GENOA CHARTER TOWNSHIP BOARD

Regular Meeting/Public Hearing July 19, 2021 6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public (Public comment will be limited to two minutes per person)*:

Consent Agenda:

1. Payment of Bills: July 19, 2021

2. Request to Approve Minutes: June 21, 2021 and July 6, 2021

Regular Agenda:

- 3. Request for approval of Resolution #1 (to proceed with the project and direct preparation of the plans and cost estimates) for the Black Oaks Trail Road Improvement Project. (Roll Call)
- 4. Request for approval of Resolution #2 (to approve the project, schedule the first hearing and direct issuance of statutory notices) for the Black Oaks Trail Road Improvement Project Improvement Project. (Roll Call)
- 5. Public hearing for the Pardee Lake Aquatic Weed Control Reimbursement Special Assessment Project (Winter 2021).
 - A. Call to the Property Owners.
 - B. Call to the Public.
 - C. Request for approval of Resolution #3 [approving the project cost estimates, special assessment district and causing the special assessment roll to be prepared] for the Pardee Lake Aquatic Weed Control Reimbursement Special Assessment Project (Winter 2021). (Roll Call)
 - D. Request for approval of Resolution #4 [acknowledging the filing of the special assessment roll, scheduling the second hearing, and directing the issuance of statutory notices Pardee Lake Aquatic Weed Control Reimbursement Special Assessment Project (Winter 2021). (Roll Call)
- 6. Request for approval of Resolution #5 [confirming the special assessment roll] for the Darlene Drive Road Improvement Project Special Assessment District (Winter 2021).
 - A. Call to the Property owners and the public.
 - B. Request for approval of Resolution #5 [confirming the special assessment roll] for the Darlene Drive Road Improvement Project Special Assessment District (Winter 2021).
- 7. Request for approval of Resolution #5 [confirming the special assessment roll] for the Grand Beach Aquatic Weed Control Project Special Assessment District (Winter 2021).
 - A. Call to the Property owners and the public.
 - B. Request for approval of Resolution #5 [confirming the special assessment roll] for the Grand Beach Aquatic Weed Control Project Special Assessment District (Winter 2021).

- 8. Consideration of a recommendation for approval of an environmental impact assessment (9/2/20) for a proposed parking lot at 1183 Fendt Drive to be used in conjunction with the existing UPS Facility on the west side of Fendt Drive. The request is petitioned by Hugo Ceron, SME.
- 9. Consideration of a recommendation for approval of an environmental impact assessment for a proposed 31 space parking lot on the adjacent parcel of 1183 Parkway Drive, southeast corner of Parkway Drive and Grand River Avenue for The Learning Tree. The request is petitioned by The Learning Tree.
- 10. Request for approval of resolution to request Michigan DNR assistance for the management and control of mute swans. (Roll Call)
- 11. Request for approval of appointments of Township officials to commissions and committees as recommended by the Township Supervisor.

Correspondence Member Discussion Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: July 19, 2021

TOWNSHIP GENERAL EXPENSES: Thru July 14, 2021	\$133,746.73
June 25, 2021 Bi Weekly Payroll	\$102,620.89
July 9, 2021 Bi Weekly Payroll	\$104,322.34
OPERATING EXPENSES: Thru July 14, 2021	\$142,231.98
TOTAL:	\$482,921.94

Board Packet 2021 7/14/2021 DMS

07/14/2021 04:39 PM User: denise DB: Genoa Township

Total of 51 Disbursements:

CHECK REGISTER FOR GENOA TOWNSHIP

CHECK DATE FROM 06/22/2021 - 07/14/2021

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Check Date Check Vendor Name Amount Bank FNBCK CHECKING ACCOUNT CHASE CARD SERVICES 786.31 36871 06/22/2021 269.05 06/22/2021 36872 COMCAST 36873 CONSUMERS ENERGY 146.89 06/22/2021 36874 DELTA DENTAL 3,854.12 06/22/2021 36875 DELTA DENTAL 3,895.85 06/22/2021 DYKEMA GOSSETT, PLLC 1,307.00 06/22/2021 36876 36877 LAKESIDE SERVICE COMPANY, INC 1,922.40 06/22/2021 70.00 36878 LANG PLUMBING, INC. 06/22/2021 36879 LIVINGSTON COUNTY TREASURER 72.85 06/22/2021 2,173.74 06/22/2021 36880 MUTUAL OF OMAHA 06/22/2021 36881 MUTUAL OF OMAHA 2,147.17 QUADIENT FINANCE USA, INC 06/22/2021 36882 2,500.00 36883 S.E.C.M.A.A. 50.00 06/22/2021 06/22/2021 36884 TRI COUNTY SUPPLY, INC. 67.82 36885 06/22/2021 WELLNESS IQ 147.60 06/22/2021 36886 WELLNESS IO 147.60 36887 CAPITAL ONE 77.79 06/29/2021 26.62 06/29/2021 36888 DTE ENERGY 06/29/2021 36889 FEDERAL EXPRESS CORP 42.82 36890 LIVINGSTON PRESS & ARGUS 510.00 06/29/2021 MASTER MEDIA SUPPLY 06/29/2021 36891 86.50 06/29/2021 36892 PFEFFER, HANNIFORD, PALKA 2,850.00 MERS-MICH. EMPLOYEES' RETIRE 07/01/2021 96(E) 2,315.06 PRINCIPAL FINANCIAL 57,725.85 V 36893 07/06/2021 Void Reason: SHOULD BE AN EFT 07/06/2021 97(E) PRINCIPAL FINANCIAL 57,725.85 36894 ALLSTAR ALARM LLC 345.00 07/07/2021 36895 65.00 07/07/2021 AMERICAN AOUA 07/07/2021 36896 CONTINENTAL LINEN SERVICE 79.15 07/07/2021 36897 COOPER'S TURF MANAGEMENT LLC 2,081.00 07/07/2021 36898 DTE ENERGY 777.49 201.93 07/07/2021 36899 DTE ENERGY 07/07/2021 36900 MINNESOTA ELEVATOR, INC 128.11 07/07/2021 NETWORK SERVICES GROUP, L.L.C. 36901 50.00 36902 PERFECT MAINTENANCE CLEANING 565.00 07/07/2021 07/07/2021 36903 PONTEM 510.00 36904 PRINTING SYSTEMS 07/07/2021 220.29 36905 07/09/2021 MICHAEL ARCHINAL 96.55 36906 24,555.82 07/09/2021 MMRMA 07/09/2021 36907 MICHIGAN OFFICE SOLUTIONS INC. 197.80 07/09/2021 36908 WELLNESS IQ 147.60 COMCAST 36909 717.76 07/12/2021 07/12/2021 36910 COMCAST 637.20 07/12/2021 36911 FEDERAL EXPRESS CORP 41.23 306.65 07/12/2021 GORDON FOOD SERVICE 36912 36913 LIVINGSTON COUNTY TREASURER 07/12/2021 424.65 07/12/2021 36914 MASTER MEDIA SUPPLY 503.61 36915 TETRA TECH INC 1,100.00 07/12/2021 36916 DYKEMA GOSSETT, PLLC 4,621,95 07/13/2021 EHIM, INC 8,860.26 36917 07/13/2021 07/14/2021 36918 FEDERAL EXPRESS CORP 43.32 LINDHOUT ASSOCIATES ARCHITECTS INC 07/14/2021 36919 516.00 SAFEBUILT STUDIO 2,760.32 36920 07/14/2021 FNRCK TOTALS: 191,472.58 Total of 52 Checks: 57,725.85 Less 1 Void Checks:

133,746.73

Check Register Report For Genoa Charter Township For Check Dates 06/25/2021 to 06/25/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
06/25/2021	FNBCK	EFT577	FLEX SPENDING (TASC)	856.53	856.53	0.00	Cleared
06/25/2021	FNBCK	EFT578	INTERNAL REVENUE SERVICE	24,150.49	24,150.49	0.00	Cleared
06/25/2021	FNBCK	EFT579	PRINCIPAL FINANCIAL	3,556.00	3,556.00	0.00	Cleared
06/25/2021	FNBCK	EFT580	PRINCIPAL FINANCIAL	2,341.96	2,341.96	0.00	Cleared
Totals:	=		Number of Checks: 004	30,904.98	30,904.98	0.00	
	otal Physical otal Check Stu		4		71,715.91	payrol1	

30:904·98+ 71:715·91÷ 102:620:50*+

Check Register Report For Genoa Charter Township For Check Dates 07/09/2021 to 07/09/2021

Check Date	Bank	Check Number	Name	Check Gross	Physical Check Amount	Direct Deposit	Status
07/09/2021	FNBCK	EFT581	FLEX SPENDING (TASC)	856.53	856.53	0.00	Open
07/09/2021	FNBCK	EFT582	INTERNAL REVENUE SERVICE	25,065.59	25,065.59	0.00	Open
07/09/2021	FNBCK	EFT583	PRINCIPAL FINANCIAL	3,656.00	3,656.00	0.00	Open
07/09/2021	FNBCK	EFT584	PRINCIPAL FINANCIAL	2,271.97	2,271.97	0.00	Open
Totals:	Total Physical Checks		Number of Checks: 004	31,850.09	31,850.09 EX 72,472.25	0.00	
	Total Physical Checks Total Check Stubs:	•:	4			-	

72+672-25+ 104+522-56=+ 17/14/2021 04:34 PM /ser: denise*
)B: Genoa Township

CHECK REGISTER FOR GENOA TOWNSHIP CHECK DATE FROM 06/16/2021 - 07/14/2021

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Theck Date	Check	Vendor Name	Amount
Bank 503FN DPW-UT	CILITIES #503		
)6/22/2021)6/22/2021)6/30/2021)7/08/2021)7/08/2021)7/08/2021)7/09/2021)7/09/2021)7/09/2021)7/13/2021)7/13/2021)7/14/2021	5284 5285 5286 5287 5288 5289 5290 5291 5292 5293 5294 5295	HOME DEPOT CREDIT SERVICES MWEA JACKSON GRAY MMRMA PORT CITY COMMUNICATIONS, INC. TRACTOR SUPPLY CO. AMERICAN WATER WORKS ASSOCIATION ASCENSION MICHIGAN SCOTT LOWE CHASE CARD SERVICES WINDSTREAM UNITED STATES POSTAL SERVICE	3,457.23 77.00 10.54 20,279.68 246.30 201.94 83.00 130.00 130.34 1,632.91 49.16 1,425.45
Total of 12 Check		,	27,723.55 0.00
Cotal of 12 Disby		n.	27,723.55
		×.	
)7/14/2021 04:34 Jser: denise)B: Genoa Townshi		CHECK REGISTER FOR GENOA TOWNSHIP CHECK DATE FROM 06/16/2021 - 07/14/2021	Page: 1/1
Check Date	Check	Vendor Name	Amount
Bank 592FN OAK PO	DINTE OPERATING F	UND #592	
06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/16/2021 06/22/2021 06/22/2021 06/22/2021 07/06/2021 07/06/2021 07/07/2021 07/07/2021 07/07/2021 07/07/2021 07/08/2021	5252 5253 5254 5255 5256 5257 5258 5259 5260 5261 5262 5263 5264 5265 5266 5267 5268 5269 5270 5271	AT&T COOPER'S TURF MANAGEMENT LLC ETNA SUPPLY COMPANY FERCUSON WATERWORKS #3386 GENOA TOWNSHIP D.P.W. FUND GENOA TWP DPW FUND GENOA TOWNSHIP DPW FUND HOWELL HARDWARE HYDROCORP NORTHWEST PIPE & SUPPLY UIS SCADA ULINE AT&T LONG DISTANCE BRIGHTON ANALYTICAL LLC CONSUMERS ENERGY CONSUMERS ENERGY BRIGHTON ANALYTICAL LLC DTE ENERGY AT&T LONG DISTANCE DTE ENERGY TO COMMUNITY LIGHTING VOID REASON: WRONG VENDOR DTE ENERGY DTE ENERGY DTE ENERGY MMRMA	213.74 2,535.00 3,459.75 399.75 151.45 841.20 43,259.95 8.58 225.00 2,146.82 4,535.39 68.44 61.37 600.00 156.01 144.47 590.00 2,695.59 77.06 332.08 V 2,283.50 465.44 332.08 4,723.78
592FN TOTALS: Total of 24 Chec	ks:		70,306.45
Less 1 Void Chec Total of 23 Disb	ks:		332.08 69,974.37

37/14/2021 04:35 PM Jser: denise* DB: Genoa Township

CHECK REGISTER FOR GENOA TOWNSHIP CHECK DATE FROM 06/16/2021 - 07/14/2021

Page:

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Check Date	Check	Vendor Name	Amount
Bank 593FN LAKE	EDGEWOOD OPERATI	NG FUND #593	
06/22/2021	3970	BRIGHTON ANALYTICAL LLC	67.00
06/22/2021	3971	CONSUMERS ENERGY	15.00
06/29/2021	3972	BRIGHTON ANALYTICAL LLC	254.50
07/07/2021	3973	CHARTER TOWNSHIP OF BRIGHTON	1,065.00
07/07/2021	3974	DTE ENGERGY - COMMUNITY LIGHTING Void Reason: WRONG VENDOR	47.13 V
07/07/2021	3975	DTE ENERGY	2,779.72
07/08/2021	3976	BRIGHTON ANALYTICAL LLC	67.00
07/08/2021	3977	CITY OF BRIGHTON	7,217.44
07/08/2021	3978	CITY OF BRIGHTON	31,438.68
07/08/2021	3979	DTE ENERGY	184.00
07/08/2021	3980	MMRMA	1,445.72
593FN TOTALS:			
Total of 11 Che		g	44,581.19
Less 1 Void Che	ecks:	,	47.13
Total of 10 Dis	bursements:		44,534.06
		4	
			27,723.55+
			69,974-31+
			44.534.06+
			142,231,98*+

DRAFT

GENOA CHARTER TOWNSHIP BOARD Regular Meeting/Public Hearing June 21, 2021

MINUTES

Supervisor Rogers called the Regular Meeting of the Genoa Charter Township Board to order at 6:30 p.m. at the Township Hall with the Pledge of Allegiance. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal and approximately 30 persons in the audience.

A Call to the Public was made with no response.

Consent Agenda:

Moved by Mortensen and supported by Lowe to approve all items under the Consent Agenda as requested. The motion carried unanimously.

1. Payment of Bills: June 21, 2021

2. Request to Approve Minutes: June 7, 2021

Regular Agenda:

Moved by Ledford and supported by Lowe to approve for action all items listed under the Regular Agenda. The motion carried unanimously.

- 3. Public hearing for Darlene Drive Road Maintenance Project (Winter 2021).
- A. A Call to the Property Owners and was made with no response.
- B. A Call to the Public was made with no response.
- C. Request for approval of Resolution #3 [approving the project cost estimates, special assessment district and causing the special assessment roll to be prepared] for the Darlene Drive Road Maintenance Project (Winter 2021).

Moved by Mortensen and supported by Skolarus to approve Resolution No. 3. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

GENOA CHARTER TOWNSHIP BOARD – Regular Meeting and Public Hearing – June 21, 2021

D. Request for approval of Resolution #4 [acknowledging the filing of the special assessment roll, scheduling the second hearing, and directing the issuance of statutory notices] for the Darlene Drive Road Maintenance Project (Winter 2021).

Moved by Lowe and supported by Croft to approve a Public Hearing for July 19, 2021 and approve Resolution No. 4 as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

- 4. Public hearing for the Grand Beach Aquatic Weed Control Improvement Project (Winter 2021).
- A. A Call to the Property Owners was made with the following response: Joe Fader Please add to the next resolution that the project will include biological augmentation with regard to the lake improvement project. Margaret Csizmadia I am impressed with the project and agree 100%. Larry Marshall I support this project and it provides the best use of our lake. Bob Ford I live on the north end of the lake and Lilly pads are a big problem since the MDEQ protects them. The Township should work with the DEQ to assist us.
- B. A Call to the Public was made with no response.
- C. Request for approval of Resolution #3 [approving the project cost estimates, special assessment district and causing the special assessment roll to be prepared] for the Grand Beach Aquatic Weed Control Improvement Project (Winter 2021).

Moved by Skolarus and supported by Mortensen to approve Resolution No. 3 as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

D. Request for approval of Resolution #4 [acknowledging the filing of the special assessment roll, scheduling the second hearing, and directing the issuance of statutory notices] Grand Beach Aquatic Weed Control Improvement Project (Winter 2021).

Moved by Ledford and supported by Croft to approve Resolution No. 4 setting a July 19, 2021 public hearing. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

5. Request for approval of Resolution #1 (to proceed with the project and direct preparation of the plans and cost estimates) for the Pardee Lake Aquatic Weed Control Improvement Project.

Moved by Skolarus and supported by Lowe to approve Resolution No. 1 as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

GENOA CHARTER TOWNSHIP BOARD – Regular Meeting and Public Hearing – June 21, 2021

6. Request for approval of Resolution #2 (to approve the project, schedule the first hearing and direct issuance of statutory notices) for the Pardee Lake Aquatic Weed Control Improvement Project.

Moved by Ledford and supported by Lowe to approve Resolution No. 2 with a public hearing date of July 19, 2021 as requested. The motion carried unanimously

7. Consideration of a recommendation for approval of a special use application, environmental impact assessment and site plan to allow outdoor storage of two containers located at 7372 Grand River, Brighton for Community Bible Church. The request is petitioned by Community Bible Church.

A. Disposition of Special Use Application

Moved by Lowe and supported by Croft to approve the Special Use Permit because it has been found that the requested use meets the requirements of Sections 19.03 and 7.02.02 of the Township Ordinance. The motion carried unanimously.

B. Disposition of Environmental Impact Assessment (5-14-21)

Moved by Hunt and supported by Ledford to approve the Environmental Impact Assessment as requested. The motion carried unanimously.

C. Disposition of Site Plan (5-14-21)

Moved by Hunt and supported by Lowe to approve the site plan with the condition that the height of the proposed arborvitae plantings be increased to 6 feet. The motion carried unanimously.

8. Consideration of a recommendation for approval of an environmental impact assessment (5-26-21) for a proposed 27 space parking lot located at 2765 E. Grand River Avenue, north side of Grand River Avenue between Meadowview Drive and Tahoe Boulevard for Howell Family Dentistry which is adjacent at 2775 E. Grand River Avenue. The request is petitioned by Howell Family Dentistry.

Moved by Lowe and supported by Hunt to approve the environmental impact assessment dated May 26, 2021 with the condition that all requirements of the Planning Commission motion on the site plan be satisfied. The motion carried unanimously.

- 9. Consideration of an approval recommendation for a preliminary and final condominium for a 3-unit condominium for an existing office development located at 6253 and 6255 Grand River Avenue which is on the north side of Grand River Ave., east of Hughes Road. The request is petitioned by Chestnut Development, LLC.
- A. Disposition of Environmental Impact Assessment (3-29-21)

Moved by Ledford and supported by Hunt to approve the environmental impact assessment for a three-unit condominium for the existing Chestnut Landings office development located at 6253 and

GENOA CHARTER TOWNSHIP BOARD – Regular Meeting and Public Hearing – June 21, 2021

6255 W. Grand River on the north side of Grand River Ave. (east of Hughes Road, Brighton, 48114. The motion carried unanimously.

B. Disposition of Preliminary Condominium

Moved by Lowe and supported by Croft to grant Preliminary Approval for a three-unit condominium for the existing Chestnut Landings office development located at 6253 and 6255 W. Grand River on the north side of Grand River Avenue (east of Hughes Road, Brighton, 48114) with the following conditions:

- 1. Approval of the Master Deed by the Township Attorney.
- 2. The applicant shall meet the requirements of the Township Engineer in the letter dated June 9, 2021.

The motion carried unanimously.

C. Disposition of Final Condominium

Moved by Hunt and supported by Lowe to grant Final Approval for a three-unit condominium for the existing Chestnut Landings office development located at 6253 and 6255 W. Grand River on the north side of Grand River Avenue (east of Hughes Road, Brighton, 48114) with the following conditions:

- 1. Approval of the master Deed by the Township Attorney.
- 2. The applicant shall meet the requirements of the Township Engineer in the letter dated June 9, 2021.
- 3. Copies of approvals from all required outside agencies shall be provided to the Township for our files.

The motion carried unanimously.

Correspondence was read.

Member Discussion:

- Hunt taxes will be mailed 06/30/3021
- Rogers Mute Swans have been a problem on East and West Crooked Lake. The
 Township will initiate a resolution to the address this concern at the next regular meeting of
 the board.
- Archinal Road road work is being completed on Challis/Bauer, Golf Club (shared cost with Oceola), and Hubert. Other special assessment districts are being considered.

Moved Ledford and supported by Mortensen to adjourn the Regular Meeting and Public Hearing of the Board at 7:05 p.m.

Paulette Skolarus, Clerk Genoa Charter Township Bill Rogers, Supervisor Genoa Charter Township

Draft

GENOA CHARTER TOWNSHIP BOARD Special Meeting July 6, 2021

MINUTES

Supervisor Rogers called the Special Meeting of the Genoa Charter Township Board to order at 6:30 p.m. at the Township Hall with the Pledge of Allegiance. The following members were present constituting a quorum for the transaction of business: Bill Rogers, Paulette Skolarus, Robin Hunt, Jean Ledford, Terry Croft, Jim Mortensen and Diana Lowe. Also present were Township Manager Michael Archinal, Township Attorney Joe Seward and two persons in the audience.

A Call to the Public was made with the following response: Jim DelKamp – Across from Clifford and south of Brighton Road there has been clear cutting of 50 acres of property. I have been told that the property will be sold. There is also 40 acres off Cunningham Lake Road. I was advised by Mr. Jason Hartman to talk to the Township Board about the property. These two parcels get a lot of use for hiking, sledding, cross country skiing and recreation. It is also being re-planted with hard woods. This is a Township natural resource and should be made useful to all of us.

Request for approval of the Regular Agenda:

Moved by Mortensen and supported by Hunt to approve for action item 1 on the Regular Agenda, adding the Resolution No. 210706. The motion carried unanimously.

1. Request for approval of a Resolution No. 210706 establishing a moratorium on issuance of certain permits and/or approvals as they relate to modifications to structures in any zoning district in order to cultivate marijuana as a patient caregiver.

Moved by Lowe and supported by Croft to approve Resolution No. 210706 as requested. The motion carried by roll call vote as follows: Ayes – Ledford, Croft, Hunt, Lowe, Mortensen, Skolarus and Rogers. Nays – None.

Member Discussion:

Archinal – A large percent of our township is not well served with either cable or broadband. Our school children in those areas suffered as a result of this non-service. Comcast has not been excited to extend service to these remote areas. Our franchise agreement with Comcast is not exclusive. We have been meeting with an ISP called MiSignal, a local company who can and is willing to provide service. They are located in Howell. Our Township will be receiving over 2-Million in Covid relief money and one of the permitted uses is the expansion of broadband. We are working through a draft agreement with MiSignal and with concurrence of Attorney Joe Seward. The potential benefits are significant in regard to serving our underutilized areas.

GENOA CHARTER TOWNSHIP BOARD – Special Meeting - July 6, 2021

Moved by Mortensen and supported by Lowe to adjourn the Special Meeting of the Genoa Charter Township Board at 7:00 p.m.

Paulette A. Skolarus, Clerk

Genoa Charter Township Board

Bill Rogers, Supervisor

Genoa Charter Township Board

Resolution #1 – Black Oaks Trail Road Improvement Special Assessment Project (Winter 2021)

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Liv	/ingston
County, Michigan, (the "Township") held at the Township Hall on July 19, 2021, at 6:30) p.m.,
there were	

PRESENT:

The following preamble and resolution were offered by and seconded by

Resolution to Proceed with the Project and Direct Preparation of the Plans and Cost Estimates

WHEREAS, the Township Manager reported that petitions have been filed for the Black Oaks Trail Road Improvement Project (the "Project") under the authority of Act No 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Supervisor reported that the Assessor has checked the signatures on the petitions by record owners of land within the Township contained within the district described above and had prepared and filed a report setting forth the percentage of record owners of lands by frontage within the district who signed the petitions which amounted to more than fifty percent (50%); and

WHEREAS, the creation of a Special Assessment District for the Black Oaks Trail Road Improvement Project is appropriate pursuant to Section 2 of Act No. 188, Michigan Public Acts of 1954.

NOW, THEREFORE, BE IT RESOLVED THAT:

- 1. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Supervisor is directed to have plans prepared illustrating the Project, the location of the Project, and an estimate of the cost of the Project.
- 2. The plans and estimates identified in paragraph 1, when prepared, shall be filed with the Township Manager.

A vote on the foregoing resolution was taken and was as follows:	

NO:

YES:

ABSENT:

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a meeting of the Township Board on July 19, 2021, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in Township Manager's officer and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Clerk Genoa Charter Township

2

Resolution #2 – Black Oaks Trail Road Improvement Special Assessment Project (Winter 2021)

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of Genoa Charter Township of Livingston County, Michigan (the "Township") held at the Township Hall on July 19, 2021 at 6:30 p.m. there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by and seconded by

Resolution to Approve the Project, Scheduling the First Hearing And Directing the Issuance of Statutory Notices

WHEREAS, the Board of Trustees of the Township has approved the Black Oaks Trail Road Improvement Project (Winter 2021) within the Township as described in Exhibit A (the "Project");

WHEREAS, preliminary plans and cost estimates for the Project have been filed with the Township Manager;

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Project in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township in advance of such funds;

WHEREAS, the special assessment district for the Project has been tentatively determined by the Township Manager and is described in Exhibit B;

NOW, THEREREFORE, BE IT RESOLVED THAT:

- 1. The Board of Trustees of the Township hereby tentatively declares its intention to proceed with the Project.
- 2. The Board of Trustees of the Township hereby declares its intention to make the improvement and tentatively designates the special assessment district against which the cost of the improvement and maintenance is to be assessed as described in Exhibit B.
- 3. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, there shall be a public hearing on the Project and the proposed Special Assessment District for the Project which is known as the "Black Oaks Trail Road Improvement Special Assessment District (Winter 2021)."
- 4. The public hearing will be held on August 2, 2021 at 6:30 p.m., at the offices of Genoa Charter Township, Livingston County, Michigan.

- 5. The Township Manager is directed to mail, by first class mail, a notice of the public hearing to each owner of or party in interest in property to be assessed, whose name appears upon the last Township tax assessment records. The last Township tax assessment records means the last assessment roll for ad valorem tax purposes which has been reviewed by the Township Board of Review, as supplemented by any subsequent changes in the names or addresses of such owners or parties listed thereon. The notice to be mailed by the Township Manager shall be similar to the notice attached as Exhibit C and shall be mailed by first class mail on or before July 20, 2021. Following the mailing of the notices, the Township Manager shall complete an affidavit of mailing similar to the affidavit set forth in Exhibit D.
- 6. The Township Manager is directed to publish a notice of the public hearing in the Livingston County Daily Press & Argus, a newspaper of general circulation within the Township. The notice shall be published twice, once on or before July 23, 2021 and once on or before July 30, 2021. The notice shall be in a form substantially similar to the notice attached as Exhibit C.

A vote on the foregoing resolution was taken as was as follows:	
YES:	
NO:	
ABSENT:	

CLERK'S CERTIFICATE

The Undersigned, being duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Board of Trustees at the July 19, 2021 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records of the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act. No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A Skolarus Genoa Charter Township Clerk July 19, 2021

EXHIBIT A

BLACK OAK TRAILS ROAD IMPROVEMENT PROJECT (WINTER 2021)

DESCRIPTION OF PROJECT A TEN-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

• Total cost of the project: \$22,000

• Total parcels: 12

• Homeowners representing over 50% of property have signed petitions

• Total amount per parcel:

BLACK OAKS TRAIL 2021	
PROJECT COST	\$20,000
ADMIN.	\$2,000
TWP. CONTRIB.	0
TOTAL	\$22,000
INTEREST %	2
PROPERTIES	12

			TO	ТО	
	YEAR	PAYMENT	INTEREST	PRINCIPAL	OUTSTANDING
1	2021	\$2,640.00	\$440.00	\$2,200.00	\$19,800.00
2	2022	\$2,596.00	\$396.00	\$2,200.00	\$17,600.00
3	2023	\$2,552.00	\$352.00	\$2,200.00	\$15,400.00
4	2024	\$2,508.00	\$308.00	\$2,200.00	\$13,200.00
5	2025	\$2,464.00	\$264.00	\$2,200.00	\$11,000.00
6	2026	\$2,420.00	\$220.00	\$2,200.00	\$8,800.00
7	2027	\$2,376.00	\$176.00	\$2,200.00	\$6,600.00
8	2028	\$2,332.00	\$132.00	\$2,200.00	\$4,400.00
9	2029	\$2,288.00	\$88.00	\$2,200.00	\$2,200.00
10	2030	\$2,244.00	\$44.00	\$2,200.00	\$0.00
		\$24,420.00	\$2,420.00	\$22,000.00	

The project (the "Project") will consist of:

- Removal of asphalt, haul away
- Replace with 4,000 P.S.I. air entrained 6-inch concrete
- Include 6 x 6 #6 wire mesh of approximately 3,000 sq. ft. of road

EXHIBIT B

The Project (Black Oaks Trail Road Improvement Winter 2021) is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map (included) and includes the specific properties that are identified by the following permanent parcel numbers:

11-03-301-002	11-03-301-003	11-03-301-004	11-03-301-005
11-03-301-006	11-03-301-007	11-03-301-008	11-03-301-019
11-03-301-053	11-03-302-001	11-03-302-002	11-03-302-003

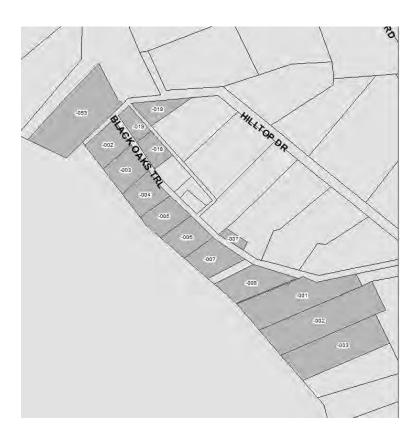


EXHIBIT C

GENOA CHARTER TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN NOTICE OF PUBLIC HEARING UPON A PROPOSED BLACK OAKS TRAIL ROAD IMPROVEMENT PROJECT AND SPECIAL ASSESSMENT DISTRICT (Winter 2021)

NOTICE IS HEREBY GIVEN:

(1) The Township Board of Genoa Charter Township, Livingston County, Michigan, in accordance with the laws of the State of Michigan, will hold a Public Hearing on August 2, 2021 at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116, to review the following proposed special assessment district and to hear any objections thereto and to the proposed project.

GENOA CHARTER TOWNSHIP – BLACKS OAK TRAIL ROAD IMPROVEMENT PROJECT AND SPECIAL ASSESSMENT DISTRICT (Winter 2021)

(A ten-year program with costs as follows)

- Total cost of the project \$22,000
- Total parcels 12
- Homeowners representing over 50% of parcels have signed petitions
- Total amount per parcel:

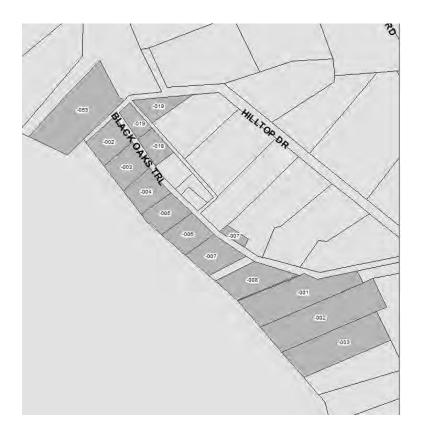
BLACK OAKS TRAIL	
2021	
PROJECT COST	\$20,000
ADMIN.	\$2,000
TWP. CONTRIB.	0
TOTAL	\$22,000
INTEREST %	2
PROPERTIES	12

			TO	ТО	
	YEAR	PAYMENT	INTEREST	PRINCIPAL	OUTSTANDING
1	2021	\$2,640.00	\$440.00	\$2,200.00	\$19,800.00
2	2022	\$2,596.00	\$396.00	\$2,200.00	\$17,600.00
3	2023	\$2,552.00	\$352.00	\$2,200.00	\$15,400.00
4	2024	\$2,508.00	\$308.00	\$2,200.00	\$13,200.00
5	2025	\$2,464.00	\$264.00	\$2,200.00	\$11,000.00
6	2026	\$2,420.00	\$220.00	\$2,200.00	\$8,800.00
7	2027	\$2,376.00	\$176.00	\$2,200.00	\$6,600.00
8	2028	\$2,332.00	\$132.00	\$2,200.00	\$4,400.00
9	2029	\$2,288.00	\$88.00	\$2,200.00	\$2,200.00
10	2030	\$2,244.00	\$44.00	\$2,200.00	\$0.00
		\$24,420.00	\$2,420.00	\$22,000.00	

The project (the "Project") will consist of:

- Removal of asphalt, haul away
- Replace with 4,000 P.S.I. air entrained 6-inch concrete
- Include 6 x 6 #6 wire mesh of approximately 3,000 sq. ft. of road
- (2) The Project is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map and includes the specific properties that are identified by the following parcel numbers:

11-03-301-002	11-03-301-003	11-03-301-004	11-03-301-005
11-03-301-006	11-03-301-007	11-03-301-008	11-03-301-019
11-03-301-053	11-03-302-001	11-03-302-002	11-03-302-003



(3) The Township plans to impose special assessments on the properties located in the Special Assessment District to pay for the costs of the Project.

(4) The preliminary plans and cost estimates for the proposed project and the boundaries of the Special Assessment District are now on file in the office of the Township Manager and Township Clerk for public inspection. The Township Board has received petitions signed by more than 50 percent of property owners within the proposed district. Pursuant to the provisions of Public Act 188 of 1954, record owners of land have the right to file written objections to the Project with the Township Board. Any person objecting to the proposed Project or the proposed Special Assessment District shall file an objection in writing with the Township Manager before the close of the July 20, 2021 hearing or within such further times as the Township Board may grant.

This notice is given by order of the Genoa Charter Township Board.

Dated: July 20, 2021 Michael C. Archinal

Genoa Charter Township Manager

(Press/Argus 7/23/21-8/2/21)

EXHIBIT D

AFFIDAVIT OF MAILING

STATE OF MICHIGAN	
COUNTY OF LIVINGSTON)
orepared for mailing, and dic true copy of which is attached property to be assessed for the assessment records of the To each envelope against the list of the Township; that each e with postage fully prepaid fo	being first duly sworn, deposes and says that he personally don July 20, 2021, send by first-class mail, the notice of hearing, and hereto, to each record owner of or party in interest in all the improvement described therein, as shown on the last local tax ownship of Genoa; that he personally compared the address on at of property owners as shown on the current tax assessment rolls invelope contained therein such notice and was securely sealed in first-class mail delivery and plainly addressed; and that he envelopes in a United States Post Office receptacle on the above

Michael C. Archinal

Genoa Charter Township Manager

Resolution No. 3 – Pardee Lake Aquatic Weed Control Project Reimbursement Special Assessment Project (Winter 2021)

TOWNSHIP OF GENOA

At a regular meeting of the Township Board of the Township of Genoa, Livingston County, Michigan, (the "Township") held at the Township Hall on July 19, 2021, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by and seconded by

Resolution Approving Project, Cost Estimates, Special Assessment District and Causing the Special Assessment Roll to be Prepared

WHEREAS, preliminary plans and cost estimates for the Project have been filed with the Township Manager;

WHEREAS, the Township Board has tentatively determined to proceed with the Project as described in Exhibit A and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, The Board of Trustees of the Township has declared its intention to make the improvement and tentatively designated the special assessment district against which the cost of the improvement is to be assessed is described in Exhibit B.

WHEREAS, on July 19, 2021 a public hearing was held to hear any objections to the petition, to the improvement and to the special assessment district and notice of the hearing was provided pursuant to the requirements of Act No 188, Michigan Public Acts of 1954, as amended;

NOW, THEREFORE, BE IT RESOLVED THAT:

- 1. The Township Board approves the completion of the Project and approves the plans and cost estimates for the Project, which are on file with the Township Manager and which are identified as "Plans and Cost Estimates for the Pardee Lake Aquatic Weed Control Project and Reimbursement Special Assessment Project (Winter 2021)."
- 2. The Township Board approves the sufficiency of the Petition for the improvement.
- 3. The Township Board determines that the Special Assessment District for the Project shall consist of the parcels identified in Exhibit B. The term of the Special Assessment District shall be for five-years.

- 4. The Township Board has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;
- 5, The Township Supervisor is directed to prepare the Special Assessment Roll for the Special Assessment District identified in Exhibit B. The Special Assessment Roll shall describe all the parcels of land to be assessed with the names of the respective record owners of each parcel, if known, and the total amount to be assessed against each parcel of land. When the Township Supervisor completes the Special Assessment Roll, he shall affix his certificate to the roll stating that the roll was made pursuant to a resolution of the Township Board adopted on a specified date, and that in making the assessment roll the supervisor, according to his or her best judgment, has conformed in all respects to the directions contained in the resolution and the statutes of the State of Michigan.
- 5. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:

YES:		
NO:		
ABSENT:		

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the July 19, 2021 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Township Clerk

EXHIBIT A

PARDEE LAKE AQUATIC WEED CONTROL PROJECT

DESCRIPTION OF PROJECT A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

The project (the "Project") will consist of:

- Annual permits with MDEQ
- Spring vegetation survey
- 5-acre Contact Herbicide Curly Leaf Pondweed
- 10-acre Contact Herbicide for Eurasian Milfoil And Nuisance Native Plants
- Additional Algicide Treatments
- Late Season Vegetation Survey
- Administrative Costs

PARDEE LAKE WEED CONTROL 2021-2025	
TOTAL 5 YR. PROJECT COST*	\$ 109,981.00
TOWNSHIP ADMIN.	\$ 2,000.00
TOTAL 5 YR. SAD COST	\$ 111,981.00
TOTAL ANNUAL SAD COST	\$ 23,396.20
ANNUAL RIPARIAN SAD COST	\$ 520.84

^{*}PER LAKEPRO JANUARY 2021 w/3% ANNUAL INCREASE

EXHIBIT B

PARDEE LAKE AQUATIC WEED CONTROL PROJECT PARCELS INCLUDED IN THE SPECIAL ASSESSMENT DISTRICT

The Project is being designed to serve the properties in the Special Assessment District, which district includes the specific properties that are identified by the following permanent parcel numbers:

11-30-100-010	11-30-100-011	11-30-100-013
11-30-100-015	11-30-100-017	11-30-100-024
11-30-100-040	11-30-100-041	11-30-101-001
11-30-101-002	11-30-101-003	11-30-101-004
11-30-101-010	11-30-101-015	11-30-101-018
11-30-101-022	11-30-101-025	11-30-101-026
11-30-101-029	11-30-101-033	11-30-101-034
11-30-101-037	11-30-101-046	11-30-101-047
11-30-101-049	11-30-101-051	11-30-101-053
11-30-101-123	11-30-101-125	11-30-101-126
11-30-101-127	11-30-101-130	11-30-300-001
11-30-300-002	11-30-300-003	11-30-300-006
11-30-300-007	11-30-300-008	11-30-300-009
11-30-300-013	11-30-300-023	11-30-300-024
11-30-300-025		



Resolution No. 4 – Pardee Lake Aquatic Weed Control Improvement Reimbursement Special Assessment Project (Winter 2021)

TOWNSHIP OF GENOA

At a regular meeting of the Township Board of the Township of Genoa, Livingston County, Michigan, (the "Township") held at the Township Hall on July 19, 2021, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by and supported by

Resolution Acknowledging the Filing of the Special Assessment Roll, Scheduling the Second Hearing, and Directing the Issuance of Statutory Notices

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Pardee Lake Aquatic Weed Control Improvement project within the Township as described in Exhibit A (the "Project") and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled "Special Assessment Roll for the Pardee Lake Aquatic Weed Control Improvement Program Reimbursement Special Assessment Project (Winter 2021) (Exhibit B) and has filed the Proposed Roll with the Township Manager and Township Clerk;

NOW, THEREFORE, BE IT RESOLVED THAT:

- 1. The Township Board acknowledges that the Township Supervisor has filed the Proposed Roll with the Township Manager and Township Clerk.
- 2. The Township Board acknowledges that the Township Supervisor has certified that (a) the Proposed Roll was prepared in accordance with the direction of the Township Board and (b) the Proposed Roll was prepared in accordance with the laws of the State of Michigan. (Exhibit C)
- 3. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, there shall be a public hearing to review and hear objections on the Proposed Roll.
- 4. The second public hearing will be held on Monday, August 2, 2021 at 6:30 p.m. at the offices of Genoa Charter Township, Livingston County, Michigan.
- 5. The Township Manager is directed to mail, by first class mail, a notice of the public hearing to each owner of or party in interest in property to be assessed, whose name appears upon the last Township tax assessment records. The last Township tax assessment records means the last

assessment roll for ad valorem tax purposes which has been reviewed by the Township Board of Review, as supplemented by any subsequent changes in the names or addresses of such owners or parties listed thereon. The notice to be mailed by the Township Manager shall be similar to the notice attached as Exhibit D and shall be mailed by first class mail on or before July 20, 2021. Following the mailing of the notices, the Township Manager shall complete an affidavit of mailing similar to the affidavit set forth in Exhibit E.

- 6. The Township Manager is directed to publish a notice of the public hearing in the <u>Livingston County Daily Press & Argus</u>, a newspaper of general circulation within the Township. The notice shall be published twice, once on or before July 23, 2021 and July 30, 2021. The notice shall be in a form substantially similar to the notice attached as Exhibit D.
- 7. All resolutions or parts of resolutions in conflict with this resolution are hereby rescinded.

A vote on the foregoing resolution was taken and was as follows:	
--	--

YES:			
NO:			

ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the July 19, 2021 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

EXHIBIT A

PARDEE LAKE AQUATIC WEED CONTROL PROJECT

DESCRIPTION OF PROJECT A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

The project (the "Project") will consist of:

- Annual permits with MDEQ
- Spring vegetation survey
- 5-acre Contact Herbicide Curly Leaf Pondweed
- 10-acre Contact Herbicide for Eurasian Milfoil And Nuisance Native Plants
- Additional Algicide Treatments
- Late Season Vegetation Survey
- Administrative Costs

PARDEE LAKE WEED CONTROL 2021-2025	
TOTAL 5 YR. PROJECT COST*	\$ 109,981.00
TOWNSHIP ADMIN.	\$ 2,000.00
TOTAL 5 YR. SAD COST	\$ 111,981.00
TOTAL ANNUAL SAD COST	\$ 23,396.20
ANNUAL RIPARIAN SAD COST	\$ 520.84

^{*}PER LAKEPRO JANUARY 2021 w/3% ANNUAL INCREASE

EXHIBIT B - Special Assessment Roll for Pardee Lake Aquatic Weed Control Improvement Program Winter 2021 06/16/2021 Tentative Special Assessment Listing for GENOA TOWNSHIP Page: 1/2 02:42 PM DB: Genoa Population: Special Assessment District (X062121) OWNER PARCEL ASSESSMENT NAME ASSESSMENT ADDRESS 4711-30-100-010 X062121, Pardee Lake HALL DAVID 2,604.20 2400 E COON LAKE TRL 4711-30-100-011 X062121, Pardee Lake BANAS LAWRENCE & SUSANNE LTS 9.3 2,604.20 2258 E COON LAKE TRL 4711-30-100-013 X062121, Pardee Lake 2,604.20 LEDFORD BRIAN 2330 E COON LAKE TRL X062121, Pardee Lake 4711-30-100-015 2,604.21 GUZIK PAUL & JOAN 46528 DARWOOD CT 4711-30-100-017 X062121, Pardee Lake 2,604.21 O'NEILL MICHAEL T 2404 E COON LAKE TRL 4711-30-100-024 X062121, Pardee Lake 2,604.21 SMITH, EARL 32060 W 10 MILE RD KUZNER DAVID & MARY 4711-30-100-040 X062121, Pardee Lake 2,604.21 PO BOX 1635 4711-30-100-041 X062121, Pardee Lake 2,604.21 CLEVELAND ROBYN E & SUMMER RANSOM-2416 E COON LAKE TRL 4711-30-101-001 X062121, Pardee Lake 2,604.21 ZAWISTOWSKI LAKE LLC 1617 W STADIUM BLVD 4711-30-101-002 X062121, Pardee Lake 2,604.21 HOERLE JEFFREY REVOC TRUST 5619 BOBWHITE AVE MANUEL SAMUELSON CHRISTINA TRUST 4711-30-101-003 X062121, Pardee Lake 2,604.21 1119 GALLOWAY LN HENDRA, ALFRED 4711-30-101-004 X062121, Pardee Lake 2,604.21 2074 WEBSTER PARK DR 4711-30-101-010 X062121, Pardee Lake HARMAN BARBARA & THOMAS 2,604.21 2331 NE 192ND ST 4711-30-101-015 SAYERS BENJAMIN & KRISTAN X062121, Pardee Lake 2,604,21 2115 WEBSTER PARK DR 4711-30-101-018 X062121, Pardee Lake 2,604.21 POMROY BETTY & LEROY 2137 WEBSTER PARK DR 4711-30-101-022 X062121, Pardee Lake 2,604.21 NOWAK, MARY E. 29076 MARQUETTE ST X062121, Pardee Lake 4711-30-101-025 2,604.21 KLINE KEVIN 1801 BRIGHTON RD 4711-30-101-026 X062121, Pardee Lake 2,604.21 KLINE KEVIN 30067 MIRAGE CT 4711-30-101-029 X062121, Pardee Lake 2,604.21 MCGOWAN LESLIE 2172 WEBSTER PARK DR 4711-30-101-033 X062121, Pardee Lake 2,604.21 HALL DEBORAH 2165 WEBSTER PARK DR 4711-30-101-034 X062121, Pardee Lake 2,604.21 GIRAUD, GEORGE, LOIS & JACK 2175 WEBSTER PARK DR 4711-30-101-037 X062121, Pardee Lake 2,604.21 FRENCH JAMES & ELAINE LTS 9.3 2191 WEBSTER PARK DR WALLACE, GREGORY & JOAN 4711-30-101-046 X062121, Pardee Lake 2,604.21

2,604.21

2,604.21

2,604.21

2,604.21

2276	WEBSTER PARK DR
	R, WILFRED & DAWN WEBSTER PARK DR

LAVANTURE, ROBT. & CUDWORTH, 2276 WEBSTER PARK DR

LAVANTURE, ROBT. & CUDWORTH,

2308 WEBSTER PARK DR

LISS TRUST

13850 LLOYD DR

4711-30-101-047

4711-30-101-049

4711-30-101-051

4711-30-101-053

X062121, Pardee Lake

X062121, Pardee Lake

X062121, Pardee Lake

X062121, Pardee Lake

06/16/2021 02:42 PM

Tentative Special Assessment Listing for GENOA TOWNSHIP Page: 2/2 Population: Special Assessment District (X062121) DB: Genoa Population: Special Assessment District (X062121)

				OWNER	
_	PARCEL	ASSESSMENT NAME	ASSESSMENT	ADDRESS	
	4711-30-101-123	X062121, Pardee Lake	2,604.21	NOBEL DALE & MARSHA LTS 9.3 2187 WEBSTER PARK DR	
	4711-30-101-125	X062121, Pardee Lake	2,604.21	RENAUD, JOSEPH 2206 WEBSTER PARK DR	
	4711-30-101-126	X062121, Pardee Lake	2,604.21	EDWARDS BRADLEY R & ROBIN M 2223 WEBSTER PARK DR	
	4711-30-101-127	X062121, Pardee Lake	2,604.21	HEUWAGEN DENNIS & KAREN 2142 WEBSTER PARK DR	
	4711-30-101-130	X062121, Pardee Lake	2,604.21	HARMAN BARBARA & THOMAS 2331 NE 192ND ST	
	4711-30-300-001	X062121, Pardee Lake	2,604.21	SARPOLIS NANCY REV LIVING TRUST 2055 WEBSTER PARK DR	
	4711-30-300-002	X062121, Pardee Lake	2,604.21	TEXTOR MARK & KRISTYN 2155 BRIGHTON RD	
	4711-30-300-003	X062121, Pardee Lake	2,604.21	SPECK KEITH B & CONNIE A 2005 BRIGHTON RD	
	4711-30-300-006	X062121, Pardee Lake	2,604.21	ALBRANT LYLE & SHIRLEY LTS 9.3 322 VICTORIA PARK DR	
	4711-30-300-007	X062121, Pardee Lake	2,604.21	PATTERSON, ALAN & BLYTHE 2424 E COON LAKE TRL	
	4711-30-300-008	X062121, Pardee Lake	2,604.21	GIBSON, MICHAEL A & LINDA L. 2420 E COON LAKE TRL	
	4711-30-300-009	X062121, Pardee Lake	2,604.21	SANTONI, MARK & MICHELLE 2418 E COON LAKE TRL	
	4711-30-300-013	X062121, Pardee Lake	2,604.21	ROGERS BYRON R 2127 BRIGHTON RD	
	4711-30-300-023	X062121, Pardee Lake	2,604.21	UZELAC KATINA & MICHAEL 2095 BRIGHTON RD	
	4711-30-300-024	X062121, Pardee Lake	2,604.21	BEYER THEODORE & LAURA 46474 MORNINGTON RD	
	4711-30-300-025	X062121, Pardee Lake	2,604.21	BLASTIC MICHAEL & SHEARER KIM 9315 SYCAMORE TRL	

111,981.00

OF PARCELS: 43 TOTALS:

EXHIBIT C

Certificate	

I, the undersigned, Supervisor of Genoa Charter Township, Livingston County, Michigan (the "Township"), acting pursuant to a resolution duly adopted by the Township Board of the Township on July 19, 2021 (the "Resolution") certify that (1) the attached special assessment roll for the Pardee Lake Aquatic Weed Control Improvement Program Reimbursement Special Assessment Project (Winter 2021), to which this Certificate is affixed, was made pursuant to the Resolution and (2) in making such a roll, I have, according to my best judgment, conformed in all respects to the directions contained in the Resolution and the statutes of the State of Michigan, including Act No. 188, Public Acts of Michigan, 1954, as amended.

Dated: July 19, 2021		
	Bill Rogers	
	Genoa Charter Township Supervisor	

EXHIBIT D

Genoa Charter Township Livingston County, Michigan NOTICE OF PUBLIC HEARING FOR THE PROPOSED PARDEE LAKE AQUATIC WEED CONTROL IMPROVEMENT PROJECT AND SPECIAL ASSESSMENT DISTRICT FOR THE PROJECT

NOTICE IS HEREBY GIVEN:

(1) The Township Board of Genoa Charter Township, Livingston County, Michigan, in accordance with the laws of the State of Michigan, will hold a Public Hearing on August 2, 2021, at 6:30 p.m., at the Genoa Charter Township Offices, 2911 Dorr Road, Brighton, Michigan 48116, to review the following proposed special assessment district:

GENOA CHARTER TOWNSHIP – PARDEE LAKE AQUATIC WEED CONTROL IMPROVEMENT PROJECT AND SPECIAL ASSESSMENT DISTRICT (Winter 2021) (A five-year program with costs as follows)

and to hear any objections to the petition, to the improvement and to the special assessment district. The Township Board may revise, correct, amend or change the plans, estimate of cost, or special assessment district.

PARDEE LAKE AQUATIC WEED CONTROL PROJECT

DESCRIPTION OF PROJECT A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

The project (the "Project") will consist of:

- Annual permits with MDEQ
- Spring vegetation survey
- 5-acre Contact Herbicide Curly Leaf Pondweed
- 10-acre Contact Herbicide for Eurasian Milfoil And Nuisance Native Plants
- Additional Algicide Treatments
- Late Season Vegetation Survey
- Administrative Costs

PARDEE LAKE WEED CONTROL 2021-2025	
TOTAL 5 YR. PROJECT COST*	\$ 109,981.00
TOWNSHIP ADMIN.	\$ 2,000.00
TOTAL 5 YR. SAD COST	\$ 111,981.00
TOTAL ANNUAL SAD COST	\$ 23,396.20
ANNUAL RIPARIAN SAD COST	\$ 520.84

^{*}PER LAKEPRO JANUARY 2021 w/3% ANNUAL INCREASE

(2) The Project is being designed to serve the properties in the Special Assessment District, which district is illustrated on the map (included) and includes the specific properties that are identified by the following permanent parcel numbers:

11-30-100-011	11-30-100-013
11-30-100-017	11-30-100-024
11-30-100-041	11-30-101-001
11-30-101-003	11-30-101-004
11-30-101-015	11-30-101-018
11-30-101-025	11-30-101-026
11-30-101-033	11-30-101-034
11-30-101-046	11-30-101-047
11-30-101-051	11-30-101-053
11-30-101-125	11-30-101-126
11-30-101-130	11-30-300-001
11-30-300-003	11-30-300-006
11-30-300-008	11-30-300-009
11-30-300-023	11-30-300-024
	11-30-100-017 11-30-100-041 11-30-101-003 11-30-101-015 11-30-101-025 11-30-101-033 11-30-101-046 11-30-101-051 11-30-101-125 11-30-101-130 11-30-300-003 11-30-300-008



(3) The Township plans to impose special assessments on the properties located in the Special Assessment District to pay for the costs of the Project.

- (4) The preliminary plans and cost estimates for the proposed Project and the boundaries of the Special Assessment District are now on file in the office of the Township Manager and Township Clerk for public examination from the date of this notice until and including the date of the public hearing and may be examined at the hearing.
- (5) The Board of Trustees of the Township has received correspondence asking for the renewal of an existing special assessment district for Pardee Lake Aquatic Weed Control and determined to proceed with the Project in accordance with Act. No. 188, Michigan Public Acts of 1954, as amended.
- (6) Record owners and any party in interest of land have the right to object in person or to file written objections to the petition, to the improvement and to the special assessment district. Any person objecting in writing to the petition, the improvement, or the proposed special assessment district shall file the objection with the Township Manager before the close of the August 2, 2021 hearing or within such further time as the Township Board may grant. Appearance and protest at the hearing is required in order to appeal the amount of the special assessment to the state tax tribunal.

This notice is given by order of the Genoa Township Board.

Dated: July 19, 2021

Michael C. Archinal Genoa Charter Township Manager

(Press/Argus July 23, 2021 & July 30, 2021

EXHIBIT E

AFFIDAVIT OF MAILING

STATE OF MICHIGAN)
)
COUNTY OF LIVINGSTO)N)

Michael C. Archinal, being first duly sworn, deposes and says that he personally prepared for mailing, and did on July 20, 2021, send by first-class mail, the notice of hearing, a true copy of which is attached hereto, to each record owner of or party in interest in all property to be assessed for the improvement described therein, as shown on the last local tax assessment records of the Township of Genoa; that he personally compared the address on each envelope against the list of property owners as shown on the current tax assessment rolls of the Township; that each envelope contained therein such notice and was securely sealed with postage fully prepaid for first-class mail delivery and plainly addressed; and that he personally placed all of such envelopes in a United States Post Office receptacle on the above date.

Michael C. Archinal Genoa Charter Township Manager

Resolution No. 5 – Darlene Drive Road Improvement Project (Winter 2021)

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the "Township") held at the Township Hall on July 19, 2021, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by and seconded by

Resolution Confirming Special Assessment Roll

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Darlene Drive Road Improvement Project (Winter 2021) within the Township as described in Exhibit A (the "Project") and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled Special Assessment Roll for Darlene Drive Road Improvement Project (Winter 2021) (the "Proposed Roll") and has filed the Proposed Roll with the Township Manager and Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the Proposed Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the Proposed Roll on July 19, 2021.

NOW, THEREFORE, BE IT RESOLVED THAT:

- 1. <u>Roll Confirmed</u>. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the Darlene Drive Road Improvement Project (Winter 2021) (the "Roll") (Exhibit B).
- 2. <u>Future Installments Principal</u>. The Township Board determines that each special assessment may be paid in ten installments. The first installment shall be due December 1, 2021.
 - 3. Future Installments Interest. All unpaid installments shall bear 2% interest.

4. Warra	nt. The Township Clerk is hereby directed to attach a warrant (in the form o	of
Exhibit C to this re-	solution) to the Roll and to deliver such warrant and the Roll to the Township	p
Treasurer, who shall	thereupon collect the special assessments in accordance with the terms of thi	is
resolution, the Clerk	's warrant and the statutes of the State of Michigan.	

