GENOA CHARTER TOWNSHIP PLANNING COMMISSION PUBLIC HEARING MAY 14, 2018 6:30 P.M. AGENDA

CALL TO ORDER:

PLEDGE OF ALLEGIANCE:

APPROVAL OF AGENDA:

<u>CALL TO THE PUBLIC:</u> (Note: The Board reserves the right to not begin new business after 10:00 p.m.)

OPEN PUBLIC HEARING # 1... Review of request for rezoning of approximately 198 acres from Agricultural (AG) to Parks and Recreational Facilities (PRF). The property in question is located north of McClements Road both the east and west of Kellogg Road. The rezoning involves parcels 4711-02-400-004, 4711-01-300-005 and 4711-01-300-006. The request is petitioned by the Livingston County Planning Department.

A. Recommendation of Rezoning

OPEN PUBLIC HEARING # 2... Review of an environmental impact assessment and site plan for the proposed phase 1 of the Fillmore County Park located at on the north side of McClements Road east of Kellogg Road on parcels 11-01-300-005 and 11-01-300-006. Phase 1 includes a driveway, parking area, vault restroom, multi-purpose field, and 5k trail. The request is petitioned by the Livingston County Planning Department.

- A. Recommendation of Environmental Impact Assessment
- B. Disposition of Site Plan.

OPEN PUBLIC HEARING # 3... Review of a special use, site plan and environmental impact assessment for a proposed 30,000 sq. ft. automotive assembly building including outdoor storage and storage of hazardous materials for Truck and Trailer Specialties. The property in question is located on a vacant 10-acre parcel located on the west side of Grand Oaks Drive, south of Grand River Avenue (Parcel# 11-05-300-051). The request is petitioned by ACS Build Inc.

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment
- C. Recommendation of Site Plan

OPEN PUBLIC HEARING # 4... Review of an amendment to a previously approved Planned Unit Development and a material change from previously approved site plan for the Athletic fields located at 3575 Cleary Drive, Howell (11-05-400-070). The request is petitioned by Cleary University.

- A. Recommendation of PUD Amendment.
- B. Recommendation of Site Plan amendment.

<u>ADMINISTRATIVE BUSINESS:</u>

- Staff Report
- Approval of April 9, 2018 Planning Commission meeting minutes
- Member discussion
- Adjournment



GENOA CHARTER TOWNSHIP Application for Re-Zoning

APPLICANT NAME: Livingston County Planning Department ADDRESS: 304 E. Grand River Ave., Howel
OWNER NAME: Livingston County Government ADDRESS: 304 E. Grand River Ave., Howel
PARCEL #(s): 4711-02-400-004, 4711-01-300-005,4711-01-300-006 PRIMARY PHONE: (517) 540-8734
PARCEL #(s): 4711-02-400-004, 4711-01-300-005, 4711-01-300-006 PRIMARY PHONE: (517) 540-8734 EMAIL 1: KKline-Hudson@livgov.com EMAIL 2: SBarb@livgov.com
We, the undersigned, do hereby respectfully make application to and petition the Township Board to amend the Township Zoning Ordinance and change the zoning map of the township of Genoa as hereinafter requested, and in support of this application, the following facts are shown:
A. REQUIRED SUBMITTAL INFORMATION
1. A legal description and street address of the subject property, together with a map identifying the subject property in relation to surrounding properties;
2. The name, signature and address of the owner of the subject property, a statement of the applicant's interest in the subject property if not the owner in fee simple title, and proof of
consent from the property owner; 3. It is desired and requested that the foregoing property be rezoned from:
Agriculture (AG) PRF (Public and Recreational Facilities)
4. A site plan illustrating existing conditions on the site and adjacent properties; such as woodlands wetlands, soil conditions, steep slope, drainage patterns, views, existing buildings, sight distance limitations, relationship to other developed sites. and access points in the vicinity;
5. A conceptual plan demonstrating that the site could be developed with representative uses permitted in the requested zoning district meeting requirements for setbacks, wetland buffers access spacing, any requested service drives and other site design factors;
6. A written environmental assessment, a map of existing site features as described in Article 18 describing site features and anticipated impacts created by the host of uses permitted in the requested zoning district;
7. A written description of how the requested rezoning meets Sec. 22.04 "Criteria for Amendment of the Official Zoning Map."
8. The property in question shall be staked prior to the Planning Commission Public Hearing.
B. DESCRIBE HOW YOUR REQUESTED RE-ZONING MEETS THE ZONING ORDINANCE CRITERIA FOR AMENDING THE OFFICIAL ZONING MAP:
1. How is the rezoning consistent with the goals, policies and future land use map of the Genoa Township Master Plan, including any subareas or corridor studies. If not consistent, describe how conditions have changed since the Master Plan was adopted?
The proposed rezoning is not consistent with the Master Plan designation of Agriculture/Country Estate.
Conditions regarding this property were changing concurrent with the 2013 adoption of the Genoa Township
Master Plan. The Warranty Deed for this Livingston County park property was recorded on October 22, 2013.

2. Are the site's physical, geological, hydrological and other environmental features suitable for the host of uses permitted in the proposed zoning district?

Yes, the environmental features on-site are suitable for the host of uses allowed in the PRF zoning district. The former agricultural fields are particularly suitable for the intended active recreational uses permitted in the PRF zoning district.

- Do you have any evidence that a reasonable return on investment cannot be received by developing the property with one (1) of the uses permitted under the current zoning?
 Yes, the Trust Agreement of Raymond Fillmore states that Livingston County is to only use the land for recreation purposes as a county park. Therefore, Livingston County is unable to utilize the land for agricultural purposes as permitted by the current AG zoning.
- 4. How would all the potential uses allowed in the proposed zoning district be compatible with surrounding uses and zoning in terms of views, noise, air quality, the environment, density, traffic impacts, drainage and potential influence on property values?

The potential uses allowed in the PRF zoning district shall be compatible with the adjacent recreational land uses and the PRF zoning

of Camp Chaldean. Additionally, the future recreational uses of Fillmore County Park will not be detrimental to surrounding property values

in terms of views, noise, etc. Conversely, use of the park will provide health and welfare benefits to the surrounding residential uses.

5. Are infrastructure capacity (streets, sanitary sewer, water, and drainage) and services (police and fire protection, etc.) sufficient to accommodate the uses permitted in the requested district?
Yes, current infrastructure capacity and services are sufficient to accommodate the uses permitted in the requested PRF district;

particularly the limited recreational uses intended for Fillmore County Park.

6. Is there a demonstrated demand in Genoa Township or the surrounding area for the types of uses permitted in the requested zoning district? If yes, explain how this site is better suited for the zoning than others which may be planned or zoned to accommodate the demand.

In Northeast Genoa Charter Township there are only private recreational uses such as Camp

Chaldean, Faulkwood Shores Golf Course and Roller Rama. Fillmore County Park will be the only public

recreational resource in this area of the Township, thereby meeting a demand for free, public recreation.

7. If you have a particular use in mind, is another zoning district more appropriate? Why should the Township re-zone the land rather than amend the list of uses allowed in another zoning district to accommodate your intended use?

PRF zoning is the most appropriate Genoa Charter Township zoning district for the proposed municipal-owned, public

recreation uses of Fillmore County Park. The Statement of Purpose for the PRF zoning district is a precise match to the

intended government provided recreational uses, and recreational uses are permitted by right in the PRF zoning district.

