever. Mr. McManus was not aware a variance was needed for that. He would be willing to eliminate the box out windows to eliminate the need for this variance.

Mr. McManus stated that after he purchased the home and did a survey, there is a 10 percent difference in the square footage of the lot and it is 17 feet shallower from what is shown on the Livingston County parcel viewer. If the County's website was correct, he would only need two variances. Two practical difficulties are that the neighbor to the south's garage is less than five feet from the property line, his shore line is seven feet less than his neighbors, his lot is very narrow and has a trapezoid shape. The average distance from the closest corner of the house to the curb is 16.3 feet, with some being as close as 3.5 feet and he is requesting a setback of 15.5 feet. Also, the average distance from the shoreline to the rear structures is 33.1 feet, with two being as close as 10.6 feet and 14.9 feet, and his request is for 43 feet.

There will be no negative impact on the public safety, welfare or the surrounding neighborhood. This house will be a good addition to the neighborhood and the lake.

He has made the following changes from his previous submittal:

- Eliminated the retaining wall along the north side walkway leading to the front porch
- Eliminated the poured concrete walkway leading up to the front port
- Reduced the width of the house from 34 feet to 31.6 feet
- Reduced the square footage footprint from 1,962 square feet to 1,842 square feet
- Reduced the building lot coverage from 41.7 percent to 37.9 percent
- Redacted the impervious surface coverage from 55.2 percent to 49 percent
- Eliminated the south side yard setback and impervious surfaces lot coverage variances

Vice Chairperson McCreary appreciates that some changes were made, but questioned if more could be done to make the variances closer to the least necessary. Mr. McManus stated he can only make the home smaller. He does not want to put in a third floor or an elevator. He noted that other properties in the area have much more lot coverage than what he is requesting, and one was almost 50 percent. This would provide him with substantial justice. He reiterated that he would be willing to remove the cantilever windows to reduce the number of variances he is requesting.

Board Member Ledford noted that the planners report states that if the two windows are converted to traditional bay windows, then a side-yard variance would not be needed.

Board Member Fons said the house can be made 200 square feet smaller and it would conform to the lot coverage requirement. He is not against the front and side yard variances as these are very common setbacks granted by the board.

Mr. McManus worked with his architect to make the house narrower and reduce the side-yard setback variances requested. He wants to build a house and not a cottage.

The call to the public was made at 7:11 pm with no response.

Mr. McManus questioned if lot coverage variances have been granted within the last year. Ms. Ruthig does not recall any. Board Member Fons stated he has been on the board for four years and he does not remember any being granted.

There was a discussion and direction was given to the applicant regarding the difference between the box out windows and a bay window and how they affect the setbacks.

**Moved** by Board Member Kreutzberg, seconded by Board Member Fons, to table Case #23-20 for Dave McManus, 4143 Highcrest Drive, for front, side, building lot coverage, impervious surface lot coverage and waterfront setback variances to construct a new home until the November 21, 2023 Zoning Board of Appeals meeting, at the applicant's request.

**The motion carried unanimously.**

2. 23-21...A request by Tiffany and Chris Trotter, 2621 Spring Grove Drive, for side yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to be allowed to move an already-constructed pole barn to the lot line.

Ms. Trotter is requesting additional time to have the pole barn moved. She has submitted all of the required paperwork. She stated that the builder did not obtain permits and built the pole barn into the setback. Her new builder will be moving it to meet the setback requirements. They have stated they can schedule this work in November.

Board Member Kreutzberg asked if the debris had been removed from the neighbor's property and if the shed has been removed. Ms. Potter stated the debris will be removed when the building is moved. She would like to keep the shed. The neighbor agrees with allowing it to stay. Ms. Ruthig advised that this was required to be removed as it is not allowed to be in the front yard. She stated that the board can grant this variance or it can be moved to behind the house. Ms. Potter stated this area drops off so it cannot be moved there.

The call to the public was made at 7:42 pm.

Mr. Thomas Dougan of 2601 Spring Grove Drive lives next door to the Trotters. He would like the pole barn and all of the gravel and debris to be moved off of his property as quickly as possible. The shed has been moved and is on the applicant's property.

The call to the public was closed at 7:44 pm.

The applicant's contractor stated they will begin their portion of the work so it is ready for the company who is going to move the barn. They estimate this all being completed by December 1, 2023. If it is not moved by then, they will tear it down.

Ms. Ruthig advised Ms. Trotter that the fence cannot be put back up.

Board Member Kreutzberg **moved** to approve Case #23-21 for a front yard variance to allow a second accessory structure to remain in the front yard with a setback of a minimum of 13 feet, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property.
- This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties and homes in the area.
- As previously granted, variance was necessary for the preservation of property rights similar to other homes in the same zoning district.
- The extraordinary circumstances are the condition/topography of the property, location of the home, irregular lots harp and the location of the well and septic.