5.	<u>Inconsistent Prior Resolutions</u> .	All previously	adopted	resolutions	that	are	in	conflict
with this resolu	ution are repealed to the extent o	f such conflict.						

with this resolution are repeated to the extent of such conflict.
A vote on the foregoing resolution was taken and was as follows:
YES:
NO:
ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the July 19, 2021 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus.	Genoa Charter Township Clerk

EXHIBIT A

DARLENE DRIVE ROAD IMPROVEMENT PROJECT (WINTER 2021)

DESCRIPTION OF PROJECT A TEN-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

• Total cost of the project: \$78,000

Total parcels: 11

• Homeowners representing over 50% of property have signed petitions

• Total amount per parcel:

DARLENE ROAD	
2021	
PROJECT COST	\$78,000
ADMIN.	\$2,000
TWP. CONTRIB.	(\$11,000)
TOTAL	\$69,000
INTEREST %	2
PROPERTIES	11

	YEAR	PAYMENT	TO	TO	OUTSTANDING
			INTEREST	PRINCIPAL	
1	2021	\$752.73	\$125.45	\$627.27	\$5,645.45
2	2022	\$740.18	\$112.91	\$627.27	\$5,018.18
3	2023	\$727.64	\$100.36	\$627.27	\$4,390.91
4	2024	\$715.09	\$87.82	\$627.27	\$3,763.64
5	2025	\$702.55	\$75.27	\$627.27	\$3,136.36
6	2026	\$690.00	\$62.73	\$627.27	\$2,509.09
7	2027	\$677.45	\$50.18	\$627.27	\$1,881.82
8	2028	\$664.91	\$37.64	\$627.27	\$1,254.55
9	2029	\$652.36	\$25.09	\$627.27	\$627.27
10	2030	\$639.82	\$12.55	\$627.27	\$0.00

The project (the "Project") will consist of:

- Crush, shape and repave existing .135 mile roadway with 3.5 inches of 13A hot mix asphalt.
- Remove and replace driveway approaches to match new roadway elevation.
- Topsoil and seed along edge of existing roadway to blend into existing lawns.

EXHIBIT B - Special Assessment Roll for the Darlene Drive Road Improvement Project (Winter 2021)

Tentative Special Assessment Listing for GENOA TOWNSHIP 06/16/2021 Page: 1/1 02:21 PM DB: Genoa Population: Special Assessment District (X060721) OWNER PARCEL ASSESSMENT NAME ASSESSMENT ADDRESS 4711-12-200-019 X060721, Darlene Road WILLIAMS SHANNON 6,272.72 7600 DARLENE DR 4711-12-201-004 X060721, Darlene Road 6,272.72 SMITH SHAYNE & MIRANDA 7665 DARLENE DR 4711-12-201-005 X060721, Darlene Road 6,272.72 PURDY MARC & DARLENE 7685 DARLENE DR 4711-12-201-006 X060721, Darlene Road 6,272.72 RICHARDSON JEFFREY & EMILY 7707 DARLENE DR 4711-12-201-007 X060721, Darlene Road 6,272.72 HOSS DONNA M 7725 DARLENE DR 4711-12-201-008 X060721, Darlene Road 6,272.72 LENFESTEY LINDA 7745 DARLENE DR 4711-12-201-009 EVELY THOMAS R & JUDITH R X060721, Darlene Road 6,272.72 7746 DARLENE DR 4711-12-201-010 X060721, Darlene Road 6,272.72 OKAMOTO WILLIAM & JUDY LTS 9.3 7726 DARLENE DR 4711-12-201-011 X060721, Darlene Road ALLOR, SHIRLEY A. & KELLY A. 6,272.72 7708 DARLENE DR 4711-12-201-012 X060721, Darlene Road 6,272.72 LOMREE INC PO BOX 20 X060721, Darlene Road SAYAGE, SUHAIL 4711-12-201-013 6,272.72 7664 DARLENE DR

68,999.92

OF PARCELS: 11

TOTALS:

Exhibit C Warrant

WARRANT

TO: Treasurer
Genoa Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the special assessment roll for the Genoa Township Darlene Drive Road Improvement Project (Winter 2021) (the "Roll") confirmed by the Township Board on July 19, 2021 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such Roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Paulette A. Skolarus Genoa Charter Township Clerk

Resolution No. 5 – Grand Beach Aquatic Weed Control Improvement Project Reimbursement Special Assessment Project (Winter 2021)

GENOA CHARTER TOWNSHIP

At a regular meeting of the Township Board of the Genoa Charter Township, Livingston County, Michigan, (the "Township") held at the Township Hall on July 19, 2021, at 6:30 p.m., there were

PRESENT:

ABSENT:

The following preamble and resolution were offered by and seconded by

Resolution Confirming Special Assessment Roll

WHEREAS, the Board of Trustees of the Township has determined to proceed with the Grand Beach Aquatic Weed Control Improvement Project within the Township as described in Exhibit A (the "Project") and in accordance with Act No. 188, Michigan Public Acts of 1954, as amended;

WHEREAS, the Board of Trustees of the Township has determined to advance the costs of the Project from Township funds and to use special assessments to raise the money necessary to reimburse the Township for the advance of such funds;

WHEREAS, the Township Supervisor has prepared the Special Assessment Roll entitled Special Assessment Roll for Grand Beach Aquatic Weed Control Improvement Project (2021) (the "Proposed Roll") and has filed the Proposed Roll with the Township Manager and Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the Proposed Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the Proposed Roll on July 19, 2021.

NOW, THEREFORE, BE IT RESOLVED THAT:

- 1. <u>Roll Confirmed</u>. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the Grand Beach Aquatic Weed Control Improvement Project (Winter 2021) (the "Roll") (Exhibit B).
- 2. <u>Future Installments Principal</u>. The Township Board determines that each special assessment may be paid in five installments. The first installment shall be due December 1, 2021.
 - 3. Future Installments Interest. All unpaid installments shall not bear interest.

4.	Warrant.	The Township	Clerk is hereby	directed to	attach a w	arrant (in	the form	of
Exhibit C t	o this resolu	tion) to the Rol	ll and to deliver	such warrar	nt and the	Roll to tl	ne Townsh	ip
Treasurer, v	who shall the	ereupon collect	the special asses	ssments in ac	ccordance	with the	terms of th	iis
resolution, 1	the Clerk's w	arrant and the st	atutes of the Stat	e of Michiga	n.			

5.	Inconsistent Prior Resolution	<u>ıs</u> . All previously	adopted	resolutions	that	are i	n c	conflict
with this resolu	ution are repealed to the exten	t of such conflict.						

with this resolution are repeated to the extent of such commet.
A vote on the foregoing resolution was taken and was as follows:
YES:
NO:
ABSENT:

CLERK'S CERTIFICATE

The undersigned, being the duly qualified and acting Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at the July 19, 2021 meeting of the Township Board, at which meeting a quorum was present and remained throughout; (2) the original thereof is on file in the records in the Township Manager's office and my office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Paulette A. Skolarus, Genoa Charter Township Clerk

EXHIBIT A

GRAND BEACH AQUATIC WEED CONTROL IMPROVEMENT PROJECT

DESCRIPTION OF PROJECT A FIVE-YEAR SPECIAL ASSESSMENT DISTRICT WITH PROJECTED COSTS AS FOLLOWS:

The project (the "Project") will consist of:

- MDEQ permit
- Spring vegetation survey
- Spring water quality analysis of lake
- 5 Acres of Curly-Leaf Pondweed Contact Herbicide
- 5 acres of Eurasian Milfoil and Lily Pad Systemic Herbicide
- 5 acres of Contact Herbicide for Broad Spectrum control
- Biological augmentation to consume lake bottom nutrients and organic material
- Summer water quality analysis
- Late season vegetation survey

GRAND BEACH WEED CONTROL 2021-2025	
TOTAL 5 YR. PROJECT COST*	\$ 71,572.00
TOWNSHIP ADMIN.	\$ 2,000.00
CARRY OVER BALANCE	\$ (2,945.00)
TOTAL 5 YR. SAD COST	\$ 70,627.00
TOTAL ANNUAL SAD COST	\$ 14,125.40
SYLVAN GLEN ANNUAL SAD COST	\$ 7,062.70
ANNUAL RIPARIAN SAD COST	\$ 207.73
ANNUAL NON-RIPARIAN SAD COST	\$ 20.77

^{*}PER LAKEPRO JANUARY 2021 w/3% ANNUAL INCREASE

EXHIBIT C Warrant

WARRANT

TO: Treasurer
Genoa Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the special assessment roll for the Genoa Township Grand Beach Aquatic Weed Control Road Improvement Project (2021)(the "Roll") confirmed by the Township Board on July 19, 2021 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such Roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Paulette A. Skolarus, Genoa Charter Township Clerk



2911 Dorr Road Brighton, MI 48116 810.227.5225 810.227.3420 fax genoa.org

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford H. James Mortensen Terry Croft Diana Lowe

MANAGER

Michael C. Archinal

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager

DATE: July 14, 2021

RE: UPS Off-site Parking Lot – 1183 Fendt Drive Howell

MANAGER'S REVIEW:

In the following pages please find the project case file for the UPS off-site parking lot located at 1183 Fendt Drive, Howell. This project involves a new parking lot, including landscaping, lighting, and site engineering, for use in conjunction with the existing building/facility across the street. UPS has used the subject site as an unimproved parking lot for some time and this process has been required by Township staff to ensure compliance with Table 18.2, which requires site plan review/approval for construction of a new parking lot

Procedurally, the Planning Commission has review and approval authority over the site plan, though the Township Board has the final approval authority over the Impact Assessment. This project also needed and obtained a variance from the Zoning Board of Appeals to exceed the three hundred (300) foot maximum allowable distance between an off-site parking lot and a public entrance.

The impact assessment was recommended for approval and the site plan was approved by the Planning Commission on November 9th 2020. Following the Planning Commission meeting, the Township Attorney and myself negotiated the required terms of an agreement to ensure the parking lot has proper easements in the event the property ever changes ownership or use. The approved agreement is included in the packet. On June 15, 2021, the Zoning Board of Appeals granting a setback variance for the parking lot location. Based on these approvals and the recommendation of the Planning Commission I offer the following motion for your consideration:

Moved by ________, support by ________to approve the environmental impact assessment dated September 2, 2021.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

Kelly VanMarter

Assistant Township Manager/Community Development Director



GENOA CHARTER TOWNSHIP Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Hugo Ceron 43980 Plymouth Oaks Blvd. Plymouth, MI 48170
If applicant is not the owner, a letter of Authorization from Property Owner is needed.
OWNER'S NAME & ADDRESS: Adam Marchwinski 1400 E Witcomb Madison Heights, MI 48071
SITE ADDRESS: 1183 Fendt Drive PARCEL #(s): 4711-08-201-007
APPLICANT PHONE: (269) 312-2498 OWNER PHONE: (248) 226-0950
OWNER EMAIL: amarchwinski@ups.com
LOCATION AND BRIEF DESCRIPTION OF SITE:
Site is located to the southeast corner of the cul-de-sac of Fendt
Drive. The property is currently a gravel parking lot with no
building.
BRIEF STATEMENT OF PROPOSED USE:
Site is currently a gravel employee parking lot for the UPS facility across
the street. Parking lot improvements include lot with an asphalt
pavement section with curb and gutter, storm sewer, lighting and landscaping.
THE FOLLOWING BUILDINGS ARE PROPOSED: Not building is proposed as part
of this project.
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.
BY: Hugo Ceron
ADDRESS: 43980 Plymouth Oaks Blvd. Plymouth MI 48170

Page 1 of 9 50

<u>Contact Information</u> - Review Letters and Correspondence shall be forwarded to the following:			
{1.)} Hugo Ceron	${ m of}$ SME	at hugo.ceron@sme-usa.com	
Name	Business Affiliation	E-mail Address	

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: Hugo Javiar lever	Hugo Ceron Sep 2 2020 1:55 PM	DATE: 08/05/2020		
PRINT NAME: Hugo Ceron		_{PHONE:} (269)312-2498		
ADDRESS: 43980 Plymouth Oaks Blvd. Plymouth MI 48170				

Genoa Township Planning Commission November 9, 2020 Approved Minutes

noted the building is not as tall as the maximum allowable height in this zoning district. She will provide an operations plan and a plan of what the center will be going forward and in the future.

Commissioner Rickard asked why the property has not been maintained, such as the broken fence and the trash. Mr. Hickey stated there is an area that needs to be repaired. He does not believe it's true that there is trash around the camp. She also would like information added such as, what will be the use of the lake, will there be utilized watercraft, etc. Mr. Hickey stated the lake is used for canoes, kayaks and swimming.

Vice Chairman Rauch reopened the call to the public at 8:18 pm.

Mr. Joseph Saliba of 1829 Kellogg Road is concerned about the proposed new detention pond. He is concerned that water will flow onto the neighbors' properties and into the lake. Vice Chairman Rauch explained the reason and process of a detention pond.

Mr. Berean asked why there are three pontoons on the lake. The fence that they put up hindered the wild life from traveling. He asked what the camp was used for last weekend. There were guards in fatigues with berets, but they were not armed. Mr. Hickey stated there were two camp groups last weekend. It was Christian Boot Camp. He asked if the property has been delineated for wetlands. Ms. VanMarter said that she has seen a wetland delineation plan. He asked that if the roads need maintenance or if they get paved, would the diocese pay.

The call to the public was closed at 8:23 p.m.

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to table the proposal for a Special Land Use, Site Plan, and Environmental Impact Assessment for Prophet Elijah Retreat Center to allow the applicant to address concerns presented and discussed during tonight's meeting. **The motion carried unanimously**.

OPEN PUBLIC HEARING # 2...Review of a site plan and environmental impact assessment for a proposed parking lot at 1183 Fendt Drive to be used in conjunction with the existing UPS Facility on the west side of Fendt Drive. The request is petitioned by Hugo Ceron, SME.

- A. Recommendation of Environmental Impact Assessment (9-2-2020)
- B. Disposition of Site Plan (9-24-2020)

Mr. Hugo Ceron of SME and Mr. Adam Marchwinski of UPS Buildings & Systems Engineering were present. Mr. Ceron apologize he was not available at last month's meeting. He stated they are proposing to pave the parking lot so that it will be compliant with the Township ordinance. They will provide curb and gutter, a retention pond, and lighting and landscaping improvements. They are requesting to waive the interior island requirements to maximize the amount of parking spaces, noting his site is at the end of a road in an industrial park.

Mr. Marchwinski stated that he has spoken with the real estate department at UPS and they do not want to tie the two properties together with regard to a sale, as recommended by the Township. Ms. VanMarter spoke to a representative from UPS who understands the Township's goal and they would be willing to put an easement in place and then provide an agreement that if the property with the building was sold, then changes would need to be made

Genoa Township Planning Commission November 9, 2020 Approved Minutes

to the lot with only the parking lot to meet Township ordinance, unless it is associated with the lot across the street..

Commissioner Mortensen would like the Township Attorney to determine which avenue would be best to protect the Township. All Commissioners agree.

Mr. Borden reviewed his letter dated October 6.

- 1. He agrees with the decision to have the Township Attorney review the issue regarding the two lots just discussed.
- 2. The applicant will need to obtain a variance from the ZBA to exceed the 300-foot spacing between the nearest parking space and public building entrance per Section 14.02.03 of the zoning ordinance.
- 3. The landscape plan is deficient in parking lot landscaping. The applicant requests that the Planning Commission waive these requirements, per Section 12.02.13.
- 4. If signage if proposed in the future, a sign permit must be obtained from the Township prior to installation.

Mr. Markstrom reviewed his letter dated October 5, 2020.

- 1. The Petitioner is proposing a closed pipe type underground detention basin comprised of four 48-inch diameter pipes to provide 5,329 cubic feet of storage. A Storm water Management System Maintenance Plan is included and details the cost and responsibility of maintaining the proposed storm system. The provided maintenance schedules include maintenance and inspection of the detention basin inlet, but not the outlet and emergency outlets. These components should be included in the schedules to make sure they remain clear of debris.
- 2. The proposed underground detention basin is designed to capture additional flow that will be generated from the parking lot being improved from gravel to asphalt, not to capture all onsite drainage. The Petitioner provided an email from Mitch Dempsey of the Livingston County Drain Commission permitting this basis of design.
- 3. The Petitioner reduced their outlet pipe size to 6 inches to create a restricted outflow. The 6-inch pipe will restrict outflow to 0.561 cfs, which meets the 0.2 cfs per acre maximum.
- 4. The Petitioner added an overflow outlet to the underground detention basin at catch basin
- 5. The emergency outlet is currently proposed as a 6-inch pipe. This appears to be undersized when reviewing the calculations for the pipes tributary to the detention system. The petitioner should size the outlet so that the combination of the outlet pipe (6 inch) and overflow pipe will accommodate the same amount of flow that is being calculated for the pipe between catch basins 3 and 2. This will limit the potential for the collection system to back up and overflow over the curb and thereby cause erosion of the parking lot embankment.
- 6. The plans include 10-foot-deep soil borings. The Genoa Township Engineering Standards require that soil borings shall be provided to a depth of 20 feet below the

Genoa Township Planning Commission November 9, 2020 Approved Minutes

- bottom of the proposed detention basin and the documented high level of the groundwater should be provided.
- 7. The Petitioner is proposing to relocate the existing fire hydrant at the end of Fendt Drive to accommodate one of the two proposed access drives to the parking lot. More detail needs to be provided on how this hydrant will be relocated. The relocation of the hydrant should be achieved by shutting off the existing hydrant isolation valve, removing the existing hydrant, installing any necessary fittings to get to the proposed location, and then installing a new isolation valve and the hydrant. The existing isolation valve can then be opened and buried with the operator removed. This method will not require the water main on Fendt Drive to be shut down. If the hydrant is relocated as it is currently shown, the water main will need to be shut down and the hydrant will need to be reinstalled using MHOG's terminal hydrant detail.

Mr. Rick Boisevert, the Brighton Area Fire Authority Fire Marshal, advised that all of his concerns have been met by the applicant.

Commissioners Dhaenens, Mortensen, and Rauch agreed to waive the landscaping in the middle of the parking lot. Commissioners Rickard and McCreary would like to have the landscape islands installed.

The call to the public was made at 8:56 pm with no response.

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment dated September 23, 2020 for the UPS Howell parking lot at 1183 Fendt Drive, subject to a recordable agreement being prepared by the petitioner and approved by the Township Attorney tying the parking lot to the UPS facility across the road in a way to prevent the parking lot ultimately becoming standalone if either property is sold separately. **The motion carried unanimously**.

Moved by Commissioner Mortensen, seconded by Commissioner Dhaenens, to approve the Site Plan dated September 23, 2020 for the UPS Howell parking lot at 1183 Fendt Drive, subject to the following:

- Approval of a variance from the Township ZBA to exceed the 300-foot spacing between the nearest parking space and the building entrance.
- A recordable agreement being prepared by the petitioner and the Township Attorney tying the parking lot to the UPS facility across the road in a way to prevent the parking lot ultimately becoming standalone if either property is sold separately.
- The Planning Commission agrees to waive the requirements of Section 12.02.13.4 for landscaping inasmuch as it is a secluded parking lot in an industrial area.
- All requirements of the Township Engineer October 5, 2020 letter shall be met. The motion carried unanimously.

OPEN PUBLIC HEARING # 3...Review of a final PUD site plan and environmental impact assessment for the "Premier Genoa Planned Unit Development" phase 1 involving a 37,275 sq.

Genoa Township Zoning Board of Appeals Meeting June 15, 2021 Unapproved Minutes

size. This would support substantial justice and is necessary for a substantial property right similar to that possessed by other properties in the same vicinity of the subject parcel.

- The exceptional or extraordinary condition of the property is the location of the current home, pole barn and the unique size of the lot of five acres.
- The granting of these variances will not impair an adequate supply of light and air to adjacent property or unreasonably increase the congestion in public streets, or increase the danger of fire or endanger the public safety, comfort, morals or welfare of the inhabitants of the Township of Genoa.
- The proposed variances would have little or no impact on the appropriate development, continued use, or value of adjacent properties and the surrounding neighborhood.

The approval is conditioned upon:

- 1. The lot may not be subdivided unless the detached accessory structure is in compliance with current zoning rules.
- 2. The applicant shall apply for a land use permit and a building permit.

The motion carried (Rockwell - yes; Kreutzberg - yes; McCreary - no; Rassel - yes; Ledford - yes).

2. 21-13...A request by Adam Marchwinski, 1183 Fendt, for a variance to exceed the spacing between nearest parking space and building entrance requirement to allow a parking lot on a vacant lot.

Mr. Hugo Ceron, the project engineer, described the proposed project. The variance request is for the parking lot across the road from their building. They are maximizing the amount of parking spaces for the two-hour employee shift change. The improvements to the parking lot are paving, curb and gutter, drainage, and landscaping. They will also be installing an ADA-compliant sidewalk from this site to the site that has their building.

Board Member McCreary stated she reviewed this application when it was before the Planning Commission in the fall. This site is in the back of the industrial complex and she understands there is a need for the additional parking. The Township's engineer, planner, and attorney have all reviewed this.

The call to the public was made at 7:36 pm with no response.

Moved by Board Member Ledford, seconded by Board Member Kreutzberg, to approve Case #21-13 for 1183 Fendt Drive by Adam Marchwinski and the Planning Commission for a variance of ten feet to exceed the spacing between the nearest parking space and building entrance requirement to allow for a parking lot on a vacant lot. This approval is based on the following findings of fact and information referenced in Brian Borden's letter dated June 11, 2021 addressing this subject.

Genoa Township Zoning Board of Appeals Meeting June 15, 2021 Unapproved Minutes

- Although variance is not necessary for development of any permitted industrial use, one is needed for the proposed employee parking lot. The proposed employee parking lot will mitigate the deficient amount of parking at the UPS facility, which is a nonconforming condition, yet is fully compliant with the zoning ordinance and is the minimum necessary. strict compliance may be viewed as unnecessarily burdensome to the applicant
- The subject site is somewhat irregular in shape with a curved front lot line and angled north side lot line.
- The approved site plan includes pedestrian connections between the proposed parking lot and the existing UPS facility for public safety and welfare.
- granting of the variance will not impair the supply of light and air, nor will it unreasonably impact traffic or public safety and will have no impact on the surrounding neighborhood since the neighborhood contains industrial land uses.
- Granting of the variance will not negatively impact development, continued use or value of surrounding properties.

The motion carried unanimously.

Administrative Business:

1. Approval of minutes for the May 18, 2021 Zoning Board of Appeals meeting. Needed changes were noted.

Moved by Board Member Rockwell, seconded by Board Member Kreutzberg, to approve the minutes of the May 18, 2021 meetings as corrected. **The motion carried unanimously.**

- 2. Correspondence Ms. Ruthig stated there are no cases scheduled for next month's meeting as of today.
- 3. Member Discussion

Ms. Ruthig stated that Ms. Skolarus would like to return to the ZBA with a different setback; however, the zoning ordinance states that an applicant cannot reapply for a variance within 12 months except on the grounds of new evidence or proof of a change in conditions for the original denial of the appeal. She has given Ms. Skolarus a copy of this ordinance.

After a brief discussion, the Board Members agreed that there has not been a change in conditions to the property.

4. Adjournment - **Moved** by Board Member Rockwell, seconded by Board Member Ledford, to adjourn the meeting at 7:59 pm. **The motion carried unanimously**.

Respectfully submitted:

Patty Thomas, Recording Secretary

AGREEMENT

THIS AGREEMENT (this "Agreement") is made this ____ day of April, 2021 by and between BT-OH, LLC, a Delaware limited liability company ("BT") and GENOA CHARTER TOWNSHIP ("Township"),

RECITALS:

- A. BT is the owner of real property located at 1183 Fendt Drive, Howell, Michigan, being more particularly described in <u>Exhibit A</u> attached hereto and by this reference made a part hereof (the "Parking Parcel").
- B. BT desires to improve the Parking Parcel as an accessory parking lot serving the building located on property also currently owned by BT at 1212 Fendt Drive, Howell, Michigan (the "BT Building Parcel").
- C. The Parking Parcel and the BT Building Parcel are located in the Township. Under current Township ordinances, the Parking Parcel may be used for accessory parking for the BT Building Parcel but may not be used for parking as a principal or "standalone" use.
- D. On November 9, 2020, the Township Planning Commission approved a Site Plan for improvement of the Parking Parcel, subject to a condition of approval that an agreement be recorded that prevents use of the Parking Parcel for parking as a principal use in violation of Township ordinances.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, BT and Township agree as follows:

1. Accessory Parking Use of Parking Parcel.

Unless otherwise allowed by law, use of the Parking Parcel for parking may only be as an accessory parking use serving only the BT Building Parcel, in conformance with Township ordinances.

2. Easement Required Upon Separate Ownership.

Unless otherwise allowed by law, in the event that the Parking Parcel and/or the BT Building Parcel are no longer owned by the same party, use of the Parking Parcel as accessory parking for

the BT Building Parcel must cease unless a permanent easement, running with the land, is recorded granting to the owner of the BT Building Parcel the right to use the Parking Parcel for accessory parking. For clarification, conveyance of both parcels to the same new owner at the same time does not trigger said easement requirement. For further clarification, if each parcel is owned by a different owner, even if such owners are related business entities, said easement will be required. Such easement must first be reviewed and approved by Genoa Charter Township; provided, however, that such approval may not to be unreasonably withheld, conditioned or delayed.

Clarification. Use of the Parking Parcel as accessory parking for any other parcel or for any other purpose is prohibited unless such use is in compliance with Genoa Charter Townhsip's ordinances and other applicable law,

3. Notices.

All notices, demands, consents, requests or other communications required or permitted to be given pursuant to this Agreement will be in writing addressed to the parties in the manner set forth below.

Any notice sent to Township will be sent to the following address:

<Insert notice info>

Any notice to BT will be sent to BT at the following address:

UPS Corporate Real Estate
55 Glenlake Parkway NE
Atlanta, GA 30328
ATTN:
and

UPS Corporate Real Estate
55 Glenlake Parkway, NE
Atlanta, GA 30328
Attention:

A party may designate another address for notice purposes upon thirty (30) days prior written notice thereof pursuant to the provisions of this Section. Rejection or other refusal to accept or the inability to deliver because of changed address of which no notice was given shall be deemed to constitute receipt of the notice, demand, request or communication sent.

4. Successors.

This Agreement will be binding upon and inure to the benefit of the parties hereto and their respective heirs, executors, administrators, successors, permitted assigns, and representatives.

5. Amendments.

This Agreement is subject to amendment only by a writing that makes reference to this Agreement and is signed by all parties hereto.

6. Entire Agreement.

This Agreement contains the entire agreement between the parties hereto with respect to the matters covered.

7. Severability.

Should any part, term or provision of this Agreement, be declared invalid, void or unenforceable, all remaining parts, terms and provisions hereof shall remain in full force and effect and shall in no way be invalidated, impaired or otherwise affected thereby.

8. Waiver.

No waiver of any provision of this Agreement or consent to any action constitutes a waiver of any other provision of this Agreement or consent to any other action. No waiver or consent constitutes a continuing waiver or consent, or commit a party to provide a future waiver, unless such provision is expressly set forth in writing. Any waiver given by a party will be void if the party requesting such waiver has not provided a full and complete disclosure of all material facts relevant to the waiver requested.

9. Choice of Law.

This Agreement will be governed by and construed under the laws of the State of Michigan.

10. Captions.

All captions and headings in this Agreement are for reference only and may not be used in the interpretation of this Agreement or any related document.

11. Counterparts.

This Agreement may be executed in counterparts, each of which will constitute an original, but all of which together will constitute one (1) and the same instrument. The parties agree that a signed copy of this Agreement transmitted by one party to the other party by electronic transmission will be binding upon the sending party to the same extent as if it had delivered a signed original of this Agreement.

SIGNATURES ON FOLLOWING PAGE

Dated this 30 day o	f APRIL, 2021
BT-OH, LLC	
Stephen M. Name: Siephen M.	SUFER
Title VICE PRES	
State of Georgia)
County of Fulton) ss:)
The foregoing instru	ment was acknowledged before me this 30 day of APRIL, 2021 by Stephedent of BT-OH, LLC, on behalf of such limited liability company.
Aly U Joury Notary Public	elglesias
My commission exp	ires 3 50 25
	TI INOTAR TO A

GENOA CHARTER TOWNSHIP Name: Title

ACKNOWLEDGEMENT FOR MICHIGAN

WHEN RECORDED RETURN TO:

BT-OH, LLC 55 Glenlake Parkway, NE Atlanta, GA 30328 Attn: Real Estate Department

Tax Parcel Nos: 11-08-201-007

EXHIBIT A

PARKING PARCEL

Unit 7, of GEN TECH INDUSTRIAL PARK, A MICHIGAN CONDOMINIUM, as adopted pursuarit to Act 59 of Public Acts 1978, being LIVINGSTON County Condominium No. 68, a portion of the units recorded in the Master Deed which was recorded in Livingston County Register of Deeds Office at <u>Liber 1897</u>, <u>Pages 42 through 101</u>, together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and all amendments thereto; and as described in Act 59 of the Public Acts of 1978, as amended



Planning Commission Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP
	Planning Director and Assistant Township Manager
Subject:	UPS Howell – Site Plan Review #2
Location:	1183 Fendt Drive – east side of Fendt Drive, north of Grand Oaks Drive
Zoning:	IND Industrial District

Dear Commissioners:

At the Township's request, we have reviewed the revised submittal from UPS Howell requesting site plan review/approval of a new parking lot at 1183 Fendt Drive (plans dated 9/23/20). The proposed parking lot is to be used in conjunction with the existing UPS facility on the west side of Fendt Drive.

A. Summary

- 1. We recommend the Commission require the applicant to provide and record an agreement stating that the two properties are tied together, and that a shared parking easement must be provided and recorded should either property be sold separately.
- 2. The applicant will need to obtain a variance from the ZBA to exceed the 300-foot spacing between the nearest parking space and public building entrance (Section 14.02.03).
- 3. The landscape plan is deficient in parking lot landscaping. The applicant requests that PC waive these requirements, per Section 12.02.13.
- 4. If signage if proposed in the future, a sign permit must be obtained from the Township prior to installation.

B. Proposal/Process

The project entails a new parking lot, including landscaping, lighting, and site engineering, for use in conjunction with the existing building/facility across the street.

It is our understanding that UPS has used the subject site as an unimproved parking lot for some time, and site improvements have been required by the Township.

Per Table 18.2, construction of a new parking lot requires site plan review/approval by the Planning Commission.

Procedurally, the Planning Commission has review and approval authority over the site plan, though the Township Board has the final approval authority over the Impact Assessment.

C. Site Plan Review

1. Use. In this instance, the proposed parking lot is to be used in conjunction with the facility across the street. Section 14.02.03 allows parking on lots under the same ownership, or where a shared parking easement is provided, and the nearest parking space is not more than 300 feet from the nearest public entrance.

www.safebuilt.com 63



Aerial view of site and surroundings (looking east)

Since the lots are under common ownership, an easement is not required at this time. However, one will be necessary if either lot is sold separately in the future.

In order to ensure adherence to this requirement, we recommend the Commission require that the applicant provide an agreement in recordable format allowing accessory parking dedicated to the use of the property across the street. Furthermore, said agreement should state that a shared parking easement must be provided and recorded upon the sale of either parcel separately.

Additionally, the 300-foot standard of Section 14.02.03 is not met. Based on Sheet C-600, the distance is approximately 310 feet. The applicant will need to obtain a variance from the ZBA to exceed this standard.

Lastly, use of the parking lot for outdoor storage is prohibited. By definition, "outdoor storage" occurs when goods, materials, or vehicles are kept in the same place for more than 24 hours. A note has been added Sheet C-600 acknowledging this standard.

2. Dimensional Requirements. As shown in the table below, the project complies with the applicable dimensional requirements of the IND:

	Min. L	Min. Lot Req.		m Parking	Max. Lot	
			(feet)			Coverage
	Area	Width	Front	Side	Rear	
	(acres)	(feet)	Yard	Yard	Yard	
IND	1	150	20	10	10	85% impervious
Proposed	2.03	272.2	20	14 (N)	46	68.5%
_				12 (S)		

- **2. Vehicular Circulation.** Vehicular access to/from Fendt Drive will be provided via 2 new driveways. The parking lot will utilize a two-way circulation pattern with 24-foot wide drive aisles, and a 26-foot wide fire lane looping around the lot.
- **3. Pedestrian Circulation.** Sidewalks are not typically required in the IND District; however, given the nature of the request, the applicant proposes sidewalks and crosswalks connecting the proposed parking lot to the developed site across the street.

4. Parking. The proposed parking has been reviewed for compliance with the standards of Article 14, as follows:

	Required	Proposed	Comments
Parking Spaces Warehousing (greater of 1 space/1,500 SF gross floor area or 1.2 spaces/employee in peak shift; plus 1 per corporate vehicle)	220	47 at facility 184 new lot 231 total	In compliance - based on 183 employees noted in EIA
Barrier Free Spaces	8	8	In compliance
Dimensions			
Spaces (75 to 90-degree)	9' x 18'	9' x 18'	
Drive aisle width (two-way)	24'	24' and 26'	In compliance

5. Landscaping. The landscape plan has been reviewed for compliance with the standards of Section 12.02, as noted in the following table:

Standard	Required	Proposed	Notes
Front yard	20' width	20' width	In compliance
greenbelt	7 canopy trees	7 canopy trees	_
Parking lot	16 canopy trees	0 canopy trees	Applicant requests that PC
	1,550 SF landscaped area	0 SF landscaped area	waive requirements

In accordance with Section 12.02.13, the Planning Commission may waive or modify landscaping requirements.

6. Exterior Lighting. The lighting plan includes 4 poles with 2 fixtures each. Details include the use of downward directed LED fixtures, per Ordinance standards. Additionally, the photometric plan demonstrates compliance with maximum lighting intensities (both on-site and along property lines).

A note has been added to Sheet E-004 indicating the use of 30-foot tall light poles, which also complied with Ordinance standards.

- 7. **Signs.** The revised submittal notes that no new signage is proposed as part of this project. If signage if proposed in the future, a sign permit must be obtained from the Township prior to installation.
- **8. Impact Assessment.** The submittal includes an Impact Assessment (dated September 2, 2020), which notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses, or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,

SAFEBUILT STUDIO

Brian V. Borden, AICP Planning Manager



July 13, 2021

Mrs. Kelly Van Marter Genoa Township 2911 Dorr Road Brighton, MI 48116

Re: UPS Parking Lot Site Plan Review No. 3

Dear Mrs. Van Marter:

Tetra Tech conducted a third review of the proposed UPS Parking Lot site plan last dated June 14, 2021. The plans and impact assessment were submitted by SME. The site is on a 2-acre parcel located on the east side of Fendt Drive. The petitioner is proposing a 60,300 square foot asphalt parking lot to replace the existing 40,500 square foot gravel parking yard that is currently used as overflow parking for the UPS facility across the street. The proposed parking lot will include storm sewer and underground stormwater detention system.

The revised plans address all of our previous review comments, and therefore we have no further engineering related concerns for the proposed parking lot and storm drainage system. Please call or email if you have any questions.

Sincerely,

Gary J. Markstrom, P.E.

Vice President

Shelby Scherdt Project Engineer

elby Scherdt



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave. Brighton, MI 48116 o: 810-229-6640 f: 810-229-1619

October 7, 2020

Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

RE: UPS Employee Parking Lot

1183 Fendt Drive Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on September 30, 2020 and the drawings are dated September 2, 2020. The project is based on the reconfiguration of an existing 2.03-acre vacant parcel used as a gravel parking lot for employees of the nearby UPS distribution facility. There is no proposed structure in the application. The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

All fire authorities requirements related to access have been substantially complied with.

If you have any questions about the comments on this plan review, please contact me at 810-229-6640.

Cordially,

Rick Boisvert, CFPS Fire Marshal

cc:Amy Ruthig amy@genoa.org



IMPACT ASSESMENT

UNITED PARCEL SERVICE FACILITY GENOA TOWNSHIP, MICHIGAN

SME Project Number: 084617.00 September 2, 2020



June 28, 2021

Mr. Gary J. Markstrom, PE Vice President Tetra Tech 401 South Washington Square, Ste. 100 Lansing, Michigan 48933

Re: Response to Site Plan Review Letter #2 UPS Howell – 1183 Fendt Drive

SME Project No. 084617.00

Dear Mr. Markstrom:

Tetra Tech reviewed the proposed UPS Parking Lot site plan last dated September 23, 2020. The plans and impact assessment were submitted by SME. The site is on an approximately 2-acre parcel located on the east side of Fendt Drive. United Parcel Service (Petitioner) is proposing a 60,300 square foot asphalt parking lot to replace the existing 40,500 square foot gravel parking yard that is currently used as overflow parking for the UPS facility across the street. Proposed site improvements include parking lot, storm sewer, and underground stormwater detention system.

SME has completed the revisions to the plans as outlined in the UPS Parking Lot Site Plan Review No 2. letter from Tetra Tech dated October 5, 2020 as referenced below. SME is re-submitting the plans, dated June 14, 2021, for Site Plan Approval. Revisions to the plans have been outlined with red clouds and annotation for identification. The following responses were prepared to assist in the review process.

DRAINAGE AND GRADING

1. The Petitioner is proposing a closed pipe type underground detention basin comprised of four 48-inch diameter pipes to provide 5,329 cubic feet of storage. A Stormwater Management System Maintenance Plan is included and details the cost and responsibility of maintaining the proposed storm system. The provided maintenance schedules include maintenance and inspection of the detention basin inlet, but not the outlet and emergency outlets. These components should be included in the schedules to make sure they remain clear of debris.

Comment: The outlet and emergency overflow outlet is included on the revised Stormwater Management System Maintenance Plan, dated June 15, 2021 provided with this submittal.

2. The proposed underground detention basin is designed to capture additional flow that will be generated from the parking lot being improved from gravel to asphalt, not to capture all onsite drainage. The Petitioner provided an email from Mitch Dempsey of the Livingston County Drain Commission permitting this basis of design.

Comment: No additional action required.

3. The Petitioner reduced their outlet pipe size to 6 inches to create a restricted outflow. The 6-inch pipe will restrict outflow to 0.561 cfs, which meets the 0.2 cfs per acre maximum.

Comment: No additional action required.

4. The Petitioner added an overflow outlet to the underground detention basin at catch basin 2. The emergency outlet is currently proposed as a 6-inch pipe. This appears to be undersized when reviewing the calculations for the pipes tributary to the detention system. The petitioner should size the outlet so that the combination of the outlet pipe (6 inch) and overflow pipe will accommodate the same amount of flow that is being calculated for the pipe between catch basins 3 and 2. This will limit the potential for the collection system to back up and overflow over the curb and thereby cause erosion of the parking lot embankment.

Comment: The proposed Overflow outlet has been increased from 6-inch diameter pipe to 15-inch diameter pipe. Refer to Utility Plan (Sheet C-800) and Storm Sewer Details (Sheet C-801) for additional detail and storm sewer pipe calculations.

5. The plans include 10-foot-deep soil borings. The Genoa Township Engineering Standards require that soil borings shall be provided to a depth of 20 feet below the bottom of the proposed detention basin and the documented high level of the groundwater should be provided.

Comment: Two (2) additional borings, B5 and B6, were performed within the approximate proposed limits of the detention basin. The borings were advanced to a depth of approximately 35 feet below the existing ground elevations the boring locations. Refer to sheet C-300 for the additional soil boring locations and sheet D-103 for the boring logs with the encountered soil and ground water conditions.

WATER MAIN

1. The Petitioner is proposing to relocate the existing fire hydrant at the end of Fendt Drive to accommodate one of the two proposed access drives to the parking lot. More detail needs to be provided on how this hydrant will be relocated. The relocation of the hydrant should be achieved by shutting off the existing hydrant isolation valve, removing the existing hydrant, installing any necessary fittings to get to the proposed location, and then installing a new isolation valve and the hydrant. The existing isolation valve can then be opened and buried with the operator removed. This method will not require the water main on Fendt Drive to be shut down. If the hydrant is relocated as it is currently shown, the water main will need to be shut down and the hydrant will need to reinstalled using MHOG's terminal hydrant detail (https://www.mhog.org/newdevelpement/designstandards).

Comment: Additional notes added to the Removal Plan (Sheet C-500) and Utility Plan (Sheet C-800) to relocate the existing hydrant as mentioned to avoid shutting down the watermain on Fendt Drive.

Sincerely,

SME

Hugo J. Ceron, PE Project Engineer

Hugo Javier lecon



The Kramer Building 43980 Plymouth Oaks Blvd. Plymouth, MI 48170-2584

T (734) 454-9900

www.sme-usa.com

September 2, 2020

Mr. Adam Marchwinski UPS Buildings & Systems Engineering 1400 E. Whitcomb Madison Heights, Michigan 48071

Via E-mail: amarchwinski@ups.com (PDF file)

Re: Impact Assessment

UPS Genoa Township Facility

1212 Fendt Drive, Genoa Township, Michigan 48843

SME Project No. 084617.00

Dear Mr. Marchwinski:

We have completed our impact assessment for the proposed parking lot development at the UPS facility located in Genoa Township, Michigan. This letter summarizes the anticipated impacts for the project per Genoa Township site plan application submittal requirements.

Sincerely,

SME

Assessment Prepared by: Kyle J, Wilson, EIT Senior Staff Engineer Assessment Reviewed by: Hugo J. Ceron, PE Project Engineer

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1.0 CONTACT INFORMATION

Prepared by: Prepared for:

SME UPS 43980 Plymouth Oaks Blvd. 1400 E. Whitcomb Plymouth, MI 48170 Madison Heights, Michigan 48071

2.0 DESCRIPTION OF PROJECT SITE

The site is located at 1183 Fendt Drive near the northwest intersection of I-96 and South Latson Road in Genoa Township, Michigan. The site is located on Lot 7 of the Gen Tech Industrial Park on the east side of Fendt Drive and is zoned as Industrial. The parcel is approximately 2 acres in area. The site features an existing 4,500 square yard gravel parking lot that serves as overflow parking for employees at the UPS facility located on the west side of Fendt Drive. The project site is bound by industrial facilities to the North and South, Fendt drive to the West, and an existing drainage ditch and service drive between the existing Walmart and Lowe's to the East.

Proposed site improvements include an approximately 6,700 square yard asphalt pavement parking lot with concrete curb and gutter, site lighting, underground storm sewer pipe, and an underground storm water detention system. The parking lot will serve as parking UPS employees and will serve passenger vehicles. The proposed parking lot includes 186 parking stalls.

3.0 IMPACT ON NATURAL FEATURES

The existing site topography varies, with elevations generally ranging between 1005 and 1023. The site generally slopes from west to east, and from south to north, with the steepest slopes along the eastern third of the parcel toward an existing drainage ditch. The site also features an existing drainage ditch on the west side of the parcel along Fendt Drive. The site is generally free of trees and vegetation except for one deciduous tree on the parcel and grass in the existing greenbelt areas. The existing gravel lot has slopes up to approximately 3 percent. The site is located in FEMA floodplain Zone X, area of minimal flood hazard per FEMA flood insurance map 26093C0309D effective date September 17, 2008. The proposed development will have relatively low impact on natural features, with some of the existing greenbelt areas becoming paved parking lot, and other areas on site being re-graded.

4.0 IMPACT ON STORMWATER MANAGEMENT

Soil erosion and sediment control measures will be implemented at the start of the project and remain in place until final ground cover is restored. Silt fence will be utilized the control sediment runoff at the disturbance limits, inlet protection filters will be install on new storm structures during construction, and gravel tracking pads will be used for site access. Disturbed greenbelt areas will be restored following construction with topsoil and grass seed. The SESC and Site Preparation Plan will be submitted to the Livingston County Drain Commissioner for review and a soil erosion permit will be obtained for the project.

5.0 IMPACT ON SURROUNDING LAND USED

The parcel is zoned as Industrial (IND) based on the Genoa Township Official Zoning Map with revision date February, 17, 2015 with the site use permitted in the Industrial district under warehousing establishments. The parcel is bordered by industrial zones to the North, West, and South and by a Non-Residential Planned Unit Development (NRPUD) zone to the east. The parcel conforms the dimensional and bulk requirements in Section 8.03 of the Genoa Township Zoning ordinance (as amended 12/31/06).

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The lot area is approximately 2.0 acres and the lot width is approximately 265 feet. The proposed development will consist of a new employee parking lot for passenger vehicles of UPS employees. The proposed lot conforms to the parking setback requirements of 20 feet for the front yard 10 feet for the side and rear yards. The parking lot will feature exterior lighting that comply with Section 12.03 of the Genoa Township Zoning Ordinance. The proposed parking lot development will not have significant impact on noise and air pollution as the lot will be used for employee parking.

6.0 IMPACT ON PUBLIC FACILITIES AND SERVICES

The UPS Howell facility typically employs approximately 183 employees during normal operations, generally between the hours of 4:00AM and 9:30PM. Work at the facility generally occurs in 3 shifts, with 53 pre-loading employees working between the hours of 4:00AM and 10:00PM, 91 delivery drivers working between the hours of 8:30AM and 6:30PM, and 39 re-load employees working between the hours of 5:00PM and 9:30 PM.

The facility experiences an approximate employee increase of 35% during peak season, generally from November through January. The hours of operation generally span between the hours of 12:00AM and 11:00PM during these periods.

In general, the proposed development will have little impact on public facilities and services, as the project is located on a private road that serves industrial facilities and is not open to the public.

7.0 IMPACT ON PUBLIC UTILITIES

Gas, water, and sanitary sewer services are not included in the proposed parking lot development as no buildings are proposed for the site. Existing gas, water, and sanitary sewer lines are present along the private Fendt Drive right of way but will not need to be tapped for proposed development. The project will include relocation of an existing fire hydrant to accommodate the proposed northwest entrance driveway. The proposed hydrant location will be approximately 28' to the northwest of the existing location.

Catch basin structures and underground storm sewer pipes will be utilized to convey stormwater to existing drainage ditches. An underground detention system will be utilized to detain stormwater at the site. The detention system will be sized to accommodate the difference in pre-development and post-development runoff for a 100 year storm event per Livingston County's preliminary review of the proposed development. The stormwater will be treated using a mechanical forebay prior to outlet. The final stormwater outlet will be into existing the drainage ditch along the east side of the site. Plans and stormwater calculations will be submitted to Livingston County Drain Commissioner for review and a soil erosion permit will be obtained for the project.

8.0 STORAGE AND HANDLING OF HAZARDOUS MATERIALS

The proposed parking lot will serve passenger vehicles as an employee parking for UPS. As such, hazardous materials will not be handled or stored at the site.

9.0 IMPACT ON TRAFFIC AND PEDESTRIANS

The UPS facility has approximately 183 employees during normal operations, and 248 employees during the months of November through January. The proposed parking lot will serve employee passenger vehicles only, as such no vehicle trips for delivery trucks or tractor trailers will be generated from the proposed development. The maximum vehicle trips per day from the proposed lot is estimated at 621 trips, and includes arrival and departure of all employees during peak season, as well as lunch departure and arrival for non-delivery driver staff.

The peak hour for vehicle trips generally occurs between the hours of 8:00AM and 9:00AM. Approximately 50 percent of the employees are delivery driver staff that begin work by approximately 8:30AM. The peak flow rate is estimated at approximately 94 trips per hour and makes up approximately 15 percent of the estimated maximum vehicle trips per day. Little traffic impact is anticipated from the proposed parking lot development, as the existing gravel lot is being utilized for the same purpose, and the proposed parking lot will not generate additional trips beyond the existing conditions.

10.0 SPECIAL PROVISIONS

Special provisions are not applicable to the proposed development.



Passionate People Building and Revitalizing our World



UNITED PARCEL SERVICE, INC.

STORMWATER MANAGEMENT SYSTEM MAINTENANCE PLAN

1. RESPONSIBILITY FOR MAINTENANCE OF NEW INFRASTRUCTURE

- During construction, it is the Contractor's responsibility to perform the maintenance of the new infrastructure.
- b) Following construction, it will be the responsibility of United Parcel Service Inc. (UPS) to perform the maintenance of the new infrastructure as described on Table 2.
- c) Following construction, routine maintenance of the new infrastructure must be completed within 14 days of receipt of written notification that action is required, unless other acceptable arrangements are made with the Genoa Township, Livingston County Drain Commissioner or successors. Emergency maintenance of the new infrastructure (i.e. when there is endangerment to public health, safety or welfare) shall be performed immediately upon receipt of written notice. Should UPS fail to act within these time frames, the Township of Genoa, Livingston County or successors may perform the needed maintenance and assess the costs against UPS.

2. SOURCE OF FINANCING

UPS is required to pay for the maintenance activities relating to the new infrastructure as described on Table 2 on a continuing basis.

3. MAINTENANCE TASKS AND SCHEDULE

- a) See the charts on the next three pages: The first describes maintenance tasks during construction to be performed by the Contractor, the second describes maintenance tasks by UPS with an approximate budget.
- b) An Additional inspection and maintenance guide for the water quality unit and underground detention system from the manufacturer is included.
- c) Immediately following construction, the Contractor will have the stormwater management system inspected by an engineer to verify grades of the filtration areas and make recommendations for any necessary sediment.

Table 1

MAINTEN	IACE TASK	S AND SCH	EDULE DUR	ING CONST	RUCTION		
			COMPONEN	ITS			
Tasks	Storm Sewer System	Catch Basin Inlet Castings	Ditches and Swales	Outflow Control Outlet	Emergency Overflow Outlet	Schedule	
Inspect for sediment accumulation	Х		X	X	X	Weekly	
Removal of sediment accumulation	×		Х	X	X	As needed* & prior to turnover	
Inspect for floatables and debris		Х	Х	Х	Х	Quarterly	
Cleaning of floatables and debris		X	Х	Х	Х	Quarterly & at turnover	
Inspection for erosion			Χ	X	X	Weekly	
Re-establish permanent vegetation on eroded slopes			X			As needed & at turnover	
Mowing			Х			0 to 2 times per year	
Inspect Stormwater system components during wet weather and compare to asbuilt plans (by professional engineer reporting to UPS)			Х	Х	×	Annually and at turnover	
Make adjustments or replacement as determined by annual wet weather inspection	X	Х	Х	Х	Х	As needed	
*as needed means when sedime	ent has acci	umulated to a	a maximum of	f one foot de	oth	•	

Table 2

PERM	MANENT MA	INTENANCI	E TASKS AN	ND SCHEDULE		
Inspect for sediment accumulation						
Tasks	Basins, Inlets,	and	Control	Overflow	Schedule	Budget
	X	X	Х	Х	Annually	\$100.00
	Х	Х	Х	Х	years as	\$500.00
Inspect for floatables and debris	Х	Х	Х	Х	Annually	\$100.00
0	X	Х	Х	Х	Annually	\$150.00
Inspection for erosion		Χ	Χ		Annually	\$100.00
		Х			As needed	\$350.00
Replacement Stone			Х	X	years as	\$100.00
Mowing		Х			_	\$400.00
components during wet weather and compare to as-built plans (by professional engineer	Х	Х	Х	X	Annually	\$150.00
Make adjustments or replacement as determined by annual wet weather inspection	Х	Х	Х	Х	As needed	\$400.00
Keep records of replacements as determined by annual wet weather inspection	Х	Х	Х	Х	Annually	\$200.00
Keep records of all costs for inspections, maintenance and repairs. Report to UPS	Х	X	Х	Х	Annually	\$ -
Total Annual Budget				•	•	\$2,550.00
*as needed means when sedimer	nt has accumi	ulated to a m	naximum of c	ne foot depth		



CDS Guide Operation, Design, Performance and Maintenance



CDS®

Using patented continuous deflective separation technology, the CDS system screens, separates and traps debris, sediment, and oil and grease from stormwater runoff. The indirect screening capability of the system allows for 100% removal of floatables and neutrally buoyant material without blinding. Flow and screening controls physically separate captured solids, and minimize the re-suspension and release of previously trapped pollutants. Inline units can treat up to 6 cfs, and internally bypass flows in excess of 50 cfs (1416 L/s). Available precast or cast-in-place, offline units can treat flows from 1 to 300 cfs (28.3 to 8495 L/s). The pollutant removal capacity of the CDS system has been proven in lab and field testing.

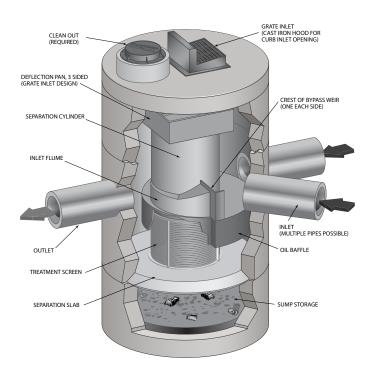
Operation Overview

Stormwater enters the diversion chamber where the diversion weir guides the flow into the unit's separation chamber and pollutants are removed from the flow. All flows up to the system's treatment design capacity enter the separation chamber and are treated.

Swirl concentration and screen deflection force floatables and solids to the center of the separation chamber where 100% of floatables and neutrally buoyant debris larger than the screen apertures are trapped.

Stormwater then moves through the separation screen, under the oil baffle and exits the system. The separation screen remains clog free due to continuous deflection.

During the flow events exceeding the treatment design capacity, the diversion weir bypasses excessive flows around the separation chamber, so captured pollutants are retained in the separation cylinder.



Design Basics

There are three primary methods of sizing a CDS system. The Water Quality Flow Rate Method determines which model size provides the desired removal efficiency at a given flow rate for a defined particle size. The Rational Rainfall Method™ or the and Probabilistic Method is used when a specific removal efficiency of the net annual sediment load is required.

Typically in the Unites States, CDS systems are designed to achieve an 80% annual solids load reduction based on lab generated performance curves for a gradation with an average particle size (d50) of 125 microns (μ m). For some regulatory environments, CDS systems can also be designed to achieve an 80% annual solids load reduction based on an average particle size (d50) of 75 microns (μ m) or 50 microns (μ m).

Water Quality Flow Rate Method

In some cases, regulations require that a specific treatment rate, often referred to as the water quality design flow (WQQ), be treated. This WQQ represents the peak flow rate from either an event with a specific recurrence interval, e.g. the six-month storm, or a water quality depth, e.g. 1/2-inch (13 mm) of rainfall.

The CDS is designed to treat all flows up to the WQQ. At influent rates higher than the WQQ, the diversion weir will direct most flow exceeding the WQQ around the separation chamber. This allows removal efficiency to remain relatively constant in the separation chamber and eliminates the risk of washout during bypass flows regardless of influent flow rates.

Treatment flow rates are defined as the rate at which the CDS will remove a specific gradation of sediment at a specific removal efficiency. Therefore the treatment flow rate is variable, based on the gradation and removal efficiency specified by the design engineer.

Rational Rainfall Method™

Differences in local climate, topography and scale make every site hydraulically unique. It is important to take these factors into consideration when estimating the long-term performance of any stormwater treatment system. The Rational Rainfall Method combines site-specific information with laboratory generated performance data, and local historical precipitation records to estimate removal efficiencies as accurately as possible.

Short duration rain gauge records from across the United States and Canada were analyzed to determine the percent of the total annual rainfall that fell at a range of intensities. US stations' depths were totaled every 15 minutes, or hourly, and recorded in 0.01-inch increments. Depths were recorded hourly with 1-mm resolution at Canadian stations. One trend was consistent at all sites; the vast majority of precipitation fell at low intensities and high intensity storms contributed relatively little to the total annual depth.

These intensities, along with the total drainage area and runoff coefficient for each specific site, are translated into flow rates using the Rational Rainfall Method. Since most sites are relatively small and highly impervious, the Rational Rainfall Method is appropriate. Based on the runoff flow rates calculated for each intensity, operating rates within a proposed CDS system are

determined. Performance efficiency curve determined from full scale laboratory tests on defined sediment PSDs is applied to calculate solids removal efficiency. The relative removal efficiency at each operating rate is added to produce a net annual pollutant removal efficiency estimate.

Probabilistic Rational Method

The Probabilistic Rational Method is a sizing program Contech developed to estimate a net annual sediment load reduction for a particular CDS model based on site size, site runoff coefficient, regional rainfall intensity distribution, and anticipated pollutant characteristics.

The Probabilistic Method is an extension of the Rational Method used to estimate peak discharge rates generated by storm events of varying statistical return frequencies (e.g. 2-year storm event). Under the Rational Method, an adjustment factor is used to adjust the runoff coefficient estimated for the 10-year event, correlating a known hydrologic parameter with the target storm event. The rainfall intensities vary depending on the return frequency of the storm event under consideration. In general, these two frequency dependent parameters (rainfall intensity and runoff coefficient) increase as the return frequency increases while the drainage area remains constant.