8. Describe any deed restrictions which could potentially affect the use of the property.
The Trust Agreement of Raymond Fillmore states that Livingston
County to only use the land for recreation purposes as a County Park.
C. AFFIDAVIT
The undersigned says that they are the Owner Representative (owner, lessee, or other specified interest) involved in this petition and that the foregoing answers and statements herein contained and the information herewith submitted are in all respects true and correct to the best of his/her knowledge and belief.
BY: Donald Parker, Chair, Livingston County Board of Commissioners
ADDRESS: 304 East Grand River Avenue, Howell, MI, 48843
Ind 1. Parker
SIGNATURE
The following contact should also receive review letters and correspondence:
Name: Gary Childs, Livingston County Commissioner Email: gary@southlyoncycle.com
Business Affiliation: Chair, Livingston County Parks & Open Space Advisory Committee
FEE EXCEEDANCE AGREEMENT
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.
PROJECT NAME: Fillmore County Park
PROJECT LOCATON & DESCRIPTION: 7315 McClements Road, Brighton, MI 48114
198 acres of vacant, fallow agricultural land
SIGNATURE: X Mah 17 mm DATE: 4-2-2018
PRINT NAME: Donald Parker PHONE: 517 546-3520
COMPANY NAME & ADDRESS: Livingston County, 304 East Grand River, Howell, MI 48843

Legal Description, Fillmore County Park

Tax Parcel No. 4711-01-300-005

Sec. 1 T2N, R5E, the SW 1/4 of the SW 1/4, containing 40 acres, more or less

Tax Parcel No. 4711-01-300-006 (7315 McClements Rd.)

Sec. 1 T2N, R5E, the E 1/2 of the SW 1/4, containing 80 acres, more or less

Tax Parcel No. 4711-02-400-004

Sec. 2 T2N, R5E, the E 1/2 of the SE 1/4, containing 80 acres, more or less, Excepting 2 acres, more particularly described as follows: A parcel of land located in the Southeast quarter of Section 2, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, said parcel more fully described as: Commencing at the Southeast corner of said Section 2, T2N-R5E, Genoa Township; thence North 01*54'34" West, 1222.92 feet on the East line of said section and Centerline of Kellogg Road (66' wide, public) to the Point of Beginning; thence South 88*05'26" West, 295.13 feet; thence North 01*54'34" West, 295.16 feet parallel with said East line; thence North 88*05'26" East, 295.13 feet; thence South 01*54'34" East, 295.16 feet on said East line and Centerline to the Point of Beginning, said parcel containing 2.00 acres, more or less

Subject to easements and restrictions of record, if any, including the rights of the public within the public right of way of Kellogg Road. 198 acres, more or less.

Michael Arens, P.E. February 1, 2017



May 7, 2018

Planning Commission Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP
	Assistant Township Manager and Planning Director
Subject:	Proposed rezoning from AG to PRF Review #2
Location:	7315 McClements Road – north side of McClements, between Kellogg and Hacker Roads
Zoning:	AG Agricultural District

Dear Commissioners:

At the Township's request, we have reviewed the proposed rezoning of a 198-acre site from AG Agricultural to PRF Public and Recreational Facilities to accommodate the creation and development of a new Livingston County Park (Fillmore Park). This proposal has been reviewed in accordance with the Genoa Township Zoning Ordinance and Master Plan. We previously reviewed this rezoning request in a letter dated April 17, 2018; this letter responds to subsequent changes to the site plan and application.

A. SUMMARY

- 1. We find the proposed rezoning consistent with the review standards of Article 22; however, we defer to the Township Engineer, Utilities Director and Fire Department for any comments related to infrastructure compatibility or capacity.
- 2. The Master Plan Future Land Use map identifies the site as Agriculture/Country Estate, which is consistent with the current zoning designation. However, the proposal is generally compatible with the intent of this category, as well as several goals of the Plan.
- 3. The 2013 Master Plan update preceded the idea of this project. As such, the case can be made that conditions have changed since adoption that warrant consideration of a rezoning to PRF.
- 4. The proposed rezoning to PRF is generally consistent with surrounding land uses and zoning designations.
- 5. The Agreement that transferred the property to the County necessitates recreational use of the property and PRF zoning is the most compatible designation for future development of the property.
- 6. Public parks are also allowed under AG zoning; however, in our opinion, PRF is the more appropriate designation for future development of the site.

B. PROCESS

As described in Article 22 of the Zoning Ordinance, the process to amend the Official Township Zoning Map is as follows:

- 1. The Township Planning Commission holds a public hearing on the rezoning and makes its recommendation to the Township Board;
- 2. The Livingston County Planning Commission reviews the request and makes its recommendation to the Township Board; and
- 3. The Township Board considers the recommendations and takes action to grant or deny the rezoning request.

426 East Lincoln Avenue Royal Oak, Michigan 48067 248.586.0505 Fax 248.586.0501 www.safebuilt.com

C. AREA OVERVIEW

The site is located on the north side of McClements Road, between Kellogg and Hacker Roads. Current zoning, as well as existing and planned land uses in the area are as follows:

	Existing Land Use			
Site	Agricultural			
North	Agricultural and residential	ellogo el		
East	Residential			
South	Recreational	O A Section of the Company of the Co		
West	Agricultural and residential	McClements Rd		
	Zoning			
Site	AG	CE CE RR		
North	AG and CE	PRICE		
East	RR and SR	AG HACK		
South	PRF and RR	MCCLEMENTS RR RR RR		
West	SR and PRF			
	Master Plan			
Site	Agriculture/Country Estate	BLACKBERRY RIDGE PRICE		
North	Agriculture/Country Estate	KELLOGG		
East	Large Lot and Low Density Residential	MCCLEMENTS		
South	Large Lot Rural Residential	CHALDEAN		
West	Agriculture/Country Estate			

Genoa Township Planning Commission **Fillmore Park** Rezoning Review #2 Page 3

D. REZONING REVIEW

1. Consistency with the goals, policies and future land use map of the Genoa Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.

The Township Master Plan and Future Land Use map identify the site and adjacent properties to the north and west and Agriculture/Country Estate. This category is intended for agricultural and residential uses on estate-sized lots (5-acre minimum).

While public parks are not identified under this category, the general intent of preserving large tracts of land is compatible. Additionally, the 2013 update of the Township Master Plan preceded this project; otherwise, consideration likely would have been given to a designation of Public/Quasi Public. As such, the case can be made that conditions have changed since 2013 that warrant consideration of a rezoning to PRF.

Furthermore, the proposal is consistent with several of the stated goals under the categories of land use, preservation of natural features and public facilities and services.

2. Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.

The submittal identifies multiple wetland areas that traverse the subject property. Use of the property as a public park under PRF zoning, where much of the land will remain undisturbed and wetlands will be preserved, would generally be viewed as compatible with these features.

3. The ability of the site to be reasonably developed with one (1) of the uses permitted under the current zoning.

The proposed rezoning is tied directly to a plan to convert/develop the property into a County Park. Furthermore, the applicant notes usage limitations contained in the Trust Agreement that transferred the property to the County, whereby it may only be used for recreational purposes. As such, continuation of agricultural use or future development under the AG District would be somewhat contrary to this Agreement.

4. The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.

The primary intent of the PRF District is to allow recreational uses, where more intensive active recreational uses require special land use approval. The site will have one soccer field and a 5k trail, meaning the primary recreational activities will be low-intensity uses on the trail and not subject to the special land use approval process. This district also allows governmental, civic and educational uses; however, as noted above, use of the site is confined to recreational activities per the Trust Agreement.

Development in this area of the Township is at a very low density and the subject site is located immediately north of another large tract of PRF that is developed as a private recreational facility.

5. The capacity of Township infrastructure and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.

We defer to the Township Engineer, Utilities Director and Brighton Area Fire Authority for any comments they may have under this criterion.

Genoa Township Planning Commission **Fillmore Park** Rezoning Review #2 Page 4

6. The apparent demand for the types of uses permitted in the requested zoning district in the Township in relation to the amount of land in the Township currently zoned to accommodate the demand.

Aside from the recent recreation additions to the Township Hall property, the Township is generally lacking in public recreational opportunities. The introduction of a County Park into the Township should generally be viewed as a benefit to Township and County residents alike.