- Granting this variance will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. This structure shall be moved by October 19, 2023.

**The motion failed for lack of support.**

**Moved** by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #23-23 submitted by Tiffany and Christopher for a front yard variance for a total setback of 10 feet to relocate an accessory structure, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property.
- This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties and homes in the area.
- As previously granted, variance was necessary for the preservation of property rights similar to other homes in the same zoning district.
- The extraordinary circumstances are the condition/topography of the property, location of the home, irregular lots harp and the location of the well and septic.
- Granting this variance will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. A Performance Guarantee will be provided and enforced if the structure is not relocated by December 1, 2023 per section 21.03 of the zoning ordinance.
2. The structure must be guttered with downspouts.
3. Section 03.03.02 Home Occupations of the Zoning Ordinance must be followed.
4. Must obtain a land use permit and a building permit from the Livingston County Building Department within 10 days.
5. The second detached accessory on the property in the front yard, must be removed within 30 days or relocated to conform to township ordinance. Remove fence and debris from neighboring property and restore it to its original condition.
6. The detached accessory structure or roof (lean to) cannot be enlarged.
7. If any business equipment or personal equipment (trucks, trailers, etc.) are stored on the lot, they must be brought into conformance with the Township ordinance prior to land use permit issuance.
8. The paved area that is located in the easement shall not contain any vehicles or equipment that would cause the adjacent property owner to not be able to access their property.

**The motion carried unanimously.**



**NEW BUSINESS:**

3. 23-26...A request by Treasure Rousselo, 3520 Pineridge Lane, a waterfront yard setback variance, size variance and any other variance deemed necessary by the Zoning Board of Appeals to allow for a non-conforming deck to remain.

Ms. Rousselo stated that she is requesting a variance for her existing deck because it is too large and too close to the lake. The current home is very small and the property drops down in the back. She and her uncle and a contractor built the deck. She trusted them to obtain the permits and conform to what is allowed. She stated that because the neighbor to the north has such a large lot, it affects her waterfront setback, to where she would not be able to build a deck.

Board Member Ledford asked why this deck was built when there is a deck connected to the house. Ms. Rousselo stated that the deck is not able to be used. She is hoping to remodel the deck with a three-season room or add onto the house.

Board Member Ledford advised the applicant that the homeowner's association has their own restrictions and they do not approve of this deck. This board does not have jurisdiction over homeowner's associations. She will not be voting in favor of this request.

Ms. Ruthig noted that the existing slab with the roof is not permitted. Ms. Rousselo was told that it was allowed because it is existing. Ms. Ruthig advised Ms. Rousselo that because she installed the deck, it is no longer permitted.

Board Member Fons stated he cannot find a hardship for the variance.

The call to the public was made at 8:34 pm.

Mr. Robert Pettengill of 3540 Pineridge Lane lives two doors down from the applicant. The residents on that side of the lake have understood they are not allowed to go past the ridgeline and this deck does. The deck does not negatively affect him; however, he supports adhering to the ordinance requirements.

The call to the public was closed at 8:36 pm.

**Moved** by Board Member Fons, seconded by Board Member Ledford to deny Case #23-26, based on the following findings of fact:

- A variance is not necessary for continued use of the property as a single-family residence. The residence already contains an attached deck, and strict compliance will not preclude the applicant from continued use of the existing deck.
- Most property owners are not entitled to multiple decks. As such, the board does not believe a variance is necessary for substantial justice.
- The property is a nonconforming LRR lot with deficient lot area and width.

- Given the nature of the project, granting of the variance is not expected to adversely impact public safety and welfare. The applicant should provide the ZBA with additional
- information demonstrating compliance with the impact on the surrounding neighborhood and it has not been supplied.

This denial is conditioned upon the deck being removed within 180 days.

**The motion carried unanimously.**

4. 23-27...A request by Tim Chouinard, 924 Sunrise Park, for a side and rear yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct a detached accessory structure.

Mr. Chouinard stated they will be removing the existing garage and replacing it. The side yard setback will be changed to be in compliance and the rear yard setback will be where the existing garage is located so he is requesting a rear yard setback variance.

The call to the public was made at 8:45 pm.

Mr. Adam Wolack of 916 Sunrise Park lives next to this property. He knows the applicant is a commercial builder and he wants to ensure it is not being used to store his vehicles and equipment. He is concerned with the side yard setback. If he wants to add onto his property, how will this affect him.