These intensities, along with the total drainage area and runoff coefficient for each specific site, are translated into flow rates using the Rational Method. Since most sites are relatively small and highly impervious, the Rational Method is appropriate. Based on the runoff flow rates calculated for each intensity, operating rates within a proposed CDS are determined. Performance efficiency curve on defined sediment PSDs is applied to calculate solids removal efficiency. The relative removal efficiency at each operating rate is added to produce a net annual pollutant removal efficiency estimate.

Treatment Flow Rate

The inlet throat area is sized to ensure that the WQQ passes through the separation chamber at a water surface elevation equal to the crest of the diversion weir. The diversion weir bypasses excessive flows around the separation chamber, thus preventing re-suspension or re-entrainment of previously captured particles.

Hydraulic Capacity

The hydraulic capacity of a CDS system is determined by the length and height of the diversion weir and by the maximum allowable head in the system. Typical configurations allow hydraulic capacities of up to ten times the treatment flow rate. The crest of the diversion weir may be lowered and the inlet throat may be widened to increase the capacity of the system at a given water surface elevation. The unit is designed to meet project specific hydraulic requirements.

Performance

Full-Scale Laboratory Test Results

A full-scale CDS system (Model CDS2020-5B) was tested at the facility of University of Florida, Gainesville, FL. This CDS unit was evaluated under controlled laboratory conditions of influent flow rate and addition of sediment.

Two different gradations of silica sand material (UF Sediment & OK-110) were used in the CDS performance evaluation. The particle size distributions (PSDs) of the test materials were analyzed using standard method "Gradation ASTM D-422 "Standard Test Method for Particle-Size Analysis of Soils" by a certified laboratory.

UF Sediment is a mixture of three different products produced by the U.S. Silica Company: "Sil-Co-Sil 106", "#1 DRY" and "20/40 Oil Frac". Particle size distribution analysis shows that the UF Sediment has a very fine gradation (d50 = 20 to 30 μ m) covering a wide size range (Coefficient of Uniformity, C averaged at 10.6). In comparison with the hypothetical TSS gradation specified in the NJDEP (New Jersey Department of Environmental Protection) and NJCAT (New Jersey Corporation for Advanced Technology) protocol for lab testing, the UF Sediment covers a similar range of particle size but with a finer d50 (d50 for NJDEP is approximately 50 μ m) (NJDEP, 2003).

The OK-110 silica sand is a commercial product of U.S. Silica Sand. The particle size distribution analysis of this material, also included in Figure 1, shows that 99.9% of the OK-110 sand is finer than 250 microns, with a mean particle size (d50) of 106 microns. The PSDs for the test material are shown in Figure 1.

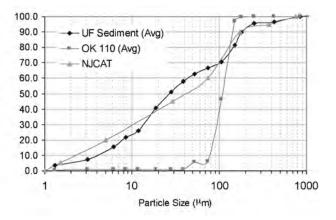


Figure 1. Particle size distributions

Tests were conducted to quantify the performance of a specific CDS unit (1.1 cfs (31.3-L/s) design capacity) at various flow rates, ranging from 1% up to 125% of the treatment design capacity of the unit, using the 2400 micron screen. All tests were conducted with controlled influent concentrations of approximately 200 mg/L. Effluent samples were taken at equal time intervals across the entire duration of each test run. These samples were then processed with a Dekaport Cone sample splitter to obtain representative sub-samples for Suspended Sediment Concentration (SSC) testing using ASTM D3977-97 "Standard Test Methods for Determining Sediment Concentration in Water Samples", and particle size distribution analysis.

Results and Modeling

Based on the data from the University of Florida, a performance model was developed for the CDS system. A regression analysis was used to develop a fitting curve representative of the scattered data points at various design flow rates. This model, which demonstrated good agreement with the laboratory data, can then be used to predict CDS system performance with respect

to SSC removal for any particle size gradation, assuming the particles are inorganic sandy-silt. Figure 2 shows CDS predictive performance for two typical particle size gradations (NJCAT gradation and OK-110 sand) as a function of operating rate.

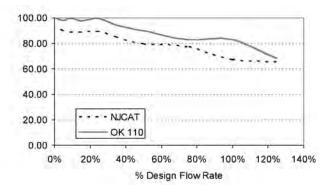


Figure 2. CDS stormwater treatment predictive performance for various particle gradations as a function of operating rate.

Many regulatory jurisdictions set a performance standard for hydrodynamic devices by stating that the devices shall be capable of achieving an 80% removal efficiency for particles having a mean particle size (d50) of 125 microns (e.g. Washington State Department of Ecology — WASDOE - 2008). The model can be used to calculate the expected performance of such a PSD (shown in Figure 3). The model indicates (Figure 4) that the CDS system with 2400 micron screen achieves approximately 80% removal at the design (100%) flow rate, for this particle size distribution (d50 = $125 \mu m$).

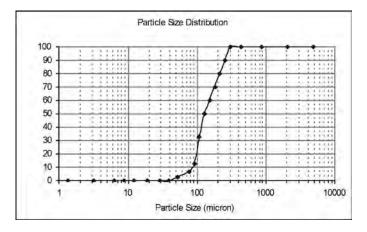


Figure 3. WASDOE PSD

CDS Unit Performance for Ecology PSD

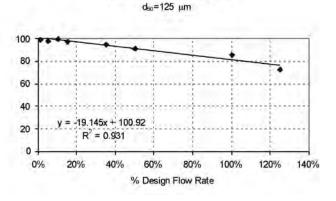


Figure 4. Modeled performance for WASDOE PSD.

Maintenance

The CDS system should be inspected at regular intervals and maintained when necessary to ensure optimum performance. The rate at which the system collects pollutants will depend more heavily on site activities than the size of the unit. For example, unstable soils or heavy winter sanding will cause the grit chamber to fill more quickly but regular sweeping of paved surfaces will slow accumulation.

Inspection

Inspection is the key to effective maintenance and is easily performed. Pollutant transport and deposition may vary from year to year and regular inspections will help ensure that the system is cleaned out at the appropriate time. At a minimum, inspections should be performed twice per year (e.g. spring and fall) however more frequent inspections may be necessary in climates where winter sanding operations may lead to rapid accumulations, or in equipment washdown areas. Installations should also be inspected more frequently where excessive amounts of trash are expected.

The visual inspection should ascertain that the system components are in working order and that there are no blockages or obstructions in the inlet and separation screen. The inspection should also quantify the accumulation of hydrocarbons, trash, and sediment in the system. Measuring pollutant accumulation can be done with a calibrated dipstick, tape measure or other measuring instrument. If absorbent material is used for enhanced removal of hydrocarbons, the level of discoloration of the sorbent material should also be identified



during inspection. It is useful and often required as part of an operating permit to keep a record of each inspection. A simple form for doing so is provided.

Access to the CDS unit is typically achieved through two manhole access covers. One opening allows for inspection and cleanout of the separation chamber (cylinder and screen) and isolated sump. The other allows for inspection and cleanout of sediment captured and retained outside the screen. For deep units, a single manhole access point would allows both sump cleanout and access outside the screen.

The CDS system should be cleaned when the level of sediment has reached 75% of capacity in the isolated sump or when an appreciable level of hydrocarbons and trash has accumulated. If absorbent material is used, it should be replaced when significant discoloration has occurred. Performance will not be impacted until 100% of the sump capacity is exceeded however it is recommended that the system be cleaned prior to that for easier removal of sediment. The level of sediment is easily determined by measuring from finished grade down to the top of the sediment pile. To avoid underestimating the level of sediment in the chamber, the measuring device must be lowered to the top of the sediment pile carefully. Particles at the top of the pile typically offer less resistance to the end of the rod than consolidated particles toward the bottom of the pile. Once this measurement is recorded, it should be compared to the as-built drawing for the unit to determine weather the height of the sediment pile off the bottom of the sump floor exceeds 75% of the total height of isolated sump.

Cleaning

Cleaning of a CDS systems should be done during dry weather conditions when no flow is entering the system. The use of a vacuum truck is generally the most effective and convenient method of removing pollutants from the system. Simply remove the manhole covers and insert the vacuum hose into the sump. The system should be completely drained down and the sump fully evacuated of sediment. The area outside the screen should also be cleaned out if pollutant build-up exists in this area.

In installations where the risk of petroleum spills is small, liquid contaminants may not accumulate as quickly as sediment. However, the system should be cleaned out immediately in the event of an oil or gasoline spill. Motor oil and other hydrocarbons that accumulate on a more routine basis should be removed when an appreciable layer has been captured. To remove these pollutants, it may be preferable to use absorbent pads since they are usually less expensive to dispose than the oil/water emulsion that may be created by vacuuming the oily layer. Trash and debris can be netted out to separate it from the other pollutants. The screen should be cleaned to ensure it is free of trash and debris.

Manhole covers should be securely seated following cleaning activities to prevent leakage of runoff into the system from above and also to ensure that proper safety precautions have been followed. Confined space entry procedures need to be followed if physical access is required. Disposal of all material removed from the CDS system should be done in accordance with local regulations. In many jurisdictions, disposal of the sediments may be handled in the same manner as the disposal of sediments removed from catch basins or deep sump manholes. Check your local regulations for specific requirements on disposal.



CDS Model	Dian	neter		Water Surface ediment Pile	Sediment Storage Capacity			
	ft	m	ft	m	y³	m³		
CDS1515	3	0.9	3.0	0.9	0.5	0.4		
CDS2015	4	1.2	3.0	0.9	0.9	0.7		
CDS2015	5	1.5	3.0	0.9	1.3	1.0		
CDS2020	5	1.5	3.5	1.1	1.3	1.0		
CDS2025	5	1.5	4.0	1.2	1.3	1.0		
CDS3020	6	1.8	4.0	1.2	2.1	1.6		
CDS3025	6	1.8	4.0	1.2	2.1	1.6		
CDS3030	6	1.8	4.6	1.4	2.1	1.6		
CDS3035	6	1.8	5.0	1.5	2.1	1.6		
CDS4030	8	2.4	4.6	1.4	5.6	4.3		
CDS4040	8	2.4	5.7	1.7	5.6	4.3		
CDS4045	8	2.4	6.2	1.9	5.6	4.3		
CDS5640	10	3.0	6.3	1.9	8.7	6.7		
CDS5653	10	3.0	7.7	2.3	8.7	6.7		
CDS5668	10	3.0	9.3	2.8	8.7	6.7		
CDS5678	10	3.0	10.3	3.1	8.7	6.7		

Table 1: CDS Maintenance Indicators and Sediment Storage Capacities

Note: To avoid underestimating the volume of sediment in the chamber, carefully lower the measuring device to the top of the sediment pile. Finer silty particles at the top of the pile may be more difficult to feel with a measuring stick. These finer particles typically offer less resistance to the end of the rod than larger particles toward the bottom of the pile.



CDS Inspection & Maintenance Log

CDS Model:	Location:

Date	Water depth to sediment ¹	Floatable Layer Thickness²	Describe Maintenance Performed	Maintenance Personnel	Comments

^{1.} The water depth to sediment is determined by taking two measurements with a stadia rod: one measurement from the manhole opening to the top of the sediment pile and the other from the manhole opening to the water surface. If the difference between these measurements is less than the values listed in table 1 the system should be cleaned out. Note: to avoid underestimating the volume of sediment in the chamber, the measuring device must be carefully lowered to the top of the sediment pile.

^{2.} For optimum performance, the system should be cleaned out when the floating hydrocarbon layer accumulates to an appreciable thickness. In the event of an oil spill, the system should be cleaned immediately.

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SUPPORT

- Drawings and specifications are available at www.ContechES.com.
- Site-specific design support is available from our engineers.



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Contech® CMP Detention Inspection and Maintenance Guide

Underground stormwater detention and infiltration systems must be inspected and maintained at regular intervals for purposes of performance and longevity.

Inspection

Inspection is the key to effective maintenance of CMP detention systems and is easily performed. Contech recommends ongoing, annual inspections. Sites with high trash load or small outlet control orifices may need more frequent inspections. The rate at which the system collects pollutants will depend more onsite specific activities rather than the size or configuration of the system.

Inspections should be performed more often in equipment washdown areas, in climates where sanding and/or salting operations take place, and in other various instances in which one would expect higher accumulations of sediment or abrasive/corrosive conditions. A record of each inspection is to be maintained for the life of the system.

Maintenance

CMP detention systems should be cleaned when an inspection reveals accumulated sediment or trash is clogging the discharge orifice. Accumulated sediment and trash can typically be evacuated through the manhole over the outlet orifice. If maintenance is not performed as recommended, sediment and trash may accumulate in front of the outlet orifice. Manhole covers should be securely seated following cleaning activities. Contech suggests that all systems be designed with an access/inspection manhole situated at or near the inlet and the outlet orifice. Should it be necessary to get inside the system to perform maintenance activities, all appropriate precautions regarding confined space entry and OSHA regulations should be followed.

Annual inspections are best practice for all underground systems. During this inspection if evidence of salting/de-icing agents is observed within the system, it is best practice for the system to be rinsed, including above the spring line soon after the spring thaw as part of the maintenance program for the system.

Maintaining an underground detention or infiltration system is easiest when there is no flow entering the system. For this reason, it is a good idea to schedule the cleanout during dry weather.

The foregoing inspection and maintenance efforts help ensure underground pipe systems used for stormwater storage continue to function as intended by identifying recommended regular inspection and maintenance practices. Inspection and maintenance related to the structural integrity of the pipe or the soundness of pipe joint connections is beyond the scope of this guide.



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UPS Howell Employee Parking Lot Improvements 1183 Fendt Drive Howell, Michigan 48843

UTILITY COMPANIES

TELEPHONE AT&T

550 S. MAPLE ROAD ANN ARBOR, MI 48103 PH: 734.996.5341

COMCAST CABLE SIGMA TECHNOLOGIES, LTD. 27096 OAKMEAN DRIVE PERRYSBURG, OH 43551

M.H.O.G. SEWER AND WATER UTILITY 4288 NORTON RD

HE LOCATIONS AND ELEVATIONS OF EXISTING

INDERGROUND UTILITIES AS SHOWN ON THIS DRAY

ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR

TILITY LOCATIONS AND ELEVATIONS PRIOR TO THE

HOWELL, MI 48843 PH: 810.227.5225 PH: 419.874.9262 EXT. 6012

ELECTRICAL DETROIT EDISON

NORTHWEST PLANNING AND DESIGN - FARMINGTON HILLS

37849 INTERCHANGE DR. FARMINGTON HILLS, MI 48335 PH: 248.427.2200

CONSUMERS ENERGY COMPANY G&GAM TRANSMISSION PIPELINE ENGINEERING

PH: 989.574.7538

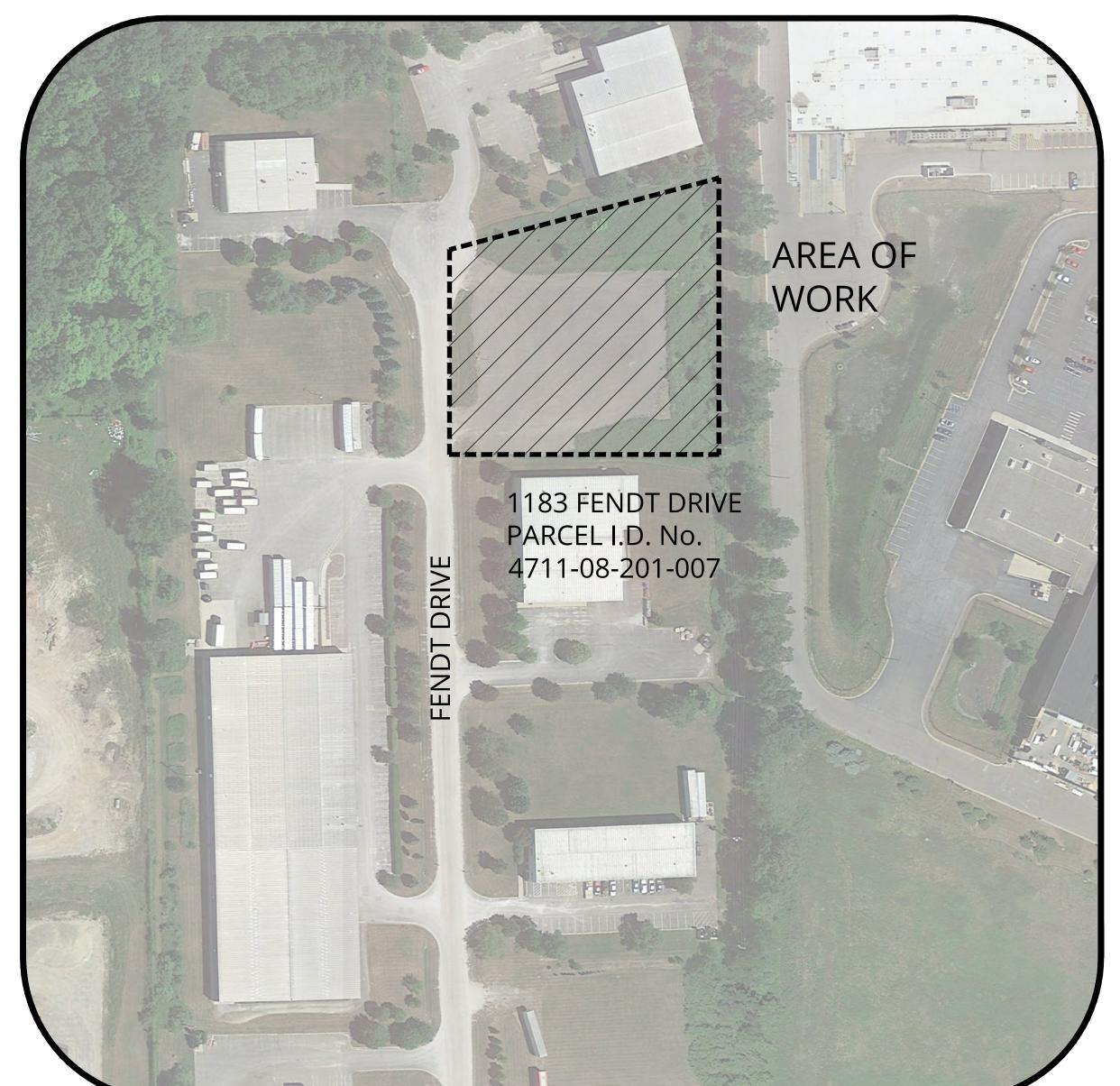
Orientation

UPS HOWELL EMPLOYEE PARKING LOT **IMPROVOMENTS**

LEGAL DESCRIPTION

LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

UNIT 7, OF GEN TECH INDUSTRIAL PARK, A MICHIGAN CONDOMINIUM, AS ADOPTED PURSUANT TO ACT 59 OF PUBLIC ACTS 1978, BEING LIVINGSTON COUNTY CONDOMINIUM NO. 68, A PORTION OF THE UNITS RECORDED IN THE MASTER DEED WHICH WAS RECORDED IN LIVINGSTON COUNTY REGISTER OF DEEDS OFFICE AT LIBER 1897, PAGES 42 THROUGH 101, TOGETHER WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS, AS SET FORTH IN THE ABOVE DESCRIBED MASTER DEED AND ALL AMENDMENTS THERETO; AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.



OVERALL SITE PLAN

OWNER

UNITED PARCEL SERVICE 1212 FENDT DRIVE HOWELL, MI 48843

CONTACT: MR. ADAM MARCHWINSKI PH: 248-266-0950

LANDSCAPE

43980 PLYMOUTH OAKS BLVD. PLYMOUTH, MI 48170

CONTACT: MR. LLOYD DUBISKY, RLA PH: 734.454.9900 www.sme-usa.com

ENGINEER AND APPLICANT

43980 PLYMOUTH OAKS BLVD. PLYMOUTH, MI 48170

CONTACT: MR. JASON SCHWARTZENBERGER, PE PH: 734.454.9900 www.sme-usa.com

SME PROJECT NO. 083760.00

ELECTRICAL

PETER BASSO ASSOCIATES, INC. 5145 LIVERNOIS, SUITE 100 TROY, MI 48098

CONTACT: MR. SCOTT GIBBS, PE PH: 248.879.5666

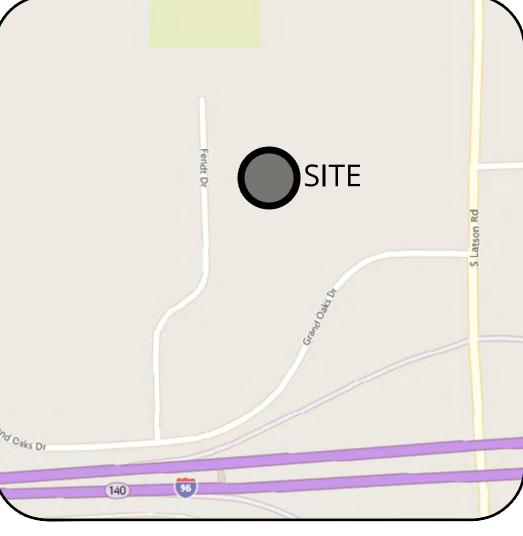
SURVEY

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342

PROJECT DESCRIPTION

PROJECT INCLUDES THE REPLACEMENT OF EXISTING GRAVEL PARKING LOT WITH AN ASPHALT PAVEMENT SECTION WITH CONCRETE CURB AND GUTTER, STORM UNDERGROUND INFRASTRUCTURE, SITE LIGHTING AND OTHER IMPROVEMENTS

PERMITS RE	QUIRED FOR P	ROJECT
PERMIT	CITY/AGENCY	APPROVAL
SESC	LIVINGSTON	







COUNTY MAP NOT TO SCALE

LIST OF DRAWINGS

SHEET NO.	SHEET TITLE
C-100	COVER SHEET
C-200	GENERAL PROJECT NOTES

ALTA/NSPS/ LAND TITLE/ TOPOGRAPHIC/ TREE SURVEY ALTA/NSPS/ LAND TITLE/ TOPOGRAPHIC/ TREE SURVEY

SESC AND SITE PREPARATION PLAN

/₃_______ **EXISTING SITE CONDITIONS**

REMOVAL PLAN

SITE LAYOUT PLAN OVERALL STRIPING PLAN C-602 VEHICLE TRACKING SIMULATION

PAVING AND GRADING PLAN

ÚTÍLITY PLÁN ÁND DRÁINAGE AŘEA MAP C-801 STORM SEWER PROFILES

MECHANICAL FOREBAY AND DETENTION CALCULATIONS

C-803 UNDERGROUND DETENTION DETAILS D-100 DETAILS

GENOA TOWNSHIP STANDARD DETAILS D-101

BORING LOGS

BORING LOGS D-103

E-001 ELECTRICAL STANDARDS AND DRAWING INDEX

E-002 **ELECTRICAL STANDARD SCHEDULES ELECTRICAL DEMOLITION SITE PLAN** E-003 E-004 ELECTRICAL NEW WORK SITE PLAN **ELECTRICAL DETAILS AND DIAGRAMS** E-701

L-100 LANDSCAPE PLAN

PHOTOMETRIC PLAN

SITE DATA/ZONING REQUIREMENTS

SITE AREA: SITE ZONING: IND, INDUSTRIAL MINIMUM LOT AREA: MINIMUM LOT WIDTH:

40% BLDG/85% IMPERVIOUS SURFACE MAXIMUM LOT COVERAGE

MINIMUM SETBACKS

85 FEET IF PARKING IN THE FRONT YARD FRONT YARD: 50 FEET IF NO PARKING IN THE FRONT YARD 25 FEET, 50 FEET IF ADJACENT TO

REAR YARD: 40 FEET, 80 FEET IF ADJACENT TO RESIDENTIAL DISTRICT PARKING LOT: 20 FEET, 10 FEET SIDE AND REAR MAXIMUM STRUCTURE HEIGHT: 30 FEET, 2 STORIES

REQUIRED PARKING: AREA, OR 1.2 SPACES PER EMPLOYEE AT PEAK SHIFT. WHICHEVER IS GREATER; PLUS 1 SPACE

FOR EACH CORPORATE VEHICLE OFF STREET LOADING: 0 (UP TO 1,400 SFT GFA)

LANDSCAPE: 20' WIDE FRONT GREENBELT INCLUDING ONE (1) CANOPY TREE, ROUNDED UPWARD, FOR

ISSUED FOR SITE PLAN APPROVAL

Project Location

1183 FENDT DRIVE HOWELL, MI 48843

COVER SHEET

Engineer's Seal



09/02/2020

SME Project No. 084617.00

Project Manager: J. SCHWARTZENBERGER

H. CERON CADD:

H. CERON **Checked By:**

Reviewed By: J. SCHWARTZENBERGER

Sheet No. **C-100**

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NEITHER SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF NEARBY STRUCTURES,

GENERAL NOTES

- MATERIAL AND CONSTRUCTION METHODS SHALL FOLLOW THE PRACTICE DEFINED BY THE 2012 EDITION OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND APPLICABLE SPECIAL PROVISIONS UNLESS OTHERWISE MODIFIED HEREWITHIN OR IN THE PROJECT SPECIFICATIONS.
- THE LOCATION OF ALL PUBLIC UTILITIES SHOWN ON THESE PLANS IS TAKEN FROM AVAILABLE DATA. OWNER WILL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATIONS FROM THE LOCATIONS SHOWN. PURSUANT TO ACT 174 OF THE PA OF 2013 AS A CONDITION OF THIS CONTRACT NOTICE SHALL BE GIVEN TO MISS DIG PRIOR TO UNDERGROUND WORK TO BE PERFORMED IN ACCORDANCE WITH THIS CONTRACT. CALL 811.
- FOR PRIVATE UTILITIES, CONTRACTOR SHALL RETAIN THE SERVICES OF A PRIVATE UTILITY LOCATOR TO LOCATE ALL PRIVATE UTILITIES OWNED BY OWNER.
- 4. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES OR DISRUPTION OF ANY UTILITY.
- THE CONTRACTOR SHALL LOCATE ALL ACTIVE UNDERGROUND UTILITIES PRIOR TO STARTING WORK AND SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR UTILITIES DAMAGED DURING CONSTRUCTION. SPRINKLER SYSTEMS SHALL BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
- THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN SUCH A MANNER TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES FOR NOISE LEVELS, VIBRATIONS, OR ANY OTHER RESTRICTIONS WHILE REMOVING PAVEMENT OR FOR ANY OTHER CONSTRUCTION OPERATIONS WITHIN THIS CONTRACT TO BE INCLUDED IN THE RESPECTIVE ITEM OF WORK.
- CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROTECTION OF
- THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. ALL TRAFFIC CONTROL ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST VERSION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND SHALL SUBMIT ALL REQUESTS TO OWNER'S REPRESENTATIVE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO THE ANTICIPATED NEED TO CLOSE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND CONFORMING TO ALL APPLICABLE PERMIT REQUIREMENTS.
- 10. CONTRACTOR SHALL SUBMIT ALL MATERIAL SUBMITTALS REQUIRED BY THE PROJECT SPECIFICATIONS NCLUDING ASPHALT CONCRETE AND PORTLAND CEMENT CONCRETE MIX DESIGNS TO SME A MINIMUM OF 14 DAYS PRIOR TO BEGINNING FIELD WORK.
- 11. CONTRACTOR IS RESPONSIBLE FOR LAYOUT AND FIELD VERIFICATION. ADJUST CATCHBASINS AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE. (MIN. 1.5%). DRAINAGE ISSUES SHALL BE BROUGHT TO THE ATTENTION OF SME PRIOR TO PLACEMENT OF ANY PAVEMENT STRUCTURE LAYERS. AREAS OF PONDING WATER SHALL BE REPAIRED BY FULL DEPTH PATCHING AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL PERFORM WALKTHROUGH WITH OWNER AND SME BEFORE PLACEMENT OF ASPHALT CONCRETE LEVELING COURSE TO REVIEW PROPOSED GRADES.
- 12. OBJECTS DESIGNATED TO REMAIN INCLUDING SIDEWALKS, PAVEMENT, CURB, LIGHT POLES, TRAFFIC SIGNS, LANDSCAPE AREAS, ETC. SHALL BE PROTECTED. IF DAMAGED BY THE CONTRACTOR, IT SHALL BE REPAIRED TO OWNER SATISFACTION AT NO ADDITIONAL COST TO THE OWNER.
- 13. UPON COMPLETION OF EACH DAY OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE WORK AREA FREE OF HAZARDS AND SHALL PROVIDE ALL NECESSARY TEMPORARY SIGNS, WARNING DEVICES,
- 14. THE CONTRACTOR SHALL HAVE AN APPROVED SET OF FINAL PLANS MARKED "FOR CONSTRUCTION" ON THE JOB SITE AT ALL TIMES.THE CONTRACTOR SHALL KEEP ACCURATE AND LEGIBLE RECORDS OF ALL CHANGES OF WORK THAT OCCUR DURING CONSTRUCTION AND INFORMATION ON "AS-BUILT" CONDITIONS. DOCUMENTATION OF CHANGES AND AS-BUILT INFORMATION SHALL BE RECORDED ON AN APPROVED SET OF FINAL PROJECT PLANS AND DELIVERED TO SME AFTER COMPLETION OF WORK.
- 15. THE CONTRACTOR SHALL TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTING THAT RESULT FROM THE CONSTRUCTION BY APPROPRIATE MEANS UNTIL SUCH TIME THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY OWNER.

EARTHWORK NOTES

- 1. ALL NATURAL SOIL LEFT IN PLACE, IN CUT SECTIONS, SHALL BE COMPACTED TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY DENSITY OF THE MATERIAL AS DETERMINED BY THE MODIFIED PROCTOR TO A MINIMUM DEPTH OF 12 INCHES.
- 2. THE LIMIT OF EARTH DISTURBANCE SHALL BE THE SLOPE STAKE LINE UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- 3. ALL SLOPES SHALL BE CLASS A SLOPES.
- 4. AREAS DISTURBED BY THE CONTRACTOR OR SUBCONTRACTOR SHALL BE RESTORED AS SPECIFIED IN THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN, RESTORATION PLAN OR DIRECTED BY THE ENGINEER. NO ADDITIONAL PAYMENT OR COMPENSATION WILL BE ALLOWED FOR AREAS DISTURBED OUTSIDE THE SLOPE STAKE LINE.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE PROPERTY BEYOND THE GRADING LIMITS, INCLUDING EXISTING FENCING, LAWN, TREES, SHRUBBERY, AND SIDEWALKS.

EARTH EXCAVATION NOTES

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE TEMPORARY STORAGE AREAS FOR EXCAVATED MATERIAL WHICH MAY BE USED AS EMBANKMENT MATERIAL IN OTHER AREAS IF IT IS SUITABLE MATERIAL AS DETERMINED BY THE ENGINEER, ANY EXTRA HANDLING OF EXCAVATED MATERIAL IS CONSIDERED INCLUDED IN THESE PAY ITEMS.
- 2. EXCAVATION DROP-OFFS GREATER THAN 8 INCHES SHALL BE PROTECTED BY 4 FT TALL ORANGE PLASTIC SAFETY FENCE (SNOW FENCE) SECURELY ATTACHED TO GROUND DRIVEN STAKES WHEN LEFT OVERNIGHT. SAFETY FENCING SHALL BE MAINTAINED UNTIL AREA IS WITHIN 8 INCHES OF ADJACENT GRADE. PAYMENT FOR THIS WORK IS INCLUDED IN TRAFFIC CONTROL LUMP SUM UNIT

SOIL BORING NOTES

1. THE SOIL BORINGS LOGS DEPICT POINT LOCATIONS AND DO NOT INFER THAT THE SURFACE CONDITIONS ARE THE SAME IN OTHER AREAS. BORING LOCATIONS ARE SHOWN ON THE PLANS, SOIL BORING LOGS ARE INCLUDED IN THE SPECIFICATIONS.

SITE GRADING NOTES

- PROPOSED ELEVATIONS ARE SHOWN WHERE SIGNIFICANT GRADE CHANGES ARE ANTICIPATED. IF PROPOSED GRADES ARE NOT SHOWN THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE DRAINAGE WITH MIN. SLOPE OF 1.5%. LONGITUDINAL SLOPE ALONG GUTTER LINES SHALL BE 0.5% MIN.
- PRIOR TO INSTALLING ANY PAVEMENT LAYERS, THE CONTRACTOR SHALL REVIEW THE PROPOSED SITE GRADES WITH THE ENGINEER TO IDENTIFY AND RECTIFY ANY
- 3. PROPOSED SIDEWALKS SHALL HAVE MIN. 1.0% AND MAX. 2.0% CROSS SLOPE.
- 4. CONTRACTOR SHALL ADJUST ALL UTILITY RIMS LOCATED WITHIN THE WORK LIMITS AS NECESSARY TO BE FLUSH WITH THE PROPOSED FINISHED SURFACE. THIS INCLUDES ALL STORM MANHOLES, CATCH BASINS, CLEANOUTS, SANITARY MANHOLES AND CLEANOUTS WATER MAIN MANHOLES, GATE VALVES, AND BOXES OR ANY OTHER UTILITY RIMS OR
- 5. WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT DESIGNATED TO REMAIN, MATCH ELEVATIONS UNLESS INDICATED OTHERWISE.
- 6. ADJUST GUTTER PAN FROM SPILL IN TO SPILL OUT AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE.
- 7. ADJUST ELEVATION OF CURB REPAIRS AS REQUIRED TO ACHIEVE POSITIVE DRAINAGE.
- 8. TAPER CURB HEIGHT TO 0" IN 10' WHEN ABUTTING TO EX. PAVEMENT WITHOUT CURB.

GENERAL PAVING NOTES

- 1. NEW PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS-SECTION INDICATED ON
- 2. MATCH EXISTING ELEVATIONS WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENTS OR OTHER FIXED OBJECTS.
- CONTRACTOR SHALL MATCH EXISTING STRIPING PATTERNS UNLESS OTHERWISE REQUIRED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL DOCUMENT EXISTING STRIPING PATTERN PRIOR TO REMOVAL OF ANY PAVEMENT.
- 4. CONTRACTOR IS RESPONSIBLE FOR LAYOUT TO PROVIDE POSITIVE SITE DRAINAGE. WATER PONDING AND BIRD BATHS SHALL BE CORRECTED AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- NEW AGGREGATE BASE REQUIRED SHALL BE MDOT 21AA CRUSHED LIMESTONE MATERIAL.
- SUBGRADE SOIL FOUND TO BE UNSUITABLE SHALL BE RECONDITIONED OR REPLACED AS DIRECTED BY THE OWNER, INCLUDING THE NECESSARY FINE GRADING TO ENSURE THAT MINIMUM SPECIFIED PAVEMENT THICKNESS IS ACHIEVED.

TRAFFIC CONTROL NOTES

- OBTAIN WRITTEN PERMISSION FROM OWNER'S REPRESENTATIVE WHEN ROADS, SIDEWALKS AND PARKING LOTS NEED TO BE CLOSED PRIOR TO CLOSING ANY PAVED AREA.
- SUBMIT ALL REQUESTS TO OWNER'S REPRESENTATIVE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO THE ANTICIPATED NEED TO CLOSE ANY PAVED AREA.
- PROVIDE ALTERNATE TRAFFIC ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC ROUTES AS NECESSARY OR REQUIRED BY OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING, PLACING AND MAINTAINING ALL TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.'

DEMOLITION NOTES

- 1. SAWCUT FULL DEPTH THE PAVEMENT. SIDEWALK AND CURB DESIGNATED TO BE REMOVED AT THE LIMITS OF WORK SHOWN ON THE PLANS OR MARKED IN THE FIELD.
- REMOVE ONLY THE STRUCTURES AND PAVEMENTS WITHIN THE LIMITS OF WORK AS DETAILED ON THE PLANS AND CROSS SECTIONS. ALL OTHER STRUCTURES AND PAVEMENT SHALL BE PROTECTED AS REQUIRED.
- 3. ALL EXISTING UNDERGROUND UTILITIES WITHIN THE AREA OF WORK SHALL REMAIN AND BE PROTECTED DURING CONSTRUCTION. UNLESS. OTHERWISE DESIGNATED TO BE REMOVED. CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS.
- CONTRACTOR SHALL DISPOSE OF ALL CONCRETE , ASPHALT, AGGREGATE BASE AND SUBGRADE SPOILS AT LEGAL DISPOSAL SITE. CONTRACTOR SHALL PAY FOR ALL TRUCKING AND DISPOSAL COSTS.

CURB REPAIR NOTES

- 1. SAWCUT THE CURB AREAS DESIGNATED FOR REPAIR AT THE LIMITS MARKED IN THE FIELD BY OWNER'S REPRESENTATIVE.
- 2. REMOVE EXISTING CONCRETE WITHOUT CAUSING DAMAGE OR SPALLING TO ADJACENT SIDEWALK OR CURBS WHICH ARE DESIGNATED TO REMAIN. DAMAGED AREAS SHALL BE REMOVED AND REPLACED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- DRILL AND EPOXY GROUT TWO (2) #5 (18 INCH LONG EPOXY COATED) DEFORMED BARS A MINIMUM OF 6 INCHES INTO EXISTING CONCRETE CURBS (TWO FACES) WHICH ARE DESIGNATED TO REMAIN.
- 4. MATCH EXISTING CURB GEOMETRY.

PER THE PROJECT SPECIFICATIONS.

- 5. PLACE AND CONSOLIDATE CONCRETE IN THE REPAIR AREA TO MATCH THE ELEVATION OF ADJACENT CURB AND SIDEWALK AREAS TO MAINTAIN POSITIVE DRAINAGE. FINISH CURBS TO MATCH FINISH OF ADJACENT AREAS WHICH ARE DESIGNATED TO REMAIN.
- VOID/HOLES (HONEYCOMB AREAS) ON THE CURB BACK/FACE SHALL BE REPAIRED WITH CEMENT MORTAR PASTE TO THE SATISFACTION OF THE OWNER.

CLEANUP AND RESTORATION NOTES

- 1. CLEAN AND RESTORE ALL DISTURBED AREAS WITH 4 INCHES OF TOPSOIL, HYDROSEED AND HIGH VELOCITY MULCH BLANKETS. DISPOSE OF DEBRIS OFFSITE AT APPROVED DISPOSAL
- 2. UPON COMPLETION OF WORK, THE ENTIRE SITE SHALL BE CLEARED OF EQUIPMENT, UNUSED MATERIALS, AND RUBBISH AND ANY DISTURBED AREAS RESTORED TO THE SATISFACTION OF THE OWNER.
- FINAL PAYMENT WILL NOT BE MADE UNTIL THE SITE IS CLEARED, RESTORED AND CLEANED

ABBREVIATIONS USED IN DRAWINGS

THE FOLLOWING ABBREVIATIONS ARE USED ON THESE PLANS AT (RATE OF) AND INCH **FOOT** NUMBER ASPHALT CONCRETE ADA AMERICANS WITH DISABILITIES ACT (BARRIER FREE ACCESS) AGG AGGREGATE BASE ALT ALTERNATE APPROX. APPROXIMATE/APPROXIMATELY ARCH. ARCHITECT **ASTM** AMERICAN SOCIETY FOR TESTING AND MATERIALS AVG **AVERAGE** BORING BOUNDARY **BITUMINOUS** BARRIER FREE BANK FULL FLOOD BLDG BUILDING **BENCHMARK** BOTTOM BEARING **BASEMENT** CORE CAPACITY **CATCH BASIN** CENTERLINE **CUBIC FEET** CHANNEL CONTROL JOINT **CRUSHED LIMESTONE** CORRUGATED METAL PIPE CMU CONCRETE MASONRY UNIT COEF COEFFICIENT COL COLUMN **CLEAN OUT** CONC. CONCRETE CONN. CONNECTION COV. COVER CULV. CULVERT CRB CURB CUBIC YARD DIA. DIAMETER **DUCTILE IRON** DIM. DIMENSION DEG. DEGREE DEMO. **DEMOLITION** DEPT. DEPARTMENT DROP MANHOLE

DOWNSPOUT EACH EAST EACH END **EDGE OF GRAVEL** ELEVATION ELEV. **EDGE OF METAL** ENGINEER

ENTRANCE EQUIPMENT END SECTION EXCAV EXCAVATE **EXISTING** EXPANSION

FLOOR DRAIN FIRE DEPARTMENT CONNECTION FOUNDATION **FULL DEPTH RECLAMATION** FINISH FLOOR

FINISH GRADE FURNISH FLOOD PLAIN FEET/FOOT FOOTING FTG ELEV. ELEVATION EQUIP. **EQUIPMENT** GAL GALLON GEN. GENERAL GUTTER

GATE VALVE GRAVEL **HEAVY DUTY** HDPE HIGH DENSITY POLYTHYLENE HIGH POINT HYDRAULIC GRADE LINE HOT MIX ASPHALT

НМА HORIZ. HORIZONTAL HYDRANT INSTALL LIGHT DUTY LINEAR FEET LOW POINT

MAXIMUM MATCH EXISTING

MICHIGAN DEPARTMENT OF TRANSPORTATION MANHOLE

MINIMUM NORTH NOT IN CONTRACT NUMBER

NOT FIELD VERIFIED NOT TO SCALE ON CENTER OD OUTSIDE DIAMETER PORTLAND CEMENT CONCRETE PVC POLYVINYL CHLORIDE PROPOSED

REINFORCED CONCRETE PIPE REAR YARD SOUTH SANITARY SEWER STABILIZED BASE COURSE

SESC SOIL EROSION AND SEDIMENT CONTROL SQUARE FEET SUBGRADE

STORM SEWER SQUARE YARD TOP OF HMA PAVEMENT ELEVATION TOP OF PROPOSED CURB TEMPORARY EARTH RETENTION SYSTEM

TEST PIT TYPICAL TOP OF SIDEWALK VAPOR BARRIER VITRIFIED CLAY PIPE VERTICAL VERIFY IN FIELD

VAULT

VOLUME

WFST **BOTTOM OF WALL** WATER MAIN TOW TOP OF WALL WTR WATER WELDED WIRE FABRIC

DEFINITIONS USED IN DRAWINGS

THE FOLLOWING DEFINITIONS ARE USED ON THESE PLANS

UPS

SME ENGINEER GENOA TOWNSHIP CITY COUNTY LIVINGSTON OWNER



Orientation Scale

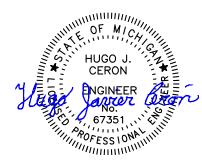
UPS HOWELL EMPLOYEE PARKING LOT **IMPROVOMENTS**

Project Location

1183 FENDT DRIVE | HOWELL, MI 48843

GENERAL PROJECT NOTES

Engineer's Seal



09/02/2020

SME Project No.

084617.00

H. CERON

Project Manager: J. SCHWARTZENBERGER

Designer:

CADD: H. CERON

Checked By:

B. HART Reviewed By:

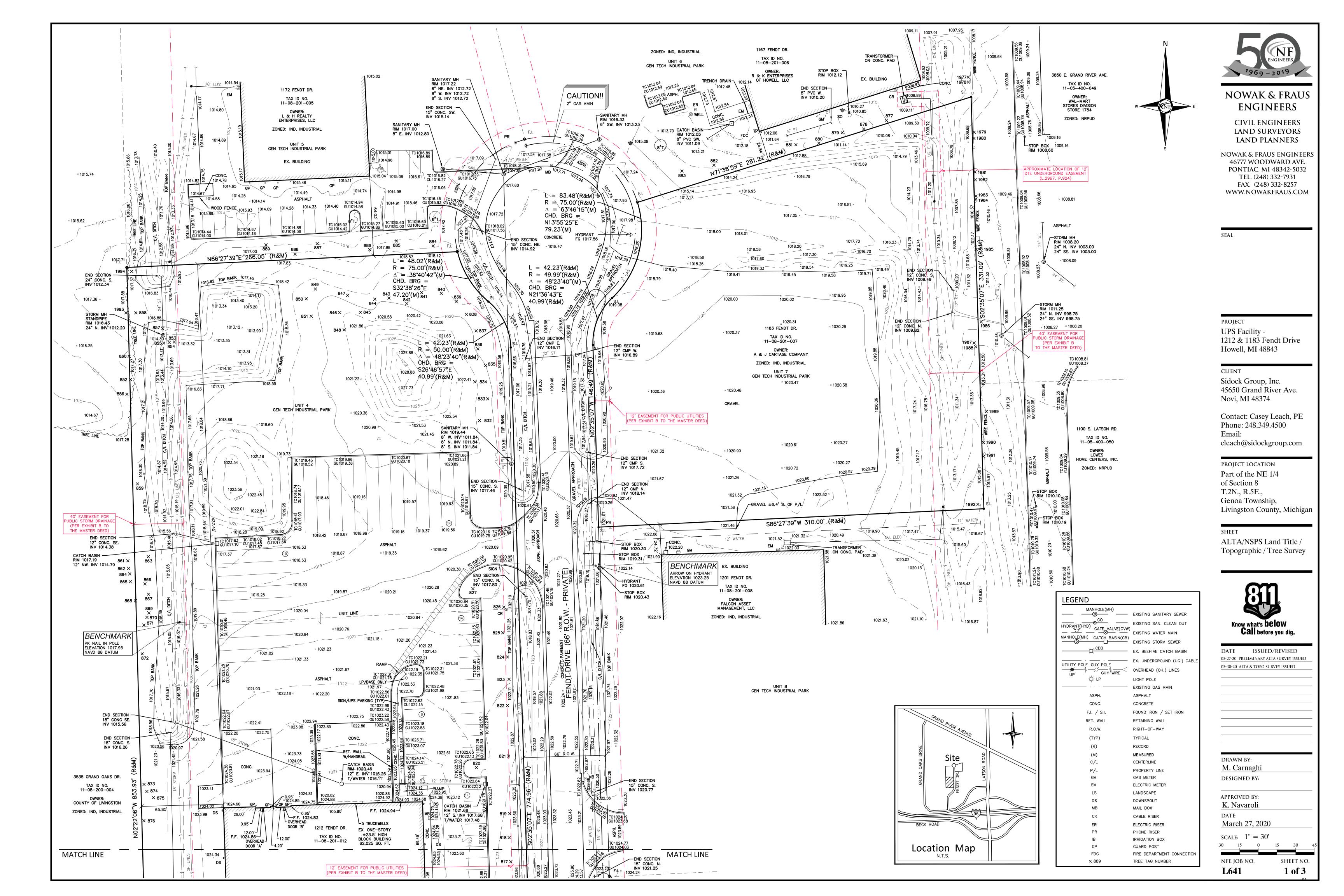
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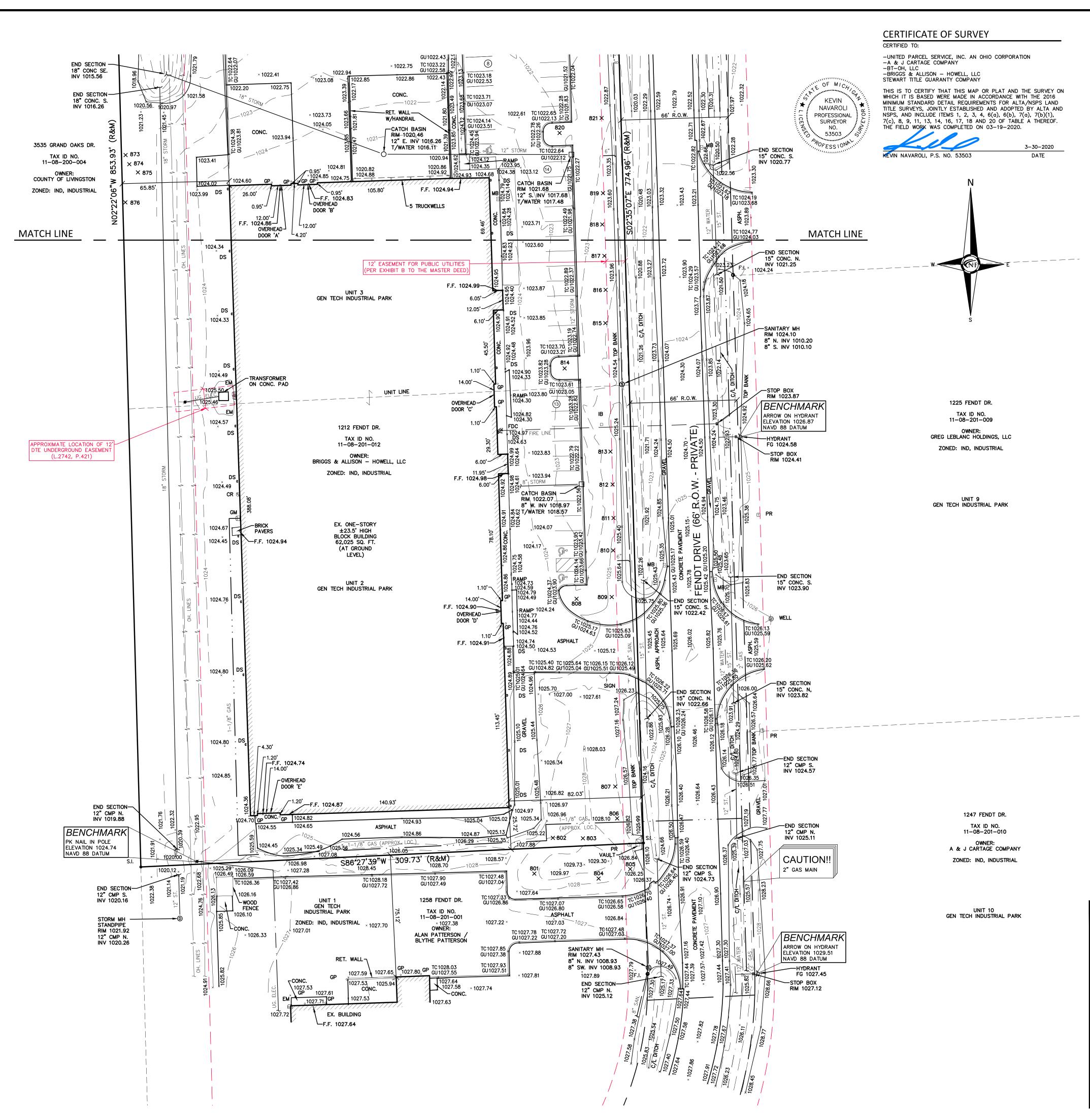
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NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR

CONSENT OF SME

J. SCHWARTZENBERGER





LEGAL DESCRIPTION -

PER TITLE COMMITMENT

LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

UNIT 7, OF GEN TECH INDUSTRIAL PARK, A MICHIGAN CONDOMINIUM, AS ADOPTED PURSUANT TO ACT 59 OF PUBLIC ACTS 1978, BEING LIVINGSTON COUNTY CONDOMINIUM NO. 68. A PORTION OF THE UNITS RECORDED IN THE MASTER DEED WHICH WAS RECORDED IN LIVINGSTON COUNTY REGISTER OF DEEDS OFFICE AT LIBER 1897, PAGES 42 THROUGH 101, TOGETHER WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS, AS SET FORTH IN THE ABOVE DESCRIBED MASTER DEED AND ALL AMENDMENTS THERETO; AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF

COMMONLY KNOWN AS: 1183 FENDT DR. TAX PARCEL ID: 11-08-201-007

TITLE REPORT NOTES

RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.

3. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE

8. RIGHTS OF THE PUBLIC AND ANY GOVERNMENTAL UNIT IN ANY PART OF THE LAND TAKEN, DEEDED OR USED FOR ROAD, STREET OR

9. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS

10. RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION UNDER ANY UNRECORDED LEASES, AND THE RIGHT OF ANY PARTY CLAIMING BY AND THROUGH SAID TENANT(S).

11. RIGHTS OF OTHERS OVER THAT PORTION OF THE LAND USED

AS INGRESS AND EGRESS TO OTHER LANDS.

13. RIGHTS OF THE CO-OWNERS OF GEN TECH INDUSTRIAL PARK, A MICHIGAN CONDOMINIUM IN THE GENERAL COMMON ELEMENTS AND LIMITED COMMON FLEMENTS AS SET FORTH IN THE MASTER DEED RECORDED IN LIBER 1897, PAGES 42 THROUGH 101, INCLUSIVE, LIVINGSTON COUNTY RECORDS, AND AS AMENDED AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978 AS AMENDED, AND ALL THE TERMS AND CONDITIONS, PROVISIONS, AGREEMENTS OBLIGATIONS, REGULATIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS SET FORTH IN THE ABOVE DESCRIBED MASTER DEED, AMENDMENT(S) AND STATUTE. NOTE: THE MASTER DEED PROVIDES. AMONG OTHER THINGS FOR ASSESSMENTS TO BE MADE AGAINST EACH UNIT/APARTMENT, AND FOR EACH SUCH UNPAID DELINQUENT ASSESSMENTS TO CONSTITUTE A LIEN. [SAID EASEMENTS AS SHOWN ON EXHIBIT B TO THE MASTER DEED ARE PLOTTED HEREON].

14. DETROIT EDISON UNDERGROUND EASEMENT (RIGHT OF WAY) RECORDED IN LIBER 2967, PAGE 924. [SAID EASEMENT IS PLOTTED

15. TERMS, CONDITIONS AND PROVISIONS SET FORTH IN MEMORANDUM OF PURCHASE OPTION RECORDED AUGUST 6, 2015 IN INSTRUMENT: 2015R-024698. [NO PLOTTABLE EASEMENTS/RESTRICTIONS. NOT PLOTTED HEREON].

ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. 19000112696, WITH AN EFFECTIVE DATE OF 12-02-2019, ISSUED BY STEWART TITLE GUARANTY

BASIS OF BEARING NOTE ALL BEARINGS ARE IN RELATION TO GENTECH INDUSTRIAL PARK AS RECORDED IN LIBER 1897, PAGES 42 THROUGH 101 LIVINGSTON

FLOOD HAZARD NOTE

COUNTY RECORDS.

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY: THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26093C0309D BEARING AN EFFECTIVE DATE OF 09-17-2008.

MISS DIG / UTILITY DISCLAIMER NOTE A MISS DIG TICKET NUMBER B00691502, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS. THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON MARCH 30, 2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OF AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS. THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL THERE WERE NO FIELD DELINEATED WETLAND MARKERS OBSERVED ON THE SUBJECT PROPERTY.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE PROPERTY AS DETERMINED BY: OBSERVED EVIDENCE OR EVIDENCE FROM PLANS REQUESTED BY THE SURVEYOR AND OBTAINED FROM THE SUBJECT PROPERTY HAS ACCESS TO FENDT DRIVE, BEING A

PRIVATE ROAD ACCORDING TO THE EXHIBIT B TO THE MASTER DEED OF GENTECH INDUSTRIAL PARK CONDOMINIUM, FENDT DRIVE CONNECTS TO GRAND OAK DRIVE, A PUBLICLY DEDICATED ROAD, VIA 66' PRIVATE ROAD EASEMENT RECORDED IN LIBER 1284, PAGE



LAND SITUATED IN THE TOWNSHIP OF GENOA, COUNTY OF LIVINGSTON, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

UNITS 2, 3 AND 4, OF GEN TECH INDUSTRIAL PARK, A CONDOMINIUM ACCORDING TO THE MASTER DEED THEREOF RECORDED IN LIBER 1897, PAGE 42, LIVINGSTON COUNTY RECORDS. AND DESIGNATED AS LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 68, AND ANY AMENDMENTS THERETO, OGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS OF SAID CONDOMINIUM AS SET FORTH IN SAID MASTER DEED AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF MICHIGAN OF 1978, AS AMENDED.

COMMONLY KNOWN AS: 1212 FENDT DR. TAX PARCEL ID: 11-08-201-012

LEGAL DESCRIPTION -

PER TITLE COMMITMENT

TITLE REPORT NOTES

RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.

3. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE

8. RIGHTS OF THE PUBLIC AND ANY GOVERNMENTAL UNIT IN ANY PART OF THE LAND TAKEN, DEEDED OR USED FOR ROAD, STREET OR HIGHWAY PURPOSES.

9. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.

10. RIGHTS OF TENANTS AND/OR PARTIES IN POSSESSION UNDER ANY UNRECORDED LEASES, AND THE RIGHT OF ANY PARTY CLAIMING BY AND THROUGH SAID TENANT(S).