7. Where a rezoning is reasonable given the above criteria, a determination the requested zoning district is more appropriate than another district or amending the list of permitted or Special Land Uses within a district.

Public parks are permitted by right in the AG District; however, the intent of this request is to ensure that future use of the property can only be recreational in nature, as required by the Trust Agreement.

8. The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.

We are not aware of any rezoning applications associated with this site in the past year.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com and steve.hannon@safebuilt.com.

Respectfully,

SAFEBUILT STUDIO

Brian V. Borden, AICP

Planning Manager

Stephen Hannon, AICP

Planner



May 1, 2018

Ms. Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

Re: Fillmore County Park

(Parcels #4711-02-400-004, #4711-01-300-005, #4711-01-300-006)

Rezoning and Site Plan Review #2

Dear Ms. VanMarter:

As requested, we have performed a second review of the above-referenced rezoning request and site plan as prepared by Livingston County Planning Department. The plans have a last revision date of May 1, 2018. This site is located at 7315 McClements Road. The Petitioner is proposing to rezone the site from Agriculture (AG) to Public and Recreational Facilities (PRF) and create a small park and recreation field on the site. We offer the following comments:

GENERAL NOTES

1. We understand that the proposed site plan is an initial phase for the Fillmore County Park and have taken into consideration that the configuration of the parking lot, driveway, and restroom structure may change as future development occurs. All future parking lots and internal driveways should be constructed in accordance with Genoa Township standards.

TRAFFIC / ROADWAYS

- 1. The zoning ordinance requires the drive to be hard surface with concrete curbing. However, the aggregate entrance drive may be considered as a Low Impact Development alternative to the zoning requirements as the park will not have high traffic. The petitioner is not intending to clear snow in the winter so the aggregate drive and parking area would be acceptable.
- 2. The location of the driveway on McClements Road should be reviewed and approved by the Livingston County Road Commission. Confirmation of this permit should be submitted for the Township's records.

DRAINAGE AND GRADING

- 1. All drainage, grading, and soil erosion control measures for future improvements to the property shall be designed in compliance with the regulations established by the Livingston County Drain Commissioner's office.
- 2. The petitioner has added a note to the plans for ditching around the play field to control stormwater runoff from the field and adjacent lands. This ditching should be shown on the grading plan, as its location will impact the overall limits of the grading on the site.
- 3. The petitioner should consider crowning the field to allow drainage from the field to drain to the closest edge. As proposed, the stormwater has to drain from one corner to the other to clear the field which is inefficient and may result in ponding on the field.

Ms. Kelly VanMarter Fillmore County Park Rezoning and Site Plan Review #2 May 1, 2018 Page 2

4. In our previous review we requested the plan include a location for a future detention pond. The need for a detention pond at this time should be discussed and approved by the Livingston County Drain Commissioner. Typically, with any parking lot a detention pond is required along with sedimentation control provisions. A drainage review letter from the LCDC office should be submitted as part of the land use permit process.

The rezoning from AG to PRF presents minimal engineering issues and we therefore have no objections to the proposed rezoning. The site plan comments should be addressed by the petitioner to the satisfaction of the planning committee.

If you have any questions or comments, please call.

Sincerely,

Gary J. Markstrom, P.E.

Vice President

BRIGHTON AREA FIRE AUTHORITY



615 W. Grand River Ave. Brighton, MI 48116 o: 810-229-6640 f: 810-229-1619

May 10, 2018

Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

RE: Fillmore Park rezoning

7315 McClements Rd. Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 6, 2018 with revisions received on May 9, 2018. The drawings are dated January 24, 2018 with revisions dated May 1, 2018. The project is based on the proposed redevelopment of a donated fallow agricultural land into a community park. The current submittal is for the development of a multi-sport field, 5k walking path, access and parking and a waterless restroom facility.

The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

 The dead-end access drive into the parking lot exceeds 300'. Dead ends exceeding 150' are required to be provided a means of emergency vehicle turnaround. This can be accomplished through cul-de-sac or hammerhead-style turnarounds. (The approved dimensioned turn-around has been included in the new design at the north end of the parking area)

> IFC 503.2.5 IFC APPENDIX D

2. The site address shall be included on the entrance sign and shall be a <u>minimum of 6"</u> high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. (The address for the park is noted to be included on the monument sign at the entrance)

IFC 505.1

3. The access road into the site shall be a minimum of 26' wide. With a width of 26' wide, one side of the street shall be marked as a fire lane. Include the location of the proposed fire lane signage and include a detail of the fire lane sign in the submittal. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. (The access road is identified on Sheet C3 as 26' wide, however, is shown at 24' wide on detail sheet C5. It is noted that fire lane signage will be provided but the "No Parking Fire Lane" signs are not indicated on any of the sheets, and there is no detail provided. Signage shall be spaced every 50' along one side of the drive and on all sides of the new hammerhead.)

IFC D 103.3 IFC D 103.6



BRIGHTON AREA FIRE AUTHORITY

May 10, 2018
Page 2
Fillmore Park rezoning
7315 McClements Rd.
Site Plan Review

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

Rick Boisvert, CFPS Fire Marshal

cc: Amy Ruthig

Fillmore County Park PRF Impact Assessment

The following impact assessment follows the requirements of Section 18.07 "Written Impact Assessment Requirements" of the Genoa Township Zoning Ordinance.

a. Preparer.

Prepared by:
Kathleen Kline-Hudson, Director
Livingston County Planning Department
Staff Facilitator, Livingston County Parks and Open Space Advisory Committee
304 E. Grand River Ave.
Howell, MI 48843

Prepared for: Livingston County Government 304 E. Grand River Ave. Howell, MI 48843

Genoa Charter Township 2911 Dorr Road Brighton, MI 48116

b. Description of the Project Site.

Fillmore County Park consists of 198 acres located in Sections 1 and 2 of the northeast quadrant of Genoa Charter Township. The land was bequeathed to Livingston County for park purposed by Raymond Fillmore. The site primarily consists of fallow agricultural land with the exception of the Fillmore farmstead located at 7315 McClements. For the near future the county intends to have the farmstead residence occupied by a park caretaker. In the future, this structure may be demolished or used for park purposes such as an interpretative center. The site is bordered by agriculture and rural residences to the north and west, Camp Chaldean to the south and Del-Sher Estates to the east.



c. Impact on Natural Features.

The project site contains three unregulated wetlands of less than 5 acres in size (NWI), three woodland areas totaling approximately 32 acres, and open, fallow agricultural land. The land is generally low-sloped, with gently-rolling topography of 0-12%. Elevations range from a low of 975 feet USGS to a high of 1,000 feet. The USDA Soil Survey of Livingston County indicates that the soils on-site are predominately well-drained Miami Loam, Owosso Miami Sandy Loam and Fox-Boyer Complex. These soils present only slight or moderate limitations for nonfarm use. The site also contains scattered pockets of muck soils.

Livingston County's High-Quality Natural Areas, a 2003 publication of the Livingston County Planning Department, indicates that there are two (2) Priority 2 natural areas located on site. Priority 2 natural areas are usually between 50 and 200 acres and have average scores for bio-diversity.

This project is intended to not harm the natural features on-site; to do so would be counter-productive to the park setting.

Natural features on the Fillmore County Park site have been recorded by the Huron River Watershed Council (HRWC) through a Bioreserve Site Assessment. This assessment has been submitted to the Township with the rezoning application. In summary, the HRWC ranked East Fillmore (approx.120 acres) and West Fillmore (approx.80 acres) for 15 ecological criteria. HRWC rankings place both areas of the park in the Iower range for all the Bioreserve Sites in the watershed ranging from 25 to 1244. The main differences between the two areas were that Fillmore East got slightly more points for being better connected to other natural areas and Fillmore West got points for being less ecologically disturbed than Fillmore East (Fillmore East got zero points for this due to former farming of land).

d. Impact on Stormwater Management.