Mr. Chouinard stated he will be moving the garage further from the lot line so it will actually help Mr. Wolack. He is a residential building, not a commercial builder, so he does not have large trucks or equipment. He has his truck and trailers.

The call to the public was closed at 8:48 pm.

**Moved** by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #23-27 granting a rear yard variance of 7.9 feet from the required 10 feet, for a rear yard setback of 2.1 feet to remove and rebuild the garage, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably restrict the intended use of the property.
- This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties and homes in the area with detached garages that encroach into rear yard setbacks.
- The new location of the garage will eliminate a previous, non-conforming side-yard setback.
- The variance is necessary due to the extraordinary circumstance of a smaller than average LRR property and narrow width.
- Granting this variance will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

**The motion carried unanimously.**

5. 23-28...A request by Andrew Perri, 5311 Brighton Road, for setback variances and any other variance deemed necessary by the Zoning Board of Appeals to allow for outdoor commercial recreation at an existing commercial building.

Mr. Andrew Perri, his business partner, Sherry Young, and Todd Arnold, the construction manager, were present.

Mr. Arnold stated they are requesting a variance to maintain the existing patio at the old Burroughs building to use for entertainment. They will also be using a small portion of the building for entertainment and the rest of it will be used for Mr. Perri's business. They will be making modifications to the building also. They will be requesting approval for this from the township.

Mr. Perri stated this will be used from Memorial Day to Labor Day. He will be using the area for entertainment as well as leasing it to companies for them to use for entertainment. They do not intend to have the same entertainment that was at this location previously.

Vice Chairperson McCreary requested to have the patio area cleaned up and the debris and trash removed between now and when the construction will begin.

The call to the public was made at 9:04 pm.

Ms. Evelyn Dionise of 5038 Ashton Court is scared about whatever will be done with that property. The township has failed her on numerous occasions. She has lived in this area for 40 years and at her current home for 18 years. The last two owners of this property have allowed inappropriate behavior here. She will not live across from entertainment that she can hear from her home; she will be forced to move.

The call to the public was closed at 9:08 pm.

Mr. Perri stated he and his wife live on Clifford Road and he understands Ms. Dionise's frustration. He has been able to hear the music and the motorcycles. He can promise that it will not be the same entertainment as before. Mr. Arnold stated there will be an event manager that will oversee the events. They will monitor the decibel levels so they do not exceed the ordinance. Ms. Young stated they want to create good will and be good neighbors.

**Moved** by Board Member Kreutzberg, seconded by Board Member Fons, to approve Case #23-28 for Pinnacle Wealth and Andrew Perri of 5311 Brighton Road a front yard variance of 55 feet from the required 100 feet for a setback of 45 feet, a side yard setback variance of 46 feet from the required 100 feet for a setback of 54 feet, a side yard variance of 65 feet from the required 100 feet for a setback of 35 feet, and a rear yard variance of 17 feet from the required 100 feet

for a setback of setback of 83 feet, for redevelopment of a commercial office and event facility, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably prevent or restrict the intended use of the property.
- This variance will provide substantial justice, is the least necessary and as proposed, will maintain the current footprint with minimum change to the permitted land use.
- The variance is necessary due to the extraordinary circumstance of the age of the existing building and location on the property and the original manner for which the property was intended remains along with a change in the proposed use.
- Granting this variance will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. The noise ordinance shall be complied with.
2. Approval of the Special Land Use and Site Plan from the Planning Commission

**The motion carried unanimously.**

6. 23-29...A request by Matt DeLapp/Faulkwood Shores Singh LLC, 300 S. Hughes, for a front yard setback variance and any other variance deemed necessary by the Zoning Board of Appeals to construct the new Faulkwood Shores Golf Course Clubhouse.

Mr. Mat DeLapp and Mr. Mike Moles, the engineer for the project, were present. Mr. DeLapp stated the old clubhouse burned down last year. It was over 100 years old. For golf courses, the ordinance requires a 75 foot setback; however, they are requesting a 35 foot setback, which is where the previous structure was located.

Mr. DeLapp stated the practical difficulty is that if they complied with the ordinance, it would impact the parking lot and the putting green. This is the least necessary and there will be no adverse effects to public safety and welfare or on the surrounding neighborhood. They will be requesting site plan approval from the township.

Mr. Moles stated that this request meets all four of the criteria for granting a variance. There is practical difficulty, extraordinary circumstances, it is not self-created, and will not adversely affect the neighborhood.

Board Member Fons does not believe that the least amount necessary is being requested. The building can be moved about 15 feet back. Mr. Moles stated that if it is moved, it will encroach on the parking and the putting green so this request is to allow for the least amount of disruption of the entire golf course.

The call to the public was made at 9:42 pm with no response.