11. RIGHTS OF OTHERS OVER THAT PORTION OF THE LAND USED AS INGRESS AND EGRESS TO OTHER LANDS.

RIGHTS OF THE CO-OWNERS OF GEN TECH INDUSTRIAL PARK, A MICHIGAN CONDOMINIUM IN THE GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN THE MASTER DEED RECORDED IN LIBER 1897, PAGES 42 THROUGH 101, INCLUSIVE, LIVINGSTON COUNTY RECORDS, AND AS AMENDED AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978 AS AMENDED, AND ALL THE TERMS AND CONDITIONS, PROVISIONS, AGREEMENTS, OBLIGATIONS, REGULATIONS, RESTRICTIONS, EASEMENTS AND OTHER MATTERS SET FORTH IN THE ABOVE DESCRIBED MASTER DEED, AMENDMENT(S) AND STATUTE. NOTE: HE MASTER DEED PROVIDES, AMONG OTHER THINGS FOR ASSESSMENTS TO BE MADE AGAINST EACH UNIT/APARTMENT, AND FOR EACH SUCH UNPAID DELINQUENT ASSESSMENTS TO CONSTITUTE A LIEN. [SAID EASEMENTS AS SHOWN ON EXHIBIT B TO THE MASTER DEED ARE PLOTTED HEREON].

12. DETROIT EDISON UNDERGROUND EASEMENT (RIGHT OF WAY) RECORDED IN LIBER 2742, PAGE 421. [SAID EASEMENT IS PLOTTED

13. LEASE INTEREST OF MATTRESS WORLD, INC., AND THE TERMS, COVENANTS, CONDITIONS AND PROVISIONS CONTAINED IN THE LEASE, AND ALL AMENDMENTS THERETO AS DISCLOSED BY THE DOCUMENT RECORDED IN INSTRUMENT: 2008R-029674. [NO PLOTTABLE EASEMENTS/RESTRICTIONS. NOT PLOTTED HEREON]

ALL EXCEPTIONS SHOWN OR NOTED ON THIS SURVEY WERE OBTAINED FROM TITLE COMMITMENT NO. 20000110074, WITH AN EFFECTIVE DATE OF 01-10-2020, ISSUED BY STEWART TITLE GUARANTY COMPANY.

SURVEY DATA

SITE AREA: UNIT 7 = 87,149 SQUARE FEET OR 2.00 ACRES UNITS 2, 3 AND 4 = 261,554 SQUARE FEET OR 6.00 ACRES

ZONED: IND, INDUSTRIAL DISTRICT

_____//-

∰ LP

CONC.

F.I. / S.I.

RET. WALL

R.O.W.

(TYP)

BUILDING SETBACKS: FRONT = 85' IF PARKING IN THE FRONT YARD 50' IF NO PARKING IN THE FRONT YARD SIDES = 25'; 50' IF ADJACENT TO RESIDENTIAL DISTRICT REAR = 40'; 80' IF ADJACENT TO RESIDENTIAL DISTRICT

MAX. BUILDING HEIGHT PERMITTED: 2 STORIES / 30' THE ABOVE SETBACK & HEIGHT REQUIREMENTS WERE OBTAINED FROM THE TOWNSHIP OF GENOA ZONING ORDINANCE.

PARKING SPACES: UNIT 7 = NO STRIPED PARKING SPACES UNITS 2, 3 AND 4 = 46 REGULAR SPACES, 3 BARRIER FREE

SPACES AND 24 TRAILER TRUCK SPACES A SURVEYOR CANNOT MAKE A CERTIFICATION ON THE BASIS OF AN INTERPRETATION OR OPINION OF ANOTHER PARTY. A ZONING ENDORSEMENT LETTER SHOULD BE OBTAINED FROM THE TOWNSHIP

DETERMINATION OF THE REQUIRED BUILDING SETBACK

OF GENOA TO INSURE CONFORMITY AS WELL AS MAKE A FINAL

LEGEND MANHOLE(MH) EXISTING SAN. CLEAN OUT HYDRANT(HYD) GATE VALVE(GVW) GATE VALVE(GVW)

EXISTING WATER MAIN MANHOLE(MH) CATCH BASIN(CB) EXISTING STORM SEWER DATE ISSUED/REVISED EX. BEEHIVE CATCH BASIN 03-27-20 PRELIMINARY ALTA SURVEY ISSUED _____ · ___ · ___ EX. UNDERGROUND (UG.) CABLE UTILITY POLE GUY POLE 03-30-20 ALTA & TOPO SURVEY ISSUED OVERHEAD (OH.) LINES GUYWIRE

LIGHT POLE

ASPHALT

CONCRETE

RETAINING WALL

RIGHT-OF-WAY

TYPICAL

RECORD

MEASURED

CENTERLINE

GAS METER ELECTRIC METER LANDSCAPE DOWNSPOUT MAIL BOX CABLE RISER ELECTRIC RISER PHONE RISER IRRIGATION BOX GUARD POST

PROPERTY LINE

FIRE DEPARTMENT CONNECTION

TREE TAG NUMBER

EXISTING GAS MAIN

FOUND IRON / SET IRON

DRAWN	BY:		
DRAWN M. Car			
	rnaghi		
M. Car	rnaghi		
M. Car	rnaghi ED BY:		
M. Car	rnaghi ED BY: ED BY:		
M. Can	rnaghi ED BY: ED BY:		
M. Can DESIGN APPROV K. Nav DATE:	rnaghi ED BY: ED BY: varoli	20	
M. Can	rnaghi ED BY: ED BY: varoli	20	
M. Can DESIGN APPROV K. Nav DATE:	rnaghi ED BY: ED BY: varoli		

NFE JOB NO.

L641

SHEET NO.

2 of 3

NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT **UPS** Facility -1212 & 1183 Fendt Drive Howell, MI 48843

CLIENT

Sidock Group, Inc. 45650 Grand River Ave. Novi, MI 48374

Contact: Casey Leach, PE Phone: 248.349.4500 Email:

cleach@sidockgroup.com

PROJECT LOCATION Part of the NE 1/4 of Section 8 T.2N., R.5E., Genoa Township,

SHEET

ALTA/NSPS Land Title / Topographic / Tree Survey

Livingston County, Michigan



Tree Inventory List

Job Number:

Job Location: 1212 Fendt Drive, Howell Michigan

Date: Sunday, March 29, 2020

Performed By Alexander Kriebel Forestry Registration No.

Condition Description Notes:
"Good" - no observed structural defects*

"Fair" - minor structural defects, marginal form, some insect activity noted*

"Poor" - major structural defects, poor form, insect infested*

*Structural defects may include decayed wood, cracks, root problems, weak branch unions cankers, poor tree architecture, dead/failed branches due to various causes.

<u>Tree #</u>	Botanical Name	Common Name	<u>Dia.</u>	<u>Type</u>	Other Dia.	<u>Condition</u>	<u> </u>
801	Pyrus calleryana	Callery Pear	13			Fair Esta	Competing Leads, Inosculation
802 803	Malus spp. Malus spp.	Crabapple Crabapple	8 9			Fair Fair	Competing Leads, Suckers At Base Competing Leads
804	Pyrus calleryana	Callery Pear	12			Fair	Competing Leads, Inosculation
805	Pyrus calleryana	Callery Pear	11			Fair	Competing Leads, Inosculation
806	Pinus strobus	Eastern White Pine	5			Good	
807	Pinus strobus	Eastern White Pine	7			Fair	Bent Lead
808 809	Pyrus calleryana	Callery Pear Colorado Blue Spruce	8 9			Fair Good	Suckers At Base, Canopy Die-Back, Competing Leads
810	Picea pungens Too Small Ren	-	9			G000	
811	Picea pungens	Colorado Blue Spruce	8			Good	
812	Acer rubrum	Red Maple	8			Poor	Girdling Roots, Poor Growth Structure, Lacks Upper Branching
813	Picea pungens	Colorado Blue Spruce	7			Good	
814	Pyrus calleryana	Callery Pear	8			Fair F-1-	Broken Limbs Due To Vehicle Traffic, Competing Leads
815 816	Pinus nigra Pinus nigra	Austrian Pine Austrian Pine	12 10			Fair Fair	Insect Activity, Canopy Die-Back, Competing Leads Canopy Die-Back, Bent Lead
817	Pinus nigra	Austrian Pine	11			Fair	Insect Activity, Canopy Die-Back, Bent Lead
818	Pinus nigra	Austrian Pine	12			Fair	Insect Activity, Canopy Die-Back, Minor Lean
819	Pinus nigra	Austrian Pine	12	Twin	8	Fair	Insect Activity, Canopy Die-Back, Competing Leads
820	Pyrus calleryana	Callery Pear	10			Good	
821 822	Pinus nigra Pinus nigra	Austrian Pine Austrian Pine	13 11			Fair Poor	Insect Activity, Canopy Die-Back, Competing Leads Major Canopy Die-Back, Missing Lead, Oozing Sap
823	Tree Is Dead Re		11			1 001	Major Canopy Die-Dack, Missing Lead, Oozing Sap
824	Pinus nigra	Austrian Pine	9			Poor	Fungus, Insect Activity, A-Typical Growth Structure
825	Tree Is Dead Re	emove From List					
826	Pinus nigra	Austrian Pine	11			Fair	Canopy Die-Back
827	Malus spp.	Crabapple Eastern White Pine	9			Fair	Competing Leads
828 829	Pinus strobus Pinus strobus	Eastern White Pine	12 10			Good Fair	Bent Lead, Competition
830	Pinus strobus	Eastern White Pine	12			Fair	Bent Lead
831	Pinus strobus	Eastern White Pine	5			Good	
832	Pinus strobus	Eastern White Pine	10			Good	
833	Picea pungens	Colorado Blue Spruce	9			Good	Pant Load Commodision
834 835	Picea pungens Picea pungens	Colorado Blue Spruce Colorado Blue Spruce	9 9			Fair Good	Bent Lead, Competition
836	Picea pungens Picea pungens	Colorado Blue Spruce	9			Good Fair	Competition, Canopy Die-Back
837	Picea pungens	Colorado Blue Spruce	9			Good	-
838	Picea pungens	Colorado Blue Spruce	12			Good	
839	Picea pungens	Colorado Blue Spruce	12			Fair	Competing Leads
840 841	Picea pungens	Colorado Blue Spruce Colorado Blue Spruce	9 12			Fair Good	Competition, Canopy Die-Back
842	Picea pungens Picea pungens	Colorado Blue Spruce	11			Good	
843	Picea pungens	Colorado Blue Spruce	11			Good	
844	Pinus nigra	Austrian Pine	12			Fair	Competition, Canopy Die-Back, Insect Activity, Competing Leads
845	Pinus nigra	Austrian Pine	12			Fair	Competition, Canopy Die-Back, Insect Activity
846	Pinus strobus	Eastern White Pine Austrian Pine	11			Fair Esia	Bent Lead, Competition, Canopy Die-Back
847 848	Pinus nigra Pinus strobus	Eastern White Pine	10 13			Fair Fair	Competition, Canopy Die-Back, Insect Activity Competing Leads, Competition, Canopy Die-Back
849	Pinus strobus	Eastern White Pine	14			Fair	Competing Leads, Competition, Canopy Die-Back
850	Pinus strobus	Eastern White Pine	11			Fair	Competing Leads, Competition, Canopy Die-Back
851	Pinus strobus	Eastern White Pine	10			Fair	Competing Leads, Competition
852 853	Catalpa speciosa	Northern Catalpa	15	Maria	5	Poor	Rotting Split Running Up Trunk, Major Canopy Die-Back
853 854	Salix amygdaloides Populus deltoides	Peachleaf Willow Eastern Cottonwood	13 11	Multiple Stemmed	7, 0, 4, 4, 4	Fair Fair	Competing Leads, Canopy Die-Back, Minor Leans, In ROW Competing Leads, Rotting At Seam, In ROW
855	Too Small Ren		• •			• ***	Companing Leady Nothing IN Sensing IN NO IV
856	Catalpa speciosa	Northern Catalpa	13	Twin	6 (Dead)	Poor	Rotting Split Running Up Trunk, Canopy Die-Back, Rotting Base
857	Too Small Ren						
858 850	Prunus serotina	Black Cherry	9	Taka	7	Fair	Moderate Lean, Climbing Vines, Competition
859 860	Prunus serotina Catalpa speciosa	Black Cherry Northern Catalpa	8 17	Twin	7	Poor Poor	Major Canopy Die-Back, Strangling Vines, Competition, Competing Leads Rotting Split Running Up Trunk, Major Canopy Die-Back
861	Carya glabra	Pignut Hickory	8	Multiple Stemmed	8, 5	Fair	Bent Leads, Competing Leads, Climbing Vines, Competition
862	Carya glabra	Pignut Hickory	11	•	,	Fair	Competition, Bent Lead
863	Prunus serotina	Black Cherry	8			Poor	Nearly Dead, Major Canopy Die-Back, Strangling Vines, Competition
864	Same Tre		27	M 17 1. Cz 1	22 14/5	.	Devil And Devil and Market Devil Alberta Control District Control of Control
865 866	Prunus serotina Sassafras albidum	Black Cherry Sassafras	23 10	Multiple Stemmed	23, 14 (Deau) Poor Poor	Dead And Dying Leads, Major Rot At Base, Canopy Die-Back, Competing Leads Bent Lead, Contorted Crown, Competition, Minor Lean, Large Rotting Canker
867	Sassafras albidum	Sassafras	11			Poor	Nearly Dead, Missing Lead, Large Rotting Canker, Minor Lean, Insect Activity
868	Quercus rubra	Northern Red Oak	39			Good	······································
869	Carya glabra	Pignut Hickory	10			Fair	Canopy Die-Back, Contorted Crown, Competition
870	Prunus serotina	Black Cherry	18	Twin	16	Fair	Dying Lead, Competing Leads, Winding Leads, Competition
871 872	Quercus rubra	Northern Red Oak Northern Red Oak	15 12			Poor Fair	A-Typical Growth Structure, Bent Lead, Contorted Crown, Competition Winding Lead, Canowy Die-Back, Strangling Vines
872 873	Quercus rubra Populus deltoides	Northern Red Oak Eastern Cottonwood	12 22	Twin	8	Fair Fair	Winding Lead, Canopy Die-Back, Strangling Vines Rotting Canker At Base, Competing Leads, Canopy Die-Back
874	Tree Is Dead Re		20		-		g
875	Populus deltoides	Eastern Cottonwood	8			Fair	Competing Leads, Competition
876	Too Small Ren					- -	
877 878	Pyrus calleryana	Callery Pear	10 10			Fair Good	Competing Leads, Inosculation
878 879	Pyrus calleryana Picea glauca	Callery Pear White Spruce	10 6			Good Fair	Canopy Die-Back
880	Picea glauca	White Spruce	7			Good	Canopy Dic-Dack
881	Pyrus calleryana	Callery Pear	14			Fair	Competing Leads, Inosculation, Surfacing Roots Getting Mowed, Minor Lean
882	Picea glauca	White Spruce	7			Good	
883	Picea glauca	White Spruce	6			Fair Cood	Canopy Die-Back
884 885	Acer rubrum Acer saccharum	Red Maple Sugar Maple	11 11			Good Fair	Girdling Roots, Competing Leads
886	Acer saccharum Acer saccharum	Sugar Maple Sugar Maple	14			rair Good	Graning Noves, Competing Leatis
887	Acer saccharum	Sugar Maple	11			Good	
888	Acer rubrum	Red Maple	13			Fair	Competing Leads
889	Acer saccharum	Sugar Maple	10	an ·	13	Fair	Surfacing Roots Getting Mowed, Girdling Roots
1977 1978	Quercus rubra	Northern Red Oak Northern Red Oak	16 14	Тwin	12	Fair Fair	Competing Leads, Canopy Die-Back Competition Rent Lead, A. Typical Growth Structure, Competition
1978	Quercus rubra Carya ovata	Northern Red Oak Shagbark Hickory	14 18			Fair Poor	Bent Lead, A-Typical Growth Structure, Competition Canopy Die-Back, Missing Leads, Competition, Dead And Dying Leads
1980	Carya glabra	Pignut Hickory	21	Twin	13	Poor	Dead And Dying Lead, Competing Leads, Numerous Burls, Winding Lead
1981	Carya glabra	Pignut Hickory	20			Good	
1982	Quercus rubra	Northern Red Oak	15			Fair	Competing Leads, Minor Lean, Competition, Canopy Die-Back
1983	Carya ovata	Shagbark Hickory	8			Fair	Competition, Bent Lead
1984 1985	Prunus serotina Carya ovata	Black Cherry Shagbark Hickory	10 18			Poor Good	Nearly Dead, Major Canopy Die-Back, Dead And Dying Leads
1986	Carya ovata Carya ovata	Shagbark Hickory	22			Good	
1987	Carya glabra	Pignut Hickory	8			Fair	Competition, Canopy Die-Back
1988	Carya glabra	Pignut Hickory	8			Fair	Competition, Bent Lead
1989	Carya glabra	Pignut Hickory	25			Poor Poor	Lost Major Lead, Spilt Running Down Trunk, Exposed Heratwood, Weak Structure
1990 1991	Prunus serotina	Black Cherry Northern Red Oak	29 13			Poor Fair	Nearly Dead, Major Canopy Die-Back, Dead And Dying Leads Contorted Crown, Minor Lean, Competition
1991 1992	Quercus rubra Prunus serotina	Northern Red Oak Black Cherry	13 8			Fair Poor	Contorted Crown, Minor Lean, Competition Nearly Dead, Major Canopy Die-Back, Dead And Dying Leads
1993	Catalpa speciosa	Northern Catalpa	15			Poor	Rotting Split Running Up Trunk, Major Canopy Die-Back, Dead Lead
1994	Prunus serotina	Black Cherry	8			Poor	Strangling Vines, Competition, Major Canopy Die-Back



NOWAK & FRAUS **ENGINEERS**

CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257 WWW.NOWAKFRAUS.COM

PROJECT UPS Facility -1212 & 1183 Fendt Drive Howell, MI 48843

CLIENT

Sidock Group, Inc. 45650 Grand River Ave. Novi, MI 48374

Contact: Casey Leach, PE Phone: 248.349.4500 Email: cleach@sidockgroup.com

PROJECT LOCATION

Part of the NE 1/4 of Section 8 T.2N., R.5E., Genoa Township, Livingston County, Michigan

SHEET

Tree List



DATE	ISSUED/REVISED
03-27-20	PRELIMINARY ALTA SURVEY ISSUED
03-30-20	ALTA & TOPO SURVEY ISSUED
05 50 20	THE IT OF SOLUTE 1850ED

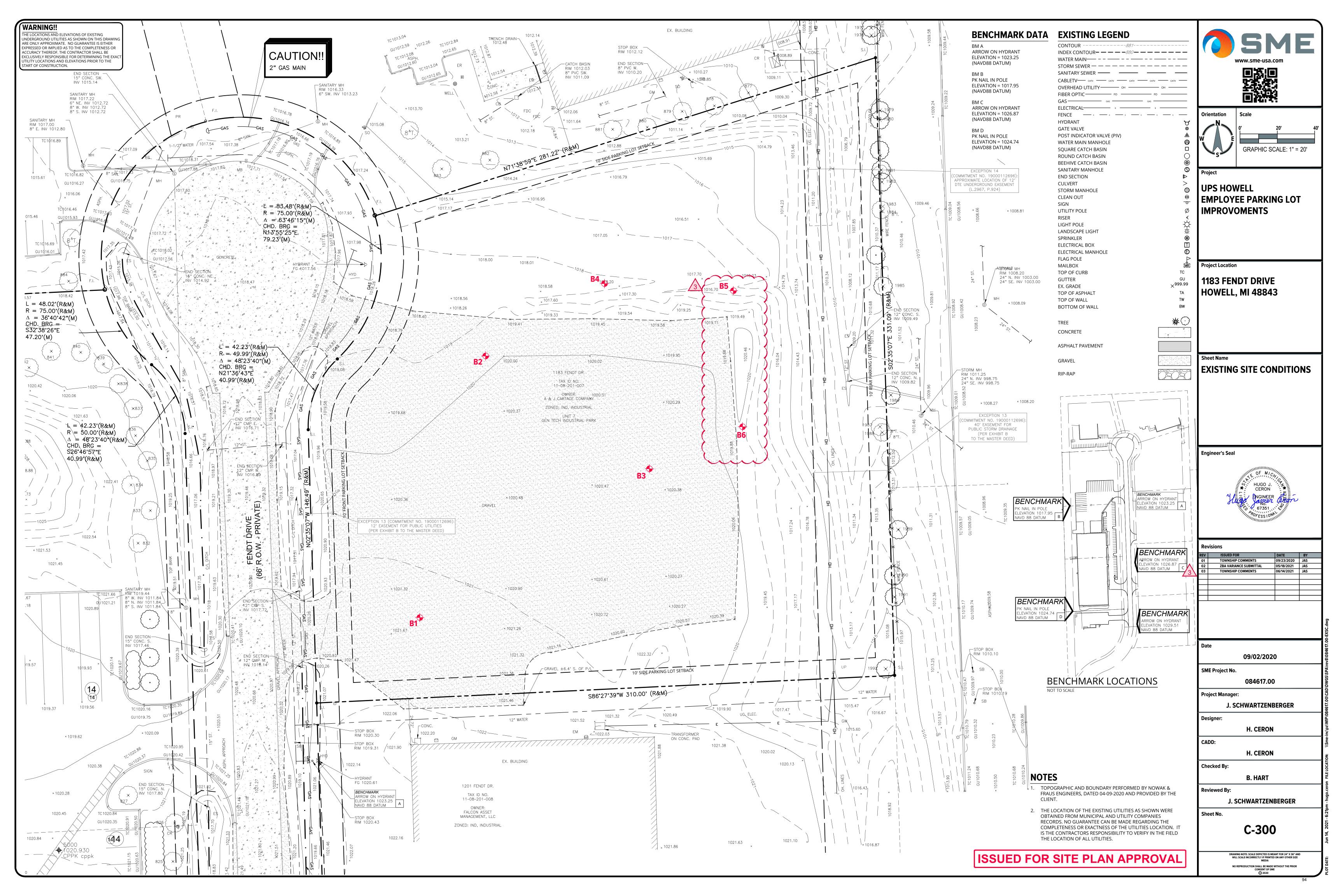
DRAWN BY: M. Carnaghi **DESIGNED BY:**

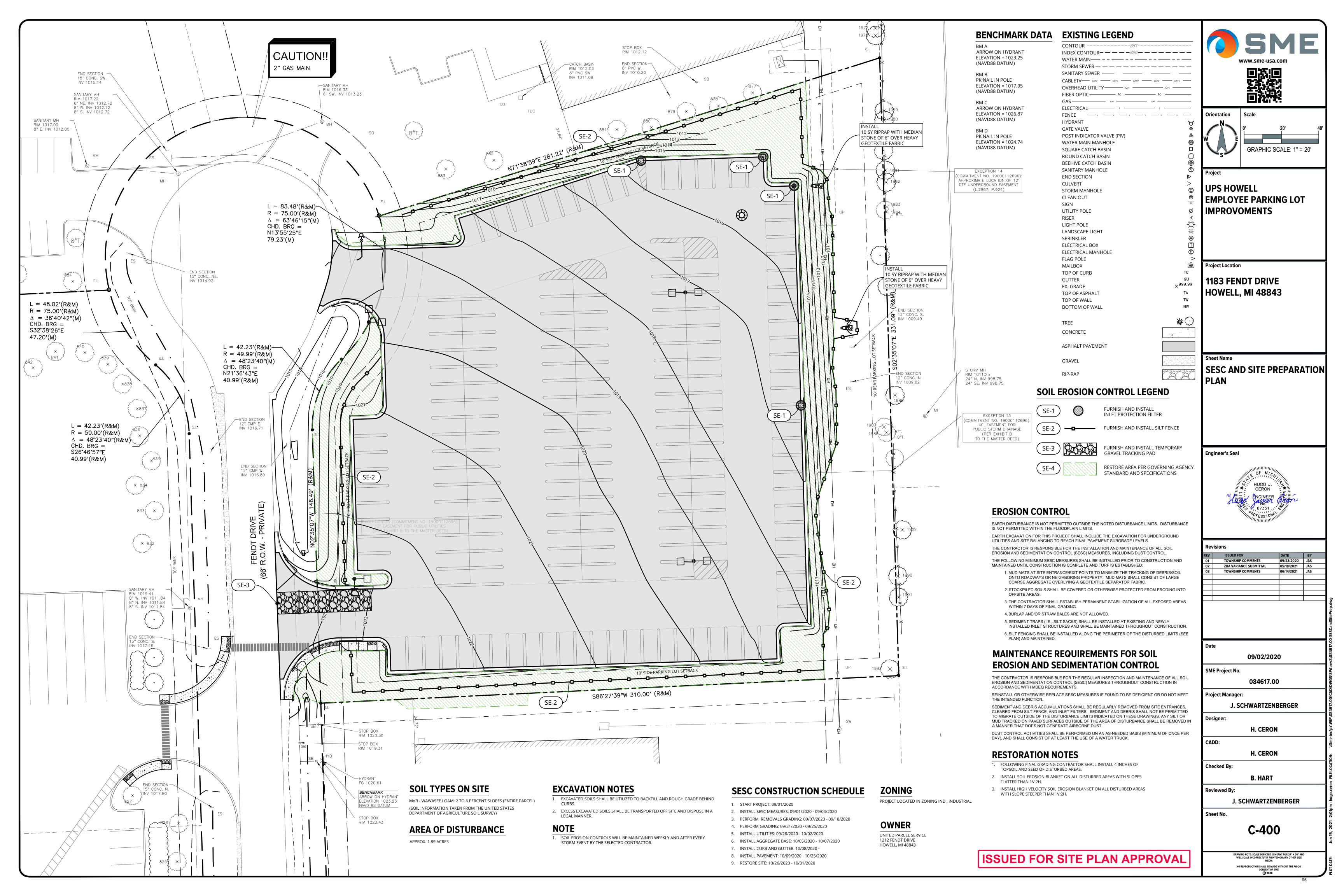
APPROVED BY: K. Navaroli

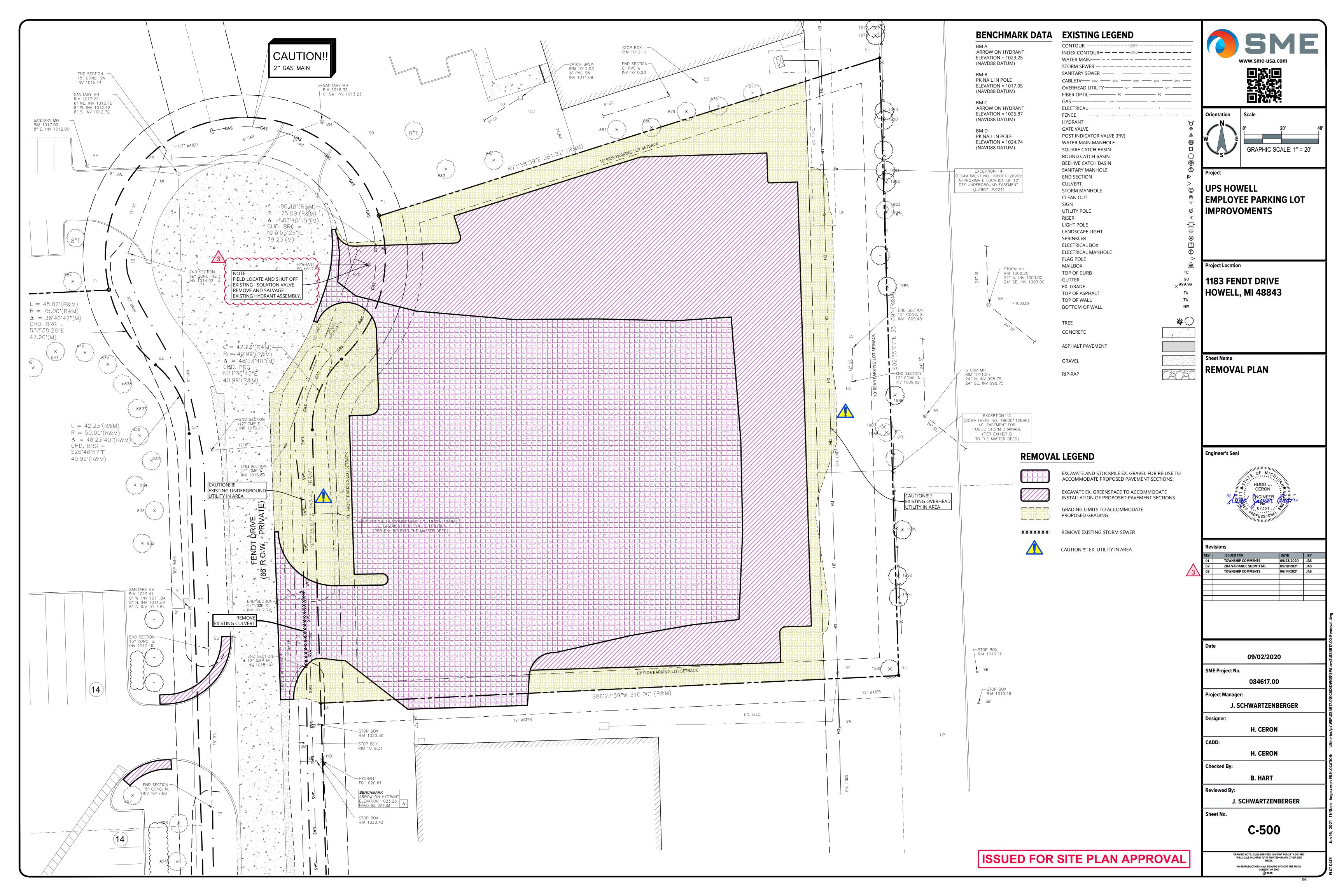
DATE: March 27, 2020 SCALE: 1'' = 30'

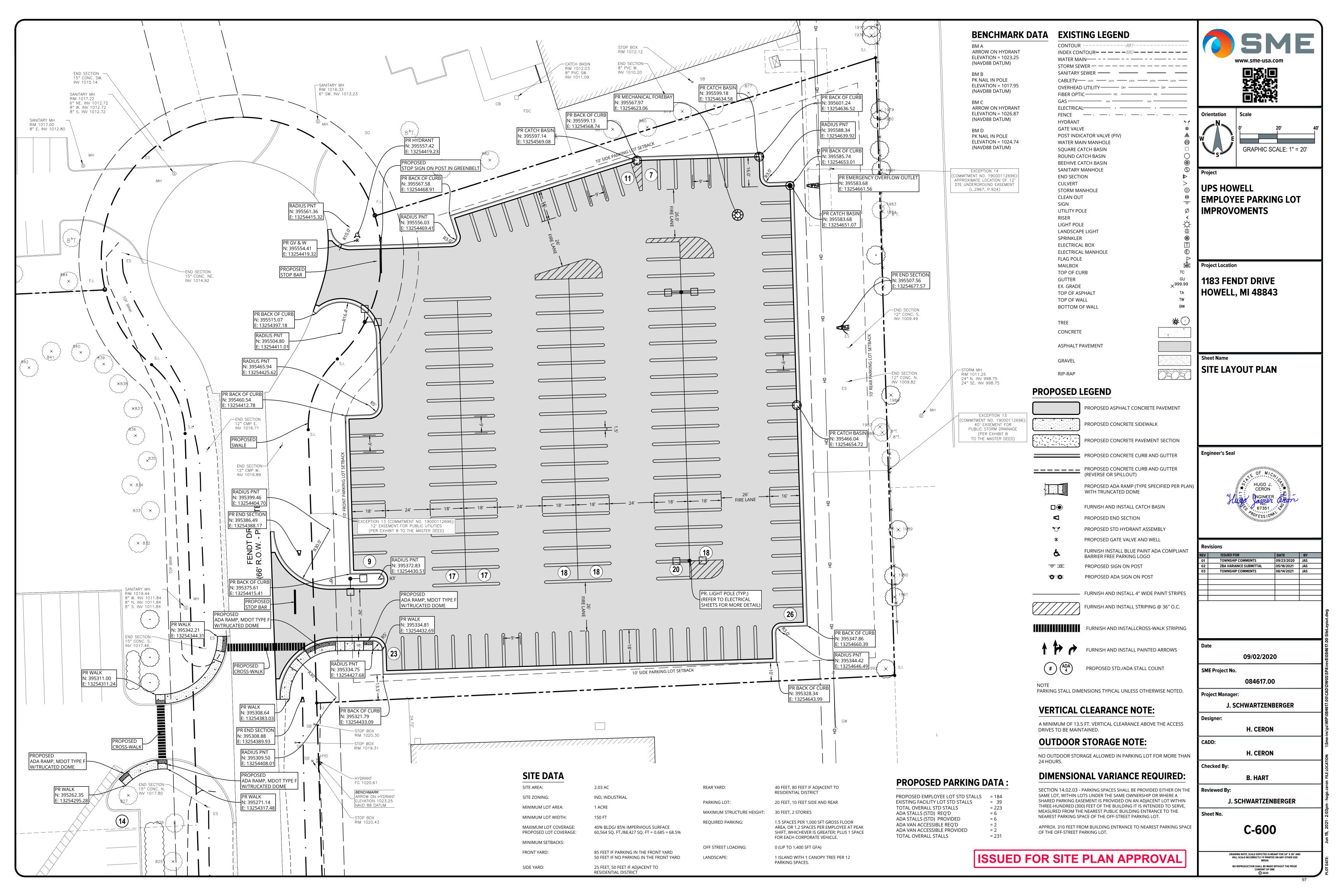
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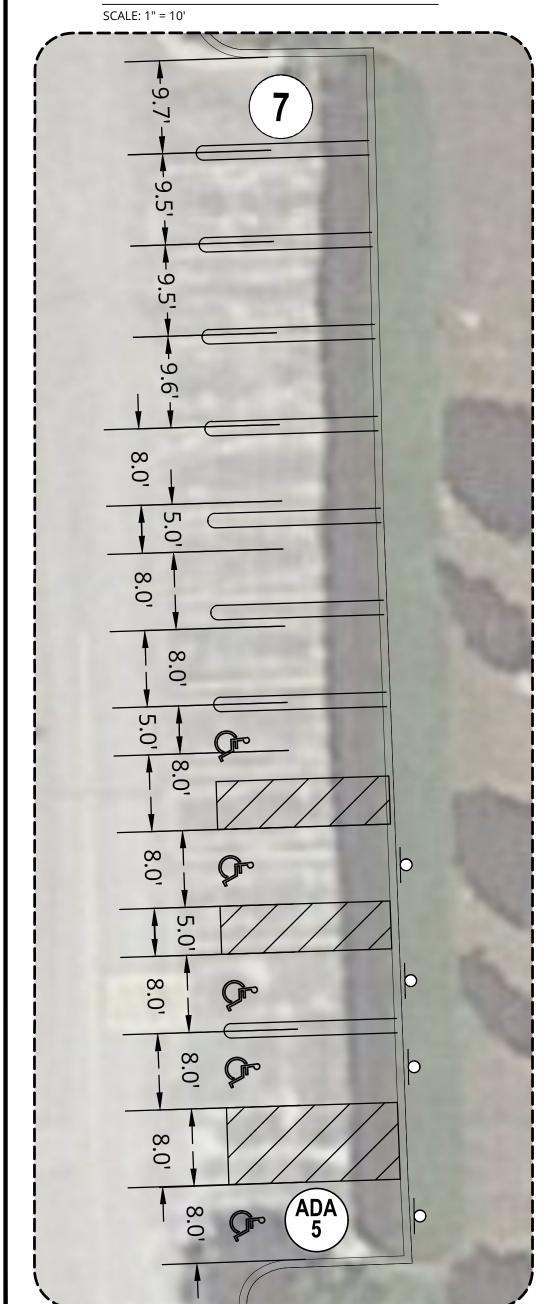






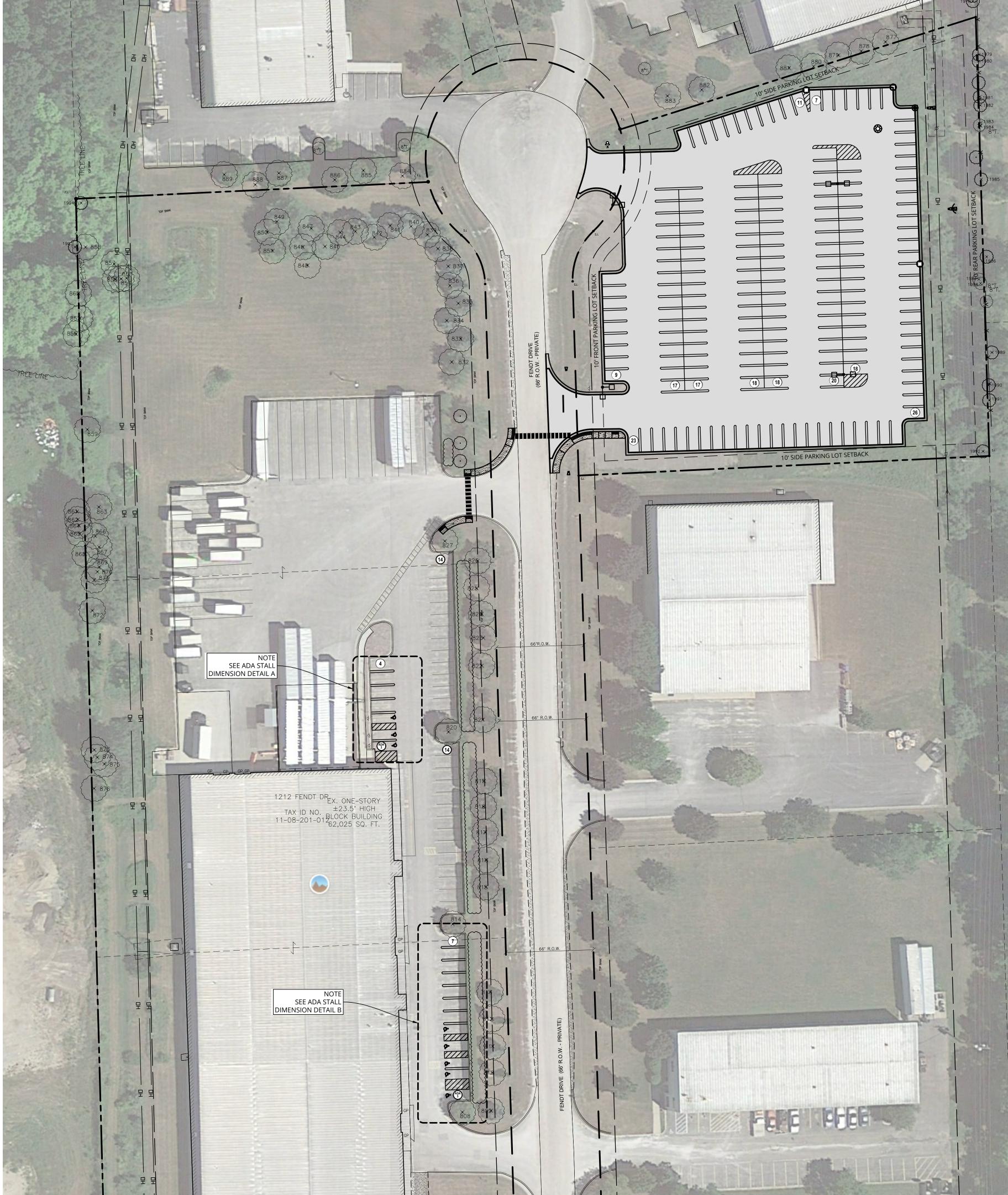


_____ **ADA STALL DIMENSION DETAIL A**



ADA STALL DIMENSION DETAIL B

SCALE: 1" = 10'



ARROW ON HYDRANT ELEVATION = 1023.25 (NAVD88 DATUM)

> BM B PK NAIL IN POLE **ELEVATION = 1017.95** (NAVD88 DATUM)

ARROW ON HYDRANT **ELEVATION = 1026.87** (NAVD88 DATUM)

BENCHMARK DATA EXISTING LEGEND

BM D PK NAIL IN POLE ELEVATION = 1024.74 (NAVD88 DATUM)

STORM SEWER — — — — — — — — — — SANITARY SEWER — — — — — — **GATE VALVE** POST INDICATOR VALVE (PIV)

WATER MAIN MANHOLE SQUARE CATCH BASIN ROUND CATCH BASIN BEEHIVE CATCH BASIN SANITARY MANHOLE **END SECTION** CULVERT STORM MANHOLE CLEAN OUT SIGN UTILITY POLE RISER LIGHT POLE LANDSCAPE LIGHT SPRINKLER **ELECTRICAL BOX** ELECTRICAL MANHOLE **FLAG POLE** MAILBOX TOP OF CURB **GUTTER** EX. GRADE TOP OF ASPHALT TOP OF WALL

BOTTOM OF WALL TREE CONCRETE

ASPHALT PAVEMENT GRAVEL

PROPOSED LEGEND

RIP-RAP

PROPOSED ASPHALT CONCRETE PAVEMENT

PROPOSED CONCRETE SIDEWALK

PROPOSED CONCRETE PAVEMENT SECTION PROPOSED CONCRETE CURB AND GUTTER

PROPOSED CONCRETE CURB AND GUTTER (REVERSE OR SPILLOUT) PROPOSED ADA RAMP (TYPE SPECIFIED PER PLAN) WITH TRUNCATED DOME

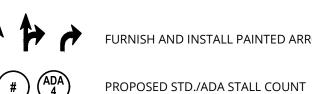
FURNISH AND INSTALL CATCH BASIN PROPOSED END SECTION

PROPOSED STD HYDRANT ASSEMBLY PROPOSED GATE VALVE AND WELL FURNISH INSTALL BLUE PAINT ADA COMPLIANT BARRIER FREE PARKING LOGO

PROPOSED SIGN ON POST PROPOSED ADA SIGN ON POST

—— FURNISH AND INSTALL 4" WIDE PAINT STRIPES FURNISH AND INSTALL STRIPING @ 36" O.C.

FURNISH AND INSTALLCROSS-WALK STRIPING



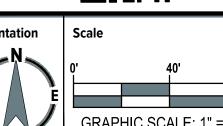
FURNISH AND INSTALL PAINTED ARROWS

PROPOSED PARKING DATA:

PROPOSED EMPLOYEE LOT STD STALLS = 184 EXISTING FACILITY LOT STD STALLS = 39 TOTAL OVERALL STD STALLS ADA STALLS (STD) REQ'D ADA STALLS (STD) PROVIDED ADA VAN ACCESSIBLE REQ'D ADA VAN ACCESSIBLE PROVIDED

= 2 = 2 TOTAL OVERALL STALLS





UPS HOWELL EMPLOYEE PARKING LOT **IMPROVOMENTS**

Project Location

1183 FENDT DRIVE **HOWELL, MI 48843**

OVERALL STRIPING PLAN

Engineer's Seal



visions		
ISSUED FOR	DATE	BY
TOWNSHIP COMMENTS	09/23/2020	JAS
ZBA VARIANCE SUBMITTAL	05/18/2021	JAS
TOWNSHIP COMMENTS	06/14/2021	JAS

09/02/2020

SME Project No. 084617.00

Project Manager: J. SCHWARTZENBERGER

Designer: H. CERON

CADD: H. CERON

Checked By: **B. HART**

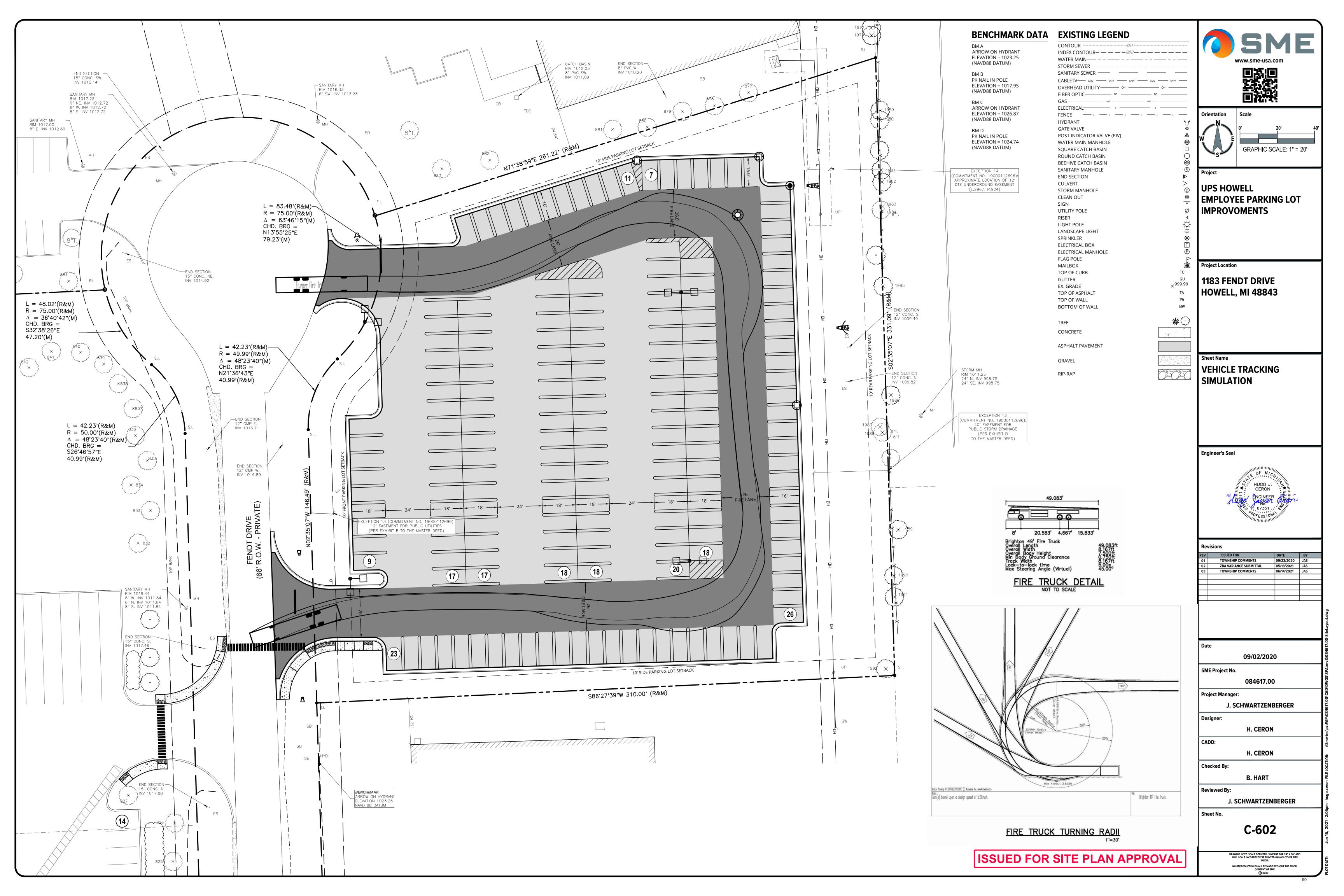
Reviewed By: J. SCHWARTZENBERGER

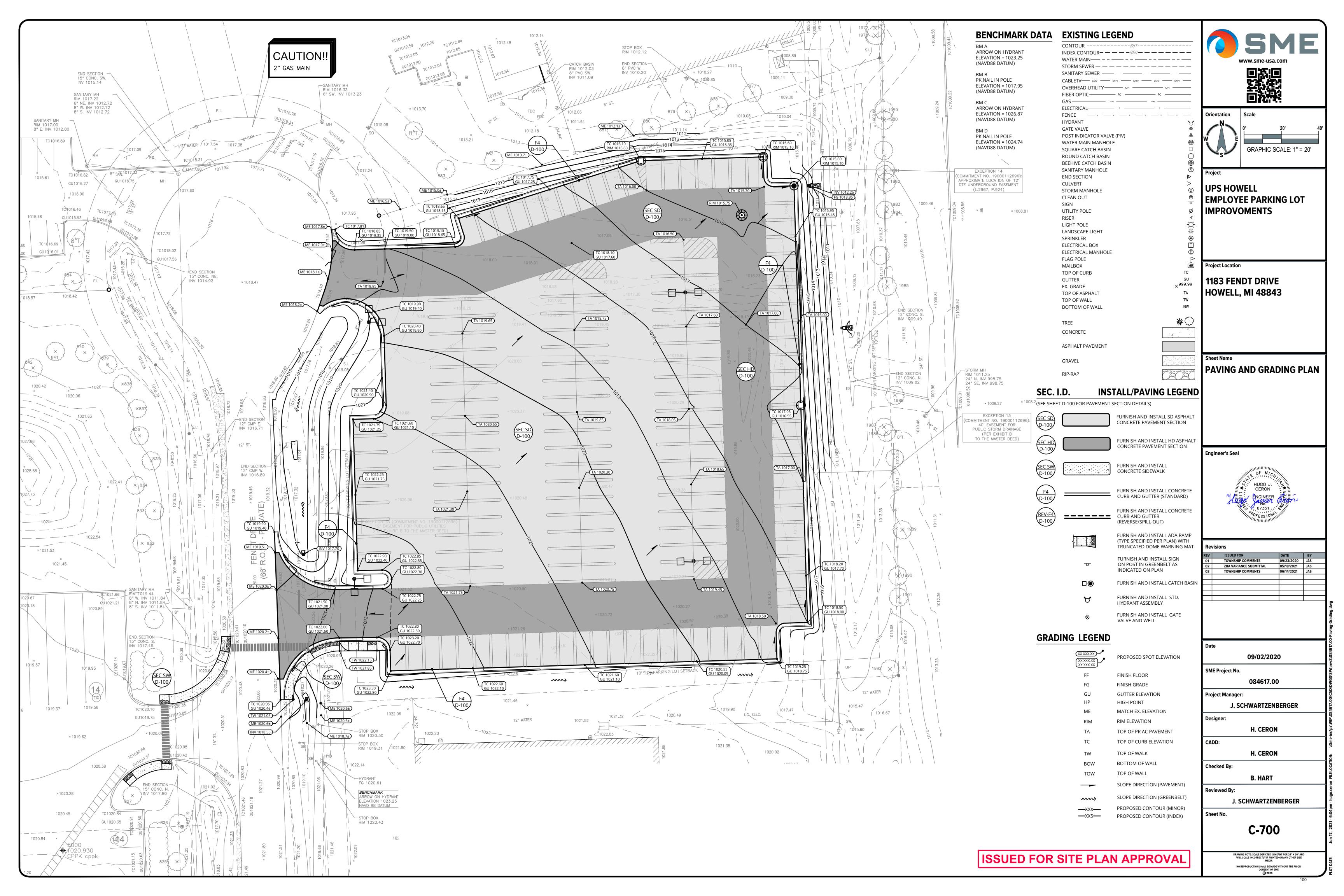
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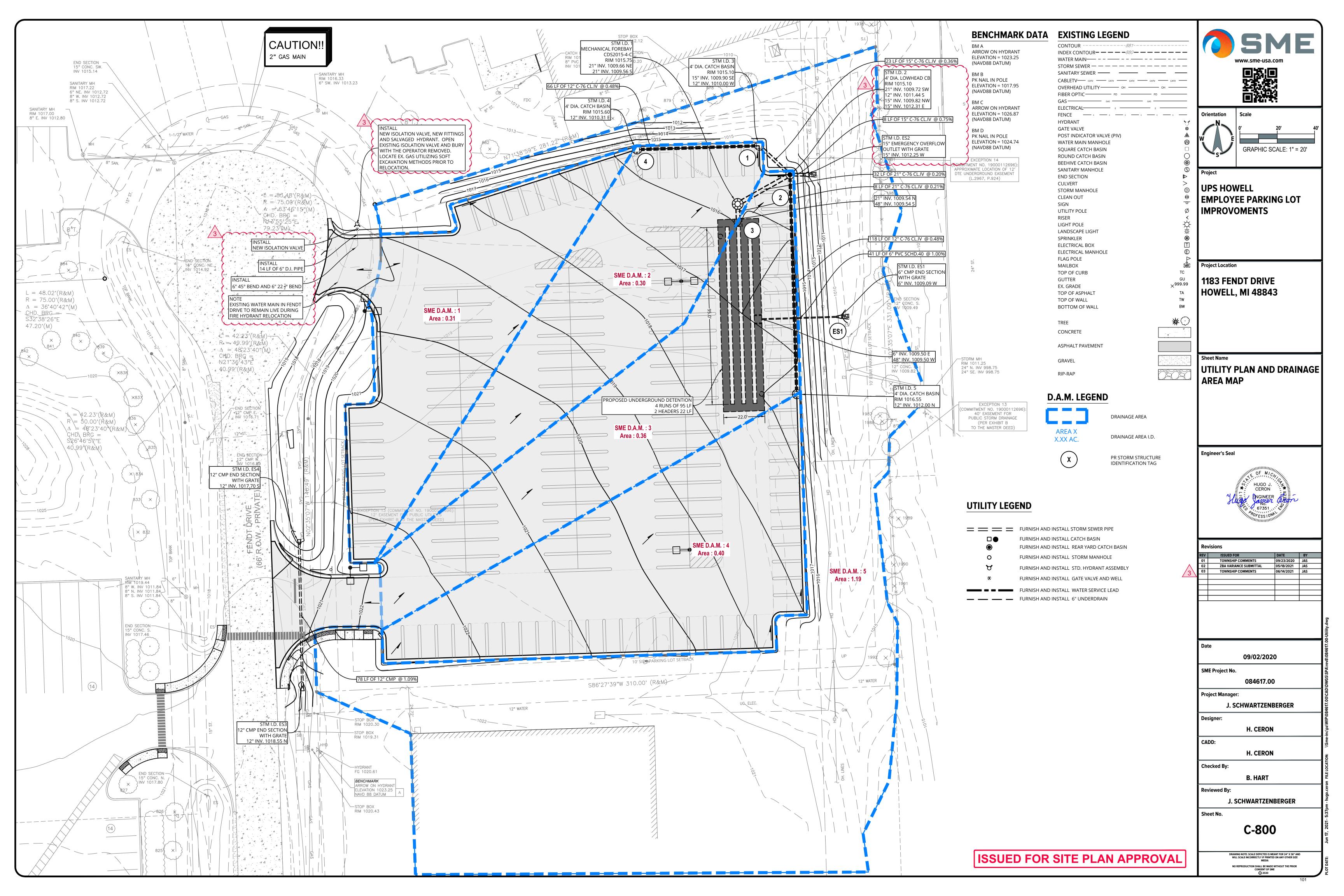
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR CONSENT OF SME

(3) 2020

C-601







UPS Hov	well Employ	ee Parking	g Lot Impr	ovements				1=	a/(Tc+b)																	
SME Pro	oject No.	084617.00).	Tc =	15	Min.		a =	175	5																
				n=	0.013			b =	25	5																
To Structure	From Structure	Area Drainage	Drainage Area (Acres)		Equivalent Area (C*A) (Acres)	Intal Area	Time of Concentration (Minutes)	Rainfall Intensity (in/hr)	Actual Discharge (CFS)	Pipe Size (in)	Pipe Size (ft)		P Wetted Perimeter	Pipe Design Slope (%)	HG Slope (%)	Pipe Length (ft)	Flow Full Velocity (ft/sec)	Time of Flow (min)	Full Pipe Capacity (CFS)	Upper RIM Elevation (ft)	Lower RIM Elevation (ft)	Invert Elev. Upper End (ft)	Invert Elev. Lower End (ft)	HG Elev Top	Cover (ft)	Diff Ri to HG (
4	3	1	0.31	0.94	0.291	0.291	15.00	4.375	1.275	12	1.00	0.79	3.14	0.48	0.13	66	3.14	0.350	2.47	1015.60	1015.10	1010.31	1,010.00	1011.22	4.29	4.38
3	2	2	0.30	0.94	0.282	0.573	15.35	4.337	2.487	15	1.25	1.23	3.93	0.36	0.15	23	3.16	0.121	3.88	1015.10	1015.10	1009.90	1,009.82	1011.13	3.95	3.97
5	2	4	0.40	0.94	0.376	0.376	15.00	4.375	1.645	12	1.00	0.79	3.14	0.48	0.21	118	3.14	0.626	2.47	1016.55	1015.10	1012.00	1,011.44	1011.69	3.55	4.86
2	1	3	0.36	0.94	0.338	1.288	16.10	4.258	5.484	21	1.75	2.41	5.50	0.20	0.12	32	2.95	0.181	7.09	1015.10	1015.75	1009.72	1,009.66	1011.10	3.63	4.00
1	UDS	-	0.00	0.94	0.000	1.288	16.28	4.240	5.460	21	1.75	2.41	5.50	0.20	0.12	8	2.95	0.045	7.09	1016.70	1009.30	1009.50	1,009.30	1010.71	5.45	5.99
UDS	ES1	-	0.00	0.94	0.000	1.288	16.32	4.235	5.454	6	0.50	0.20	1.57	1.00	45.34	41	2.86	0.239	0.561	1016.70	~~~	1009.50	1,009.09	1028.08	6.70	0.00
2	E. Overflow	3	0.36	0.94	0.338	1.288	16.10	4.258	5.484	15	1.25	1.23	3.93	0.75	0.72	8	4.56	0.029	5.59	1015.10		1021.31	1,012.25	1013.31	-7.46	1.79

1020

1015

1010

1005

BENCHMARK DATA

ARROW ON HYDRANT **ELEVATION = 1023.25**

PK NAIL IN POLE **ELEVATION = 1017.95** (NAVD88 DATUM)

(NAVD88 DATUM)

ARROW ON HYDRANT **ELEVATION = 1026.87** (NAVD88 DATUM)

←EX. GRADE

S SW

OWHEAD 5.10 1009.72 1011.44 1009.82

STM | 4' DIA | 21" IN | 12" IN | 15" IN

→ PR. GRADE

15" EMERGENCY OVERFLOW

8 LF OF 15" C-76 CL.IV @ 0.75%

OUTLET WITH GRATE

15" INV. 1012.25 W

RIM 1013.61

PK NAIL IN POLE ELEVATION = 1024.74 (NAVD88 DATUM)

NOTES

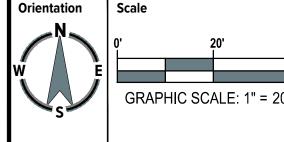
- 1. ALL CATCH BASINS AND INLETS WILL HAVE 6" UNDERDRAIN, TAP AT ONE LOCATION.
 - 2. EACH UTILITY CROSSING SHALL MAINTAIN AN 18" VERTICAL
- 3. ALL UTILITIES WITHIN, OR AT MOST 3 FEET FROM, PAVEMENT LIMITS SHALL BE BACKFILLED WITH COMPACTED SAND.
- 4. *ALL FRANCHISE UTILITY LOCATIONS SHALL BE VERIFIED WITH THE FRANCHISE UTILITY OWNERS.
- 5. ALL UTILITIES MUST BE CONSTRUCTED PER GENOA TOWNSHIP STANDARDS AND SPECIFICATIONS. 6. LOCATIONS OF HYDRANT AND FIRE DEPARTMENT CONNECTION TO
- BE APPROVED BY FIRE CHIEF.
- 7. ALL CATCH BASINS TO HAVE 2' SUMP MINIMUM. 8. ALL CATCH BASINS TO HAVE E.J.I.W. 7065-T1-M1.
- 9. ALL STORM SEWER MANHOLES TO HAVE E.J.I.W. 1040 TYPE C FRAME AND COVER.