Grading and construction operations at the site will be very minimal for the entrance drive, parking area, playfield, restroom facility and trail, therefore, there should be little to no impact on stormwater management. The Drain Commissioner is a member of the Livingston County Parks and Open Space Advisory Committee and his expertise will be sought throughout the construction project.

e. Impact on Surrounding Land Use.

Phase I development of Fillmore County Park will entail the construction of: a park entrance, driveway, parking lot with ADA spaces, a restroom facility with vaulted toilet, a sidewalk that will connect parking to the restroom, a sports playfield and a 5K trail. This construction will primarily occur near the Kellogg/McClements Road intersection.

Each of these permitted uses in the PRF zoning district are compatible with the adjacent recreational land uses and the PRF zoning of Camp Chaldean. Additionally, the future recreational uses of Fillmore County Park will not be detrimental to surrounding residential property values in terms of views, light, noise and other nuisances which could negatively impact adjacent properties. Conversely, use of the park will provide health and welfare benefits to the surrounding residential areas.

Subsequent phases of the park may be planned for the future. A conceptual site plan for park development has been created and can be found in the rezoning application materials. Additionally, the site currently contains the Fillmore farmstead consisting of a residence and outbuildings at 7315 McClements Road.

The Livingston County Parks and Open Space Advisory Committee has kept residents in the immediate area and the facility manager of Camp Chaldean, regularly informed of the plans for the park since February 2014 when a public meeting was held for a Michigan Natural Resources Trust Fund grant that was being submitted by Livingston County at that time. Since the February 2014 public meeting, the committee has maintained communication through periodic visits and e-mail contact, as well as through two (2) liaison Del-Sher Estates residents that attend meetings of the Parks and Open Space Advisory Committee in order to keep informed of the plans for the park so that they can better inform their neighbors.

f. Impact on Public Facilities and Services.

The Park will serve the Howell, Brighton and Hartland areas, being centrally located between them. With this ideal location, Fillmore County Park should attract a modest number of visitors, primarily on the weekends. There is no anticipated impact on public schools. County employee presence will be

periodic. In collaboration with the Livingston County Parks and Open Space Advisory Committee, the Livingston County Road Commission will provide upkeep of the gravel road and lot, and the Sheriff's Department will patrol the main use area. Letters of support were obtained from both of these entities for the Land and Water Conservation Fund grant that will partially fund park development.

g. Impact on Public Utilities.

Fillmore County Park will not be served by municipal utilities, nor are utilities currently requested for this park usage. Sanitary services will be provided to public by a waterless vault toilet in a restroom facility.

h. Storage and Handling of Any Hazardous Materials.

Hazardous substances will not be used, stored or disposed of on the site.

i. Impact on Traffic and Pedestrians.

Access to Fillmore County Park will be from McClements Road, a gravel road on the south side of the property. The park entrance drive will be located approximately 400 feet east of the intersection of Kellogg and McClements Roads, nearest to the areas from which most traffic will arrive. Through park planning it was determined that this is the best point of entry into the park. This entrance location creates a good starting point for future phases of the park, and the location is buffered from neighboring residential areas while establishing good cross access to the neighboring Camp Chaldean.

Based on the Institute of Transportation Engineers (ITE) common trip generation rates at the PM Peak Hour, a County Park of 198 acres generates 17.8 trips (.09 per unit).

j. Special Provisions.

The trust agreement of Raymond Fillmore states that Livingston County is to only use the land for recreation purposes as a county park. Therefore, Livingston County is unable to utilize the land for any other purpose.

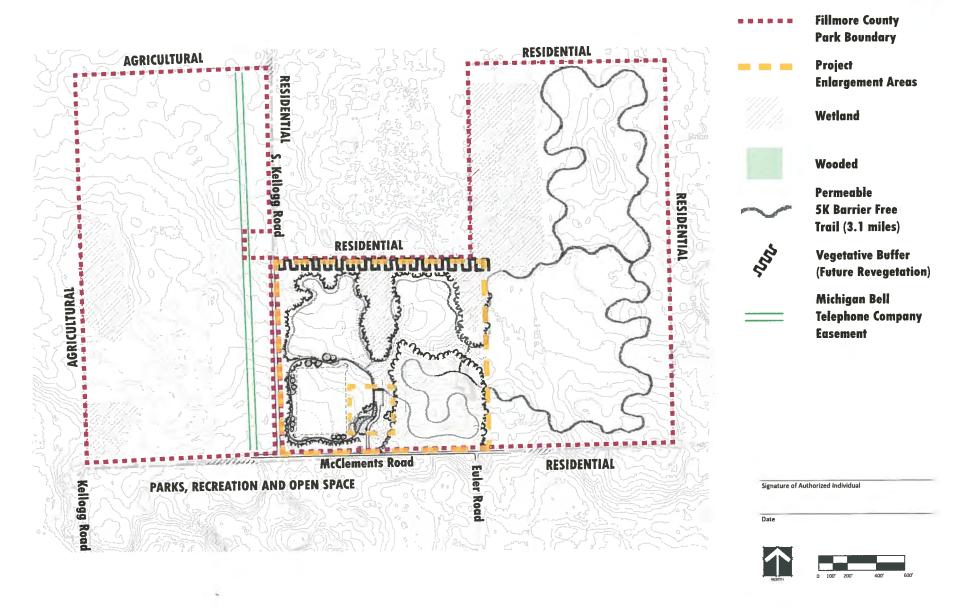
Sources:

- National Wetlands Inventory Maps
- United States Geological Survey (USGS)Topographic Quadrangle Maps
- United States Department of Agriculture (USDA) Soil Conservation Service, Soil Survey of Livingston County, Michigan
- Livingston County's High-Quality Natural Areas, Livingston County Planning Department 2003
- Huron River Watershed Council, Bioreserve Site Assessment, 2014
- 9th Edition ITE Trip Generation Manual



Livingston County

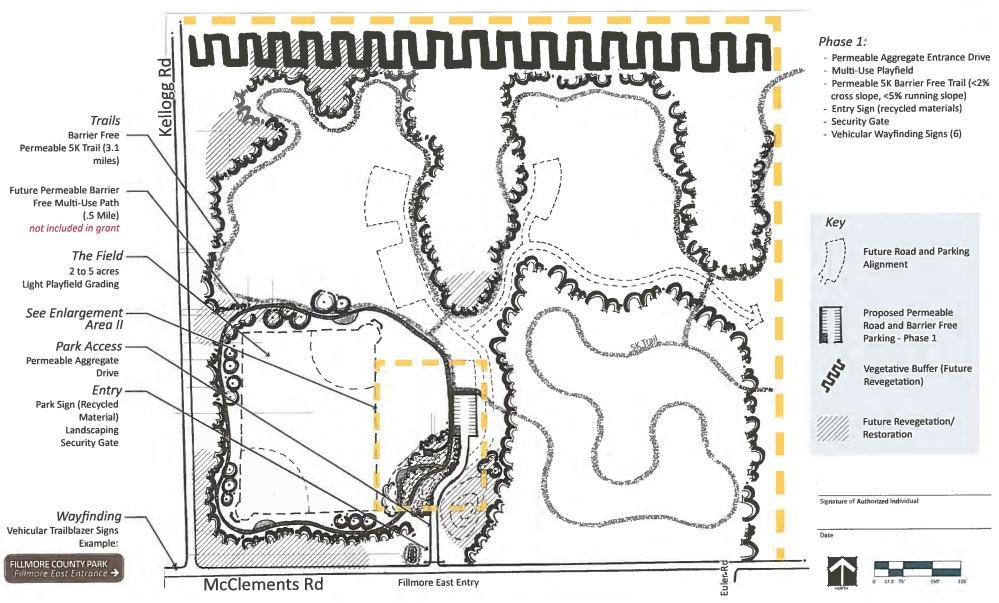






Livingston County







Site Development Plan - Enlargement Area II

Livingston County

Barrier Free Access Permeable Paved Path to Restroom Safety/Security Permeable 5K Barrier Free Trail **Concrete Parking Bumpers Rock Barriers** Signage (Recycled Material) Land and Water Conservation Fund Sign Parking Accessibility Permeable Paved Van Accessible Space Permeable Paved Car Space Accessible Multi-Use Field **Handicap Parking Signs** Permeable Accessible Aggregate Throughout Barrier Free Restroom Area Eco-Friendly Waterless Toilet w/Solar Powered Exhaust Fan Permeable Concrete Pad Screening Berms **Field Grading Spoils**