Vice Chairperson McCreary agrees that one of the hardships is the location of the other aspects of the golf course. Board Member Kreutzberg agrees.

**Moved** by Board Member Kreutzberg, seconded by Board Member Ledford, to approve Case #23-29 for Matt DeLapp of Singh Development a street front yard setback variance of 40 feet, 63 inches from the required 75 feet, for a front yard setback of 34 feet, 37 inches, based on the following findings of fact:

- Strict compliance with the setbacks would unreasonably prevent or restrict the intended use of the property.
- This variance will provide substantial justice, is the least necessary and would make the property consistent with other properties in the area.
- The proposed clubhouse is to maintain the original location and character of the area.
- The variance is necessary due to the extraordinary circumstances the damage from fire and the property layout, the existing course, parking and storage facility do not allow for an alternate clubhouse location without significant hardship or alteration of the existing course property.
- Granting this variance will not impair adequate light or air to adjacent properties, would not increase congestion or increase danger of fire or threaten public safety or welfare.
- The proposed variance would have little or no impact on appropriate development, continued use or value of adjacent properties and surrounding neighborhood.

This approval is conditioned upon the following:

1. Approval of the Site Plan from the Planning Commission.

**The motion carried unanimously with a roll call vote.**

7. 23-30...A request by Ben Cross and Chris Bonk, 5680 Glen Echo Drive, for a height and setback variances and any other variance deemed necessary by the Zoning Board of Appeals to construct new retaining walls and a fence.

Mr. Ben Cross, the owner, and Mr. Chris Bonk, the contractor, were present.

Mr. Bonk acknowledged that the project was started without receiving approval. It was started by a different contractor than himself.

Mr. Cross stated he believed the contractor was doing the right things and it was irresponsible for him to not have checked.

Mr. Bonk stated this property has two front yards, the elevation drops on the west side about 12 feet and about eight feet on the other side. The property is eroding along the roadway. He showed photographs of the erosion and a survey describing where the retaining walls will be placed. He added that the neighbor is glad that the retaining wall will go all of the way to the property line as it helps with their erosion as well.

They are requesting a variance to allow a six-foot high fence in the front yard. The hardship for this variance is because the property abuts a commercial business, which is not well

maintained, so having a six-foot tall fence is necessary to allow Mr. Cross and his family to safely enjoy their property.

Board Member Kreutzberg stated this is the most difficult project she has seen. She would like to see the engineering plans. Mr. Bonk stated they have complete engineering plans; but they will not show elevations. He provided a description of the retaining walls, including their locations and heights.

Vice Chairman McCreary is concerned with the retaining wall being close to this road because it is on a hill and a curve.

Board Member Fons would like to see more details of the project showing how all of the elements tie together, such as the walls, the fence, the landscaping, etc. He suggested the applicant draw a profile. He would not be able to vote yes without all of that information. Mr. Bonk believes that they have provided that information on their plans.

Board Member Ledford would not vote for this tonight. She would like to see the additional information.

The call to the public was made at 10:32 pm.

Mr. Bill Cozart of 5716 Glen Echo Drive has lived here since 1980 and what is being proposed by Mr. Cross will be a benefit. It will provide better vision than what is there currently. The six-foot fence along the back is needed to shield the dumpster, tires, and other trash on the commercial property from the residents on Glen Echo. It is a safety and security issue.

Mr. Brian Monte of 5716 Long Point stated this is currently an eyesore, it's a safety hazard, and it is eroding into the lake. Mr. Cross is spending his own money to improve the neighborhood. He is in support of this project.

The call to the public was closed at 10:37 pm.

After a brief discussion regarding what additional information the board would like to see, the applicant requested to have their case tabled this evening.

**Moved** by Board Member Ledford, seconded by Board Member Kreutzberg, to table Case #23-30 until the next scheduled ZBA meeting of October 17, per the petitioner's request.

**The motion carried unanimously.**

**Administrative Business:**

1. Approval of minutes for the August 15, 2023 Zoning Board of Appeals meeting.

Genoa Township Zoning Board of Appeals Meeting  
September 19, 2023  
Unapproved Minutes

A needed change was noted.

**Moved** by Board Member Kreutzberg, seconded by Board Member Ledford, to approve the minutes of the August 15, 2023 Zoning Board of Appeals meeting as corrected. **The motion carried unanimously.**

2. Correspondence

Ms. Ruthig stated there will be six cases at the October meeting.

3. Member Discussion

There were no items to discuss this evening.

4. Adjournment

**Moved** by Board Member McCreary, seconded by Board Member Rockwell, to adjourn the meeting at 10:41 pm. **The motion carried unanimously.**

Respectfully submitted:

Patty Thomas, Recording Secretary