1020

1015

1010

1005



UPS HOWELL EMPLOYEE PARKING LOT IMPROVOMENTS

Project Location

1183 FENDT DRIVE HOWELL, MI 48843

STORM SEWER PROFILES

Engineer's Seal



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	J. SCHWARTZENE	BERGER	1617
			084
e:	signer:		M

H. CERON

CADD: H. CERON

Checked By:

B. HART

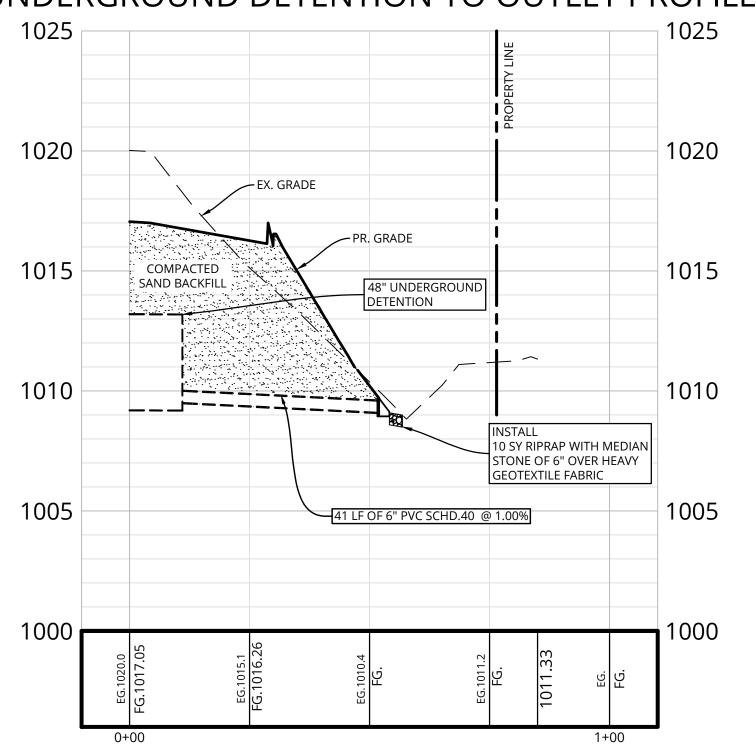
J. SCHWARTZENBERGER

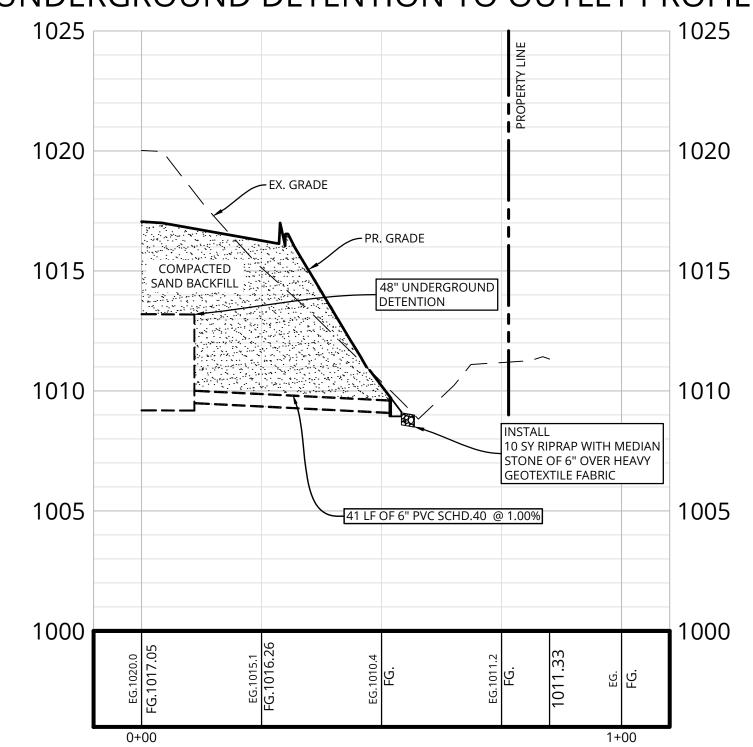
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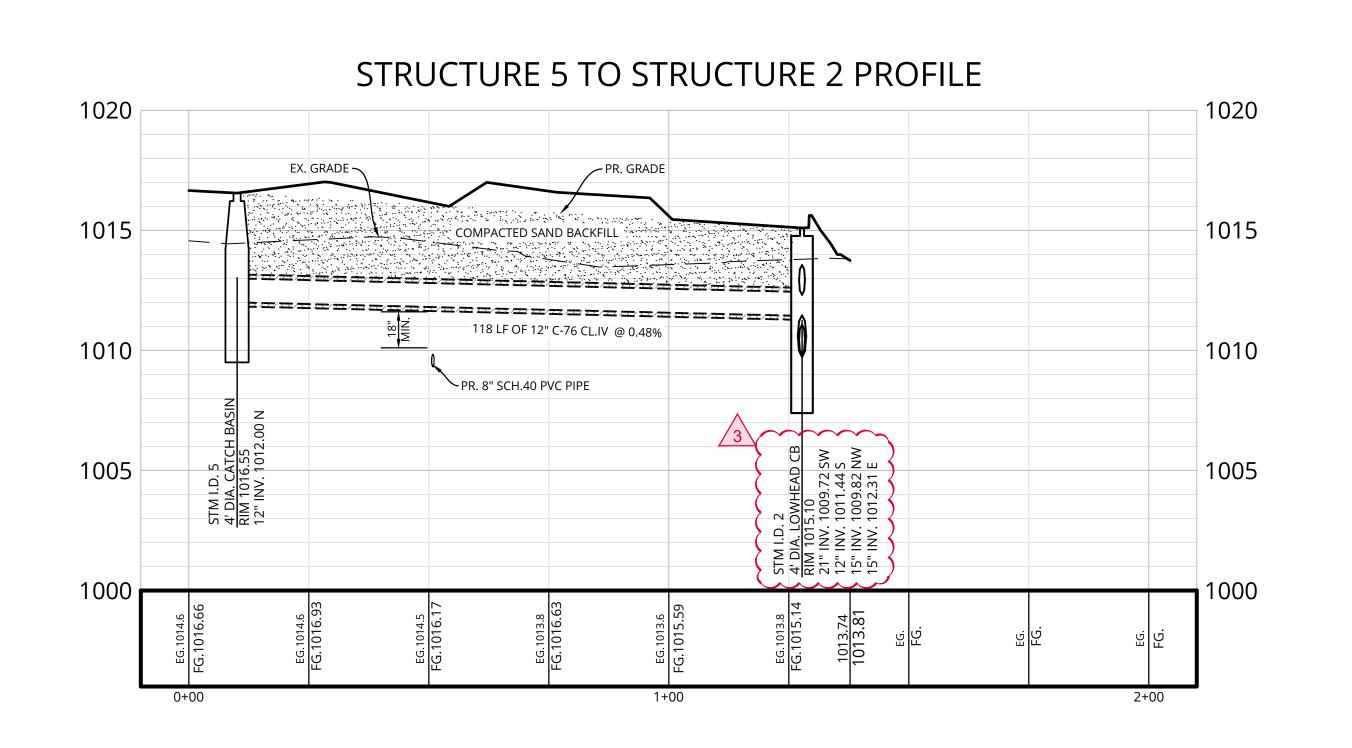
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR CONSENT OF SME ② 2020

C-801

UNDERGROUND DETENTION TO OUTLET PROFILE STRUCTURE 2 TO EMERGENCY OUTLET PROFILE 1025







STRUCTURE 4 TO UNDERGROUND DETENTION PROFILE

PR. GRADE -

EX. GRADE

COMPACTED

23 LF OF 15" C-76 CL.IV @ 0.36%

SAND BACKFILL

66 LF OF 12" C-76 CL.IV @ 0.48%

48" UNDERGROUND

COMPACTED

SAND BACKFILL

STM I.D. 3
4' DIA. CA
RIM 1015
15" INV. 1
21" INV. 1
21" INV. 1
15" INV. 1
21" INV. 1
21" INV. 1
21" INV. 1

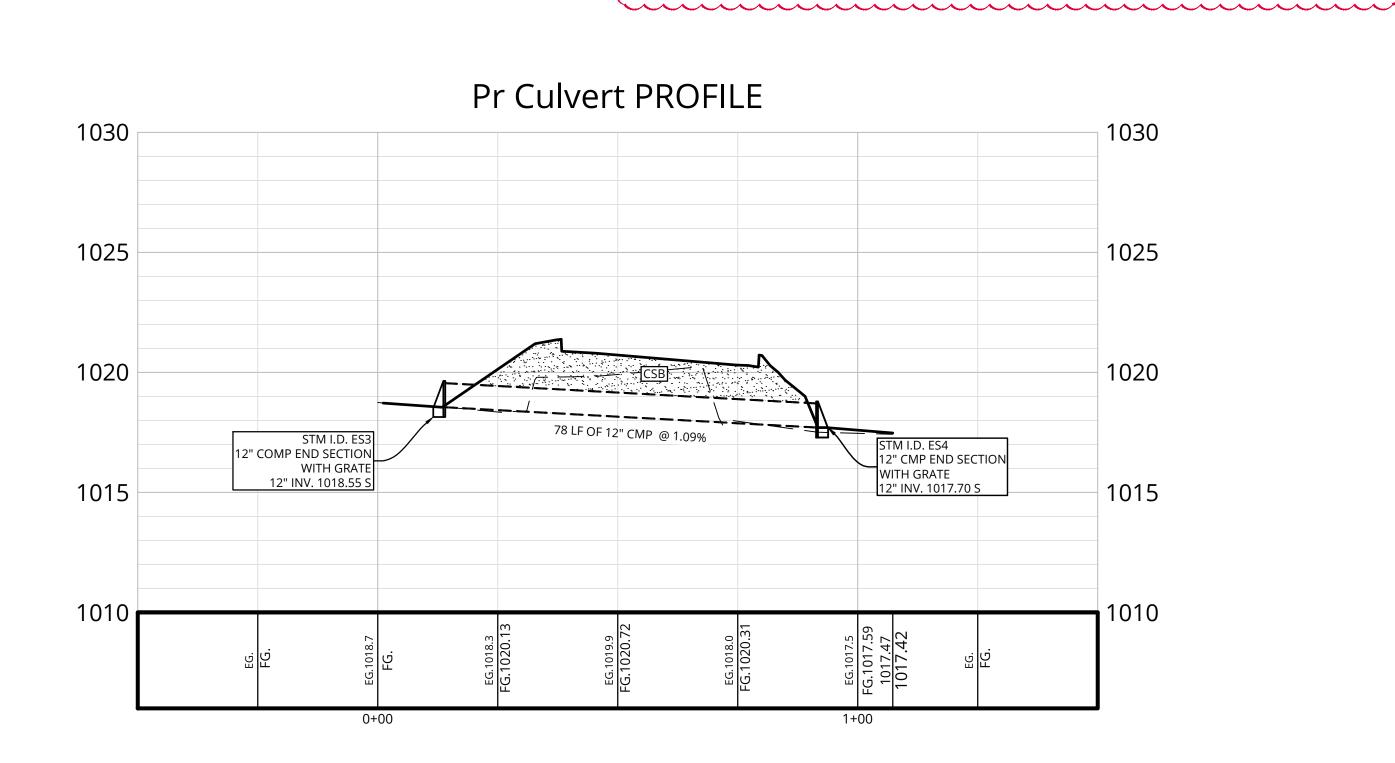
DETENTION

COMPACTED

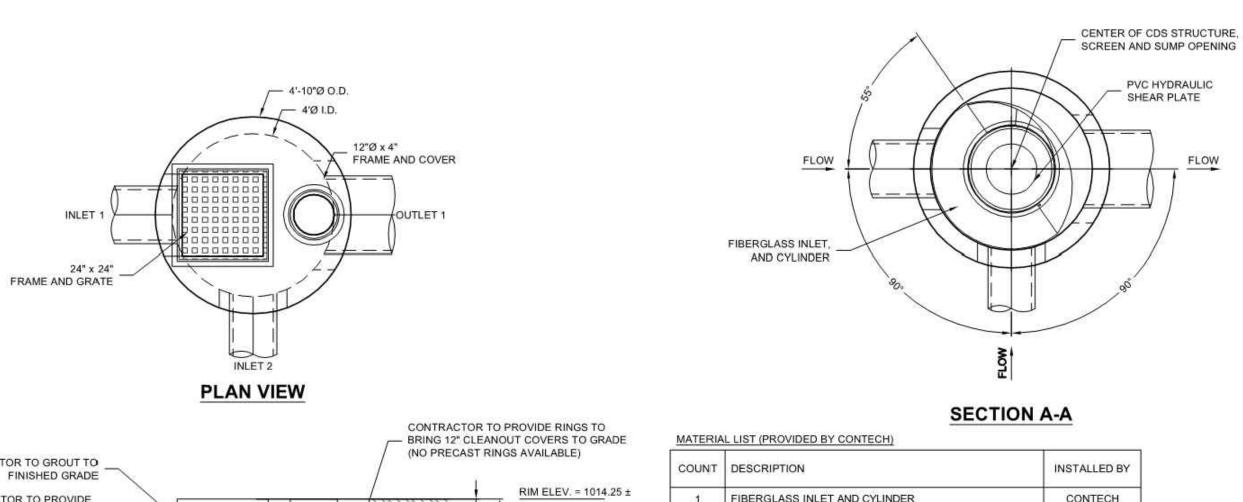
SAND BACKFILL

8 LF OF 21" C-76 CL.IV @ 0.21%

32 <u>LF OF 21" C-76 CL.IV @ 0.20%</u>



1020



	CARLOTT CONT.	The state of the s
RIM ELEV. = 1014.25 ±	1	FIBERGLASS INLET AND
	1	2400 micron, 2' O.D. x 1.6
TOP OF STRUCTURE	1	3/16 INCH PVC HYDRAUL
ELEV. = 1013.24	1	SEALANT FOR JOINTS
	1	24" x 24" FRAME & GRAT
	1	12"Ø x 4" FRAME & COVE
	* SEE HY	DRAULIC SHEAR PLATE DE
INLET PIPE 1 INV. ELEV. = 1009.17		
INLET PIPE 2 INV. ELEV. = 1009.17	GENERAL	NOTES
OUTLET PIPE 1	1. CONTEC	CH TO PROVIDE ALL MATER

- 21"Ø RCP (32"Ø OPENING)

POOL ELEV.

PVC HYDRAULIC

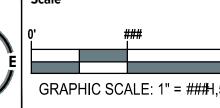
SHEAR PLATE

COUNT DESCRIPTION INSTALLED BY I FIBERGLASS INLET AND CYLINDER CONTECH 1 2400 micron, 2' O.D. x 1.67 SEP. SCREEN CONTECH 1 2400 micron, 2' O.D. x 1.67 SEP. SCREEN CONTECH 1 3/16 INCH PVC HYDRAULIC SHEAR PLATE * CONTECH 1 22" x 4" FRAME & GRATE, EJ#45624050A01, OR EQUIV. CONTRACTOR 1 12" x 4" FRAME & COVER, EJ#41610201, OR EQUIV. C	OUT COVERS TO GRADE	MATERIAL LIST (PROVIDED B	Y CONTECH)				
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INV. ELEV. = 1009.07 2. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www. ContechEs.com 3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT. 4. STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO MS-06 AND BE CAST WITH THE CONTECH LOGO. 5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING. 6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD. INSTALLATION NOTES A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD. B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE. C. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE. C. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE GENTERLINES TO MATCH PIPE OPENING CENTERLINES. C. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED. STRUCTURE WEIGHT APPROXIMATE HEAVIEST PICK = 6000 LBS. STRUCTURE WEIGHT APPROXIMATE HEAVIEST PICK	INV. ELEV. = 1009.17 INLET PIPE 2						15-4 I. E
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PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES. E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED. STRUCTURE WEIGHT APPROXIMATE HEAVIEST PICK = 6000 LBS. STRUCTURE IS DELIVERED IN 3 PIECES MAX FOOTPRINT = Ø4'-10" CONTECH CONTRACT DRAWING PROJECT No. 653688 SHEET:						N. ALL	N III
MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED. STRUCTURE WEIGHT APPROXIMATE HEAVIEST PICK = 6000 LBS. STRUCTURE IS DELIVERED IN 3 PIECES MAX FOOTPRINT = Ø4'-10" CONTECH CONTRACT DRAWING DATE: 07/17/20 DESIGNED: PWV CHECKED: ### CONTECH CONTRACT DRAWING DATE: 07/17/20 DESIGNED: PWV CHECKED: ### APPROXIMATE HEAVIEST PICK = 6000 LBS. STRUCTURE IS DELIVERED IN 3 PIECES MAX FOOTPRINT = Ø4'-10" CONTECH CONTRACT DRAWING		PIPE CENTERLINES TO MATCH	PIPE OPENING CENTERLINES.	5.0			
STRUCTURE WEIGHT APPROXIMATE HEAVIEST PICK = 6000 LBS. STRUCTURE IS DELIVERED IN 3 PIECES PWV		- Law - Frank and Child an			SEDING WATER TO LEGILLINE HAVERY		DATE: S
STRUCTURE IS DELIVERED IN 3 PIECES MAX FOOTPRINT = Ø4'-10" CONTECH CONTRACT DRAWING CHECKED: ### PROJECT No.: 653688 SHEET:			- 0000 1 BG				DESIGNED: 0
MAX FOOTPRINT = Ø4'-10" CONTRACT DRAWING CONTECH CONTRACT DRAWING CONTECH CONTRACT DRAWING NCI PROJECT No.: 653688 SHEET:							
CONTRACT DRAWING LAYOUT 1A 653688 2015-4-FGIS SHEET:		MAX FOOTPRINT = Ø4'-10"	CONTECH			NCI	
						LAYOUT 1A	653688
			DRAWING				SHEET:
	-	COS ESTIMATED NET ANNI	AL SOLIDS LOAD REDUCTION				
CDS ESTIMATED NET ANNUAL SOLIDS LOAD REDUCTION			일반 20kg 이렇지 않다는 하고 있는 것이 없는 다른 전에 있는 것이 없는 것이 없는 것이다.				
CDS ESTIMATED NET ANNUAL SOLIDS LOAD REDUCTION BASED ON THE RATIONAL RAINFALL METHOD			[전환계(H) [H]				
BASED ON THE RATIONAL RAINFALL METHOD BASED ON AN AVERAGE PARTICLE SIZE OF 110 MICRONS	CAMENI		ELL MI				
BASED ON THE RATIONAL RAINFALL METHOD BASED ON AN AVERAGE PARTICLE SIZE OF 110 MICRONS UPS EMPLOYEE PARKING LOT		for SVS		9 - 1			
BASED ON THE RATIONAL RAINFALL METHOD BASED ON AN AVERAGE PARTICLE SIZE OF 110 MICRONS	Area	1.32 acres	CDS Model 2015	~, o !			
BASED ON THE RATIONAL RAINFALL METHOD BASED ON AN AVERAGE PARTICLE SIZE OF 110 MICRONS UPS EMPLOYEE PARKING LOT HOWELL, MI For SYSTEM: WQU GDS	Weighted C			crons			
BASED ON THE RATIONAL RAINFALL METHOD BASED ON AN AVERAGE PARTICLE SIZE OF 110 MICRONS UPS EMPLOYEE PARKING LOT HOWELL, MI for SYSTEM: WQU Area 1.32 acres CDS Model 2015							
BASED ON THE RATIONAL RAINFALL METHOD BASED ON AN AVERAGE PARTICLE SIZE OF 110 MICRONS UPS EMPLOYEE PARKING LOT HOWELL, MI for SYSTEM: WQU Area 1.32 acres CDS Model 2015							

		Existin	ng Site Con	ditions			
	SFT	С					Compound C
Ex. Greenspace	64,620	0.3					0.551
Ex. Gravel	40,835	0.8					
Ex. Building	17,411	0.9					
Tributary Area (SFT)	122,866	ft					
Tributary Area (A)	2.82	Acres					
Run-off Coefficient (C)	0.551						
Design Constant (K1)	1.555		K1 = A x C				
Allowable Outflow Rate (Q0)	0.564	cfs	Q0 = 0.2 c	fs/acre x A			
ntensity			I = 275/(t+	-25)			
	1	2	3	4	5	6	7
	Duration (m)	Duration (s)	Intensity	col 2x col 3	Col. 4 x K1	Outflow Volume (CFT)	Storage Volume (CFT)
	.5	300	9.17	2,750	4,275	169	4,106
	10	600	7.86	4,714	7,329	338	6,991
	15	900	6.88	6,188	9,620	508	9,112
	20	1,200	6.11	7,333	11,401	677	10,724
	30	1,800	5.00	9,000	13,992	1,015	12,977
	60	3,600	3.24	11,647	18,108	2,031	16,077
	90	5,400	2.39	12,913	20,076	3,046	17,030
	120	7,200	1.90	13,655	21,230	4,062	17,168
	180	10,800	1.34	14,488	22,524	6,093	16,432

		Propos	ed Improv	ements			
	SFT	С					Compound C
Ex. Greenspace	44,891	0.3					0.681
Proposed Pavement	60,564	0.9					
Ex. Building	17,411	0.9	-				
Tributary Area (SFT)	122,866						
Tributary Area (A)	2.82	Acres					
Run-off Coefficient (C)	0.681						
Design Constant (K1)	1.920		K1 = A x C				
Design Outflow Rate (Q0)	0.561	cfs	Q0 = 0.2 cfs/acre x A				
Intensity			I = 275/(t+	-25)			
	1	2	3	4	5	6	7
	Duration (m)	Duration (s)	Intensity	col 2x col 3	Col. 4 x K1	Outflow Volume (CFT)	Storage Volume (CFT)
	5	300	9.17	2,750	5,281	168	5,112
	10	600	7.86	4,714	9,052	337	8,716
	15	900	6.88	6,188	11,881	505	11,376
	20	1,200	6.11	7,333	14,082	673	13,408
	30	1,800	5.00	9,000	17,282	1,010	16,272
	60	3,600	3.24	11,647	22,365	2,020	20,345
	90	5,400	2.39	12,913	24,796	3,029	21,766
	120	7,200	1.90	13,655	26,221	4,039	22,182
	180	10,800	1.34	14,488	27,820	6,059	21,761





UPS HOWELL EMPLOYEE PARKING LOT IMPROVOMENTS

Project Location

1183 FENDT DRIVE **HOWELL, MI 48843**

MECHANICAL FOREBAY AND **DETENTION CALCULATIONS**

Engineer's Seal

5,329 5,329



Rev	visions		
REV	ISSUED FOR	DATE	BY
01	TOWNSHIP COMMENTS	09/23/2020	JAS
02	ZBA VARIANCE SUBMITTAL	05/18/2021	JAS
03	TOWNSHIP COMMENTS	06/14/2021	JAS
	_		

	09/02/2020	
Project No.		

084617.00 Project Manager:

J. SCHWARTZENBERGER Designer:

H. CERON CADD:

Checked By:

Reviewed By: J. SCHWARTZENBERGER

Sheet No.

C-802

H. CERON

B. HART

Project:	UPS Howell Employee Parking Lot	ONENTERNI
Location:	Howell, MI	CNINTECH
Prepared For:	SME	ENGINEERED SOLUTIONS

Purpose: To calculate the first flush runoff flow rate (WQF) over a given site area. In this situation the WQV to be analyzed is the runoff produced by the first 0.5" of rainfall.

CONTRACTOR TO GROUT TO

CONTRACTOR TO PROVIDE GRADE RING/RISER

INLET 1 15"Ø RCP –

(24"Ø OPENING)

FINISHED GRADE

SEPARATION -CYLINDER & INLET

(20"Ø OPENING)

OIL BAFFLE -

SEPARATION

SOLIDS STORAGE _ SUMP

SCREEN

ELEVATION VIEW

12"Ø RCP

Reference: United States Department of Agriculture Natural Resources Conservation Service TR-55

Given:	Structure Name	A (acres)	A (miles²)	Runoff Coefficient	Percent Imp. (%)*	t _c (min)	t _c (hr)
	WQU	1.32	0.00206	0.94	98.67	17.0	0.283
			0.00000		-33.33		0.000
			0.00000		-50.00		0.000

* Assumes runoff coefficient of 0.3 for pervious areas and 0.9 for impervious areas.

Procedure: The Water Quality Flow (WQF) is calculated using the Water Quality Volume (WQV). This WQV, converted to watershed inches, is substituted for the runoff depth (Q) in the Natural Resources Conservation Service (formerly Soil Conservation Service), TR-55 Gr Compute WQV in watershed inches using the following equation:

WQV = P * R

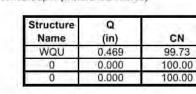
where: WQV = water quality volume (watershed inches) P = design precipitation (inches) R = volumetric runoff coefficient = 0.05 + 0.009(I) I = percent impervious cover

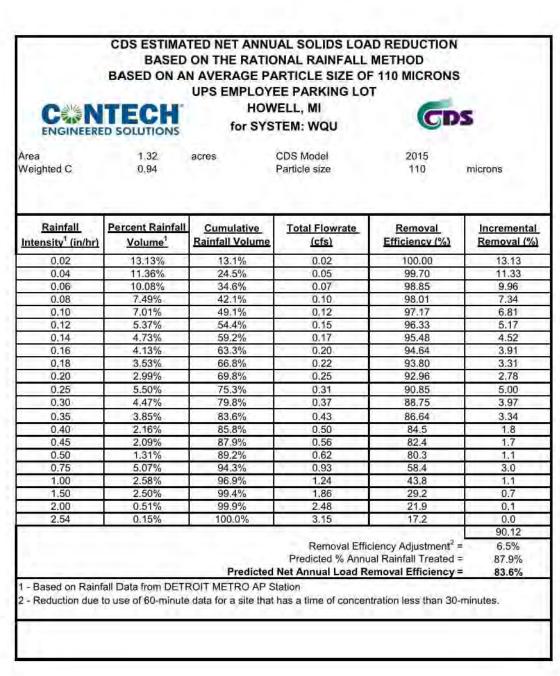
wqv	WQV (in)	P (in)	R	Percent Imp. (%)	Structure Name
	0.469	0.5	0.938	98.67	WQU
1-1	0.000		-0.250	-33.33	0
2.7	0.000		-0.400	-50.00	0

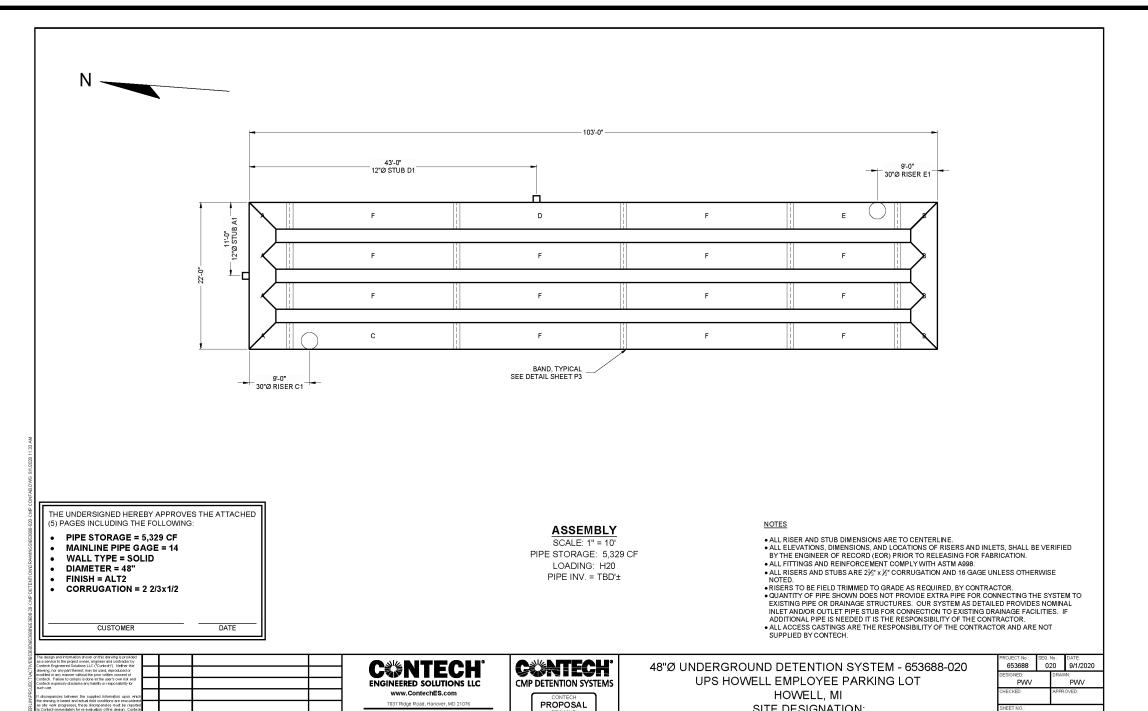
Compute the NRCS Runoff Curve Number (CN) using the following equation, or graphically using Figure 2-1 from TR-55 (USDA, 1986):

 $CN = 1000 / [10+5P+10Q-10(Q^2+1.25QP)^{1/2}]$

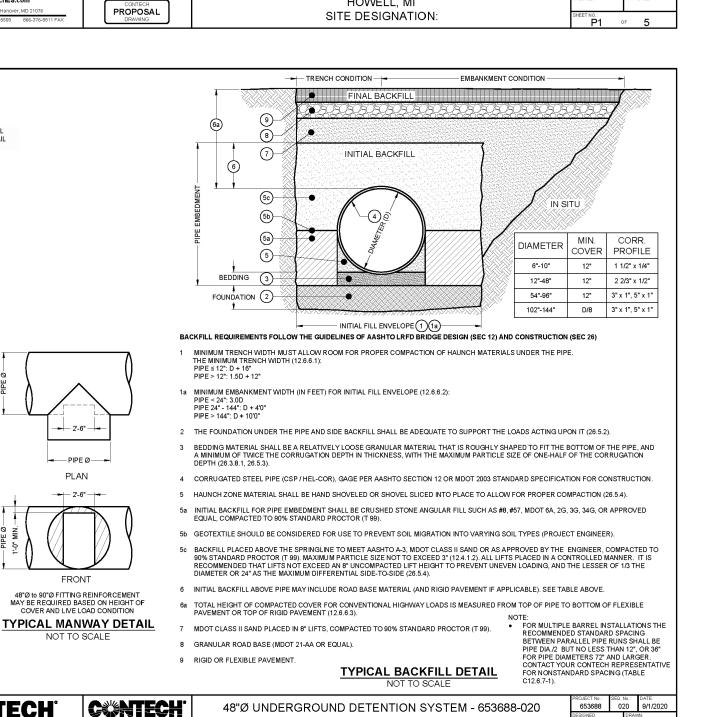
where: CN = Runoff Curve Number P = design precipitation (inches) Q = runoff depth (watershed inches)



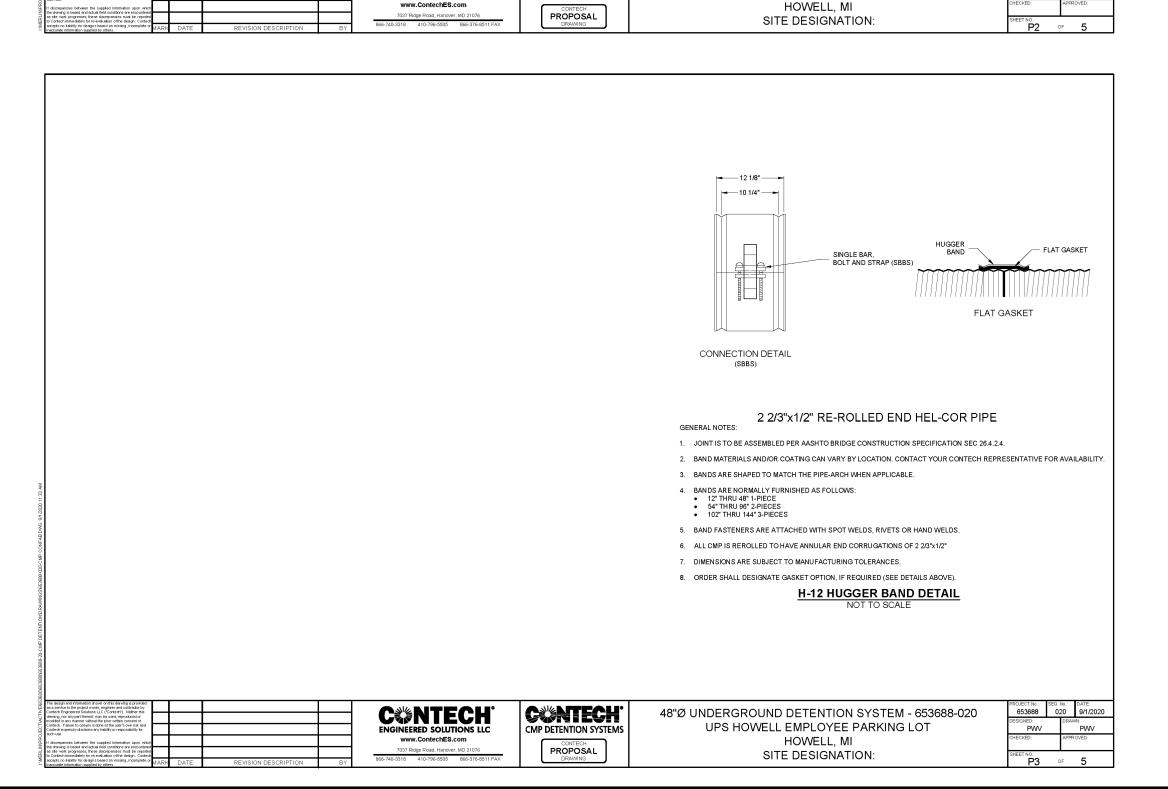




NOTE: IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS REQUIRED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.



UPS HOWELL EMPLOYEE PARKING LOT



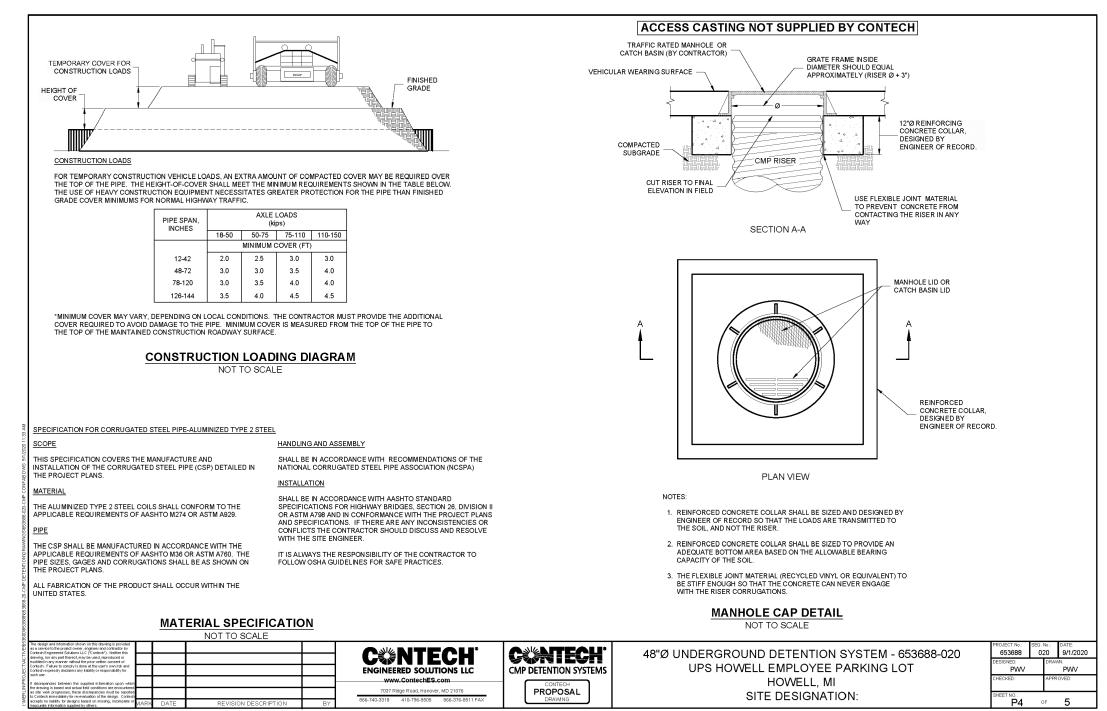
MP DETENTION SYSTEMS

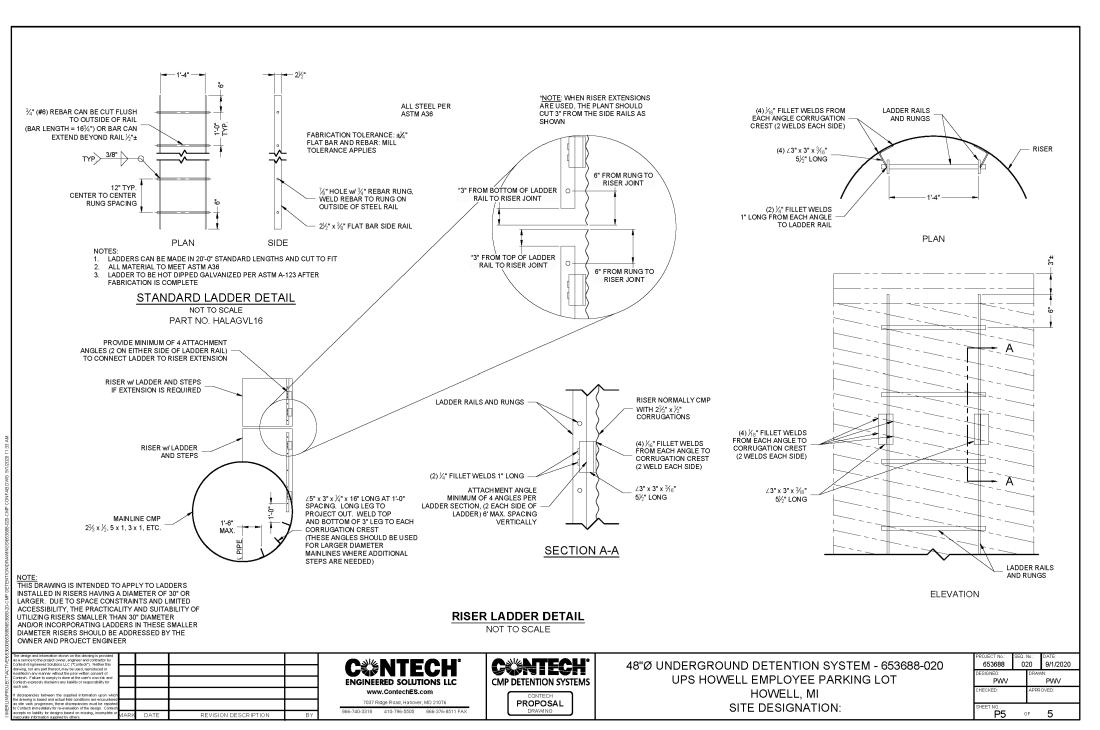
PLAN

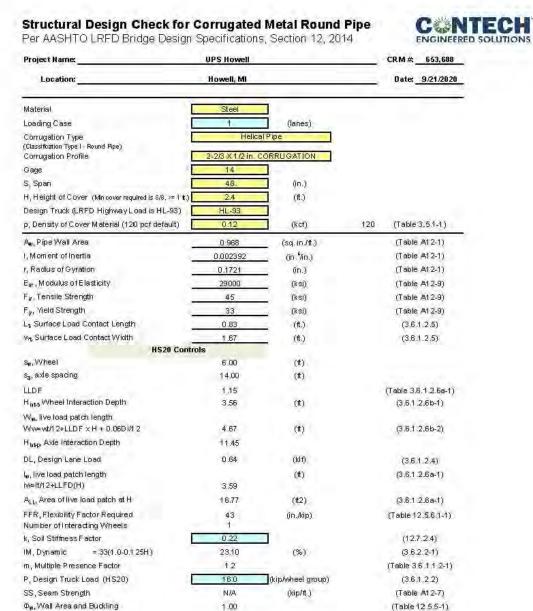
2'-6"

FRONT

CINTECH



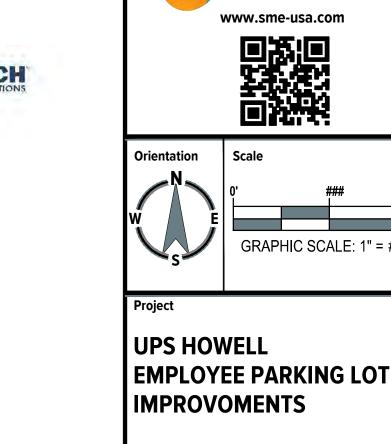




Page 1 of 2 These results are submitted to you as a guideline only, without liability on the part of Contech Engineered Solutions LLC for accuracy or suitability to any particular application, and are subject to your verification.

	Design Check for C LRFD Bridge Design S				CONTECH ENGINEERED SOLUTIONS
Φ _{SS} , Seam		NÆ	*Not Applicable to Pipe*	o Helical	(Table 12.5.5-1)
nev, Redundancy	Factor	1.05			(1.3.4, 12.5.4)
n _{LL} , Redundancy	Factor	1.00			(1.3.4, 12.5.4)
VEV, Dead Load F	actor	1.95			(Table 3.4.1-2)
YLL, Live Load Far	tor	1.75			(Table 3.4.1-1)
$P_L = (P(1+IM/100)$)m)/ALL	1.41	(ksf)		
P _{FD} , Factored De	ad Load Crown Pressure ≕η _{EV} γ _{EV} ×Η × ρ	0,590	(ksf)		(3.5.1)
P _{PLi} Factored Live	e LoadCrown Pressure = nuvuiP u	2.47	(ksf)		
Pol, Factored De	sign Lane Load = դլլүլլտ DL/10	0.134	(ksf)		
Factored Thrust	(standard structures)				
Fmir	= greater of 15/S or 1	1,00	(dimensionless)		(12.7.2.2-4)
P ₁	= greater of 0.75S/Iwor F _{mil}	1.00	(dimensionless)		(12.7.2.2-3)
Culvert on which LL is	= Iws s	3.59	(ft)		(12.7.2.2-2)
Tu, Factored Thru	s =(P +0+P 01)S/2+(P+L CLF+)/2	5.880	(kip/ft)		(127.2.2-1)
R _{io} , Wall	$R_w = \Phi_w F_y A_w$	31.944	(kip/ft.)	≒ T	5.880 CM CM (12.7.2.3-1)
Fon Critical Buckling Stress	- loan	39.523	(ksi)	Taks)2	
Iř.	$S < \frac{r}{k} \sqrt{\frac{24Bm}{F_a}}$	kien:	F _α = F ₁ - \ 4	8 Em	(12,7,2,4-1)
But if:	$S \approx \frac{r}{l_b} \sqrt{\frac{24E_m}{B}}$	upper case contro hen:	For $\frac{12E_{c}}{kS}$	2	(12.7.2.4-2)
R _b , Buckling	It F _{cr} > F _v , then F _{cr} = F _v	39.523	(ksi)	>	33
	$R_B = \Phi_w F_{cr} A_{w_i}$	31,944	(kip/ft.)	≯T	5.880 (12.7.2.3-1)
FF, Flexibility Factor	$FF = S^2/(E_m L)$	33.214	(jn./kip)	< FFR	43 (12.7.2.6-1)
R _s , Factored	$R_s = \Phi_{SS}SS$	N/A	(kip/ft.)	*See Note on ФSS	(12,7,2.5)

These results are submitted to you as a quideline only, without liability on the part of Contech Engineered Solutions LLC for accuracy or suitability to any particular application, and are subject to your verification



Project Location

1183 FENDT DRIVE **HOWELL, MI 48843**

UNDERGROUND DETENTION DETAILS

Engineer's Seal

Revisions

09/02/2020 SME Project No. 084617.00 **Project Manager:** J. SCHWARTZENBERGER Designer: H. CERON CADD: H. CERON

Checked By:

Reviewed By:

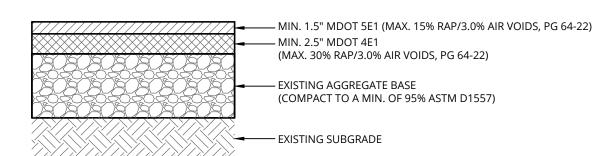
Sheet No.

ISSUED FOR SITE PLAN APPROVAL

B. HART

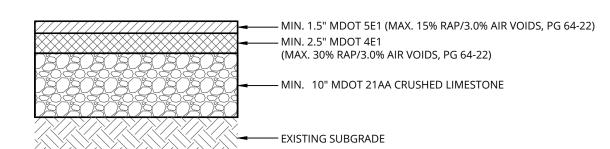
J. SCHWARTZENBERGER

C-803



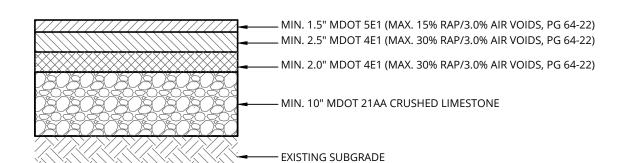
HMA OVER EXISTING AGGREGATE BASE - STANDARD DUTY - DETAIL

APPLY TACK COAT OF SS-IH (0.1 GALLONS/S.Y.) BETWEEN ALL HMA LAYERS



HMA OVER NEW AGGREGATE BASE - STANDARD DUTY - DETAIL

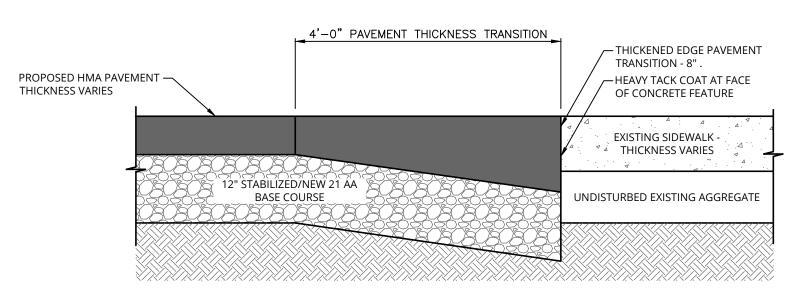
APPLY TACK COAT OF SS-IH (0.1 GALLONS/S.Y.) BETWEEN ALL HMA LAYERS



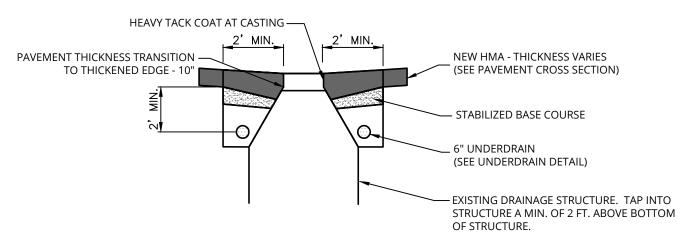
HMA OVER NEW AGGREGATE BASE - HEAVY DUTY - DETAIL

NOT TO SCALE

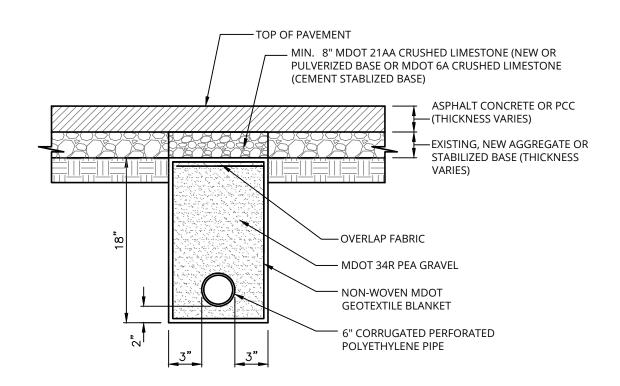
NOTE: APPLY TACK COAT OF SS-IH (0.1 GALLONS/S.Y.) BETWEEN ALL HMA LAYERS



THICKENED EDGE DETAIL - DETAIL

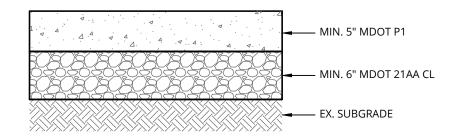


THICKENED EDGE HMA AT UTILITY STRUCTURE DETAIL

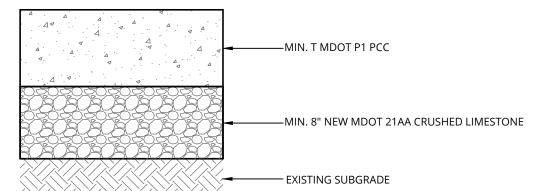


UNDERDRAIN / EDGEDRAIN - DETAIL

SLOPE UNDERDRAIN PIPES TOWARD EXISTING DRAINAGE STRUCTURES (MIN. 1.0%) AT CATCH BASIN, INSTALL RING AROUND CATCH BASIN AND TAP STRUCTURE AT ONE LOCATION. 3. AT CURB INLETS, INSTALL HALF RING AROUND INLET AND TAP AT ONE LOCATION 4. IN CEMENT TREATED BASE AREAS, INSTALL UNDERDRAIN AFTER CEMENT TREATMENT

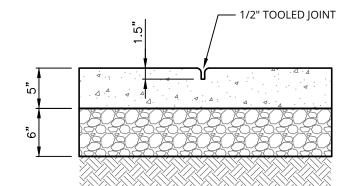


SIDEWALK - DETAIL



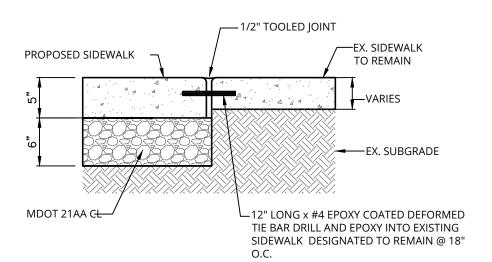
PCC OVER AGGREGATE BASE - DETAIL

NOT TO SCALE NOTE: T=<u>X</u>"

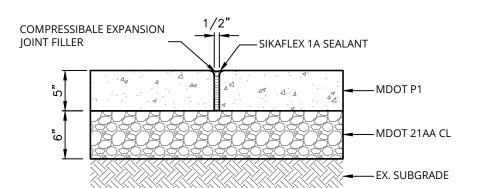


SIDEWALK CONTROL JOINT - DETAIL

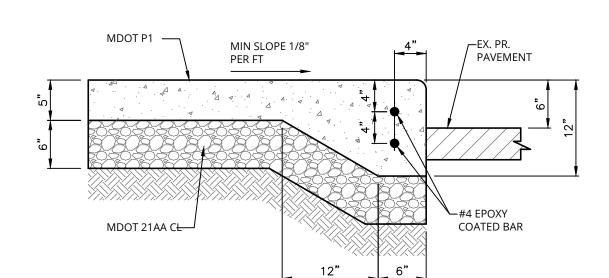
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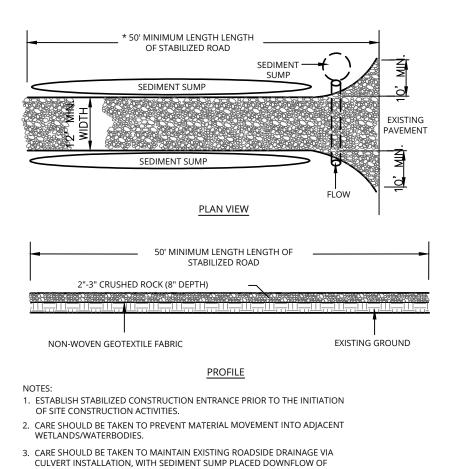
SIDEWALK CONSTRUCTION JOINT - DETAIL



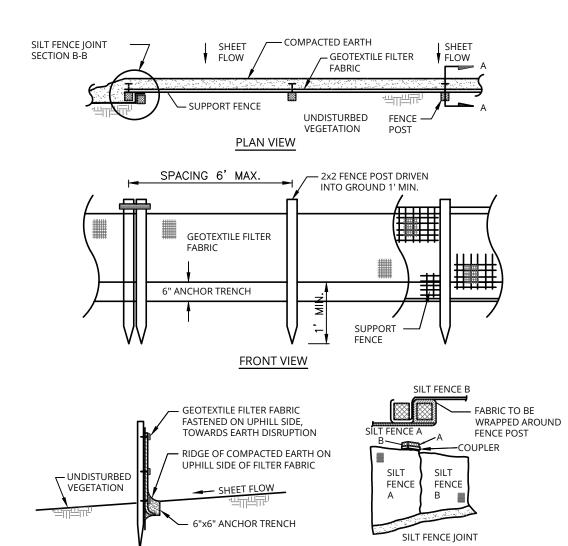
SIDEWALK EXPANSION JOINT - DETAIL NOT TO SCALE