Phase 1:

- Permeable Aggregate Parking Lot (20 spaces)
- Handicap Parking (1 permeable paved space)
- Van Accessible Parking (1 permeable paved space + loading zone)
- Handicap Parking Signs (2)
- Barrier Free, Eco-Friendly Waterless Toilet w/ Permeable Concrete Pad
- LWCF Sign on Recycled Material
- Permeable Paved Path (Asphalt or Concrete) to Restroom



Signature of Authorized Individual

Date





GENOA CHARTER TOWNSHIP Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:
APPLICANT NAME & ADDRESS: Livingston County Planning Department
If applicant is not the owner, a letter of Authorization from Property Owner is needed.
OWNER'S NAME & ADDRESS: Livingston County
SITE ADDRESS: 7315 McClements PARCEL #(s): 4711-01-300-005
APPLICANT PHONE: (517) 510-8734 OWNER PHONE: ()
OWNER EMAIL: kkline-hudson@livgov.com
LOCATION AND BRIEF DESCRIPTION OF SITE: The site is located at the northeast
corner of Kellogg Road and McClements Road and is located on fallow
agricultural land.
BRIEF STATEMENT OF PROPOSED USE: Use DNR Grant award to land
balance for multi-purpose field, install 5k walking trail, provide
vault restroom facility, and install gravel drive and parking area.
THE FOLLOWING BUILDINGS ARE PROPOSED: 14' - 7 ½"L x 6' - 6"W ADA Accessible
precast waterless vault restroom.
'
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.
BY: Kn Dinton
ADDRESS, 304 E. Grand River, Howell, MI 48843

Contact Information - Review Letters and Correspondence shall be forwarded to the following:			
1.) Kathleen Kline-Hudson	of Livingston County Planning	at kkline-hudson@livgov.com	
Name	Business Affiliation	E-mail Address	
<u></u>			

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE:	DATE:	
PRINT NAME:	PHONE:	
ADDRESS:		



May 7, 2018

Planning Commission Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP
	Planning Director and Assistant Township Manager
Subject:	Fillmore County Park – Site Plan Review #2
Location:	7315 McClements Road - north side of McClements, between Kellogg and Hacker Roads
Zoning:	AG Agricultural District

Dear Commissioners:

At the Township's request, we have reviewed the revised site plan submittal (dated 5/1/18) proposing Phase 1 improvements to Fillmore County Park. We reviewed the previously submitted plans in a letter dated April 17, 2018; this letter responds to subsequent changes to the site plan and application.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

A. Summary

- 1. Favorable consideration of the site plan should be contingent upon Township Board approval of the rezoning to PRF.
- 2. The Planning Commission may allow the gravel parking lot and drive as a low impact alternative to hard-surfacing given the nature and intended use of the site.
- 3. Since the Zoning Ordinance does not provide a parking standard for public parks, the 20 spaces proposed were based on the expected peak trip generation of 17.8 trips.
- 4. The applicant must obtain a sign permit prior to installation of any signage.
- 5. The applicant must address any comments provided by the Township Engineer or Brighton Area Fire Authority.

B. Proposal

The applicant requests site plan review and approval for Phase 1 of the Fillmore County Park project. Improvements for Phase 1 include a driveway, parking area, restroom building, entry signage, an athletic field and a walking/running trail.

The applicant (Livingston County) has also applied for rezoning of the subject site to PRF Public and Recreational Facilities. (Our review of the rezoning is included in a separate letter.)

Public parks are permitted by right in both the current (AG) and proposed (PRF) zoning districts. As such, the project requires site plan review/approval by the Planning Commission.

As a side note, we have applied the PRF standards to the site plan; therefore, favorable consideration of the site plan should be contingent upon Township Board approval of the rezoning.



Aerial view of site and surroundings (looking north)

C. Site Plan Review

1. **Dimensional Requirements.** The PRF District requires a front yard setback equal to that of the most restrictive adjacent zoning district. In this instance, the most restrictive setback is 75 feet required by the AG District.

The proposed improvements along McClements Road easily exceed this standard and the revised site plan shows an 83.11-foot setback for the athletic field from Kellogg Road.

Side and rear setback requirements in the PRF District are 75 feet for buildings and 50 feet for trails and athletic fields. All the proposed Phase 1 improvements comply with these standards.

2. Building Materials and Design. The only building proposed at this time is a relatively small restroom facility (less than 100 square feet in area).

The revised submittal includes a photograph of a building similar to the proposed restroom facility. Per a letter included with the revised submittal, "the building is clad in a vinyl siding of a brown color called *barnwood* and the roof is a cedar shake texture in a standard grey roofing color."

3. Parking. The revised site plan and response letter describe a parking lot that will accommodate 20 vehicles, including 2 barrier-free spaces. Since Section 14.04 does not identify a parking standard for public parks, the 20 spaces proposed are based on the expected peak trip generation of 17.8 trips per the ITE Trip Generation Manual. The barrier-free spaces will be hard surfaced (reinforced concrete), while the remainder of the parking lot, as well as the driveway, will be gravel.

Section 14.06 allows the Commission to grant use of low impact alternatives to hard-surfacing, based on upon review and recommendation of the Township Engineer. We defer to the Township Engineer for their recommendation; however, given the nature and intended use of the site, we are of the opinion that gravel may be an appropriate alternative in this particular instance.

Genoa Township Planning Commission **Fillmore County Park** Site Plan Review #2 Page 3

4. Vehicular Circulation. The site plan proposes a driveway connection to McClements Road. Given the development pattern in this area of the Township, there do not appear to be any driveway spacing/separation issues with the proposed drive. Any other comments provided by the Township Engineer with respect to driveway design/placement must be addressed.

Additionally, the plan includes gates that will restrict access to the park during off-hours. Similar to previous projects where access gates were proposed, such features can have an impact on emergency access. As such, any comments provided by the Brighton Area Fire Authority with respect to the entrance gates must be addressed.

- **5.** Waste Receptacle and Enclosure. The revised submittal states that trash receptacles will be used throughout the park, which will be periodically collected and taken to County dumpsters in Howell.
- **6. Landscaping**. The plan depicts some existing vegetation along McClements Road, some of which will be retained and some of which will be removed to accommodate the driveway. No new plantings are proposed as part of Phase 1.
- **7.** Exterior Lighting. No exterior lighting is proposed for the site as part of Phase 1. Park hours will be from dawn to dusk.
- **8. Signs.** The proposal includes a new ground sign along McClements Road. Details note a 24-square foot sign mounted at a height of 6 feet. The size and height of the proposed sign comply with the requirements of Table 16.1. The revised site plan shows the 10-foot setback from the McClements Road front lot line as required.

Upon site plan approval, the applicant must still obtain a sign permit prior to installation of any signage.

9. Impact Assessment. The submittal includes an Impact Assessment (not dated). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com and steve.hannon@safebuilt.com.

Respectfully.