THICKENED EDGE SIDEWALK - DETAIL M110.05



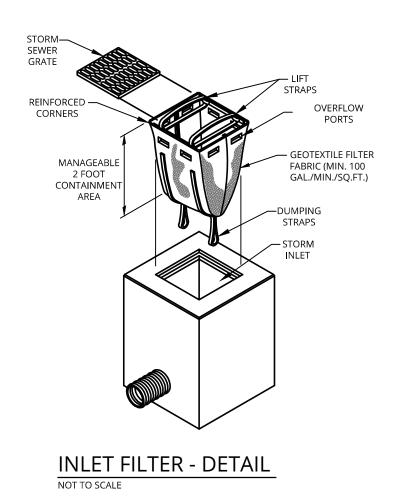
STABILIZED CONSTRUCTION ACCESS

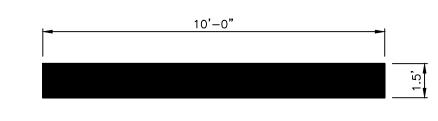


SECTION B-B

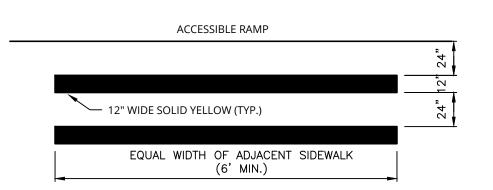


SECTION A-A

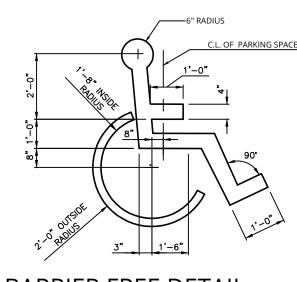




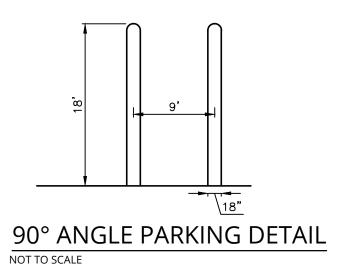
STOP BAR WITH STOP DETAIL

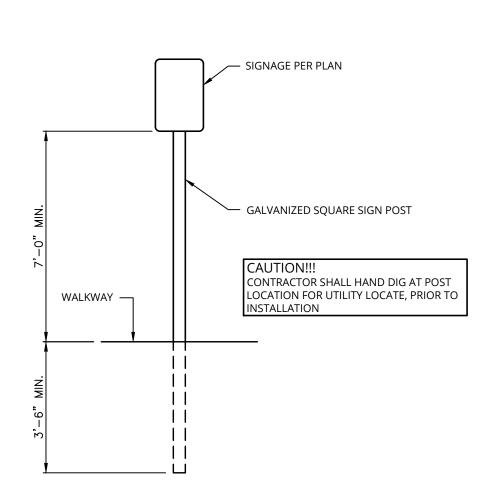


CROSSWALK MARKING DETAIL



BARRIER FREE DETAIL NOT TO SCALE





PARKING SIGN WITH POST IN GREENBELT

ISSUED FOR SITE PLAN APPROVAL



Orientation	Scale

UPS HOWELL EMPLOYEE PARKING LOT IMPROVOMENTS

Project Location

1183 FENDT DRIVE **HOWELL, MI 48843**

Sheet Name DETAILS

Engineer's Seal

Revisions							
REV	ISSUED FOR	DATE	BY				
01	TOWNSHIP COMMENTS	09/23/2020	JAS				
02	ZBA VARIANCE SUBMITTAL	05/18/2021	JAS				
03	TOWNSHIP COMMENTS	06/14/2021	JAS				
	·						

Date	
	09/02/2020
	09/02/2020
SME Project No.	
	084617.00
Project Manager:	

J. SCHWARTZENBERGER

Designer: H. CERON CADD: H. CERON

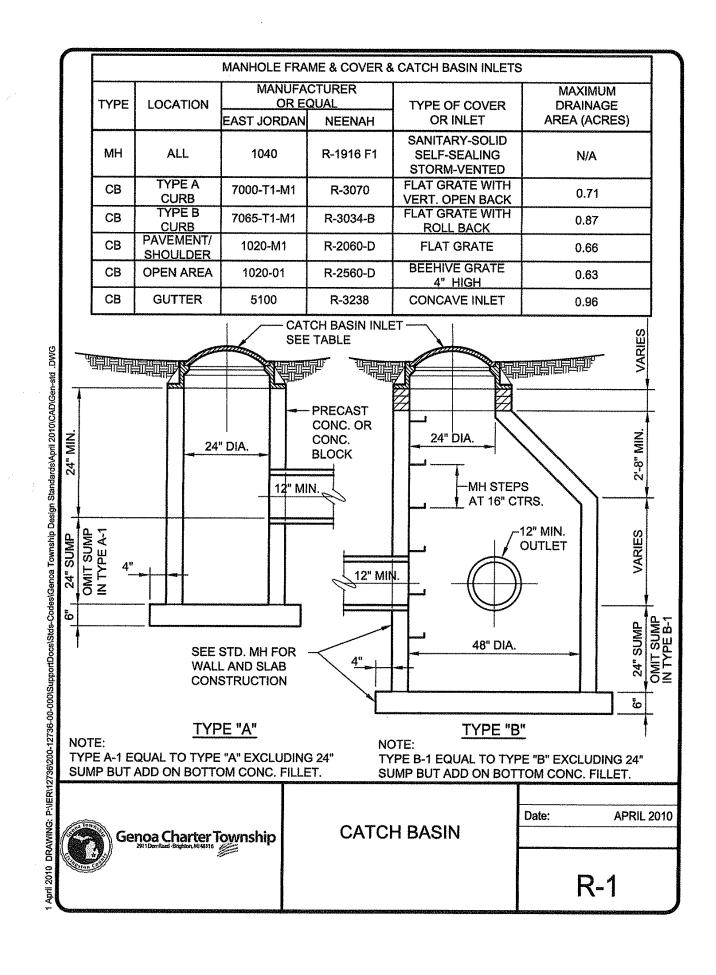
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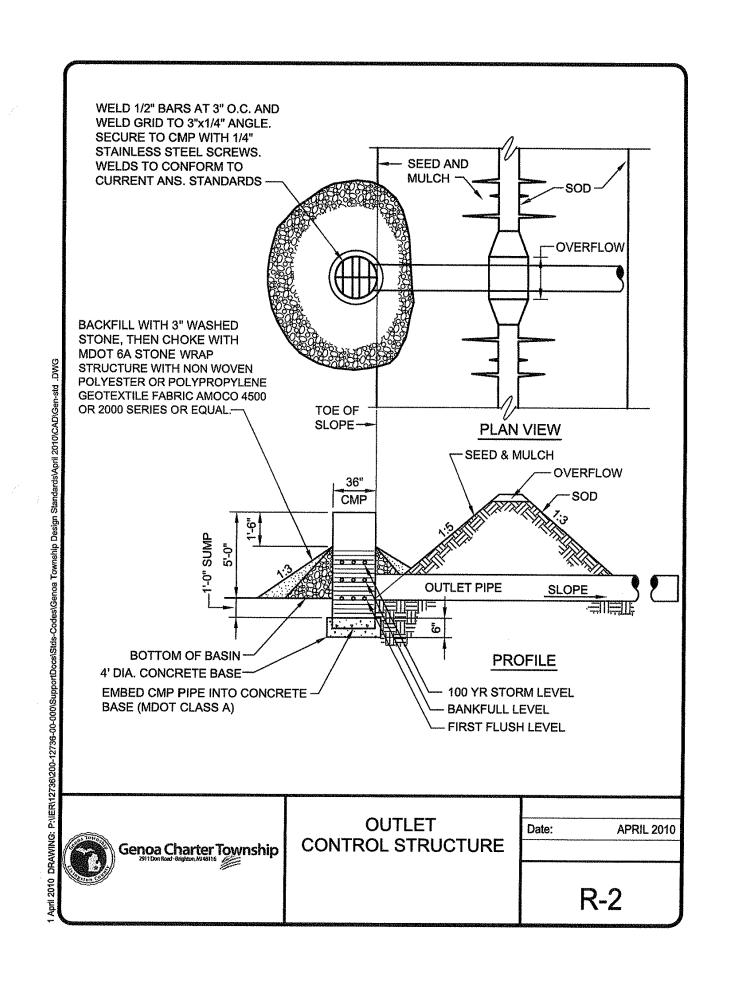
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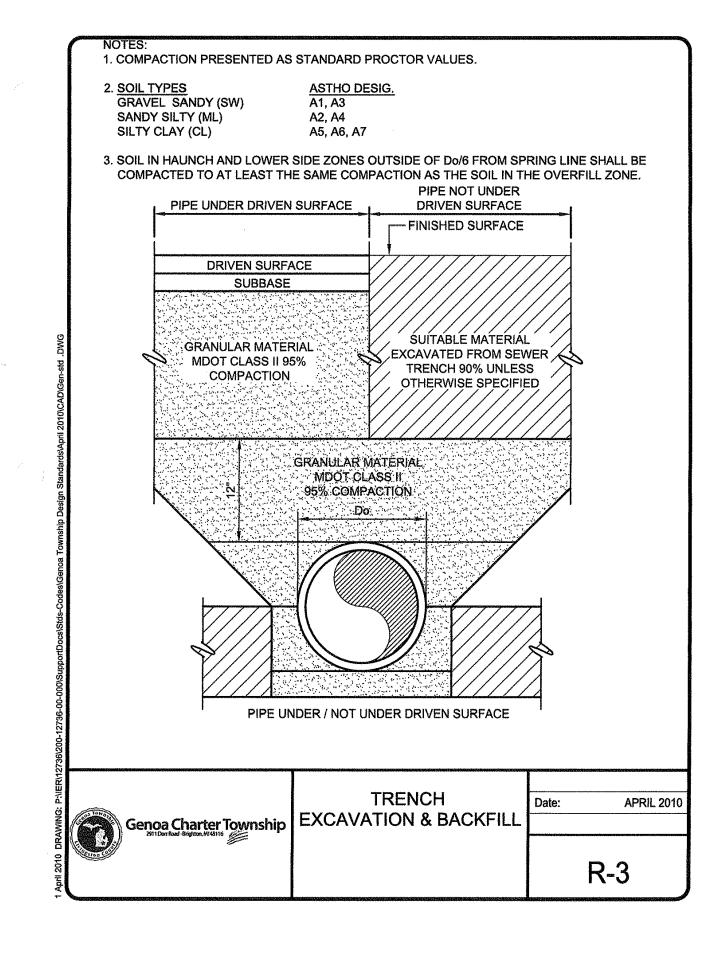
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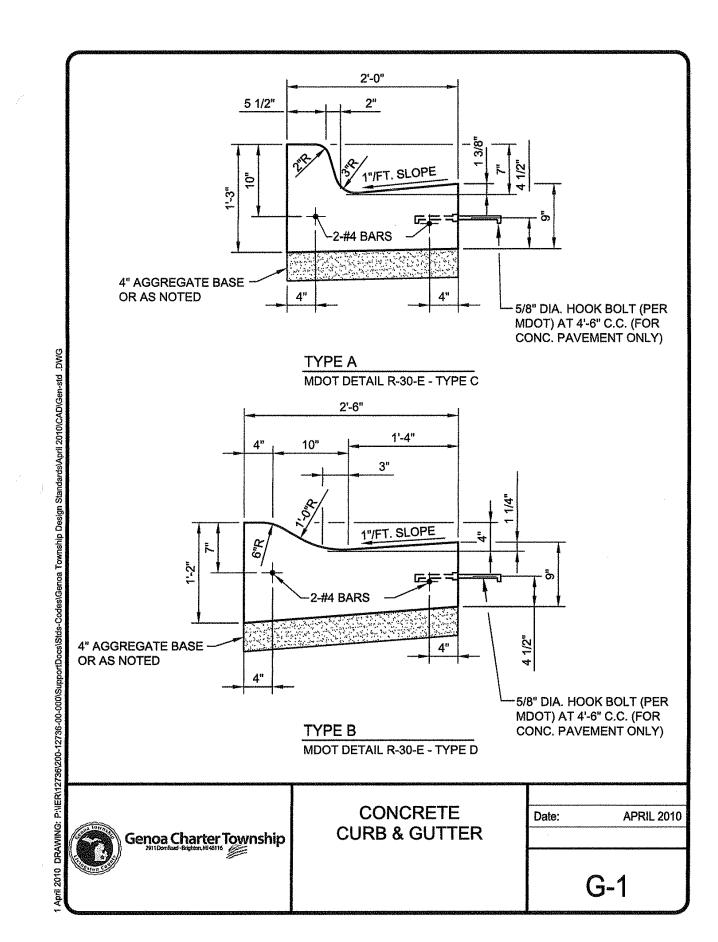
J. SCHWARTZENBERGER

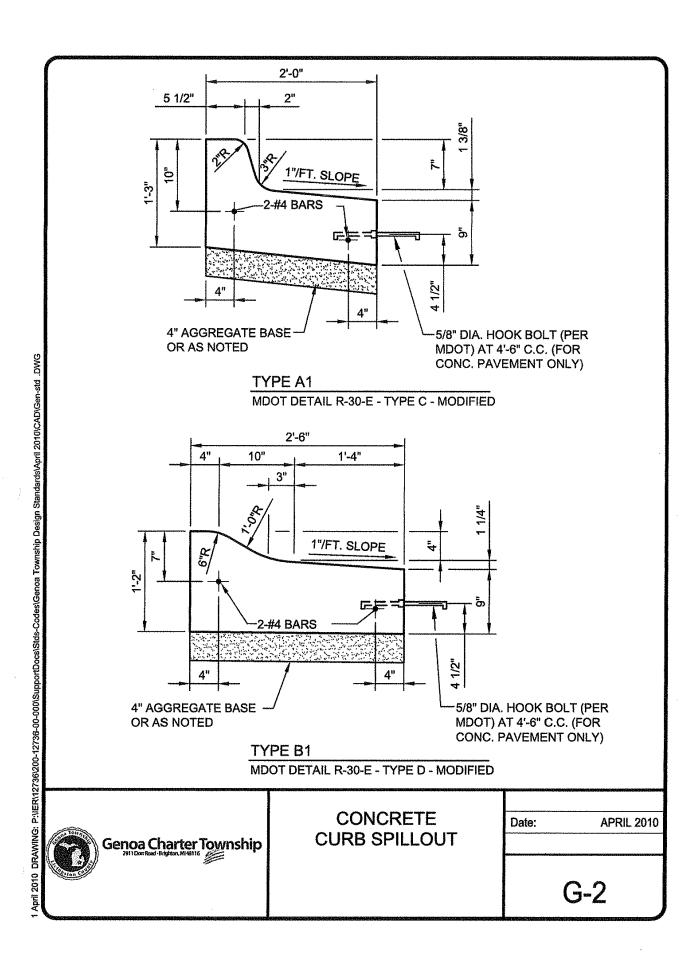
D-100

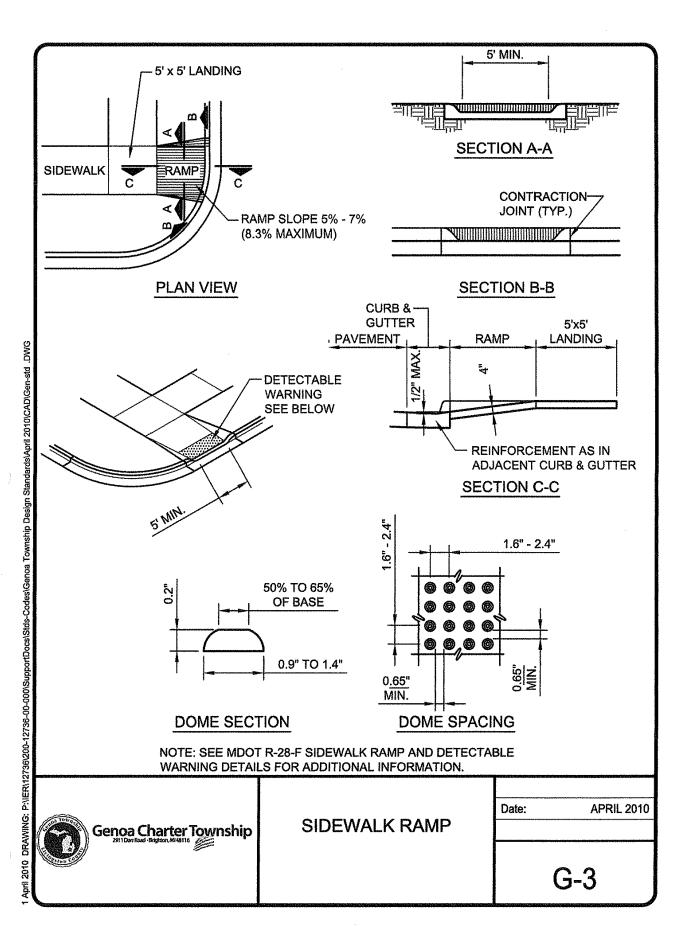


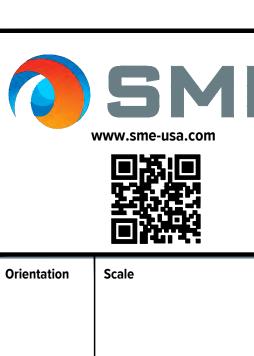












UPS HOWELL
EMPLOYEE PARKING LOT
IMPROVOMENTS

Project

Project Location

1183 FENDT DRIVE HOWELL, MI 48843

Sheet Name
GENOA TOWNSHIP
STANDARD DETAILS

Engineer's Seal

OF MICHAEL

O

Revisions							
REV	ISSUED FOR	DATE	BY				
01	TOWNSHIP COMMENTS	09/23/2020	JAS				
02	ZBA VARIANCE SUBMITTAL	05/18/2021	JAS				
03	TOWNSHIP COMMENTS	06/14/2021	JAS				

Date

09/02/2020

SME Project No.

084617.00

Project Manager:

J. SCHWARTZENBERGER

Designer:

H. CERON

CADD:

H. CERON

Checked By:

B. HART

Reviewed By:

J. SCHWARTZENBERGER

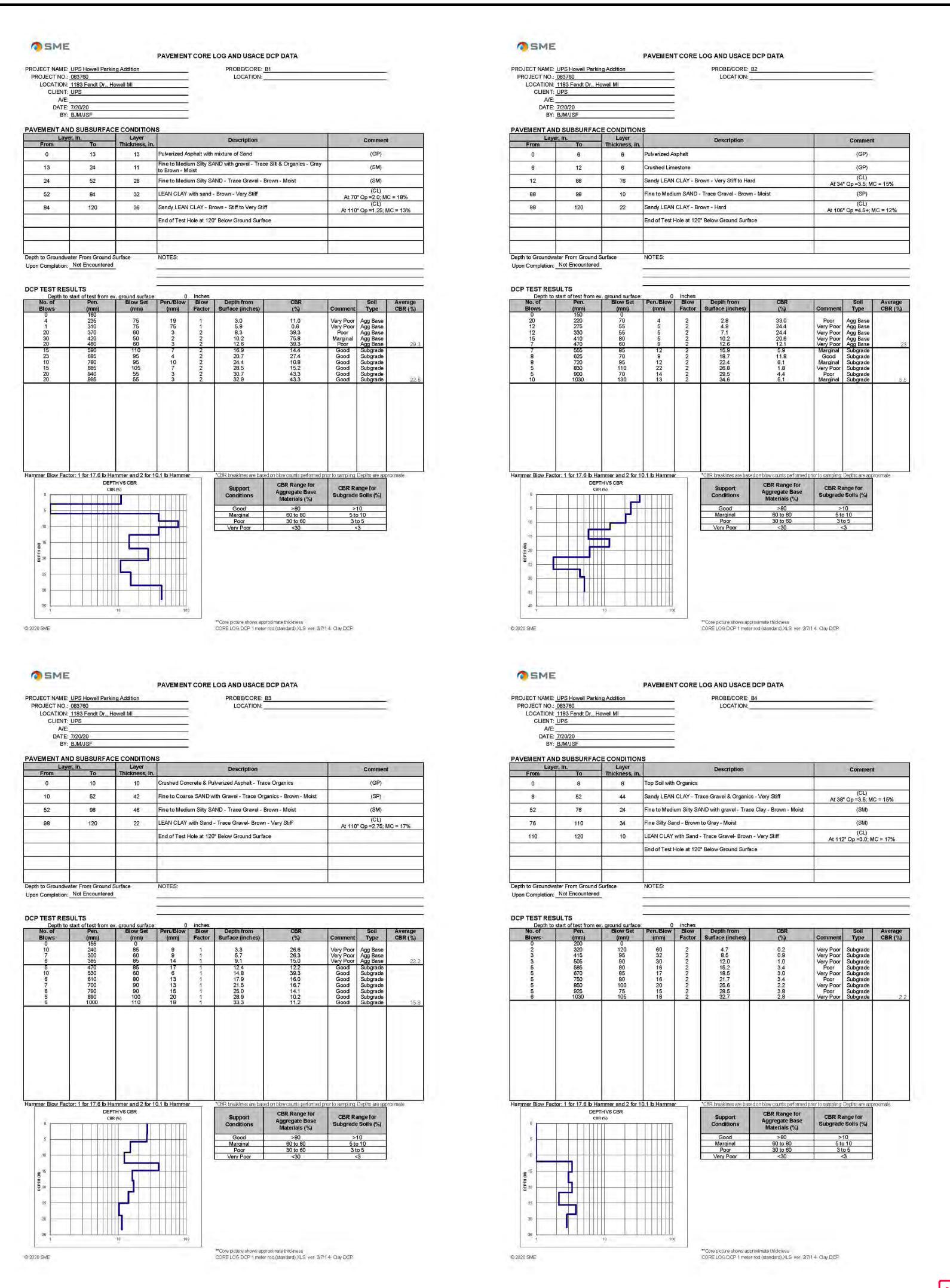
ISSUED FOR SITE PLAN APPROVAL

WILL SCALE INCORRECTLY IF PRINTED ON ANY OTHER SIZE
MEDIA

NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR
CONSENT OF SME
② 2020

D-101

Sheet No.





Orientation Scale

Project

UPS HOWELL
EMPLOYEE PARKING LOT
IMPROVOMENTS

Project Location

1183 FENDT DRIVE HOWELL, MI 48843

Sheet Name

BORING LOGS

Engineer's Seal



Revisions

REV	ISSUED FOR	DATE	BY
01	TOWNSHIP COMMENTS	09/23/2020	JAS
02	ZBA VARIANCE SUBMITTAL	05/18/2021	JAS
03	TOWNSHIP COMMENTS	06/14/2021	JAS

09/02/2020

084617.00

Project Manager:

J. SCHWA

J. SCHWARTZENBERGER

Designer:

SME Project No.

H. CERON
CADD:

Checked By:

Reviewed By:

J. SCHWARTZENBERGER

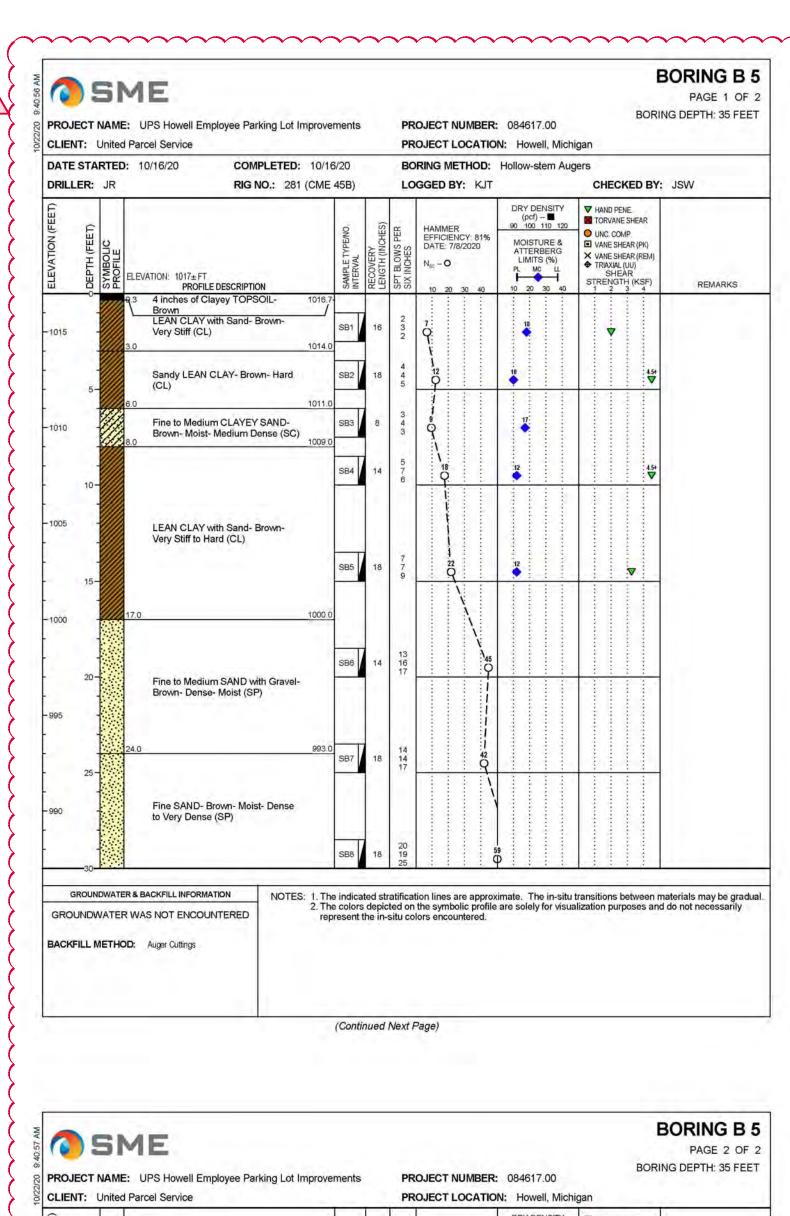
Sheet No. **D-102**

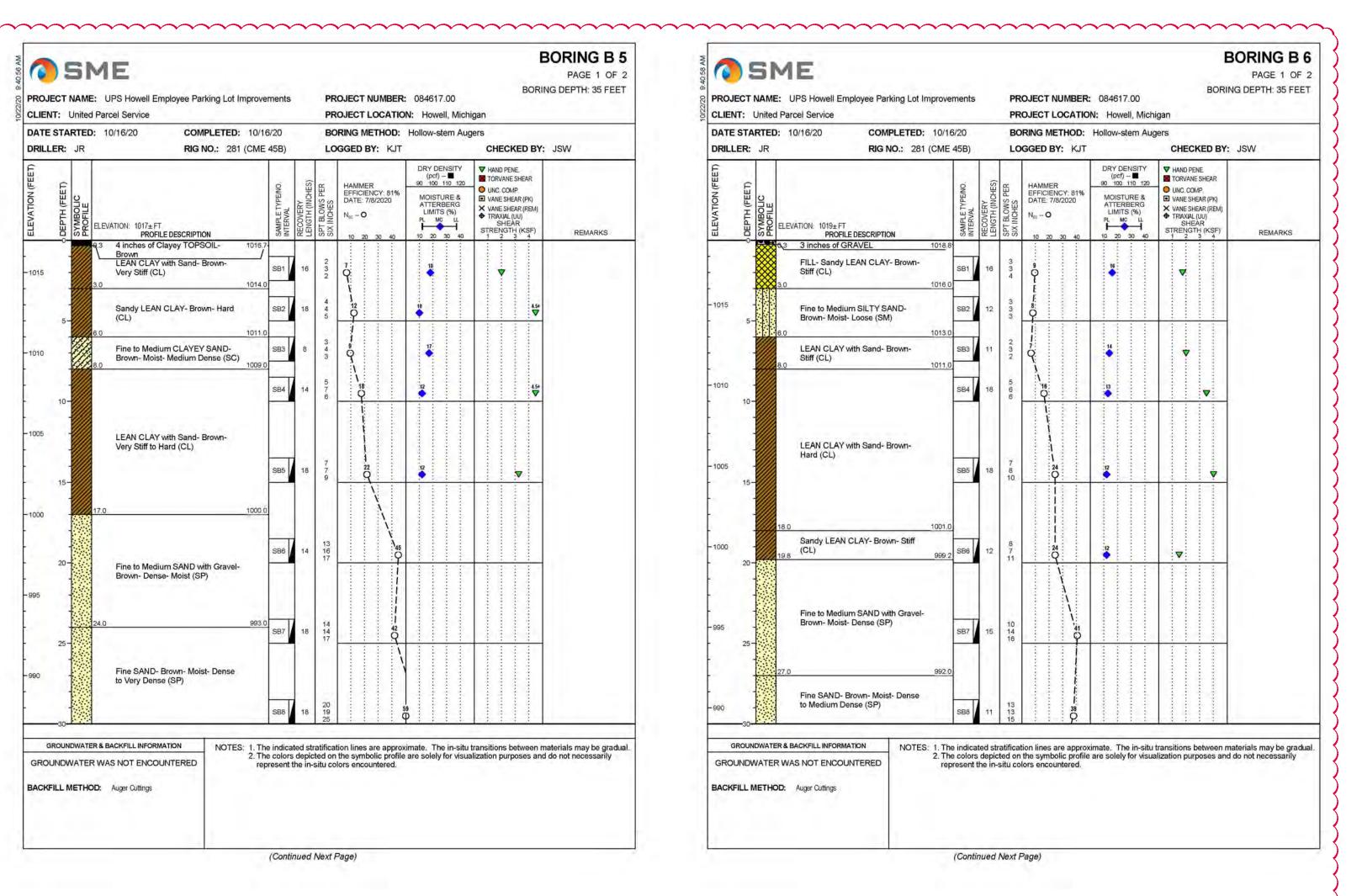
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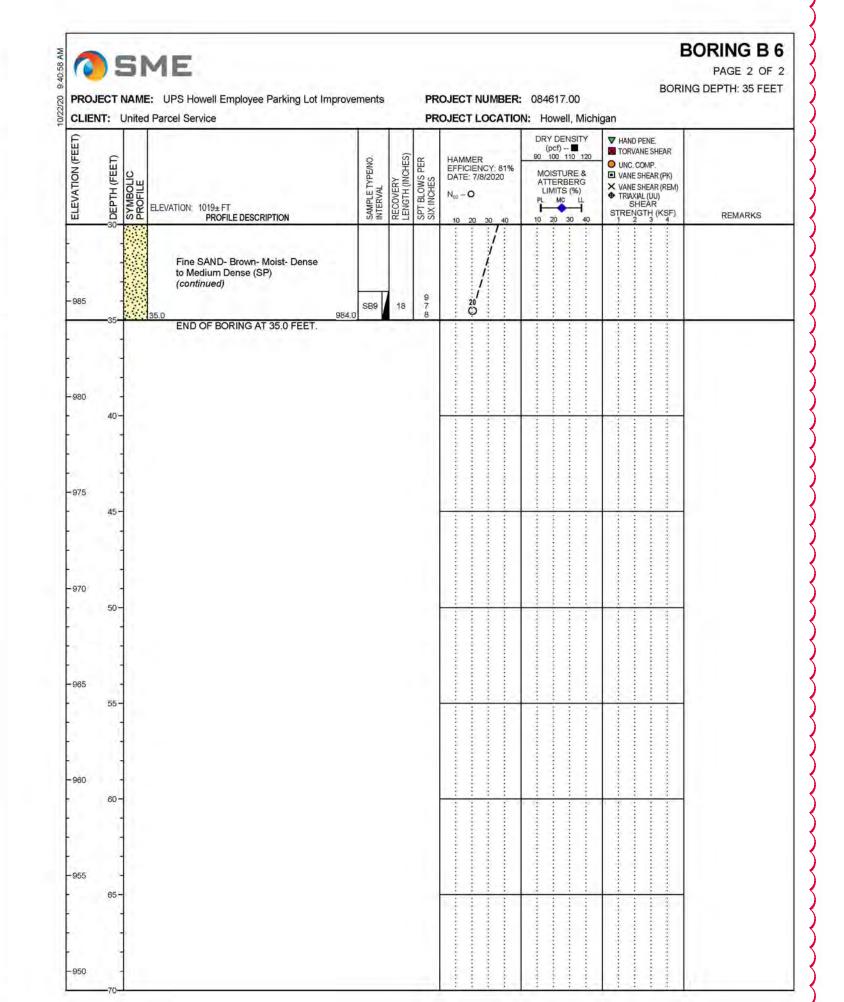
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H. CERON





PROJECT NAME: UPS Howell Employee Parking Lot Improvements CLIENT: United Parcel Service PROJECT LOCATION: Howell, Michigan BORING B 5 PAGE 2 OF 2 BORING DEPTH: 35 FEET PROJECT LOCATION: Howell, Michigan										
ELEVATION (FEET)	S DEРТН (FEET)	SYMBOLIC PROFILE	ELEVATION: 1017±FT PROFILE DESCRIPTION	SAMPLE TYPE/NO. INTERVAL	RECOVERY LENGTH (INCHES)	SPT BLOWS PER SIX INCHES	HAMMER EFFICIENCY: 81% DATE: 7/8/2020 N ₅₀ O	DRY DENSITY (pcf) ■ 90 100 110 120 MOISTURE & ATTERBERG LIMITS (%) PL MC LIMITS (%) 10 20 30 40	▼ HAND PENE. ■ TORVANE SHEAR ● UNC. COMP. ■ VANE SHEAR (PK) ➤ VANE SHEAR (REM) ● TRIAXIAL (UU) SHEAR STRENGTH (KSF) 1 2 3 4	REMARKS
985			Fine SAND- Brown- Moist- Dense to Very Dense (SP) (continued)	SB9	7					No blow counts recorded for sample SB9.
980	-35		END OF BORING AT 35.0 FEET.							
975	40-									
970	45-									
965	50-									
960	55-					140				
55	60-					ř				
950	65 -									





Orientation Scale

Project

UPS HOWELL EMPLOYEE PARKING LOT IMPROVOMENTS

Project Location

1183 FENDT DRIVE HOWELL, MI 48843

Sheet Name

BORING LOGS

Engineer's Seal



	REV	ISSUED FOR	DATE	BY
	01	TOWNSHIP COMMENTS	09/23/2020	JAS
\wedge	02	ZBA VARIANCE SUBMITTAL	05/18/2021	JAS
/3\	03	TOWNSHIP COMMENTS	06/14/2021	JAS
<u> </u>				
			· · · · · · · · · · · · · · · · · · ·	·

09/02/2020

SME Project No. 084617.00

Project Manager: J. SCHWARTZENBERGER

Designer:

H. CERON CADD:

Checked By:

Reviewed By:

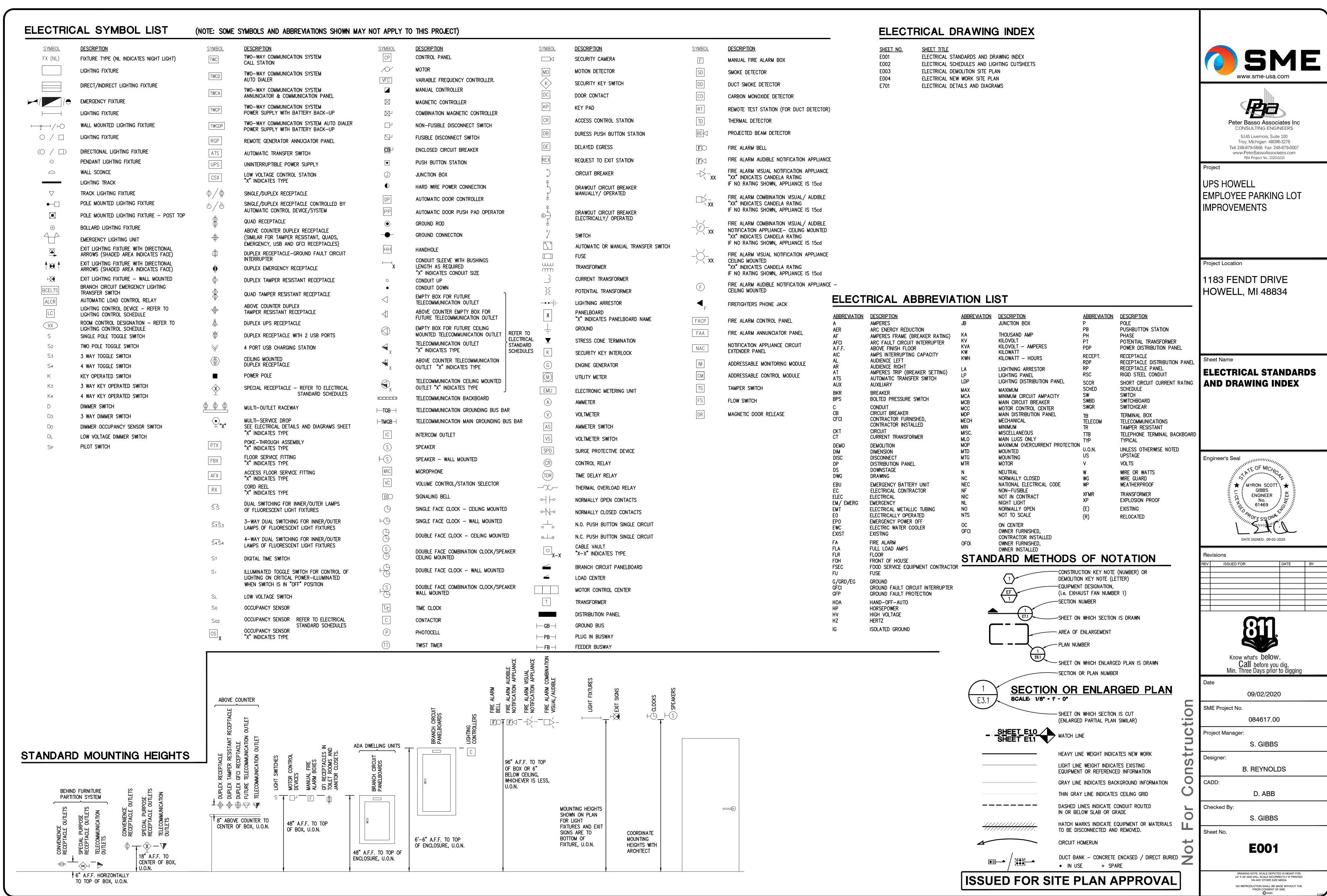
J. SCHWARTZENBERGER

Sheet No.

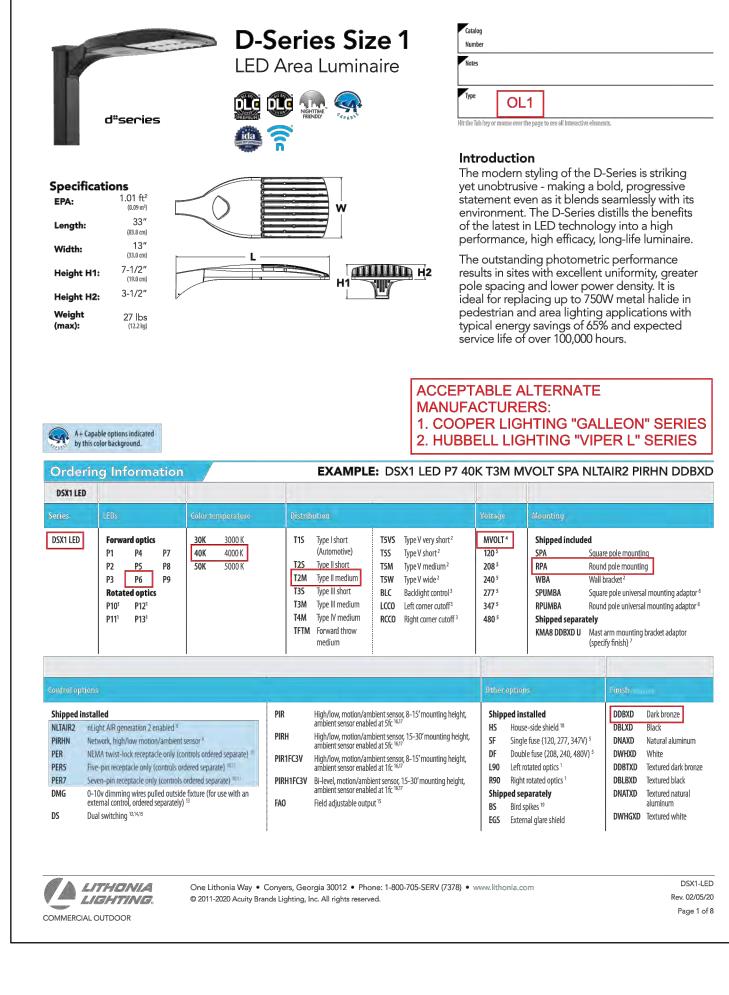
D-103

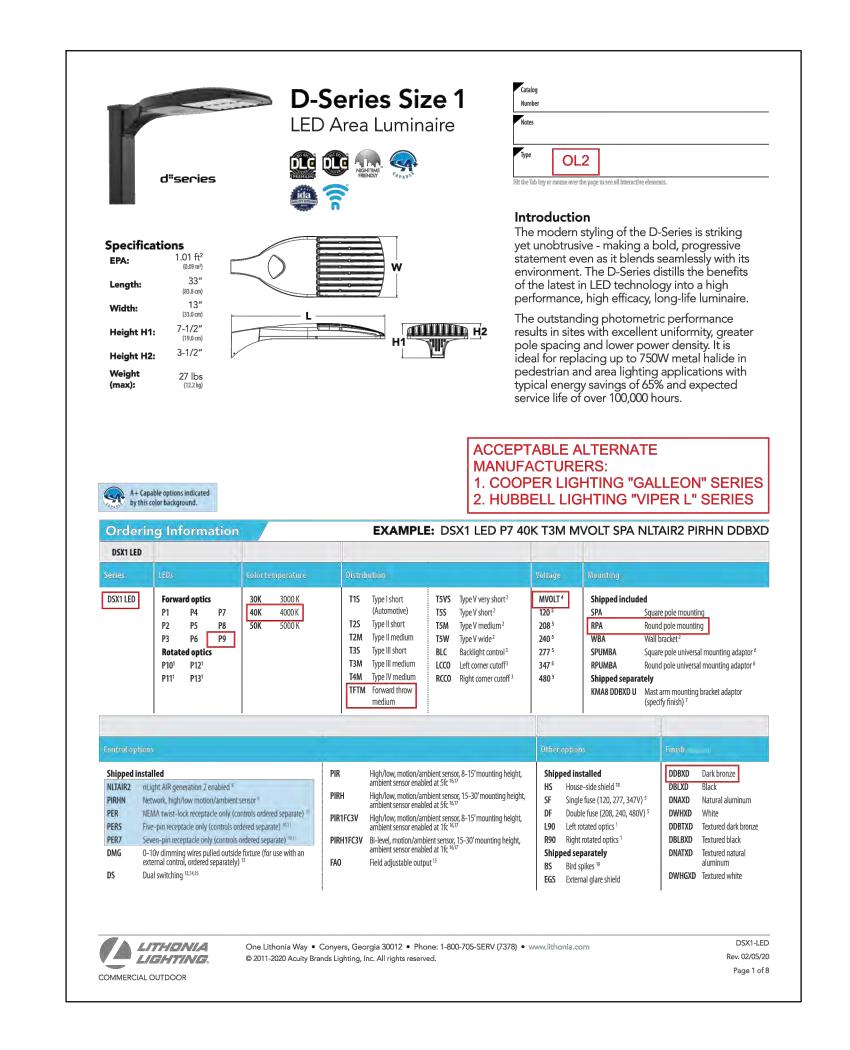
H. CERON

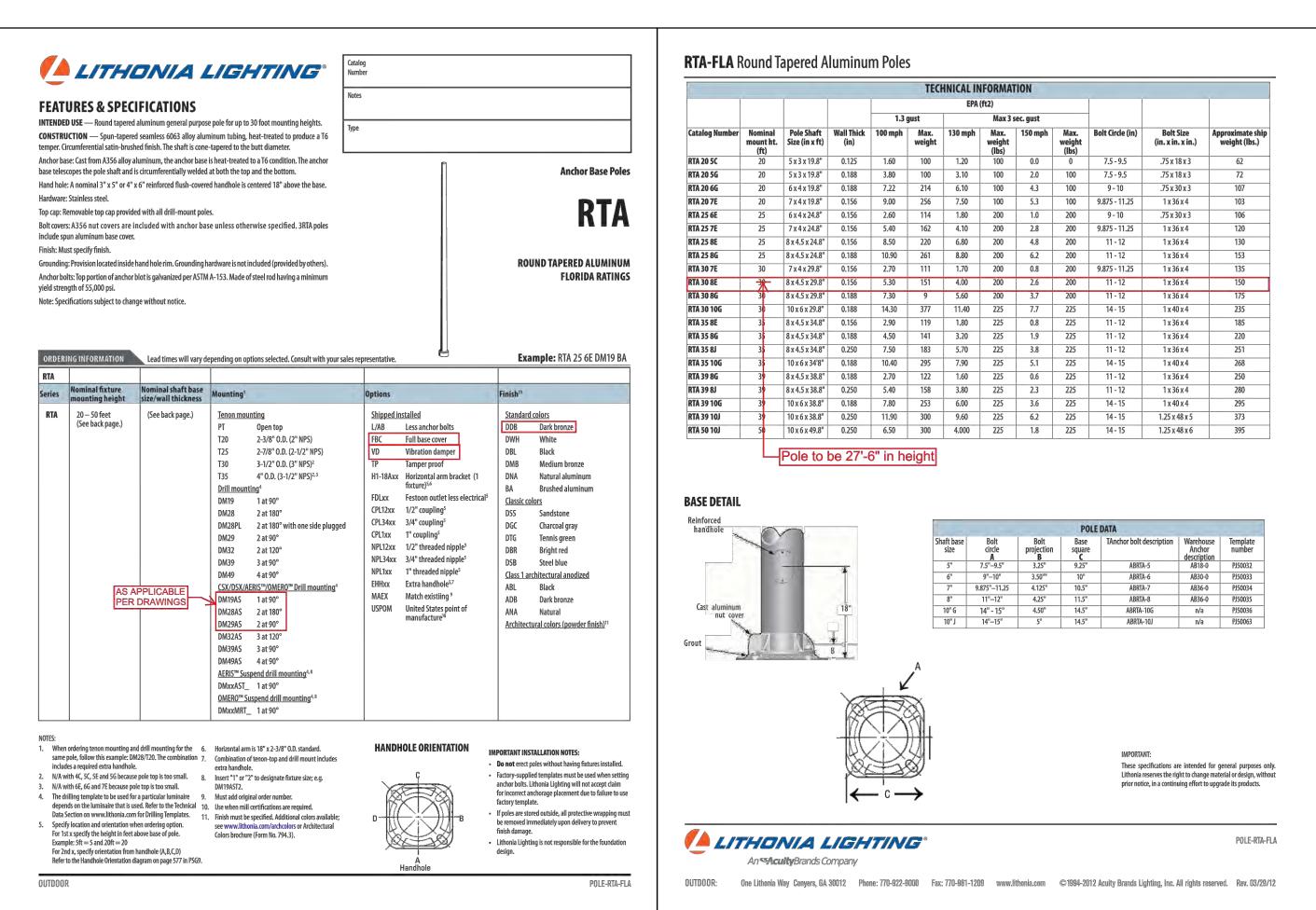
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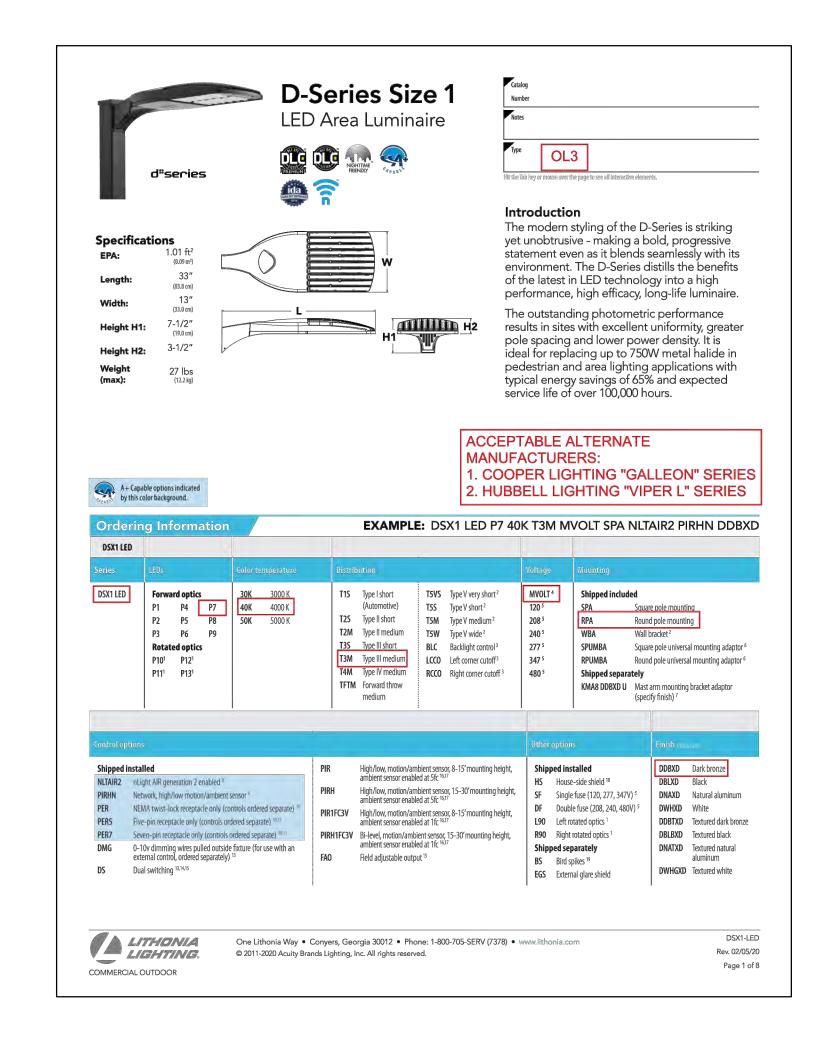


a.local\projects\2020\2020—0233—00\CAD\2020—0233—E0—IND.dwg, E001, 9/1/2020 2:44:33 PM, Nadeen F. Hamid, Peter Basso Associates Inc









RACEWAY / CONDUCTOR / CABLE APPLICATION SCHEDULE							
		W	RE		RACI	EWAY	•
		COPPER, TYPE THHN/THWN-2	COPPER, TYPE XHHW-2	ELECTRICAL METALLIC TUBING (EMT)	RIGID STEEL CONDUIT (RSC)	RIGID NON-METALLIC CONDUIT (RNC) TYPE EPC-40	HIGH DENSITY POLYETHYLENE (HDPE) SCHEDULE 40
-	EXPOSED, SURFACE MOUNTED TO STRUCTURE		Х		Х		
Branch Ircuits - Exterior	BELOW PARKING LOTS AND ROADWAYS		Х		Х	Х	Х
BRANCH CIRCUITS EXTERIOR	BELOW GREEN SPACE		Х			Х	
)	WITHIN 5' OF FOUNDATION WALL		Х		Х		
_	EXPOSED, BELOW 10' AFF AND SUBJECT TO DAMAGE	Х			Х		
BRANCH IRCUITS - INTERIOR	EXPOSED, BELOW 10' AFF AND NOT SUBJECT TO DAMAGE	Х		Х			
Branch Circuits — Interior	EXPOSED, ABOVE 10' AFF UNFINISHED SPACES	Х		Х			
	DAMP AND WET LOCATIONS	Х			Х	Х	

1. TRANSITION FROM PVC/HDPE AND PROVIDE RIGID STEEL SWEEPS WHERE CONDUITS PENETRATE WALLS, CONCRETE SLABS, CONCRETE BASES, AND ASPHALT

> NOTE: SOME SYMBOLS AND ABBREVIATIONS SHOWN MAY NOT APPLY TO THIS PROJECT.

ISSUED FOR SITE PLAN APPROVAL

Peter Basso Associates Inc CONSULTING ENGINEERS 5145 Livernois, Suite 100 Troy, Michigan 48098-3276 Tel: 248-879-5666 Fax: 248-879-0007

www.PeterBassoAssociates.com

PBA Project No.: 2020.0233

Project

UPS HOWELL EMPLOYEE PARKING LOT **IMPROVEMENTS**

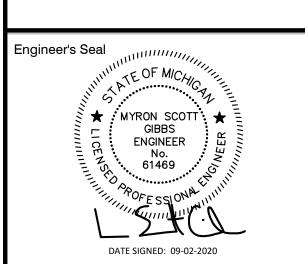
Project Location

1183 FENDT DRIVE HOWELL, MI 48834

Sheet Name

Revisions

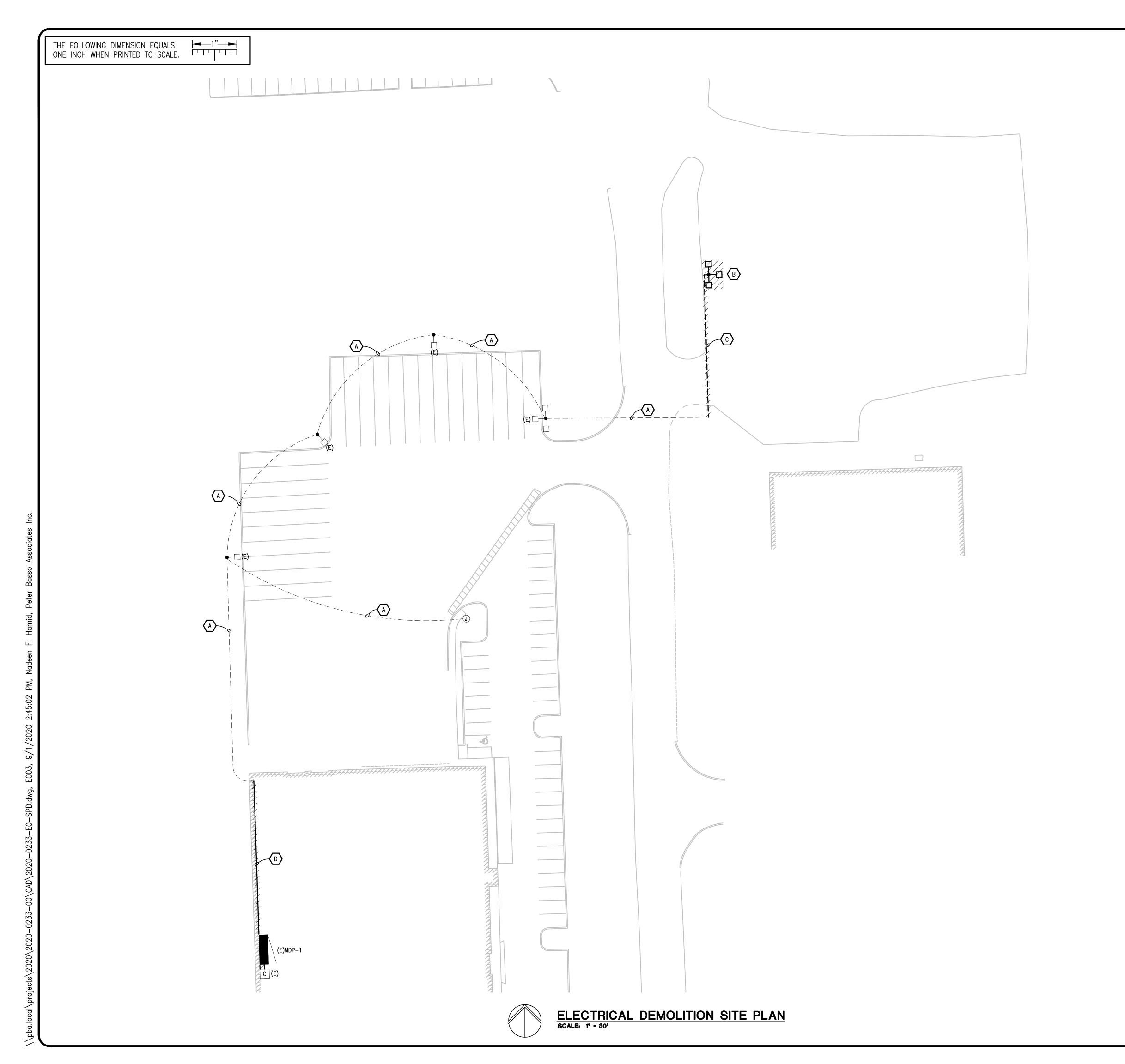
| ELECTRICAL SCHEDULES AND LIGHTING CUTSHEETS



	Know what's below. Call before you dig. Min. Three Days prior to digging					
a	te 09/02/2020					

SME Project No. 084617.00 0 Project Manager: S. GIBBS Designer: B. REYNOLDS 0 CADD: D. ABB Checked By: S. GIBBS Sheet No. **E002 N**0

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SITE PLAN GENERAL NOTES:

- 1. THESE NOTES ARE GENERIC GUIDELINES ONLY. ELECTRICAL CONTRACTOR'S PERSONNEL ON SITE SHALL BE THOROUGHLY FAMILIAR WITH THE PUBLISHED SPECIFICATIONS FOR EXACT DESCRIPTIONS OF SCOPE, METHODS, AND MATERIAL.
- 2. THESE DRAWINGS REPRESENT THE GENERAL EXTENT AND ARRANGEMENT OF SYSTEMS, BUT ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. COORDINATE WITH OTHER TRADES, AND PROVIDE EACH SYSTEM COMPLETE, INCLUDING ALL NECESSARY COMPONENTS, FITTINGS, AND OFFSETS.
- CONDUCT A SURVEY TO IDENTIFY ALL UNDERGROUND UTILITIES. CALL 811 PRIOR TO EXCAVATION.
- 4. UTILITIES SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY. COORDINATE EXACT LOCATION OF ALL EXISTING UTILITIES, AND ROUTING OF ALL NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- 5. DEWATER TRENCHES PRIOR TO INSTALLATION OF CONDUITS. PROVIDE WATER TIGHT FITTINGS ON ALL UNDERGROUND CONDUITS.
- 6. COORDINATE DEMOLITION WORK, AND ELECTRICAL AND TELEPHONE SERVICES TO THE SITE, WITH THE RESPECTIVE LOCAL UTILITY COMPANY REPRESENTATIVES PRIOR TO COMMENCEMENT OF WORK. INCLUDE ALL ASSOCIATED COST/FEES BY THE UTILITY COMPANIES IN THE BID PRICE.
- INSTALL UNDERGROUND CONDUITS 42" BELOW FINISHED GRADE, MINIMUM, UNLESS NOTED OTHERWISE.
- 8. COORDINATE SERVICE SHUT-DOWNS WITH ALL TRADES INVOLVED ON SITE AND OBTAIN WRITTEN AUTHORIZATION FROM OWNER 72 HOURS PRIOR TO ANY ELECTRICAL AND/OR TELEPHONE SHUT-DOWN.
- 9. REMOVE ALL DE-ENERGIZED CONDUCTORS FROM SITE AT COMPLETION OF THE
- 10. OUTDOOR LIGHTING BRANCH CIRCUIT WIRING SHALL BE MINIMUM #8 AWG CONDUCTORS (XHHW-2), IN MINIMUM 1" DIA. CONDUIT, UNLESS NOTED OTHERWISE.
- 11. SPARE CONDUITS SHALL INCLUDE PULL STRING AND SHALL BE TERMINATED WITH A
- 12. EXCAVATE THE ENTIRE LENGTH OF TRENCH TO PROPERLY SET DUCT ELEVATIONS.