SAFEBUILT STUDIO

Brian V. Borden, AICP

Planning Manager

Stephen Hannon, AICP

Planner



May 1, 2018

Ms. Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

Re: Fillmore County Park

(Parcels #4711-02-400-004, #4711-01-300-005, #4711-01-300-006)

Rezoning and Site Plan Review #2

Dear Ms. VanMarter:

As requested, we have performed a second review of the above-referenced rezoning request and site plan as prepared by Livingston County Planning Department. The plans have a last revision date of May 1, 2018. This site is located at 7315 McClements Road. The Petitioner is proposing to rezone the site from Agriculture (AG) to Public and Recreational Facilities (PRF) and create a small park and recreation field on the site. We offer the following comments:

GENERAL NOTES

1. We understand that the proposed site plan is an initial phase for the Fillmore County Park and have taken into consideration that the configuration of the parking lot, driveway, and restroom structure may change as future development occurs. All future parking lots and internal driveways should be constructed in accordance with Genoa Township standards.

TRAFFIC / ROADWAYS

- 1. The zoning ordinance requires the drive to be hard surface with concrete curbing. However, the aggregate entrance drive may be considered as a Low Impact Development alternative to the zoning requirements as the park will not have high traffic. The petitioner is not intending to clear snow in the winter so the aggregate drive and parking area would be acceptable.
- 2. The location of the driveway on McClements Road should be reviewed and approved by the Livingston County Road Commission. Confirmation of this permit should be submitted for the Township's records.

DRAINAGE AND GRADING

- 1. All drainage, grading, and soil erosion control measures for future improvements to the property shall be designed in compliance with the regulations established by the Livingston County Drain Commissioner's office.
- 2. The petitioner has added a note to the plans for ditching around the play field to control stormwater runoff from the field and adjacent lands. This ditching should be shown on the grading plan, as its location will impact the overall limits of the grading on the site.
- 3. The petitioner should consider crowning the field to allow drainage from the field to drain to the closest edge. As proposed, the stormwater has to drain from one corner to the other to clear the field which is inefficient and may result in ponding on the field.

Ms. Kelly VanMarter Fillmore County Park Rezoning and Site Plan Review #2 May 1, 2018 Page 2

4. In our previous review we requested the plan include a location for a future detention pond. The need for a detention pond at this time should be discussed and approved by the Livingston County Drain Commissioner. Typically, with any parking lot a detention pond is required along with sedimentation control provisions. A drainage review letter from the LCDC office should be submitted as part of the land use permit process.

The rezoning from AG to PRF presents minimal engineering issues and we therefore have no objections to the proposed rezoning. The site plan comments should be addressed by the petitioner to the satisfaction of the planning committee.

If you have any questions or comments, please call.

Sincerely,

Gary J. Markstrom, P.E.

Vice President

BRIGHTON AREA FIRE AUTHORITY



615 W. Grand River Ave. Brighton, MI 48116 o: 810-229-6640 f: 810-229-1619

May 10, 2018

Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

RE: Fillmore Park rezoning

7315 McClements Rd. Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 6, 2018 with revisions received on May 9, 2018. The drawings are dated January 24, 2018 with revisions dated May 1, 2018. The project is based on the proposed redevelopment of a donated fallow agricultural land into a community park. The current submittal is for the development of a multi-sport field, 5k walking path, access and parking and a waterless restroom facility.

The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

 The dead-end access drive into the parking lot exceeds 300'. Dead ends exceeding 150' are required to be provided a means of emergency vehicle turnaround. This can be accomplished through cul-de-sac or hammerhead-style turnarounds. (The approved dimensioned turn-around has been included in the new design at the north end of the parking area)

> IFC 503.2.5 IFC APPENDIX D

2. The site address shall be included on the entrance sign and shall be a <u>minimum of 6"</u> high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. (The address for the park is noted to be included on the monument sign at the entrance)

IFC 505.1

3. The access road into the site shall be a minimum of 26' wide. With a width of 26' wide, one side of the street shall be marked as a fire lane. Include the location of the proposed fire lane signage and include a detail of the fire lane sign in the submittal. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. (The access road is identified on Sheet C3 as 26' wide, however, is shown at 24' wide on detail sheet C5. It is noted that fire lane signage will be provided but the "No Parking Fire Lane" signs are not indicated on any of the sheets, and there is no detail provided. Signage shall be spaced every 50' along one side of the drive and on all sides of the new hammerhead.)

IFC D 103.3 IFC D 103.6



BRIGHTON AREA FIRE AUTHORITY

May 10, 2018
Page 2
Fillmore Park rezoning
7315 McClements Rd.
Site Plan Review

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

Rick Boisvert, CFPS Fire Marshal

cc: Amy Ruthig

Fillmore County Park PRF Impact Assessment

The following impact assessment follows the requirements of Section 18.07 "Written Impact Assessment Requirements" of the Genoa Township Zoning Ordinance.

a. Preparer.

Prepared by:
Kathleen Kline-Hudson, Director
Livingston County Planning Department
Staff Facilitator, Livingston County Parks and Open Space Advisory Committee
304 E. Grand River Ave.
Howell, MI 48843

Prepared for: Livingston County Government 304 E. Grand River Ave. Howell, MI 48843

Genoa Charter Township 2911 Dorr Road Brighton, MI 48116

b. Description of the Project Site.

Fillmore County Park consists of 198 acres located in Sections 1 and 2 of the northeast quadrant of Genoa Charter Township. The land was bequeathed to Livingston County for park purposed by Raymond Fillmore. The site primarily consists of fallow agricultural land with the exception of the Fillmore farmstead located at 7315 McClements. For the near future the county intends to have the farmstead residence occupied by a park caretaker. In the future, this structure may be demolished or used for park purposes such as an interpretative center. The site is bordered by agriculture and rural residences to the north and west, Camp Chaldean to the south and Del-Sher Estates to the east.



c. Impact on Natural Features.

The project site contains three unregulated wetlands of less than 5 acres in size (NWI), three woodland areas totaling approximately 32 acres, and open, fallow agricultural land. The land is generally low-sloped, with gently-rolling topography of 0-12%. Elevations range from a low of 975 feet USGS to a high of 1,000 feet. The USDA Soil Survey of Livingston County indicates that the soils on-site are predominately well-drained Miami Loam, Owosso Miami Sandy Loam and Fox-Boyer Complex. These soils present only slight or moderate limitations for nonfarm use. The site also contains scattered pockets of muck soils.

Livingston County's High-Quality Natural Areas, a 2003 publication of the Livingston County Planning Department, indicates that there are two (2) Priority 2 natural areas located on site. Priority 2 natural areas are usually between 50 and 200 acres and have average scores for bio-diversity.

This project is intended to not harm the natural features on-site; to do so would be counter-productive to the park setting.

Natural features on the Fillmore County Park site have been recorded by the Huron River Watershed Council (HRWC) through a Bioreserve Site Assessment. This assessment has been submitted to the Township with the rezoning application. In summary, the HRWC ranked East Fillmore (approx.120 acres) and West Fillmore (approx.80 acres) for 15 ecological criteria. HRWC rankings place both areas of the park in the Iower range for all the Bioreserve Sites in the watershed ranging from 25 to 1244. The main differences between the two areas were that Fillmore East got slightly more points for being better connected to other natural areas and Fillmore West got points for being less ecologically disturbed than Fillmore East (Fillmore East got zero points for this due to former farming of land).

d. Impact on Stormwater Management.

Grading and construction operations at the site will be very minimal for the entrance drive, parking area, playfield, restroom facility and trail, therefore, there should be little to no impact on stormwater management. The Drain Commissioner is a member of the Livingston County Parks and Open Space Advisory Committee and his expertise will be sought throughout the construction project.

e. Impact on Surrounding Land Use.

Phase I development of Fillmore County Park will entail the construction of: a park entrance, driveway, parking lot with ADA spaces, a restroom facility with vaulted toilet, a sidewalk that will connect parking to the restroom, a sports playfield and a 5K trail. This construction will primarily occur near the Kellogg/McClements Road intersection.

Each of these permitted uses in the PRF zoning district are compatible with the adjacent recreational land uses and the PRF zoning of Camp Chaldean. Additionally, the future recreational uses of Fillmore County Park will not be detrimental to surrounding residential property values in terms of views, light, noise and other nuisances which could negatively impact adjacent properties. Conversely, use of the park will provide health and welfare benefits to the surrounding residential areas.