DEMOLITION KEY NOTES:

- A. REMOVE CONDUCTORS IN ALL EXTERIOR CONDUIT BACK TO SOURCE. EXTERIOR CONDUIT TO REMAIN WHERE INDICATED.
- B. REMOVE POLE, BASE, AND LIGHTING FIXTURES COMPLETE. TURN FIXTURES OVER TO OWNER.
- C. REMOVE CONDUIT WHERE INDICATED.
- D. REMOVE CONDUIT AND CONDUCTORS FOR PARKING LOT LIGHTING INSIDE BUILDING BACK TO SOURCE.





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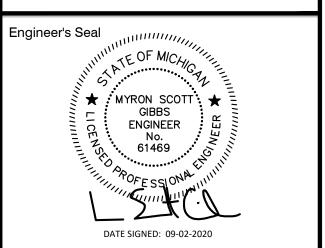
UPS HOWELL EMPLOYEE PARKING LOT IMPROVEMENTS

Project Location

1183 FENDT DRIVE HOWELL, MI 48834

et Name

ELECTRICAL DEMOLITION SITE PLAN



Revisions

REV ISSUED FOR DATE BY

Know what's below.

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Date

09/02/2020

SME Project No.

084617.00

Project Manager:

S. GIBBS

Designer:

B. REYNOLDS

B. REYNOLDS

CADD:

D. ABB

Checked By:

S. GIBBS

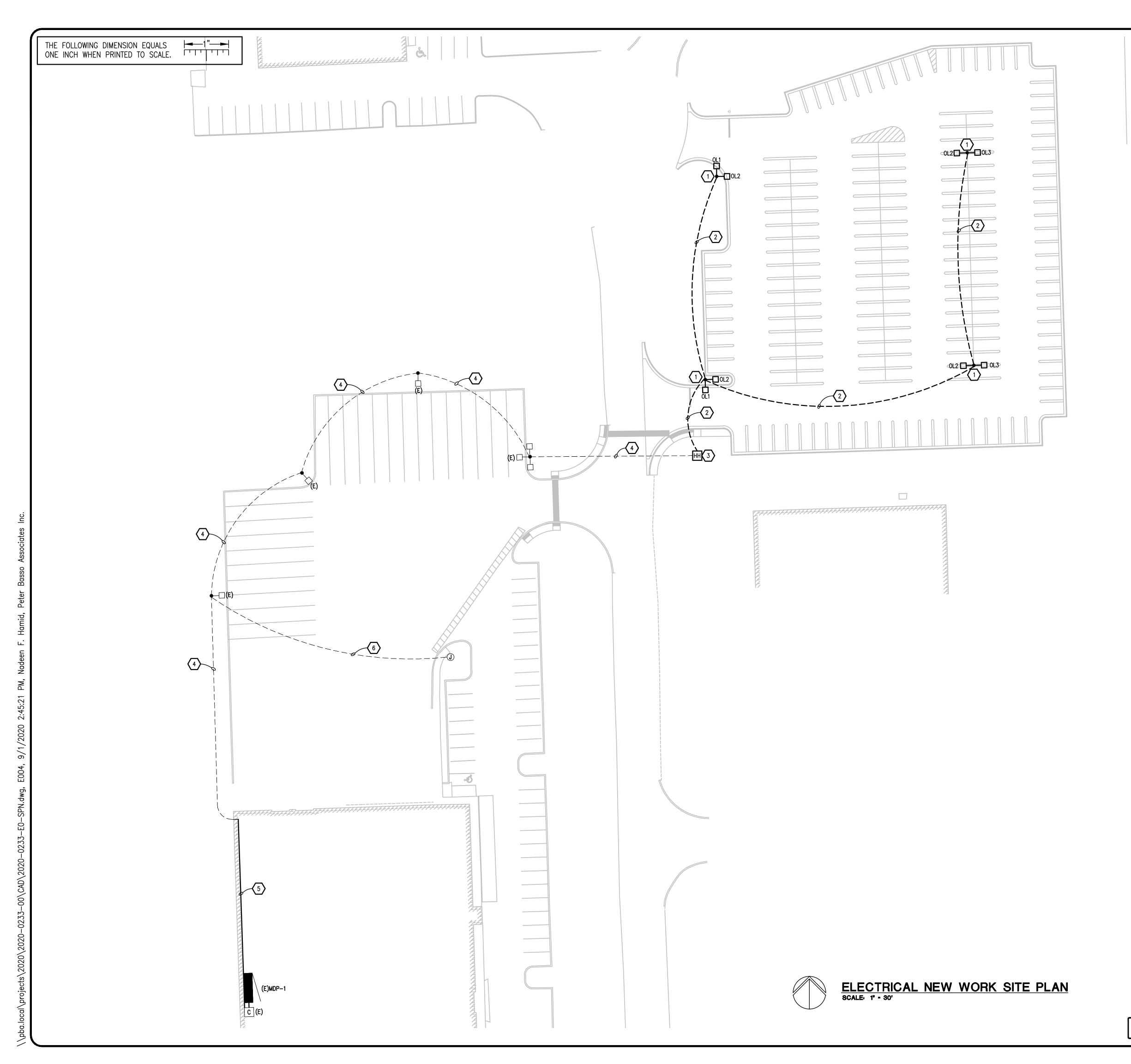
E003

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SITE PLAN GENERAL NOTES:

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- 6. COORDINATE DEMOLITION WORK, AND ELECTRICAL AND TELEPHONE SERVICES TO THE SITE, WITH THE RESPECTIVE LOCAL UTILITY COMPANY REPRESENTATIVES PRIOR TO COMMENCEMENT OF WORK. INCLUDE ALL ASSOCIATED COST/FEES BY THE UTILITY COMPANIES IN THE BID PRICE.
- 7. INSTALL UNDERGROUND CONDUITS 42" BELOW FINISHED GRADE, MINIMUM, UNLESS NOTED OTHERWISE.
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- 11. SPARE CONDUITS SHALL INCLUDE PULL STRING AND SHALL BE TERMINATED WITH A
- 12. EXCAVATE THE ENTIRE LENGTH OF TRENCH TO PROPERLY SET DUCT ELEVATIONS.

CONSTRUCTION KEY NOTES:

- 1. PROVIDE 27'-6" ROUND TAPERED ALUMINUM POLE ON 2'-6" CONCRETE BASE.
- 2. PROVIDE (1)1" SCHEDULE 40 PVC CONDUIT WITH 2#8 & 1#8G.
- 3. INTERCEPT EXISTING CONDUIT AND INSTALL 24"x24"x24" HANDHOLE.
- 4. PROVIDE 2#8 & 1#8G IN EXISTING EXTERIOR CONDUIT. PROVIDE NEW WIRING IN POLE
- 5. PROVIDE 2#8 & 1#8G IN 3/4"C INSIDE BUILDING. RECONNECT PARKING LOT LIGHT
- FIXTURES TO EXISTING CONTACTOR ADJACENT TO (E)MDP-1.
- 6. EXISTING CONDUIT TO REMAIN AS SPARE.







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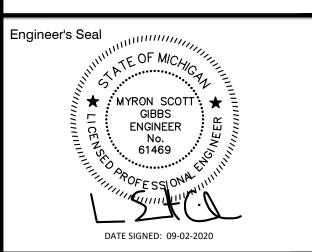
UPS HOWELL EMPLOYEE PARKING LOT

IMPROVEMENTS

Project Location

1183 FENDT DRIVE HOWELL, MI 48834

| ELECTRICAL NEW WORK SITE PLAN



Rev	Revisions							
REV	ISSUED FOR	DATE	BY					
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	\sim							

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09/02/2020 B. REYNOLDS D. ABB

S. GIBBS Know what's below.

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E004

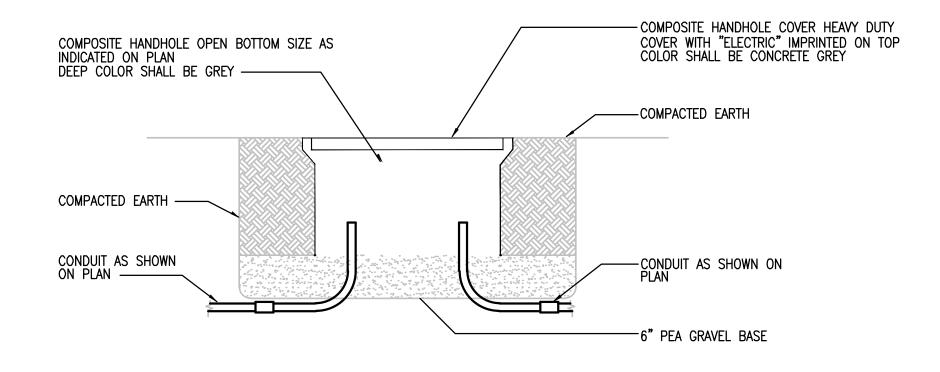
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LIGHTING POLE BASE DETAIL NO SCALE

NOTE:

 PROVIDE PRECAST CONCRETE BASE AS MANUFACTURED BY NORTHERN CONCRETE PIPE, INC. OR APPROVED EQUAL.
 CONCRETE REINFORCEMENTS SHALL BE BARE, ZINC GALVANIZED, OR ELECTRICALLY CONDUCTIVE COATED STEEL. BOND ALL CONCRETE REINFORCEMENTS AND ANCHOR BOLTS

TOGETHER SO THAT SYSTEM IS ELECTRICALLY CONTINUOUS.



COMPOSITE HANDHOLE DETAIL FOR ELECTRIC NO SCALE

	(E	E)PA	NEL	BOA	RD	MDI	P-1				
# LOAD DESCRIPTION	CB TYPE CB	VA	ØA	ØB	ØС	VA	СВ	CB TYPE	DESCRIPTION	LOAD TYPE	
1 NC 3 NC (E)CDP-1 PANEL	EXIST EXIST 125	27713 27713		31593		3880 3880	30		(E)A/C UNIT	M M	2
5 NC 7 L (E)LIGHTING (EMERGENCY)	EXIST 20	27713 4432	8864		31593	3880 4432	20	EXIST	(E)LIGHTING	M	6 8
9 L (E)LIGHTING	EXIST 20	4432		8864		4432	20	EXIST	(E)LIGHTING	L	10
11 L LIGHTING (PHOTOCELL) 13 L (E)LIGHTING (EMERGENCY)	EXIST 20	3562 4432	8864		7994	4432 4432	20		(E)LIGHTING (E)LIGHTING	L	12
15 L (E)LIGHTING	EXIST 20	4432	0001	8864		4432	20	EXIST	(E)LIGHTING	Ĺ	16
17 NC 19 NC (E)RP1-1	EXIST 100	22170 22170	26602		26602	4432 4432	20		(E)LIGHTING (E)LIGHTING	L	18
21 NC	EXIST	22170		26602	0004	4432	20	EXIST	(E)LIGHTING	L	2:
25 MH	EXIST 20 EXIST	4432 4739	9171		8864	4432 4432	20 20	EXIST	(E)LIGHTING (E)LIGHTING	L	24
27 MH (E)EXHAUST FANS 29 MH	EXIST 20	4739 4739		9171	9171	4432 4432	20		(E)LIGHTING (E)LIGHTING	L	30
	EMOT		85094 ØA	85094 ØB	84224 ØC		CALCULA		FEEDER AND OVERCURRENT		1 00
PANELBOARD INFORMATION VOLTAGE: 480Y/277	BRANCH CIRC CONTINUOUS		ECTED LO	<u>AD</u>			DEMAND		SIZING NOTES: 125%		
BUS AMPACITY: 400A	ELECTRIC HEA	AT (E)			-	100%		- -	125%		<u>-</u>
MAIN TYPE: <u>400A MCB</u> MINIMUM A.I.C.: <u>22,000</u>	NON—CONTINU KITCHEN LOAI	D (K)		149649	-	100% 100%	149649	<u>)</u> -	100% <u>149649</u> 100%		_
MOUNTING: <u>SURFACE</u> ☐ FEED—THROUGH LUGS	RECEPTACLE RECEPTACLE				-	100% 50%		-	100%		_
□ DOUBLE LUGS □ INTEGRAL SPD	LIGHTING LOA ADDITIONAL T	· ·	ITING LOA	78906 AD	-	100%	78906	5	125% <u>98633</u> 100%		-
PANELBOARD LOCATION	MOTORS, HIGH MOTORS, REM	HEST LOAD	(MH)	14217 11640	-	100% 100%	<u>14217</u> 11640	_	125% <u>17771</u> 100% 11640		<u>-</u>
WEST WALL (CENTER)	NOTE: DEMAND CALCULATED FR				TOT	AL(KVA): (AMPS):	254.41	<u> </u>	L (AMPS): 334		_
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Project

UPS HOWELL
EMPLOYEE PARKING LOT
IMPROVEMENTS

Project Location

1183 FENDT DRIVE HOWELL, MI 48834

Sheet Name

ELECTRICAL DETAILS AND

DIAGRAMS

Engineer's Seal

MYRON SCOTT

GIBBS
ENGINEER

No.
61469

DATE SIGNED: 09-02-2020

Revisions							
REV	ISSUED FOR	DATE	BY				

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Project Manager:
S. GIBBS
Designer:

B. REYNOLDS

CADD: D. ABB

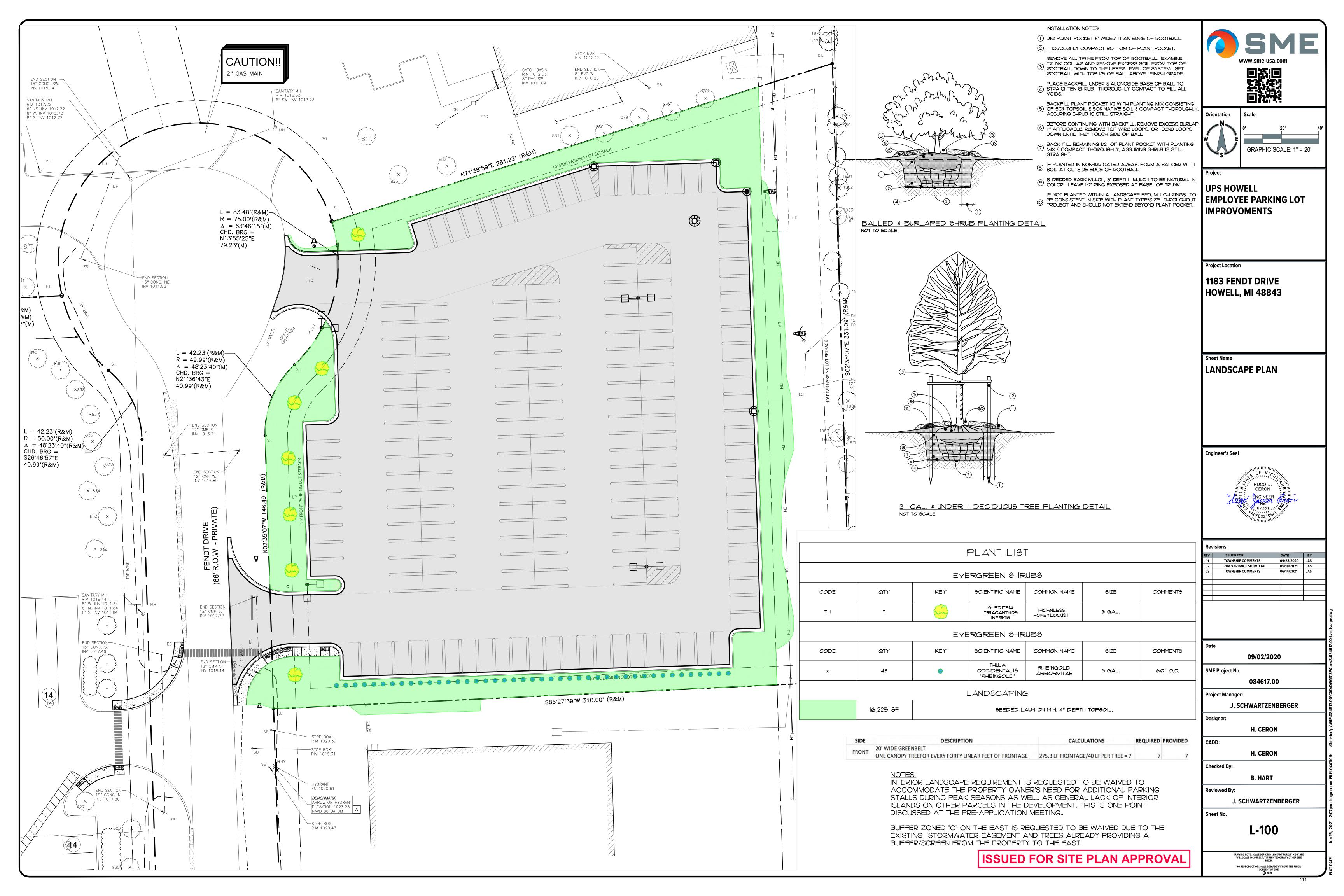
Checked By: S. GIBBS

E701

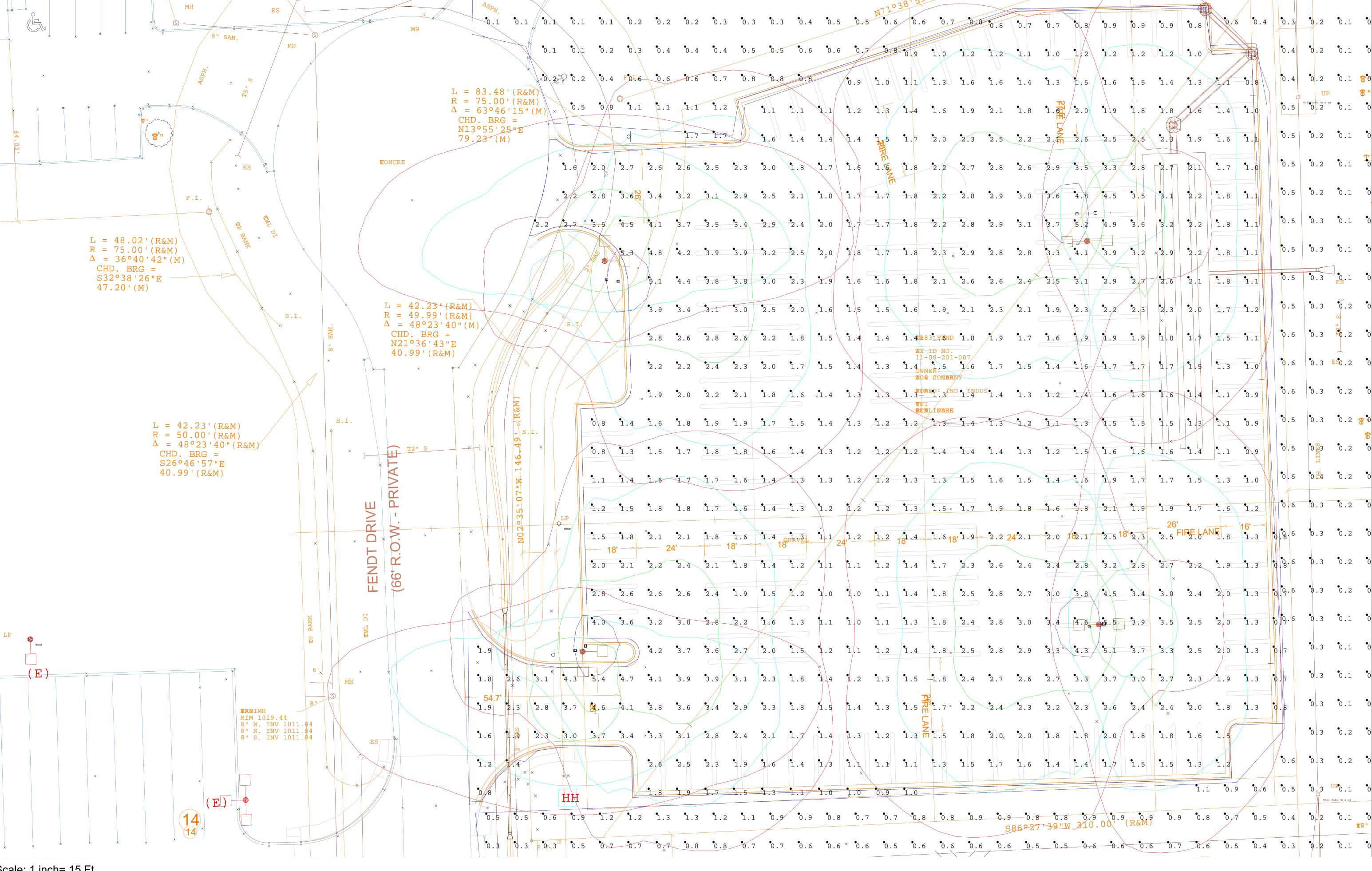
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Scale: 1 inch= 15 Ft.

Luminaire Schedule							
Symbol	Qty	Label	Lum. Lumens	LLF	Lum. Watts	Description	
-	2	L1	18996	0.900	163	DSX1 LED P6 40K T2M MVOLT	
—	4	L2	27577	0.900	241	DSX1 LED P9 40K TFTM MVOLT	
-	2	L3	20139	0.900	183	DSX1 LED P7 40K T3M MVOLT	

1R1/2" WA

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Light Tresspass_Planar	Fc	0.21	1.7	0.0	N.A.	N.A.
Parking Lot_Planar	Fc	2.03	5.5	0.7	7.86	2.90

 $0.0 \times 0.0 \times 0.0 \times 0.0 \times 0.1 \times 0.1 \times 0.1 \times 0.1 \times 0.1 \times 0.2 \times 0.2 \times 0.2 \times 0.3 \times 0.3 \times 0.3 \times 0.3 \times 0.3 \times 0.5 \times 0.5 \times 0.5 \times 0.5 \times 0.5 \times 0.6 \times 0.6 \times 0.6 \times 0.5 \times 0.4 \times 0.3 \times 0.3$



2911 Dorr Road Brighton, MI 48116 810.227.5225 810.227.3420 fax genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager

DATE: July 14, 2021

RE: The Learning Tree Parking Expansion – 1183 Parkway Drive, Howell

MANAGER'S REVIEW:

This project involves construction of a new 31-space parking lot on the adjacent property to the south. The applicant is proposing a land division of the parcel to the south, and a combination of the northerly 90 feet with the developed property to accommodate the parking.

The impact assessment was recommended for approval and the site plan was approved by the Planning Commission on July 12, 2021. Based on the conditions established by the Planning Commission, I offer the following motion for your consideration:

Moved by _________, support by __________to approve the environmental impact assessment dated June 1, 2021 with the condition that all requirements of the Planning Commission motion be satisfied.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,

Kelly VanMarter

Assistant Township Manager/Community Development Director

SUPERVISOR

Bill Rogers

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

TRUSTEES

Jean W. Ledford H. James Mortensen Terry Croft Diana Lowe

MANAGER

Michael C. Archinal

Genoa Township Planning Commission July 12, 2021 Unapproved Minutes

> GENOA CHARTER TOWNSHIP PLANNING COMMISSION PUBLIC HEARING JULY 12, 2021 6:30 P.M. MINUTES

<u>CALL TO ORDER:</u> Chairman Grajek called the meeting of the Genoa Charter Township Planning Commission to order at 6:32 p.m. Present were Chris Grajek, Marianne McCreary, Jeff Dhaenens, Eric Rauch, and Glynis McBain. Also present were Kelly VanMarter, Community Development Director/Assistant Township Manager; Brian Borden of Safebuilt Studio; and Gary Markstrom of Tetra Tech. Absent were Jim Mortensen and Jill Rickard.

PLEDGE OF ALLEGIANCE: The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Dhaenens, seconded by Commissioner Rauch, to approve the agenda as presented. **The motion carried unanimously.**

DECLARATION OF CONFLICT OF INTEREST: None

CALL TO THE PUBLIC: The call to the public was made at 6:33 pm with no response.

OPEN PUBLIC HEARING #1...Review of a site plan and environmental impact assessment for a proposed 31 space parking lot on the adjacent parcel of 1183 Parkway Drive, southeast corner of Parkway Drive and Grand River Avenue for The Learning Tree. The request is petitioned by The Learning Tree.

- A. Recommendation of Environmental Impact Assessment (6-1-21)
- B. Disposition of Site Plan (6-23-21)

Mr. David LeClair of Livingston Engineers was present to represent the applicant. The Learning Tree would like to add a parking lot to the site adjacent to their property. They currently have 24 parking spaces. They have purchased the two-ace parcel next to them and would like to build a 31-space parking lot and provide a sidewalk to connect the two properties. This parcel would be combined with their current property. They will be performing drainage, lighting, and landscaping improvements and moving a fire hydrant. He referenced the letter from Learning Tree, which speaks to their need for the additional parking.

Mr. Borden reviewed his letter dated June 30, 2021.

- 1. The applicant must execute a land division/parcel combination as part of the project.
- 2. The excess parking proposed requires Planning Commission approval in accordance with Section 14.02.06 of the zoning ordinance.
- 3. The applicant must address any comments provided by the Township's engineering consultant and/or the Brighton Area Fire Authority.

Genoa Township Planning Commission July 12, 2021 Unapproved Minutes

Mr. Markstrom reviewed his letter dated July 7, 2021.

- 1. He has worked with the petitioner and their drainage improvements meet his approval.
- 2. The petitioner is proposing to relocate an existing hydrant assembly. The hydrant should be relocated by extending the existing lead to the new location, using bends as necessary. The existing 6-inch valve can be abandoned in place by removing the d-box and burying the valve in the open position, and a new 6-inch isolation valve can be installed out of the driveway closer to the hydrant. This will eliminate the need to shut down the single feed water main on Parkway Drive.
- 3. A note should be added to the plan to coordinate hydrant relocation with MHOG Sewer and Water Authority. The plans should also note that the hydrant must be a minimum of 3 feet off the back of the curb.

The Brighton Area Fire Authority Fire Marshal's letter stated: The two-way emergency vehicle access roads shall be a minimum of 26-feet wide. With a width of 26-feet, one side (building side) of the drive shall be marked as a fire lane. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. (The fire authority has agreed to allow the width to remain at 24-feet with a dead-end exceeding 150-feet with the understanding that should the site be further developed in the future for building access, this requirement will need to be met.)

The applicant advised he will comply with the Fire Marshal's requirement.

Commissioner McCreary questioned if a wetland survey was done. Mr. LeClair stated that area is a retention pond and not a wetland. Mr. Markstrom stated that due to its size, which is less than one acre, it is unregulated.

Commissioner Rauch questioned the parking calculation for these additional spaces. Mr. Borden stated it is 250 percent over the maximum allowable number of parking spaces.

Commissioner McBain questioned how the walkway will be placed between the two parcels. Mr. LeClair stated they will be installing a culvert over the retention pond.

The call to the public was made at 6:48 pm with no response.

Moved by Commissioner Rauch, seconded by Commissioner Dhaenens, to recommend to the Township Board approval of the Environmental Impact Assessment dated June 1, 2021 for The Learning Tree. **The motion carried unanimously**.

Moved by Commissioner Rauch, seconded by Commissioner McCreary, to approve the Site Plan dated June 23, 2021 for The Learning Tree, with the following conditions:

- The applicant shall execute a parcel combination prior to issuance of the permit.
- The conditions noted in the Township Engineer and BAFA letters shall be me.
- This Planning Commission finds the excess parking to be necessary for the continuance of the applicant's operations and are in agreement with the construction of the additional 33 parking spaces as it is in accordance with Section 14.02.06 of the zoning ordinance.

The motion carried unanimously.



GENOA CHARTER TOWNSHIP Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:
APPLICANT NAME & ADDRESS: Mc Lenning Tow 23800 Ind Park Down Hills 4 If applicant is not the owner, a letter of Authorization from Property Owner is needed. 23800 Ind Park Down
OWNER'S NAME & ADDRESS: The Learning Tree Farmington Hills 4833
SITE ADDRESS: 1183 PACKED DELCE PARCEL #(s): 4711-09-100-020
APPLICANT PHONE: (517) 545-34460WNER PHONE: (517) 545-3440
OWNER EMAIL: CARd depate was 6 mail. com
LOCATION AND BRIEF DESCRIPTION OF SITE: PARKING LOT ADDITION
to The Leaening Tizes Child Cape Center
At 1183 PARKING DIZION
BRIEF STATEMENT OF PROPOSED USE: PROKING Lat MODITION to
supplement existing Learning Tree facility.
THE FOLLOWING BUILDINGS ARE PROPOSED: Ho buildings
building Additions are proposed
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.
ADDRESS: 23800 Inc. Proce Dove Farmonter Hills M1 48335

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) Phus LeClar of Livingsten Engineerin, at davide livingsteners

Name Business Affiliation E-mail Address . com

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and fill understanding of this policy.

SIGNATURE: CONSIDER POR STUDIOS

DATE: 6/2/2021

PRINT NAME: CAROL GATONOOO

PHONE: 517-545-3440

ADDRESS: 23800 Ing. PARK DOWC Formington Hills, MI 48335



June 30, 2021

Planning Commission Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP
	Planning Director and Assistant Township Manager
Subject:	The Learning Tree – Site Plan Review #2
Location:	1183 Parkway Drive – southeast corner of Parkway Drive and Grand River Avenue
Zoning:	IND Industrial District

Dear Commissioners:

At the Township's request, we have reviewed the revised submittal from the Learning Tree requesting site plan review/approval for a parking lot expansion (plans dated 6/23/21).

A. Summary

- 1. The applicant must execute a land division/parcel combination as part of the project.
- 2. The excess parking proposed requires Planning Commission approval in accordance with Section 14 02 06
- 3. The applicant must address any comments provided by the Township's engineering consultant and/or the Brighton Area Fire Authority.

B. Proposal/Process

The applicant proposes construction of a new 31-space parking lot on the adjacent property to the south. The project includes a land division of the parcel to the south, and a combination of the northerly 90 feet with the developed property.

The land division/parcel combination is necessary to accommodate the project, so the Commission should include this as a condition if favorable action is considered on the site plan.

Procedurally, the Planning Commission has approval authority over the site plan, while a recommendation to the Township Board is needed for the impact assessment.

C. Site Plan Review

1. **Dimensional Requirements.** Given the nature of the proposal, the only IND dimensional requirements that apply are parking lot setbacks and impervious surface lot coverage.

Based on the revised submittal, parking lot setbacks, and impervious surface lot coverage are met.

- **2. Pedestrian Circulation.** There is an existing public sidewalk along Grand River Avenue. A sidewalk is not proposed, nor required along Parkway Drive, though the project includes an internal pedestrian connection between the existing and proposed parking lots.
- **3. Vehicular Circulation.** The project includes a new curb cut for vehicular access to/from Parkway Drive.

The applicant must address any comments provided by the Township's engineering consultant or the Brighton Area Fire Authority with respect to vehicular circulation.

www.safebuilt.com 121



Aerial view of site and surroundings (looking north)

4. Exterior Lighting. The submittal includes a lighting plan, which identifies 5 parking lot light poles (4 within the proposed lot, and 1 along the pedestrian connection between parking lots).

Details note the use of shielded, downward directed LED fixtures mounted at a height of 14'. The photometric plan notes compliant intensities both on-site, and along property lines.

5. Parking. The parking lot has been reviewed for compliance with the standards of Article 14, as follows:

	Required	Proposed	Comments
Parking Spaces Child care centers (2 spaces + 1 per 8 children of capacity)	22	22 existing 31 proposed 55 total	14.02.06 requires PC approval for parking above 120%. Revised submittal notes staffing levels and COVID protocols as the need for additional parking.
Barrier Free Spaces	3	3 existing	Located w/in the existing parking lot
Dimensions Spaces (75 to 90-degree) Drive aisle width (two-way)	9' x 18' 24'	9' x 18.5' 24'	In compliance In compliance
Construction	Looped striping Curbing on all sides	Looped striping Curbing	In compliance In compliance

6. Landscaping. The landscape plan has been reviewed for compliance with the standards of Section 12.02, as shown in the following table:

Standard	Required	Proposed	Notes
Front yard greenbelt	20' width 3 canopy trees	20' width 3 canopy trees	In compliance
Parking lot	3 canopy trees 310 SF landscaped area	3 canopy trees 310 SF landscaped area	In compliance
Detention pond	8 canopy OR evergreen trees 80 shrubs	5 canopy trees 4 evergreen trees 81 shrubs	In compliance

Genoa Township Planning Commission **The Learning Tree** Site Plan Review #2 Page 3

7. Impact Assessment. The submittal includes an Environmental Impact Assessment dated June 1, 2021.

In summary, the Assessment states that the proposed project is not expected to have an adverse impact upon natural features, stormwater, surrounding land, public services/utilities, or traffic and pedestrians.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully, **SAFEBUILT**

Brian V. Borden, AICP Michigan Planning Manager

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July 7, 2021

Ms. Kelly Van Marter Genoa Township 2911 Dorr Road Brighton, MI 48116

Re: Learning Tree Parking Addition Site Plan Review No. 2

Dear Ms. Van Marter:

Tetra Tech conducted a second review of the proposed Learning Tree Parking Lot Addition site plan last dated June 23, 2021. The plans were completed by Livingston Engineering on behalf of Learning Tree Child Care Center. The existing building is on a 2.37 acre parcel on the east side of Parkway Drive and the Petitioner is proposing to add 0.75 acres from the south parcel to use for a new parking lot. The 0.75 acre lot where the parking lot is proposed is currently a vacant site and on-site detention is proposed.

After reviewing the site and impact assessment we offer the following:

DRAINAGE AND GRADING

1. The Petitioner provided storm calculations to demonstrate that the proposed site will not exceed the 0.43 runoff coefficient that the existing detention basin was designed for. The Petitioner is proposing a sedimentation forebay to intercept drainage prior to draining to the existing detention basin and they are providing additional detention volume to mitigate fill that is proposed in the existing detention basin. With these updates to the site plan we have no concern with the proposed storm drainage plan.

UTILITIES

- 1. The petitioner is proposing to relocate an existing hydrant assembly. The hydrant should be relocated by extending the existing lead to the new location, using bends as necessary. The existing 6-inch valve can be abandoned in place by removing the d-box and burying the valve in the open position, and a new 6-inch isolation valve can be installed out of the driveway closer to the hydrant. This will eliminate the need to shut down the single feed water main on Parkway Drive.
- 2. A note should be added to the plan to coordinate hydrant relocation with MHOG Sewer and Water Authority. The plans should also note that the hydrant must be a minimum of 3 feet off the back of the curb.

We recommend the petitioner revise the site plan to address the above comments as part of the site plan approval process. Please call or email if you have any questions.

Sincerely,

Gary J. Markstrom, P.E.

Vice President

Shelby Scherdt Project Engineer

elby Schordt

BRIGHTON AREA FIRE AUTHORITY



615 W. Grand River Ave. Brighton, MI 48116 o: 810-229-6640 f: 810-229-1619

July 02, 2021

Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

RE: Learning Tree Parking Addition

1183 Parkway Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above-mentioned site plan. The plans were received for review on June 30, 2021 and the drawings are dated June 23, 2021. The project is based on the redevelopment of a portion of a vacant parcel for use as parking for an existing daycare structure. The plan review is based on the requirements of the International Fire Code (IFC) 2021 edition.

1. The two-way emergency vehicle access roads shall be a minimum of 26-feet wide. With a width of 26-feet, one side (building side) of the drive shall be marked as a fire lane. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. (The fire authority has agreed to allow the width to remain at 24-feet with a dead-end exceeding 150-feet with the understanding that should the site be further developed in the future for building access, this requirement will need to be met.)

IFC D 103.1 IFC D 102.1

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

Rick Boisvert, FM, CFPS

Fire Marshal

cc:Amy Ruthig amy@genoa.org

Impact Assessment
For
Learning Tree Day Care
Parking Lot Addition
Genoa Township
Livingston County, Michigan

Prepared By

Livingston Engineering 3300 S. Old US-23 Brighton, MI 48114 (810) 225-7100 June 1, 2021 This impact assessment has been prepared in accordance with section 18.07 of the Genoa Township, Livingston County, Michigan Zoning Ordinance. This section states that developments of this nature shall include such a report for review as part of the site plan review and approval process. As such, this report has been prepared to provide the required information and project overview of the development, in accordance with current township requirements.

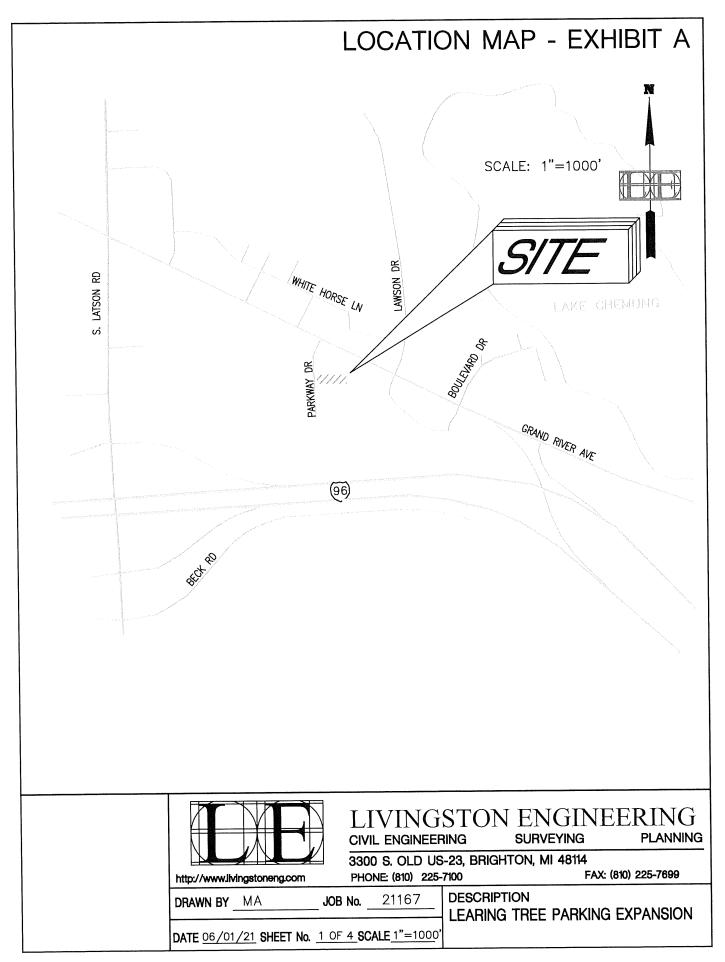
I. Party Responsible for preparation of Impact Statement

This impact assessment has been prepared by Livingston Engineering, a professional services company offering civil engineering, land surveying, and site planning services throughout southeast Michigan. Livingston Engineering is licensed to provide engineering and surveying services in Michigan, as well as engineering licenses in the states of Arizona, Colorado, New Mexico, Tennessee and Utah.

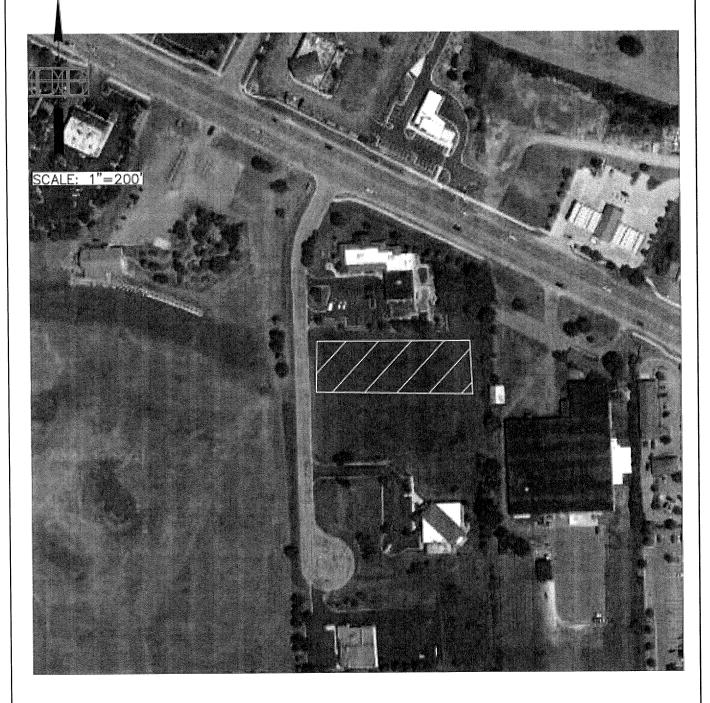
II. Site Location

The subject site contains approximately .75 acres of a 2.0 acre parcel that will be added to the current Learning Tree facility located in the northwest ¼ of section 9 of Genoa Township, Livingston County, Michigan. This parcel is located on Parkway Drive, south of Grand River Ave between Latson and Lawson Roads. It is bordered on the North by the existing Learning Tree Facility, the South by the WHMI building, the East by the Reuland Electric Building and across Parkway Drive is the Grand River Golf Range parcel. A location map and aerial photograph of the subject site is included in this report as Exhibit "A" and Exhibit "B" respectively.

Currently, the site is zoned IND, Industrial. The site is bordered on the North, South and East sides by similar Industrial parcels with the driving range parcel across Parkway Drive being zoned PRF.



AERIAL PHOTOGRAPH - EXHIBIT B





LIVINGSTON ENGINEERING

CIVIL ENGINEERING

SURVEYING

PLANNING

3300 S. OLD US-23, BRIGHTON, MI 48114

PHONE: (810) 225-7100

FAX: (810) 225-7699

DRAWN BY MA

JOB No. 21167

DESCRIPTION

LEARING TREE PARKING EXPANSION

DATE 06/01/21 SHEET No. 2 OF 4 SCALE 1"=1000"

A copy of the Genoa Township Zoning Map is included in this report as Exhibit "C".

III. Impact on Natural Features

Currently, the site is vacant and consists of an open fallow field with scattered brush and small saplings. The parking lot as designed will utilize the westerly 2/3rd of the property with the remainder being left in its natural condition. Storm water runoff will be collected and directed into a proposed on-site detention area and discharged in its Northeast corner to maintain the existing drainage patterns.

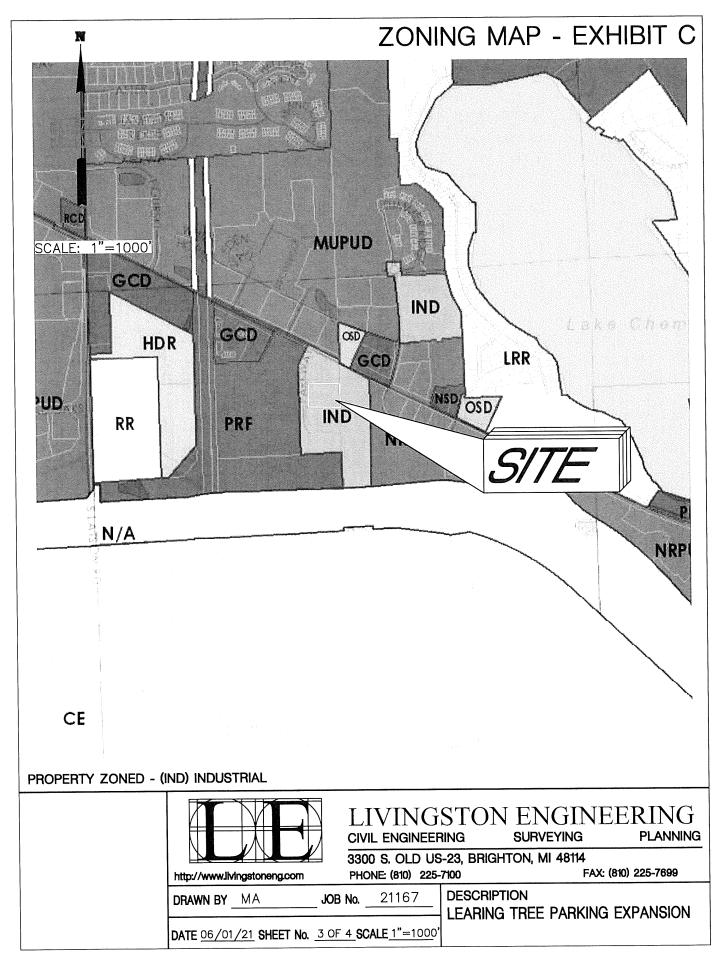
Soils on the site consist primarily of Miami Loam. Miami loam is described as poorly drained soils with slow runoff characteristics and moderate permeability. A soils map of the subject site is included as Exhibit "D".

Landscape treatments and buffers will be placed both within the site and around its perimeters to compliment the vegetation that will remain in place.

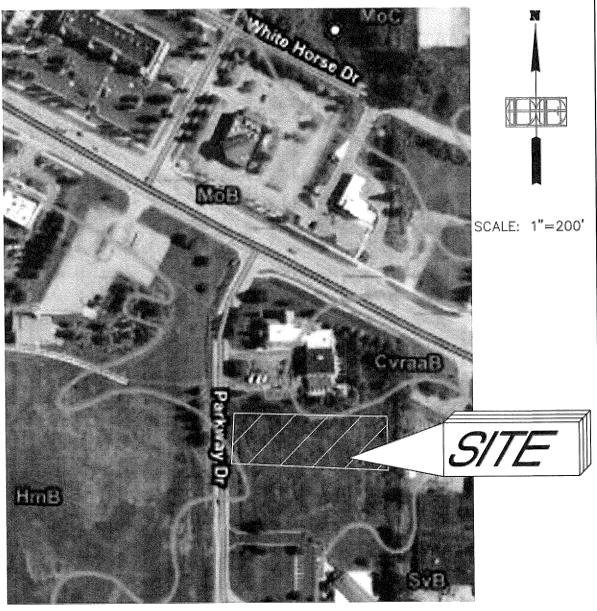
IV. Impact on Storm Water Management

The proposed development will provide storm water quality and flood control treatment using an on-site storm water detention pond, located immediately East of the parking expansion. The detention pond is designed to meet the current standards of the Livingston County Drain Commissioner's Office and those of Genoa Township. Storm water runoff from the adjacent areas will continue to drain in their current state and not be affected by this parking expansion.

During construction, soil erosion and dust control measures will be implemented. Best management practices including silt fence, check dams, and inlet filter mechanisms will be utilized during this time. For dust control, soil watering to keep the site in a moisture optimum condition will be performed with a water truck on an as



SOILS MAP - EXHIBIT D



SOILS LEGEND

CvraaB - CONOVER LOAM, 0 TO 4 PERCENT SLOPES

HmB - HILLSDALE-MIAMI LOAMS, 2 TO 6 PERCENT SLOPES

MOB - MIAMI LOAM, 2 TO 6 PERCENT SLOPES

MoC - MIAMI LOAM, 6 TO 12 PERCENT SLOPES

SVB - SPINKS-OAKVILLE LOAMY SANDS, 0 TO 6 PERCENT SLOPES



LIVINGSTON ENGINEERING

CIVIL ENGINEERING SURVEYING

PLANNING

3300 S. OLD US-23, BRIGHTON, MI 48114

PHONE: (810) 225-7100 FAX: (810) 225-7699

DRAWN BY MA JOB No. 21167

DESCRIPTION

LEARING TREE PARKING EXPANSION

DATE 06/01/21 SHEET No. 4 OF 4 SCALE 1"=1000"

needed basis. Upon completion of mass grading and earthmoving operations, permanent restoration including topsoil, seed and mulch along with landscape installation will be performed.

A soil erosion and sedimentation control permit will be required prior to the start of any site grading or construction.

V. Impact on Surrounding Land Uses

As proposed, the addition being proposed is a 31 space parking lot addition, in conformance with the current IND zoning designation standards. The proposed expansion will not add any square footage to the existing building, nor will it add any employees to the existing facility. Hours of operation for this establishment will continue to be Monday through Friday, 6:30 a.m. to 6:30 p.m.

Access to this site will be from Park Lane via a new entrance, The new parking lot will be connected to the existing parking lot with a pedestrian sidewalk.

Site lighting for the parking lot addition will be limited to pole mounted shoe-box type fixtures that will disperse light to the parking area within acceptable limits as allowed by Genoa Township. All proposed lighting shall be downward directed to reflect light toward and confined to immediate ground areas with no interference on adjacent properties.

Given the aforementioned information, the new parking addition will not adversely affect any of the adjacent parcels or the Grand River corridor in this immediately vicinity.

VI. Impact on Public Facilities and Services.

As this project is a parking lot addition only, it is not anticipated that it will adversely affect emergency services such as fire and police. Additionally, as the project is not a residential site,

undesirable effects on local schools or recreation facilities is not expected.

VII Impact on Public Utilities

As this project is a parking lot addition only, it is not anticipated that it will adversely affect any public utilities that service the areas surrounding the parcel. No additional water or sewer taps will be needed to support this project, now will any additional traffic be generated by its addition. Storm sewer runoff will be collected via sheet flow into an on-site detention system in accordance with current engineering standards which will not adversely affect adjacent properties. Additionally, as no building or employee additions are planned as part of this project, traffic to Parkway Drive or surrounding roadways will not be impacted.

VIII. Storage and Handling of Any Hazardous Materials

There is no plan for storage or handling of any hazardous materials on this site.

IX. Impact on Traffic

As the project as proposed is a parking lot addition only to support the current day care facility and no additional students or staff are being added, there will be no impact on traffic the either Park Lane or any of the surrounding roadways.

X. Historic and Cultural Resources

It is not believed that this addition will have any impact on any historic and/or cultural resources pertaining to the subject parcel and no known historic and/or cultural resources exist on this site that will be affected by this development.

XI. Special Provisions

No special provisions are part of this project.

XII. Other Items

- 1. Large truck use is not necessary for this site. Deliveries will continue to be made to the existing facility as they are currently being made.
- 2. The North portion of this parcel that contain the parking lot addition will be added to the current Learning Tree parcel upon approval with the remaining lands being a stand-alone parcel.



June 22, 2021

Ms. Kelly VanMarter Assistant Twp. Manager/Community Development Director Genoa Charter Township 2911 Dorr Road Brighton, MI 48116

Reg: Learning Tree Child Care Center
Parking Expansion – Parkway Drive
Genoa Charter Township, Livingston County, MI

Kelly,

In response to your request for information to support our request for additional parking at our Genoa Township facility, please consider the following:

- Our current facility has 24 parking spaces (2 of which are handicap spaces).
- Three of our current spaces are occupied for Learning Tree buses that are used to transport children to/from school and for field trips.
- We currently have 27 employees on staff. Our staff count is based on our current needs and to meet current Michigan Department of Licensing and Regulatory Affairs. This includes a requirement for one staff person for every four children under the age of 2 ½ years old, which consist of a significant portion of our census.
- New COVID guidelines require that teachers in one classroom are now not permitted to shift over into other classrooms, further adding to our staff needs.

- Capacity has more than tripled from when we first opened. Currently the need for infant/ toddler care is extreme and these classrooms are operating at 100% capacity. With that ratio being 1:4 we have an increase of teachers as well as support staff who come to the center to help. As the preferred child care center in Howell, parents are touring our center and starting the next day!
- To meet our current parking demands, we currently rent parking spaces from the adjacent golf range facility, which may not available in the foreseeable future.

Given these current conditions and guidelines, it is imperative that for our facility to properly function, additional parking is both required and necessary for our successful operation. As such we respectfully your approval for the proposed 31 additional spaces. Should you have any additional questions regarding this issue, please feel free to contact me at your earliest convenience.

Sincerely,

Carol Gatewood

Owner

The Learning Tree Child Care Center

MOTOR VEHICLE PARKING LEASE AGREEMENT

This Motor Vehicle Parking Lease Agreement (the "Agreement") is made this 1st day of January, 2015 between DAV, LLC, a Michigan limited liability company, which address is 7567 Radcliffe, Brighton, Michigan 48114 ("Lessor") and The Learning Tree Child Care Center – Howell, Inc., a Michigan corporation, which address is 1183 Parkway Drive, Howell, Michigan 4843 together with 1183 Parkway Drive, LLC, a Michigan limited liability company, which address is 31015 Grand River Avenue, Farmington Hills, Michigan 48336 ("Lessee"). The Lessor and Lessee are referred to herein collectively as the "Parties". The Parties agree as follows:

- 1. Lessee desires to have access and availability of twenty-eight (28) motor vehicle parking spaces on Lessor's property at 4444 E. Grand River Avenue, Howell, Michigan 48843.
- 2. Lessor grants to Lessee twenty-eight (28) motor vehicle parking spaces at 4444 E. Grand River, Howell, Michigan subject to Lessee's compliance with each of the following conditions:
 - (a) Lessee shall obtain and continue to enforce throughout the term of this Agreement (and in any extension thereafter) a commercial general liability insurance policy from a commercial liability insurance carrier authorized to do business in the state of Michigan and in an amount not less than \$1,000,000 per occurrence. The insurance policy shall name Lessor as a loss payee and an additional insured. The insurance policy shall also provide that it shall not be cancelled without providing written notice to Lessor thirty (30) days in advance of cancellation.
 - (b) Lessee shall be solely responsible to clear snow and ice from Lessor's parking area to accommodate the motor vehicle parking spaces granted and Lessee shall further keep the parking area deiced when necessary. All deicing products used by Lessee for deicing shall be approved in advance by Lessor.
 - (c) Lessee shall timely pay the monthly rental rate to Lessor.
- 3. Lessee agrees to indemnify Lessor and hold Lessor harmless from any and all claims or causes of action for personal injury (including death) and/or property damage arising out of Lessee's guests, invitees, licensee, patrons, suppliers and third parties occupying, using or driving upon the parking area on Lessor's property.
- 4. The term of this Agreement shall commence on January 1, 2015 and end on December 31, 2015. After December 31, 2015 the lease term shall be month-to-month with all conditions and obligations of this Agreement continuing unless modified by a separate writing signed by both Lessor and Lessee.
- 5. Lessee shall pay rent to Lessor on the first day of each month beginning on January 1, 2015 in the amount of Four Hundred and 00/100 (\$400.00) Dollars a month and on the first day of each month thereafter. All rent payments shall be delivered or mailed to Lessor at 7567 Radcliffe, Brighton, Michigan 48114.
- 6. Excepting for snow removal and deicing when needed, Lessor is otherwise responsible for the maintenance and parking area repairs on Lessor's property, including maintenance and repair of the twenty-eight (28) parking spaces granted to Lessee within this Agreement.