Subsequent phases of the park may be planned for the future. A conceptual site plan for park development has been created and can be found in the rezoning application materials. Additionally, the site currently contains the Fillmore farmstead consisting of a residence and outbuildings at 7315 McClements Road.

The Livingston County Parks and Open Space Advisory Committee has kept residents in the immediate area and the facility manager of Camp Chaldean, regularly informed of the plans for the park since February 2014 when a public meeting was held for a Michigan Natural Resources Trust Fund grant that was being submitted by Livingston County at that time. Since the February 2014 public meeting, the committee has maintained communication through periodic visits and e-mail contact, as well as through two (2) liaison Del-Sher Estates residents that attend meetings of the Parks and Open Space Advisory Committee in order to keep informed of the plans for the park so that they can better inform their neighbors.

f. Impact on Public Facilities and Services.

The Park will serve the Howell, Brighton and Hartland areas, being centrally located between them. With this ideal location, Fillmore County Park should attract a modest number of visitors, primarily on the weekends. There is no anticipated impact on public schools. County employee presence will be

periodic. In collaboration with the Livingston County Parks and Open Space Advisory Committee, the Livingston County Road Commission will provide upkeep of the gravel road and lot, and the Sheriff's Department will patrol the main use area. Letters of support were obtained from both of these entities for the Land and Water Conservation Fund grant that will partially fund park development.

g. Impact on Public Utilities.

Fillmore County Park will not be served by municipal utilities, nor are utilities currently requested for this park usage. Sanitary services will be provided to public by a waterless vault toilet in a restroom facility.

h. Storage and Handling of Any Hazardous Materials.

Hazardous substances will not be used, stored or disposed of on the site.

i. Impact on Traffic and Pedestrians.

Access to Fillmore County Park will be from McClements Road, a gravel road on the south side of the property. The park entrance drive will be located approximately 400 feet east of the intersection of Kellogg and McClements Roads, nearest to the areas from which most traffic will arrive. Through park planning it was determined that this is the best point of entry into the park. This entrance location creates a good starting point for future phases of the park, and the location is buffered from neighboring residential areas while establishing good cross access to the neighboring Camp Chaldean.

Based on the Institute of Transportation Engineers (ITE) common trip generation rates at the PM Peak Hour, a County Park of 198 acres generates 17.8 trips (.09 per unit).

j. Special Provisions.

The trust agreement of Raymond Fillmore states that Livingston County is to only use the land for recreation purposes as a county park. Therefore, Livingston County is unable to utilize the land for any other purpose.

Sources:

- National Wetlands Inventory Maps
- United States Geological Survey (USGS)Topographic Quadrangle Maps
- United States Department of Agriculture (USDA) Soil Conservation Service, Soil Survey of Livingston County, Michigan
- Livingston County's High-Quality Natural Areas, Livingston County Planning Department 2003
- Huron River Watershed Council, Bioreserve Site Assessment, 2014
- 9th Edition ITE Trip Generation Manual

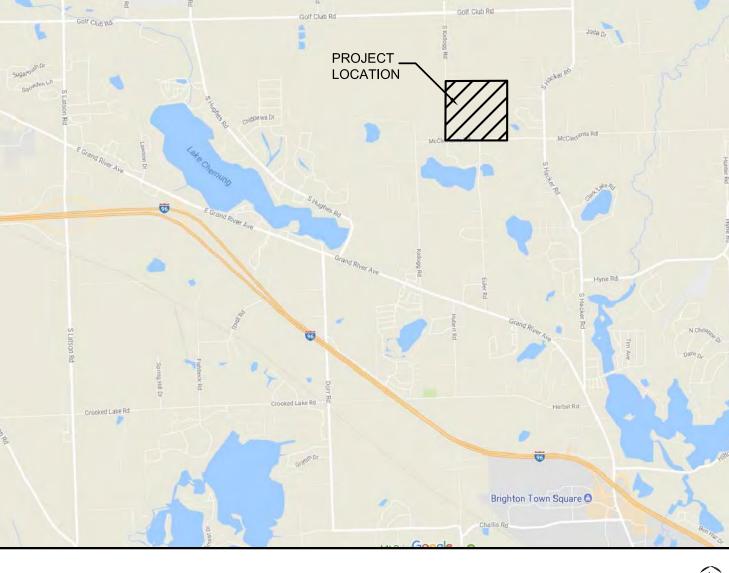
GENERAL PROJECT NOTES:

- ORIGINAL BASE SURVEY PROVIDED BY: HUBBELL, ROTH & CLARK, INC. on 06/06/2017 PH: (248) 454-6300
- 2. BENCHMARK: DESC. SEE SHEET C1 EXISTING CONDITIONS
- 3. ALL UNITS OF MEASURE ARE IN ENGLISH.
- 4. THE CONTRACTOR(S) SHALL NOTIFY ALL EXISTING UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK SHALL CONFORM TO THE CURRENT STANDARD SPECIFICATIONS OF ALL STATE AND LOCAL APPLICABLE
- CONTRACTOR(S) TO NOTIFY LIVINGSTON COUNTY 48 HOURS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
- THE CONTRACTOR(S) SHALL OBTAIN ANY/ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR(S) IS RESPONSIBLE FOR MAINTAINING ALL PREVIOUSLY INSTALLED S.E.S.C. MEASURES INCLUDING RESTORATION OF ALL DAMAGED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS. AND INSTALLING AND MAINTAINING ALL NEW S.E.S.C. MEASURES.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR REPLACEMENT OR REPAIR OF ANY EXISTING UTILITIES OR OTHER SITE FEATURES THAT ARE DAMAGED DURING CONSTRUCTION TO THE SATISFACTION AND APPROVAL OF THE APPROPRIATE UTILITY COMPANY. OTHER EXISTING SITE ELEMENTS THAT ARE DAMAGED MUST BE REPAIRED OR REPLACED TO THE SATISFACTION AND APPROVAL OF THE
- 10. NOTIFY MISS DIG AT 811 OR 1-800-482-7171, 72 HOURS PRIOR TO START OF CONSTRUCTION.
- 11. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS OR UTILITY COMPANIES AS REQUIRED TO ACCOMPLISH THEIR CONSTRUCTION OPERATIONS.
- AS AN AID TO THE CONTRACTOR(S), VARIOUS UTILITIES ARE SHOWN ON THE PLAN. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLAN ARE TAKEN FROM AVAILABLE RECORDS. THE OWNER OR ARCHITECT DOES NOT GUARANTEE THEIR LOCATION AND/OR ELEVATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH THE EXACT LOCATIONS AND/OR ELEVATIONS OF ALL EXISTING UTILITIES AND REFLECT THAT IN THEIR
- 13. IT IS UNDERSTOOD THAT THE CONTRACTOR(S) SHALL PERFORM ALL WORK UNDER THIS CONTRACT IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS, POLICIES, RULES AND STANDARDS OF THE MICHIGAN OCCUPATIONAL SAFETY AND HEALTH ACT (MIOSHA) BEING ACT 154 OF THE PUBLIC ACTS OF 1974 AND AS AMENDED.
- ANY QUANTITIES GIVEN WITHIN THESE PLANS AND SPECIFICATIONS ARE APPROXIMATIONS ONLY AND SHOULD NOT BE USED TO DETERMINE COSTS. ALL QUANTITIES SHOULD BE VERIFIED BY THE CONTRACTOR(S) FOR BIDDING PURPOSES. THIS IS A LUMP SUM BID UNIT PRICES WILL BE TAKEN FOR SPECIFIC ITEMS THAT MAY BE NECESSARY TO ADD OR DELETE DURING PROJECT CONSTRUCTION
- 15. CONTRACTOR IS RESPONSIBLE FOR ALL STAKING AND LAYOUT FOR THIS PROJECT. THIS INCLUDES GRADES AND ESTABLISHMENT OF A BENCHMARK.
- 16. CONTRACTOR TO PROVIDE ALL TRAFFIC CONTROL DURING CONSTRUCTION. ALL TRAFFIC CONTROL SHALL CONFORM TO CURRENT MMUTCD STANDARDS.
- 17. ANY ITEMS INDICATED TO BE REMOVED ARE TO BE LEGALLY DISPOSED OF OFF-SITE UNLESS OTHERWISE NOTED.
- 18. ALL PERSONNEL ARE REQUIRED TO WEAR HARD HATS WITHIN WORK ZONES AND COMPLY WITH ALL MIOSHA STANDARDS.
- 19. CONTRACTOR SHALL PERFORM DAILY CLEAN UP OF MATERIALS AND DEBRIS GENERATED BY THEIR WORK WITHIN THE PROJECT LIMITS AND IN PUBLIC AREAS IN WHICH THEY CREATE DEBRIS AND/OR TRACKING OF SOIL MATERIALS.
- 20. CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THEIR OWN TOOLS, EQUIPMENT, MATERIALS, ETC. TO GUARD AGAINST FIRE, THEFT, VANDALISM, AND/OR WEATHER DAMAGE.
- 21. CONTRACTOR TO COORDINATE CONSTRUCTION SCHEDULE AND DISRUPTIONS OF NORMAL ACTIVITIES WITH OWNER.
- 22. THE CONTRACTOR WILL PROVIDE ALL MATERIAL TESTING.