(Number 7 intentionally omitted)

- 8. Lessee acknowledges, understands and agrees that any breach of the terms and conditions of this Agreement which Lessee is obligated to perform shall constitute a default of this Agreement and entitle Lessor to immediately terminate this Agreement and seek all remedies available to a Landlord under Michigan law, including without limitation, eviction and money damages. In addition, all costs and reasonable attorney fees shall be the obligation of Lessee to pay to Lessor should enforcement of this Agreement by Lessor be undertaken for a breach and default of this Agreement.
- 9. Lessor further grants to Lessee, a license for additional motor vehicle parking spaces for special Lessee events, provided Lessee notifies Lessor not less than twenty-four (24) hours in advance of the special event date and time and also the approximate number of additional motor vehicle parking spaces needed. Lessee shall notify Lessor by telephone at: (810) 599-8699.
- 10. Otherwise, all other notices between Lessor and Lessee under this Agreement shall be provided in writing and delivered personally or by first class mail as follows:

To Lessor:

D.A.V., LLC Attn: Doro Vitella 7567 Radcilffe

Brighton, MI 48114

To Lessee:

1183 Parkway Drive, LLC

Attn: Carol Gatewood 31015 Grand River Avenue Farmington Hills, MI 48336

11. This Agreement contains the entire agreement between Lessor and Lessee and all prior oral or written representations by either Lessor or Lessee are of no further force or effect. This Agreement may only be modified or amended by a separate writing signed by both Lessor and Lessee. This Agreement shall be governed, interpreted and enforced in accordance with Michigan law.

The undersigned Parties have executed this Agreement on the day and year written above.

D.A.V., LLC, a Michigan limited liability

company

Doro Vitella

Its: Member/Manager

LEARNING TREE CHILD CARE CENTER

HOWELL, INC., a Michigan corporation

Carol Gatewood

Its: President

1183 PARKWAY DRIVE, LLC, a Michigan

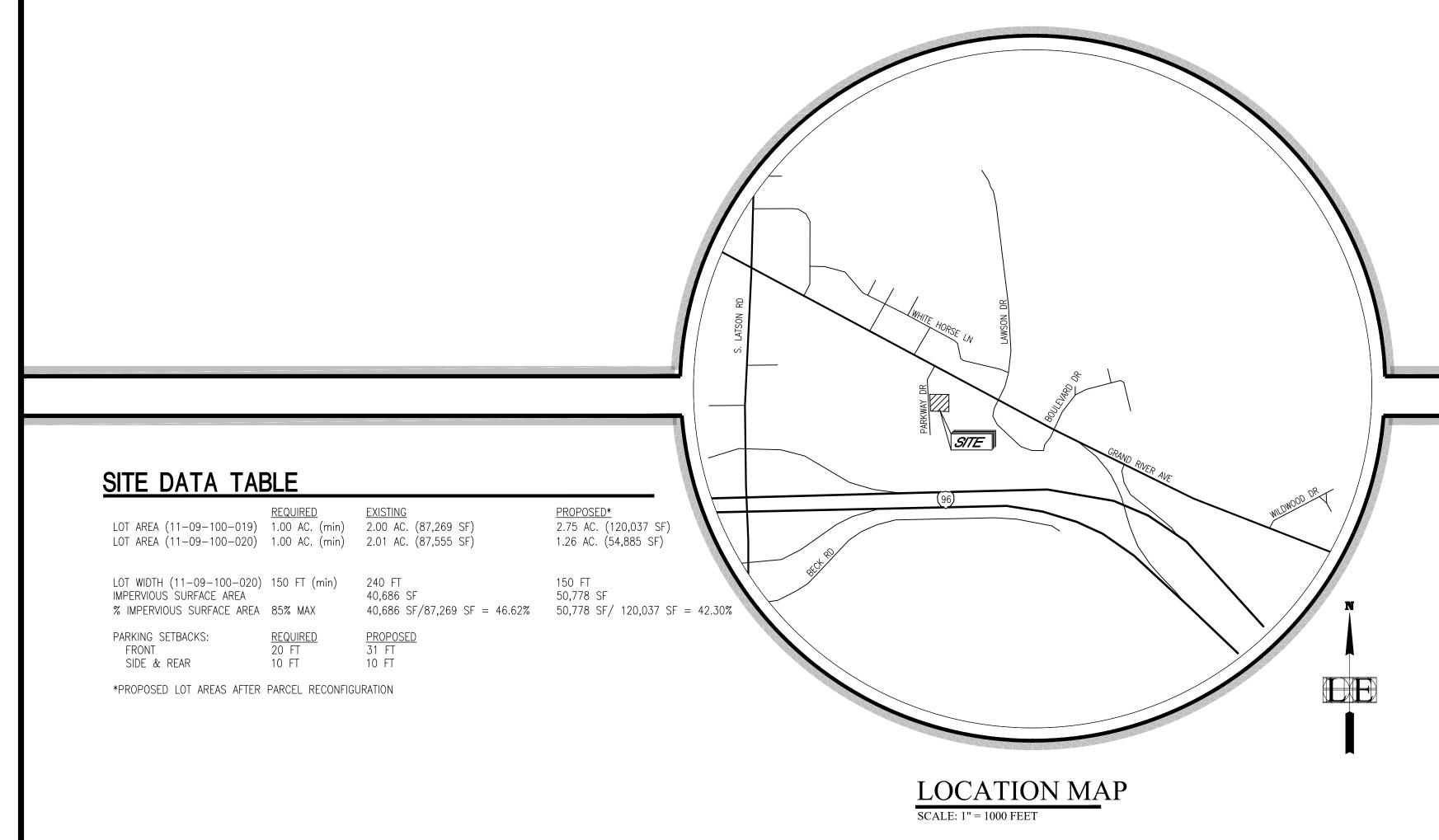
limited liability company

Carol Gatewood

Its: Member/Manager

PRELIMINARY SITE PLAN FOR LEARNING TREE PARKING EXPANSION

PART OF PARCEL ID# 11-09-10-020 GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



ADJACENT PROPERTY TABLE

Direction	Lot	Zoning	Use
	The Learning Tree		
North	Child Care Center	IND	Child Care Center
East	Reuland Electric	IND	Indoor Retail
			Radio and Television
South	WHMI 93.5FM	IND	Studios
	The Grand River		Golf Driving Ranges
	Golf Range and		and Miniature Golf
West	Putt Putt	PRF	Courses

SITE DATA & GENERAL NOTES

- 1. Property is zoned: IND Industrial
- 2. Contractor is responsible for protecting all existing and proposed utilities from damage during all stages of construction.
- 3. The engineer and applicable agency must approve, prior to construction, any alteration, or variance from these plans.
- 4. Underground dry utilities shall be extended from existing locations to service this site as required by utility companies.
- 5. All construction shall be performed in accordance with the current standards and specifications of Genoa Township and Livingston County.
- 6. Three working days prior to any excavation, the Contractor shall telephone MISS DIG (800-482-7171) for the location of underground utilities and shall also notify representatives of other utilities located in the vicinity of the work. It shall be the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this job.
- 7. Site plan use: CHILD CARE CENTER
- 8. Site storm drainage to outlet to the existing drainage path at rear of site.

LEGAL DESCRIPTION

Situated in the Township of Genoa, County of Livingston, State of Michigan.

(As provided by Old Republic National Title Insurance Company, Commitment No. 20—39640—5, Commitment Date:

A part of the Northwest 1/4 of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as follows: Commencing at the Northwest corner of said Section 9; thence North 01 degree 45 minutes 40 seconds East along the centerline of Latson Road and the West line of said Section 4, 549.50 feet to the centerline of Grand River Avenue (100 feet wide); thence South 60 degrees 55 minutes 25 seconds East along said centerline, 587.60 feet; thence South 60 degrees 50 minutes 00 seconds Fast along said centerline 2.375.70 feet to the North-South 1/2 line of said Section 9: thence South 0.1 degree 3.1 minutes 50 seconds West along said North-South 1/4 line 215.00 feet to the point of beginning of the parcel to be described; thence continuing South 01 degree 31 minutes 50 seconds West along said North-South 1/4 line, 240.00 feet; thence North 88 degrees 28 minutes 10 seconds West 363.81 feet to the Easterly line of a 66 foot wide private road easement for ingress and egress; thence North 01 degree 31 minutes 50 seconds East along said Easterly easement line, 240.00 feet; thence South 88 degrees 28 minutes 10 seconds East, 363.81 feet too the point of beginning.

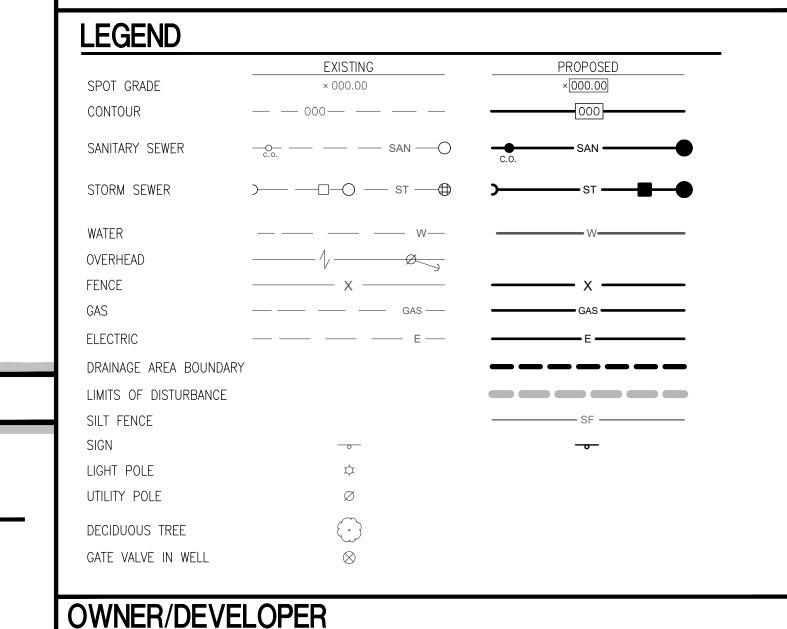
Including the use of a 66 foot wide, non-exclusive, private road easement and cul-de-sac being part of the Northwest ¼ of Section 9, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as: Commencing at the Northwest corner of said Section 9; thence North 01 degrees 45 minutes 40 seconds East along the centerline of Latson Road and the West line of Section 4, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, 549.30 feet to the centerline of Grand River Avenue (100 feet wide); thence South 60 degrees 55 minutes 25 seconds East along said centerline, 587.60 feet; thence South 60 degrees 50 minutes 00 seconds East along said centerline, 1996.92 feet to the point of beginning of the easement to be described; thence continuing South 60 degrees 50 minutes 00 seconds East along said centerline, 66.00 feet; thence South 29 degrees 16 minutes 00 seconds West along the Easterly line of the easement being described, 137.69 feet; thence Southwesterly along said Easterly line, 95.37 feet along the arc of a curve left, which has a central angle of 27 degrees 44 minutes 10 seconds, a radius of 197.00 feet, and a long chord bearing South 15 degrees 23 minutes 53 seconds West 94.44 feet; thence South 01 degree 31 minutes 50 seconds West along said Easterly line, 486.03 feet; thence Southeasterly, 83.64 feet along a curve left, which has a central angle of 63 degrees 53 minutes 46 seconds, a radius of 75.00 feet, and a long chord bearing South 30 degrees 25 minutes 03 seconds East 79.37 feet; thence 319.26 feet along the arc of a 75 foot radius cul-de-sac on a curve right, which has a central angle of 243 degrees 53 minutes 46 seconds, a radius of 75.00 feet and a long chord bearing South 59 degrees 34 minutes 57 seconds West 127.28 feet; thence North 01 degree 31 minutes 50 seconds East 685.66 feet; thence North 29 degrees 16 minutes 00 seconds East, 202.51 feet to the centerline of Grand River Avenue and the point of beginning.

PARKING CALCULATIONS

REQUIRED PARKING PER ORDINANCE 155 CHILDREN @ 2 SP. + 1 SP. PER 8 CHILDREN OF LICENSED AUTHORIZED CAPACITY = 2 + 155/8= 22 SPACES ADA REQUIRED SPACES FOR 51 TO 75 TOTAL SPACES = 3 BARRIER FREE SPACES PROVIDED PARKING TOTAL SPACES PROPOSED: = 55 SPACES INCL/ 3 BARRIER FREE SPACES

SHEET INDEX

- . COVER SHEET 2. EXISTING CONDITIONS & REMOVALS
- LAYOUT PLAN 4. GRADING AND STORM WATER MANAGEMENT PLAN
- 5. LANDSCAPING PLAN
- 6. PHOTOMETRIC LIGHTING PLAN



| LEARNING TREE CHILD CARE CENTER

ENGINEER



1183 PARKWAY DR.

HOWELL, MI 48843

PHONE: (248) 986-8837

DATE PROJECT No. 21167

SHEET 1 OF 6

DATE: JUNE 23, 2021

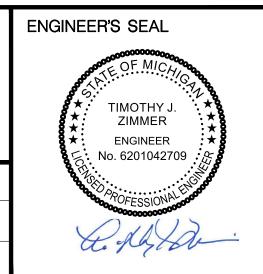
LIVINGSTON ENGINEERING

3300 S. OLD U.S. 23, BRIGHTON, MI 48114

www.livingstoneng.com PHONE: (810) 225-7100 FAX: (810) 225-7699

LEARNING TREE PARKING EXPANSION GENOA TOWNSHIP LIVINGSTON COUNTY. MICHIGAN

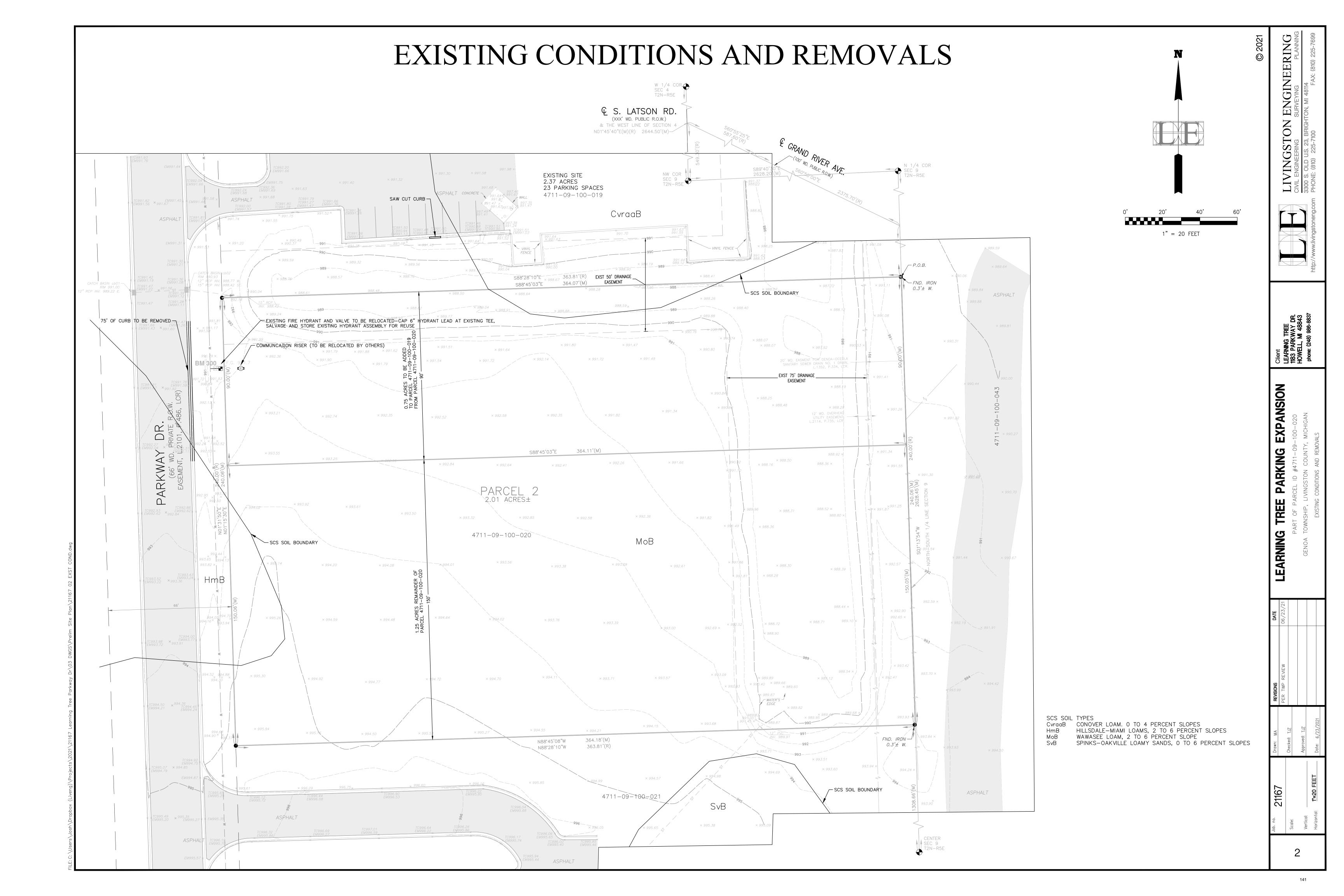
PRELIMINARY SITE PLAN

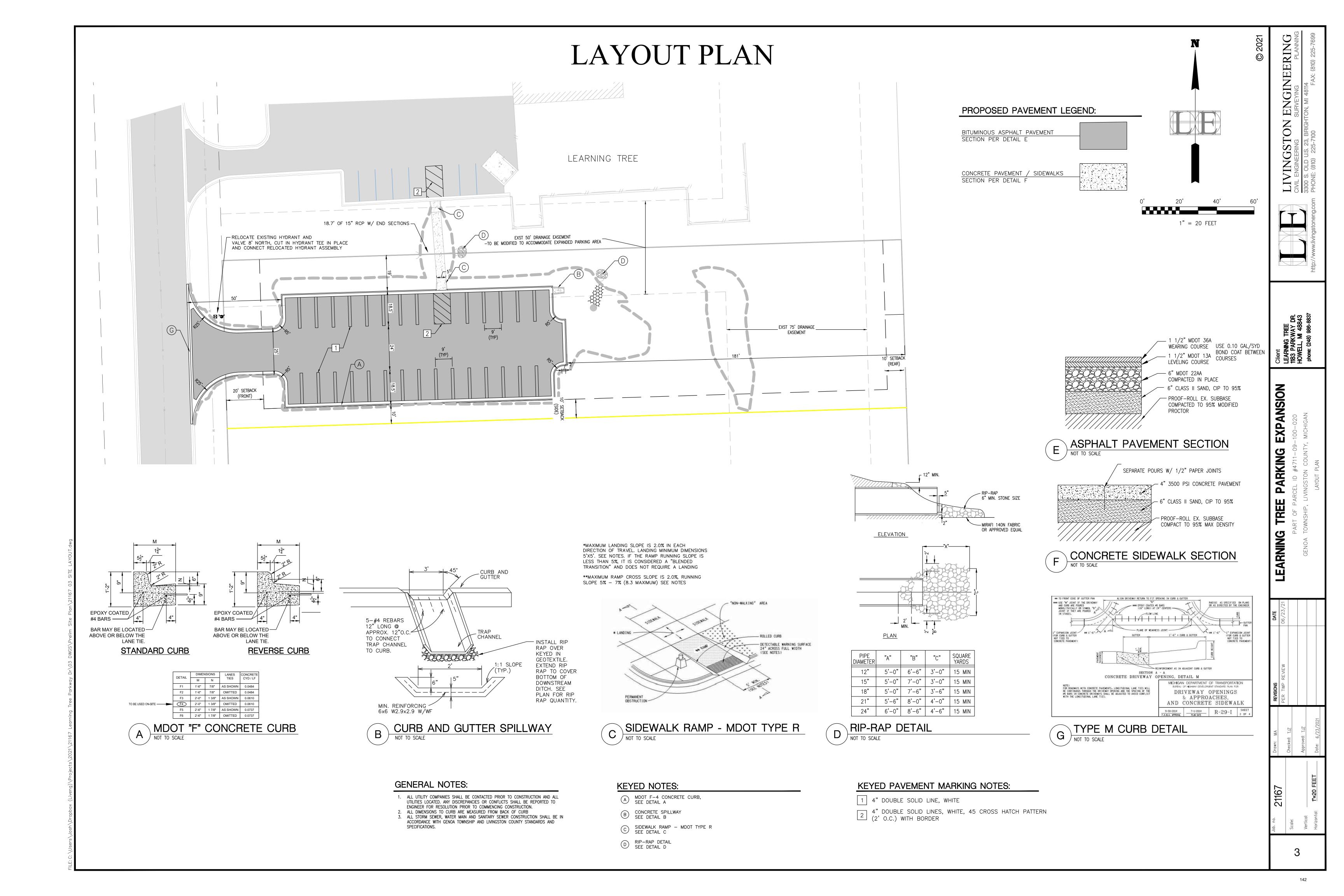


UTILITY DISCLAIMER

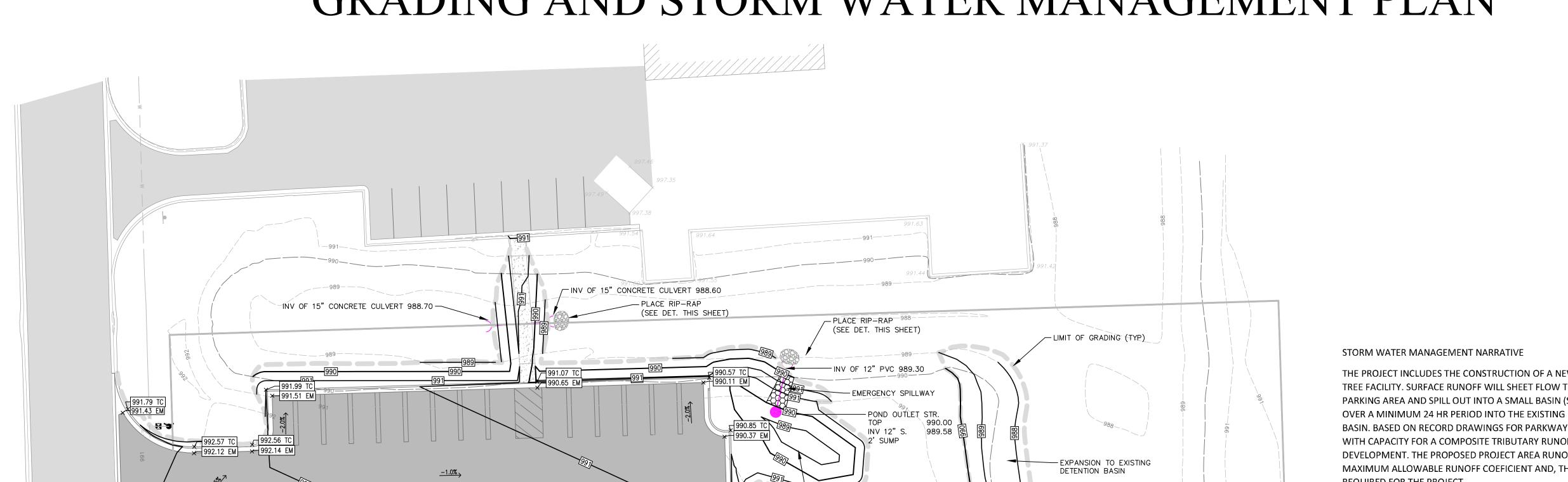


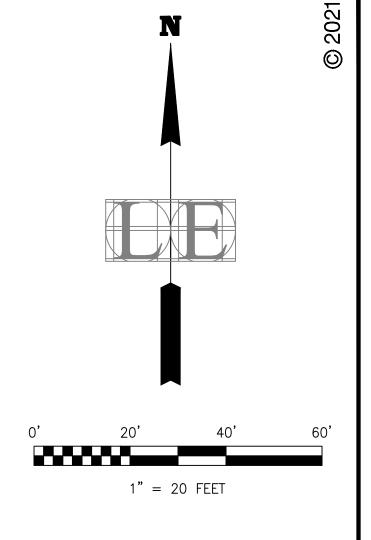
Utilities as shown indicate approximate location of facilities only, as described by the various companies and no guarantee is given either as to the completeness or accuracy thereof. Contractor shall call "MISS DIG" 1-800-482-7171 prior to the start of construction. Electric, gas, phone and television companies should be contacted prior to the commencement of field activities.





GRADING AND STORM WATER MANAGEMENT PLAN





ENGINEERING

EXPANSION

THE PROJECT INCLUDES THE CONSTRUCTION OF A NEW PARKING AREA ADDITION TO THE LEARNING TREE FACILITY. SURFACE RUNOFF WILL SHEET FLOW TO THE NORTHEAST CORNER OF THE PROPOSED PARKING AREA AND SPILL OUT INTO A SMALL BASIN (SEDIMENT FOREBAY) BEFORE BEING RELEASED OVER A MINIMUM 24 HR PERIOD INTO THE EXISTING PARKWAY DRIVE DEVELOPMENT DETENTION BASIN. BASED ON RECORD DRAWINGS FOR PARKWAY DRIVE, THE EXISTING BASIN WAS CONSTRUCTED WITH CAPACITY FOR A COMPOSITE TRIBUTARY RUNOFF COEFICIENT OF 0.43 FOR THE ENTIRE DEVELOPMENT. THE PROPOSED PROJECT AREA RUNOFF COEFFICIENT DOES NOT EXCEED THE MAXIMUM ALLOWABLE RUNOFF COEFICIENT AND, THREFORE, NO ADDITIONAL DETENTION VOLUME IS REQUIRED FOR THE PROJECT.

NOTE, THE PROJECT PROPOSES FILLS ALONG THE PERIMETER OF THE EXISTING DETENTION BASIN. TO MITIGATE THE STORAGE VOLUME DISPLACED BY THESE FILLS, A COMPENSATING CUT AREA HAS BEEN PROPOSED TO MAINTAIN THE OVERALL REQUIRED DETENTION VOLUME.

STORM WATER SEDIMENTATION FOREBAY CALCULATIONS Project: 21167 Learning Tree Parking Expansion Livingston Engineering Project No. 21167 Livingston County Drain Commission Method

Common Items and Assumptions:

- A. First Flush = $(0.5"/12) \times 43,560 \times \text{area} \times \text{developed C}$
- B. Bankfull Flood = 8,160 x area x developed C
- C. Detention Volume Equation

 $V = ((A_t + A_b)/2)$ x H where, $A_t =$ Area at top of storage elevation $A_b =$ Area at bottom of storage elevation H = Depth of analysis

Detention Pond Volumes:

- A. First Flush, Bankfull Flood and 100-year Storm Event
- 1. Contributing Area = 0.22 Ac.
- 2. Developed Runoff Coefficient:

	Area (A), Ac.			Coefficient (C) AxC	
Rooftop / Asphalt Area	0.22			0.90	0.20	
Gravel Area	0.00			0.70	0.00	
Lawn/Landscaped Area	0.00			0.20	0.00	
Totals:	0.22				0.20	
D 1 10						
Developed C =	0.20 /	0.22	=	0.9		
3. First Flush Volume:						
$V = (0.5"/12) \times 43$	3,560 x	0.90	×	0.22	= 363	CF

B. Sedimentation Volume Proposed

		Elev.	Area(sf)	Vol (cf)	Vol.(cf)
Elev _b	=	989.0	136		
		990.0	600	368	368
		Total:		368 C	F

EMERGENCY SPILLWAY DETAIL

NOT TO SCALE

SPOT GRADE ABBREVIATIONS LIST

- TP = TOP OF PAVEMENT
- TW = TOP OF WALK EM = EDGE OF METAL
- BC = BACK OF CURB

 M = MATCH EXISTING GRADE

 EX = EXISTING GRADE

STORM WATER DETENTION POND CALCULATIONS Project: 21167 Learning Tree Parking Expansion Livingston Engineering Project No. 21167 Livingston County Drain Commission Method

Livingston Engineering Project No. 21167
Livingston County Drain Commission Method

A. First Flush = $(0.5"/12) \times 43,560 \times \text{area} \times \text{developed C}$

- (3.0.1.2)
- B. Bankfull Flood = 8,160 x area x developed C
- C. Detention Volume Equation

I. Common Items and Assumptions:

 $V = ((A_t + A_b)/2)$ x H where, $A_t =$ Area at top of storage elevation

A_b = Area at bottom of storage elevation H = Depth of analysis

II. Detention Pond Volumes:

Developed C =

A. First Flush, Bankfull Flood and 100-year Storm Event

1. Contributing Area =						
2. Developed Runoff (Coefficient:					
	Area (A), Ac.	Coefficient (C)	AxC			
Rooftop / Asphalt Area	0.25	0.90	0.22			
Gravel Area 0.00		0.70	0.00			
Lawn/Landscaped Area	0.50	0.20	0.10			

0.32 / 0.75 = 0.43

0.32

Required Detention Volume Livingston County Drain Commissioner's Office Detention Methodogy Project: Learning Tree Parking Expansion LE Job No. = 21167

PROP. SEDIMENTATION FOREBAY
TOP OF FREEBOARD 991.0
TOP OF STORAGE 990.0
BOTTOM OF STORAGE 989.0
VOLUME OF STORAGE 368 CF

Area, A =	0.75 Ac.
C =	0.43 Ave. Runoff Coefficient
K=	0.3234674
Allowable Q=	0.15 cfs (0.2 cfs per acre)

DURATION DURATION INTENSITY

<u>INUTES</u>	SECONDS	(IN/HR)	INCHES	IN. RUNOFF xAxC	DURATION x Q.	INFLOW - OUTFLOW
5	300	9.17	2751	890	45.13498623	845
10	600	7.86	4716	1525	90.26997245	1435
15	900	6.88	6192	2003	135.4049587	1868
20	1200	6.11	7332	2372	180.5399449	2191
30	1800	5.00	9000	2911	270.8099174	2640
60	3600	3.24	11664	3773	541.6198347	3231
90	5400	2.39	12906	4175	812.4297521	3362
120	7200	1.90	13680	4425	1083.239669	3342
180	10800	1.34	14472	4681	1624.859504	3056

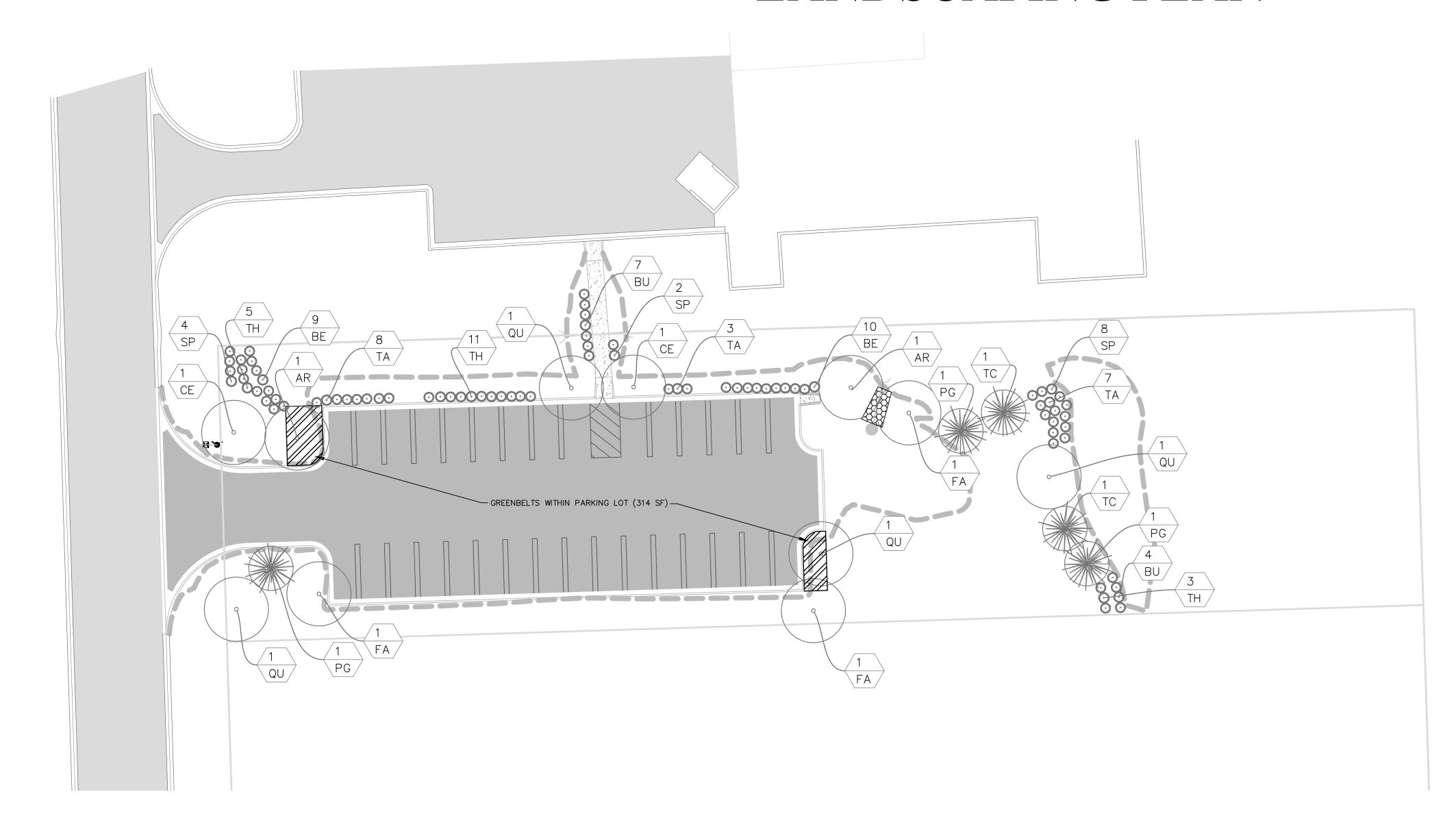
INFLOW VOLUME

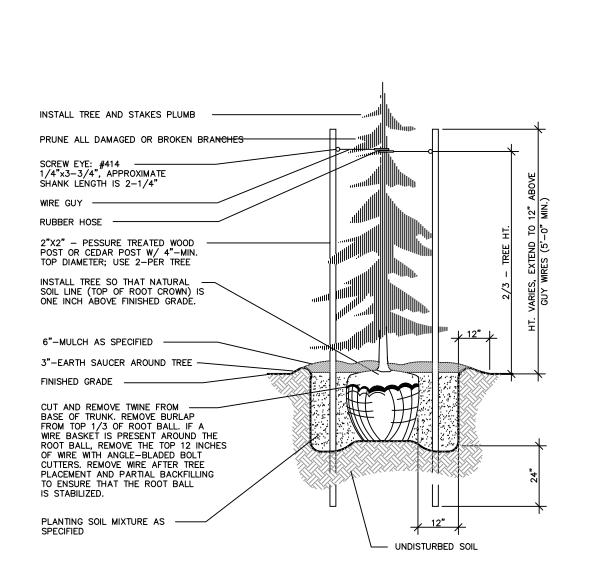
Required Volume, V=	3362 cf
Volume of Existing Detention =	38862 cf
Maximum Coefficient Allowed for Development =	0.43
Coefficient Proposed for Development =	0.43

OUTFLOW STORAGE VOLUME

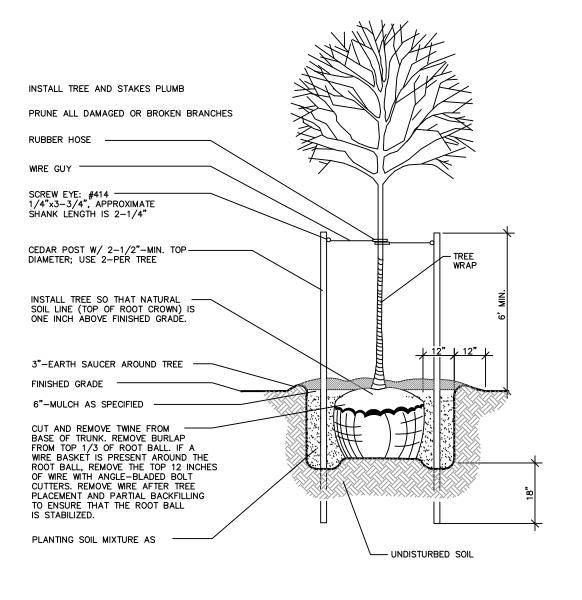
21167

LANDSCAPING PLAN



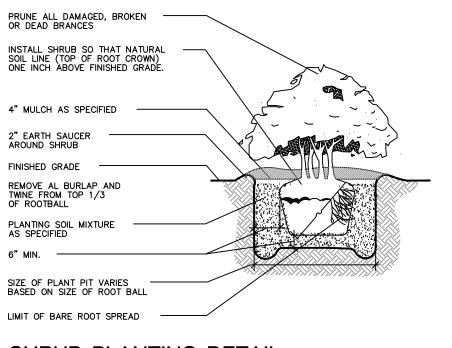


Evergreen Tree Planting/Staking Detail



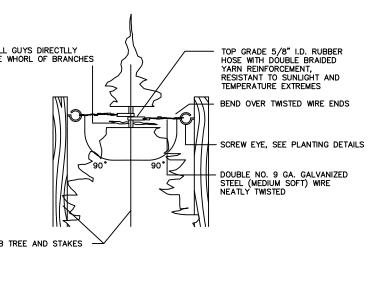
DECIDUOUS TREE PLANTING/ STAKING DETAIL

UNDER 3" IN CALIPER



SHRUB PLANTING DETAIL

SCALE: NO SCALE



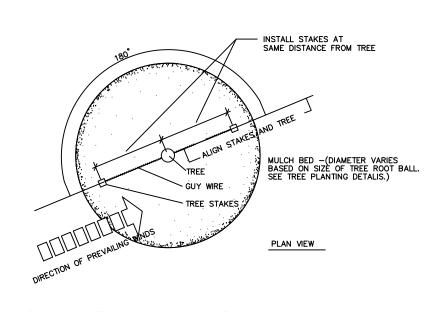
Guy Installation Detail FOR EVERGREEN AND DECIDUOUS TREES

LANDSCAPING NOTES:

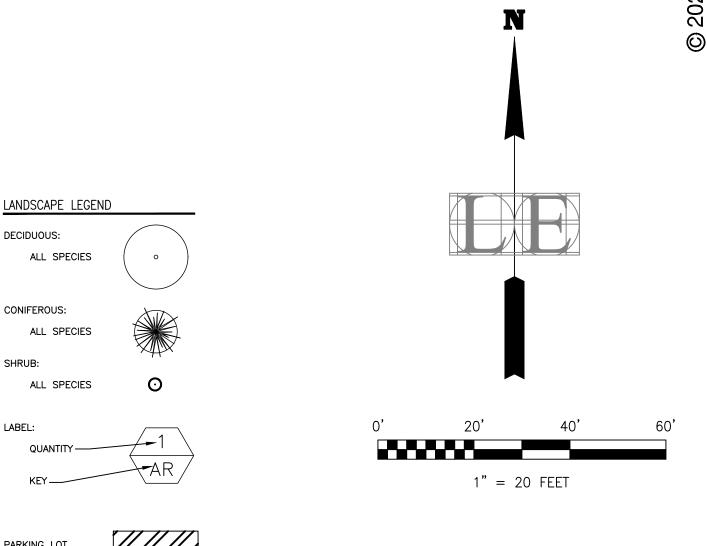
- The contractor(s) shall verify the location of all underground utilities prior to construction.
- 2. All plant beds are spade edged and to be mulched with shredded

latest edition of the American Standards for Nursery Stock.

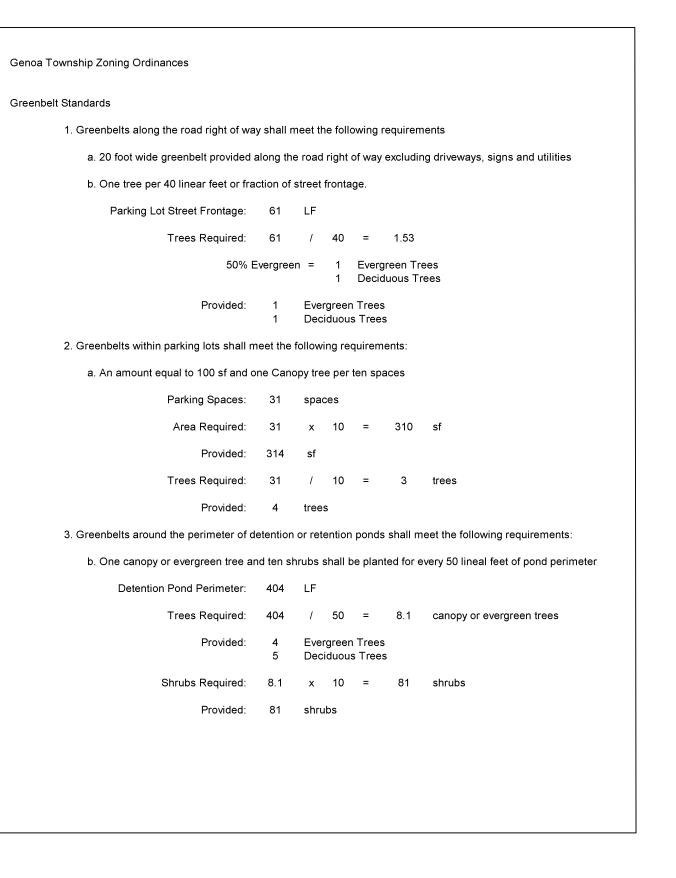
- Plants shall conform to the sizes as shown on the drawings and shall be of sound health. All measurements such as spread, ball size, height, caliper and quality designations shall be in conformance to the
- 4. All evergreen tree species are to be full, dense plants branched fully to the ground.
- 5. Prune all dead and broken branches from all plants immediately after
- Planting soil mixture shall be prepared on—site by mixing 3 parts topsoil to 1 part existing site soils to 1 part peat, adding 5 lbs. of superphosphate to each cubic yard of the mixture.
- 7. Organic mulch requirements: shade trees, ornamental trees and evergreen trees 6" of shredded bark; shrubs and shrub beds 4" of shredded bark; ground cover beds and perennial flowers mulch with 1" of peat.



Stake Placement Detail FOR EVERGREEN AND DECIDUOUS TREES



				Si	ze	
Decid	duous	s Trees		Caliper	Height	Root
Key	Qty	Genus	Common Name		-	
AR	2	Acer rubrum	Red Maple	2.5"		В&Е
CE	2	Celtis occidentalis	Common Hackberry	2.5"		В&Е
FA	3	Fagus grandifolia	American Beech	2.5"		В&Е
QU	4	Quercus Alba	White Oak	2.5"	-	В&Е
Key	Qty	Genus Teura Canadensis	Common Name		6'	
Ever	green	Trees				
TC	2	Tsuga Canadensis	Eastern Hemlock		6'	В&Е
PG	3	Picea glauca	Norway Spruce		6'	B & I
	Shr Qty	u bs Genus	Common Name			
Key TA	18	Taxus x media 'Densiformis'	Dense Yew		24"	B & E
TH	19	Thuja occidentalis 'Techny'	Techny Arborvitae		24"	B & E
		hrubs	,	,		
Key	Qty	Genus	Common Name			
BE	19	Berberis thunbergii 'Aurea'	Admiration Japenese Barberry		18"	В&Е
	11	Buxus 'Green Velvet'	Green Velvet Boxwood		18"	B & E
BU SP	14				18"	В&Е

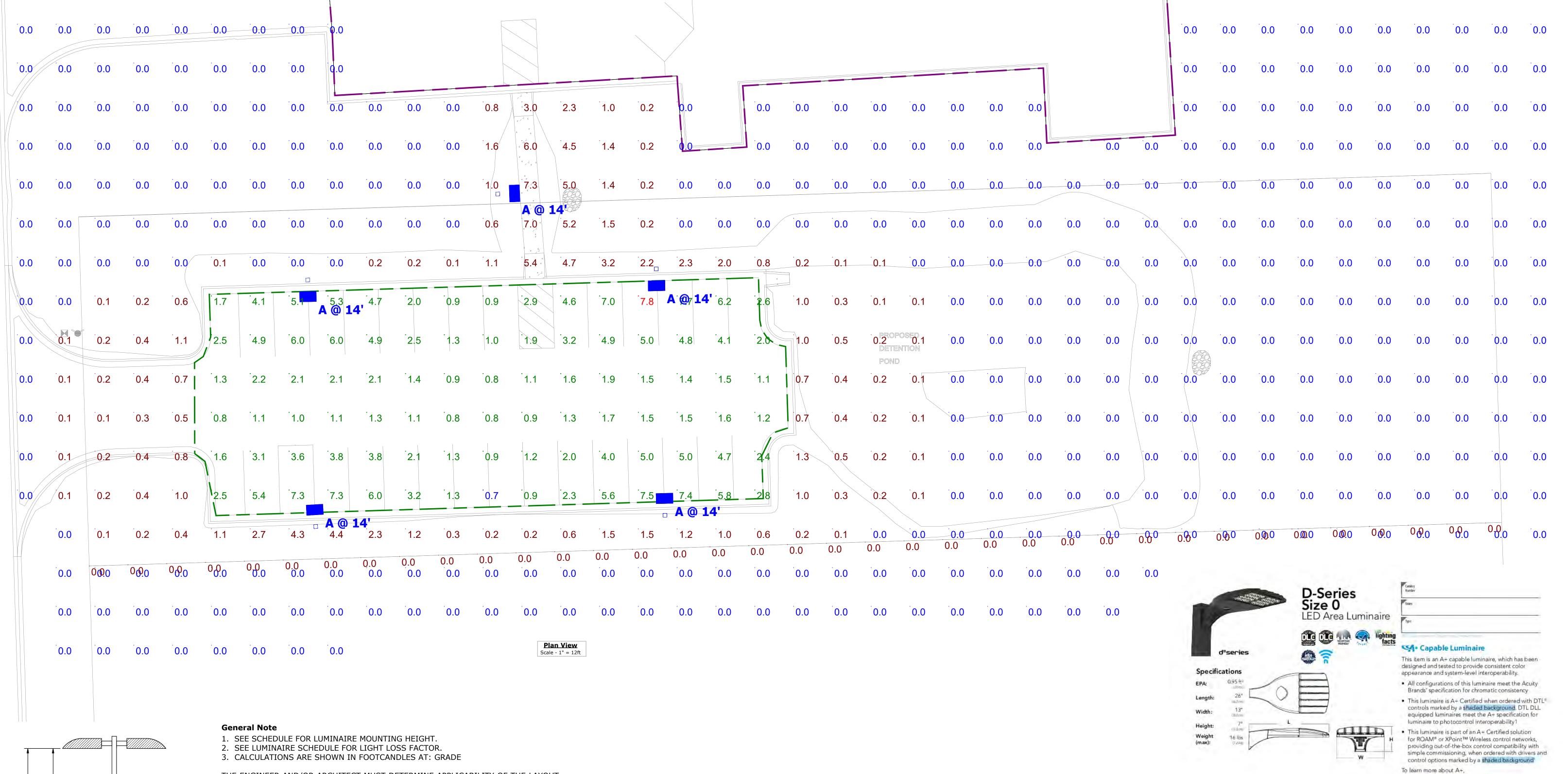


 Job. no.
 21167
 Drawn: MA
 REVISIONS
 DATE
 LEARNING

 Scale:
 Scale:
 Checked: TJZ
 P.
 P.

 Vertical:
 Horizontal:
 T=20 FEET
 Date: 6/23/2021
 CENOA TG

11



THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	0.6 fc	7.8 fc	0.0 fc	N/A	N/A	0.1:1
Parking	*	3.0 fc	7.8 fc	0.7 fc	11.1:1	4.3:1	0.4:1
South Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.



Schedule	Schedule Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
	Α	5	Lithonia Lighting	DSX0 LED P4 40K BLC MVOLT	DSX0 LED P4 40K BLC MVOLT	LED		DSX0_LED_P4_40K_BLC_ MVOLT.ies	8656	0.9	92

visit www.acuitybrands.com/aplus.

Link to Rooms Link to DTL DLL

 See ordering tree for details. 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately:

(specify finish)!



0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0

Cantral opt	ons.			2 thes	option	Fruit	
PER PERS PER7 DMG PIR PIRH PIRHN	nLight AR generation Zerubled! (ISW) (wise-lock recopiate only kontrol ordered separate! (IXE-write recopiate only (control ordered separate) !!!! Seven write recopiate only (control ordered separate) !!!! O-10N dimining extendout back of housing for extensionated kontrol ordered separate! 3-level, ripoiate/ambient sensor, 8-13/mounting height, ambient sensor enabled at 5% * !!!! 3-level, ripoiate/ambient sensor, 15-30 mounting height, ambient sensor enabled at 5% * !!!! 3-level, ripoiate/ambient sensor, 8-13/mounting height, ambient sensor enabled at 1% * !!!! 3-level, ripoiate/ambient sensor, 8-13/mounting height, ambient sensor enabled at 1% * !!!	PIRHTFCIV BLSO BLSO PNATTDES PNATTSD3 PNATTSD3 PNATTSD3 FAG	A-bool, mation/ambientsensor, 15-30 mountingheight, ambient sensor excited at 16-11 and ambient sensor excited as witched dimming, 30% 15-17 and as witched dimming, 50% 15-17 and night, dim all dawn and ambient at 15-17 and night, dim all rest. Pan night, dim all sensor and ambient aim all as and ambient aim aim ambient aim aim ambient aim ambient aim ambient aim ambient a	HS SF DF L90 R90 DDL	ped installed House-side shield!" Single luse (120, 277, 347V)! Double luse (208, 240, 420V)! Left notated optics Right rotated optics Diffused drop lens." ped separately Birdspikes! Estemal glare shiddi!	DOBXD DBLXD DMAXD DWHXD DDBTXD DBLBXD DMATXD DWHGXD	Dark bronze: Glack Hinteral aluminum Viffilit: Textured durk bronz Textured black Textured black Textured white:

LITHONIA LIGHTING

One Lithonia Way • Conyers, Georgia 30012 • Phone: 800279 8041 • 19 2011 2018 Aculty Brands Lighting, Inc. All rights reserved

T5V5 Type Vivery short

Designer Date 6/1/2021 Scale Not to Scale Drawing No.

9

#21-62916-V1 1 of 1

GENOA CHARTER TOWNSHIP

RESOLUTION FOR MUTE SWAN MANAGEMENT AND CONTROL

At a regular meeting of the Genoa Charter Township Board of Trustees, held at the Genoa Charter Township Hall, located at 2911 Dorr Road, Genoa Township, Livingston County, Michigan, on July 19, 2021 beginning at 6:30 p.m., there were:

PRESENT:		
ABSENT:		
The following preamble and resolution was moved by the following resolution:	and supported by	to adopt

RESOLUTION 210719

WHEREAS, the Genoa Charter Township Board has received complaints of overabundant mute swans inhabiting the grounds and waters of the lakes and waterways within the Township; and

WHEREAS, the Township Board has determined that the DNR Wildlife Division Mute Swan Management and Control Program Policy and Procedures for mute swan nest and egg destruction and/or mute swan removal are effective activities for the control of site-specific problems for our residents; and regarding this invasive species; and

WHEREAS, the residents clearly understand that any birds removed during this program may be killed; and

WHEREAS, the residents, lake associations, businesses, subdivisions, condo associations, etc., must apply for a DNR Permit for these activities, and must ensure that all lakefront residents, tenants, employees of this site, have been informed that this program is taking place at their lake/site, and understand if their site is located within more than one governmental unit, they are responsible to receive resolutions from each township/city/village, and are responsible for adhering to the requirements under their permit;

NOW THEREFORE BE IT RESOLVED that the Genoa Charter Township Board of Trustees hereby formally requests the assistance of the Michigan DNR on behalf of the requests made in Genoa Charter Township by waterfront owners and as long as they abide by the DNR permit requirements, in the implementation of the DNR Wildlife Division Mute Swan Management and Control Program Policy and Procedures for mute swan nest and egg destruction and/or mute swan removal, for a 5-year period from 2021-2026 and additionally, to advise the Department that there shall be no cost to Genoa Charter Township for these programs.

A roll call vote on the foregoing resolution wa	s taken and was as follows:
AYES:	
NAYS:	
Absent:	
The resolution was declared	
CERTIFIC	CATION OF CLERK
the foregoing is a true and complete copy a meeting of the Township Board, at we throughout; (2) the original thereof is on conducted, and public notice thereof was go Meetings Act (Act No. 267, Public Acts of meeting were kept and will be or have been accordingly to the complete copy of the copy of th	lected Clerk of the Township, hereby certifies that (1) of a resolution duly adopted by the Township Board at which meeting a quorum was present and remained file in the records of my office; (3) the meeting was given, pursuant to and in full compliance with the Open Michigan, 1976, as amended); and (4) minutes of such in made available as required thereby.
Dated: July 19, 2021	

Genoa Township Officials
Approved: October 2, 2020 (proposed for 7/19/21 meeting)

PLANNING COMMISSION (3-year term)	
Chris Grajek	06/30/23
Marianne McCreary	06/30/ 21 24
Jill Rickard	06/30/23
Jeff Dhaenens	06/30/22
Jim Mortensen (1-year term)	11/20/ 21 22
Glynis McBain	06/30/ 21 24
Eric Rauch	06/30/22
ZONING BOARD OF APPEALS (3-year term)	
Bill Rockwell	06/30/ 21 24
Marianne McCreary	06/30/ 21 24
Greg Rassel	06/30/22
Jean Ledford (1-year term)	11/20/ 21 22
Michele Kreutzberg	06/30/23
Craig Fons (alternate)	06/30/22
	00/30/22
BOARD OF REVIEW (2-year term)	
Chris Grajek	12/31/22
Ron Matkin	12/31/22
Marianne McCreary	12/31/22
Lindsay McFarlane (alternate)	12/31/22
SEMCOG (4-year term)	
Terry Croft	11/20/24
Diana Lowe (alternate)	11/20/24
	11, 20, 21
GENOA/OCEOLA SEWER AND WATER AUTHORITY (4-)	ear term)
Robin Hunt	11/20/24
Bill Rogers	11/20/24
HOWELL PARKS AND RECREATION (4-year term)	
Diana Lowe	11/20/24
Terry Croft (alternate)	11/20/24
· · · ·	
MHOG (Marion, Howell, Oceola and Genoa) (4-year term)	
Robin Hunt	11/20/24
Bill Rogers	11/20/24
EOLA COORDINATOR (4	
FOIA COORDINATOR (4-year term) Michael Archinal	11/20/04
Mitchael Archinal	11/20/24
BRIGHTON FIRE AUTHORITY (4-year term)	
Bill Rogers	11/20/24
Jim Mortensen	11/20/24
	3 ·
ELECTION COMMISSION (4-year term)	
Diana Lowe	11/20/24
Jean Ledford	11/20/24

Board Correspondence

Census Bureau Releases 2019 State and Local Government Finance Table To board 1/19/21



[/newsroom/press-kits/2021/2020-census-apportionment-counts.html]

FOR IMMEDIATE RELEASE: THURSDAY, JULY 01, 2021

JULY 01, 2021 RELEASE NUMBER CB21-TP\$,75

JULY 1, 2021 — The U.S. Census Bureau released the 2019 State and Local Government Finance Table [https://www.census.gov/data/datasets/2019/econ/local/public-use-datasets.html]. The table details revenues, expenditures, debt, and cash and security holdings by level of government, including state, local, and state and local figures combined.

Some highlights of the 2019 State and Local Government Finance Table include:

- State and local government revenues decreased 0.6% from the 2018 estimate of \$4.10 trillion to \$4.07 trillion in 2019. State and local government general revenues totaled \$3.47 trillion in 2019 compared to \$3.3 trillion in 2018, an increase of 5.1%.
- State and local government expenditures increased 4.0% to \$3.97 trillion in 2019 from \$3.82 trillion in 2018.
- State and local governments combined had total debt outstanding of \$3.17 trillion in 2019. The local government share of the debt was 63.0%, and the state government share was 37.0%.
- In 2019, cash and security holdings of state and local governments increased 3.4% to \$7.59 trillion compared to \$7.34 trillion in 2018. State governments accounted for 70.4% of the total, and local governments accounted for the remainder.

For further information on state and local government tax revenue, contact the Census Bureau's Economy-Wide Statistics Division at 1-800-832-2839 [mailto:] or <ewd.local.finance@census.gov [mailto:ewd.local.finance@census.gov] >.

The data and technical documentation for this release can be found at <www.census.gov/programs-surveys/gov-finances.html>.

No news release associated with this product. Tip sheet only.

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Contact

Mike Friedrich
Public Information Office
301-763-3030
plo@census.gov [mailto:pio@census.gov]