FILLMORE COUNTY PARK PHASE 1 IMPROVEMENTS

GRANT # 26-01775





VICINITY LOCATION MAP

NOT TO SCALE

7315 MC CLEMENTS RD. GENOA TOWNSHIP, MI 48114

PROJECT SHEET INDEX:

- COVER
- **EXISTING CONDITIONS**
- SITE PREPARATION PLAN
- ☐ C3 SITE LAYOUT
- □ C3.1 5K TRAIL LAYOUT
- □ C4 GRADING PLAN
- DETAILS
- □ C6 DETAILS

LEGAL DESCRIPTION

THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 1, T.2N., R.5E., GENOA TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

LOCAL UTILITY CONTACTS:

ELECTRICAL: DTE ENERGY, PAUL GANZ - (313) 702-0571, Paul.Ganz@dteenergy.com

COUNTY DRAIN: LIVINGSTON COUNTY DRAIN COMMISSIONER, (517) 546-0040, drain@livgov.com



ADDITIONAL POINTS OF CONTACT:

PH: (517) 546-7555

CONTACT PERSON: KATHLEEN KLINE-HUDSON PLANNING DIRECTOR

LANDSCAPE ARCHITECTS & PLANNERS, INC

CONTACT PERSON: PROJECT MANAGER LAP OTHER POC

PROJECT AREA

NOT TO SCALE

HUBBELL, ROTH & CLARK, INC CONSULTING ENGINEERS SINCE 1915

Know what's below.

Call before you dig.

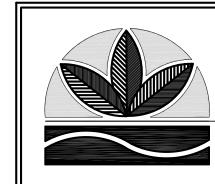
SURVEY COMPLETED BY:

HUBBELL, ROTH & CLARK, INC. 555 HULET DRIVE, P.O. BOX 824 BLOOMFIELD HILLS, MI 48303 PH: (248) 454-6300 FAX: (248) 454-6312 ON 06/06/2017

LIVINGSTON COUNTY PLANNING DEPARTMENT 304 E. GRAND RIVER AVE. SUITE 206 **HOWELL**, MI 48843

PH: (517) 546-7555 FAX: ----



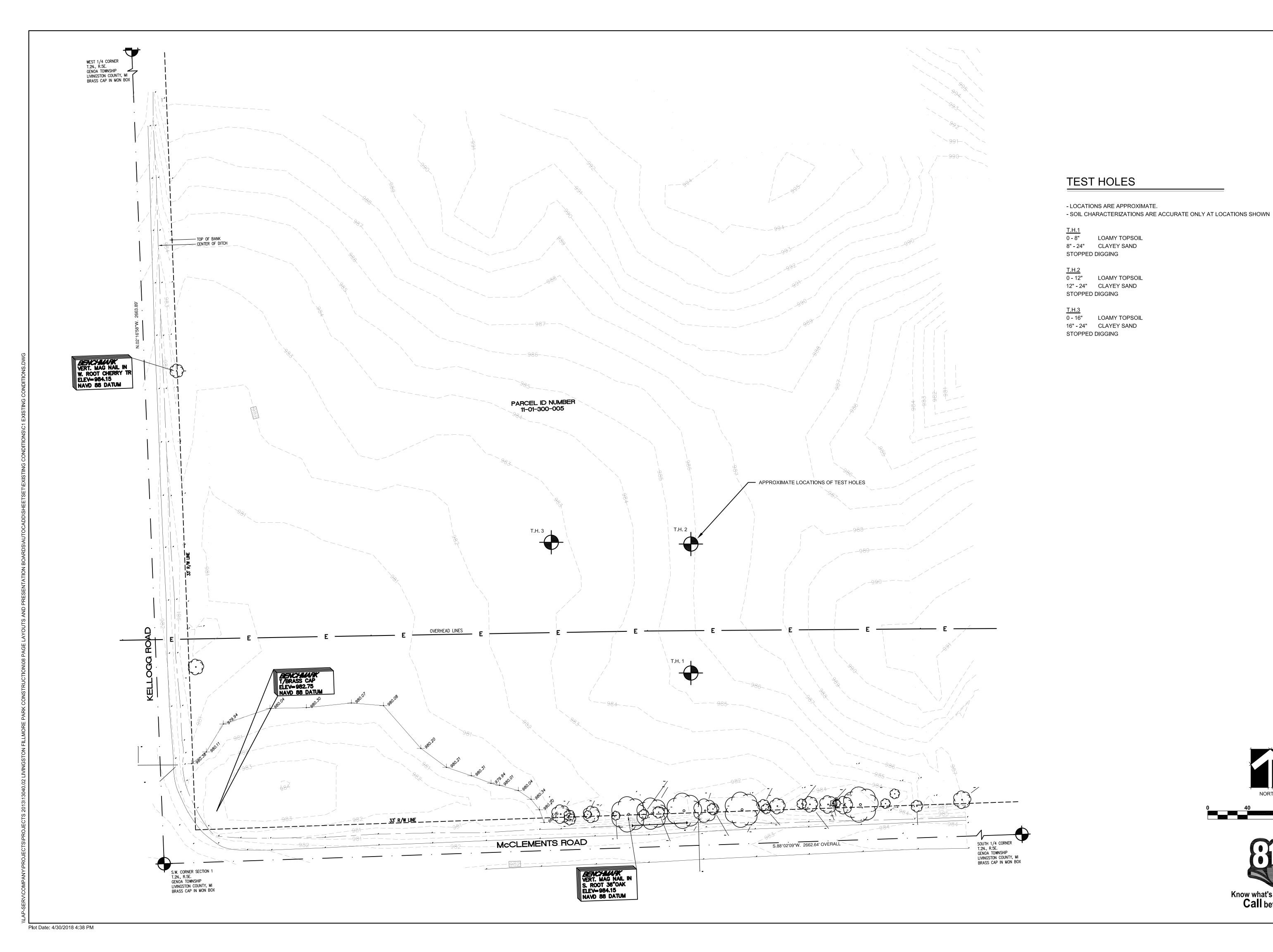


Landscape Architects & Planners, Inc.

PH: (517) 485-5500 - FAX: (517) 485-5576 - EMAIL: INFO@LAPINC.NET

DESIGNED BY: CHECKED BY: DRAWN BY: 13040.0 PROJECT NO:

SHEET





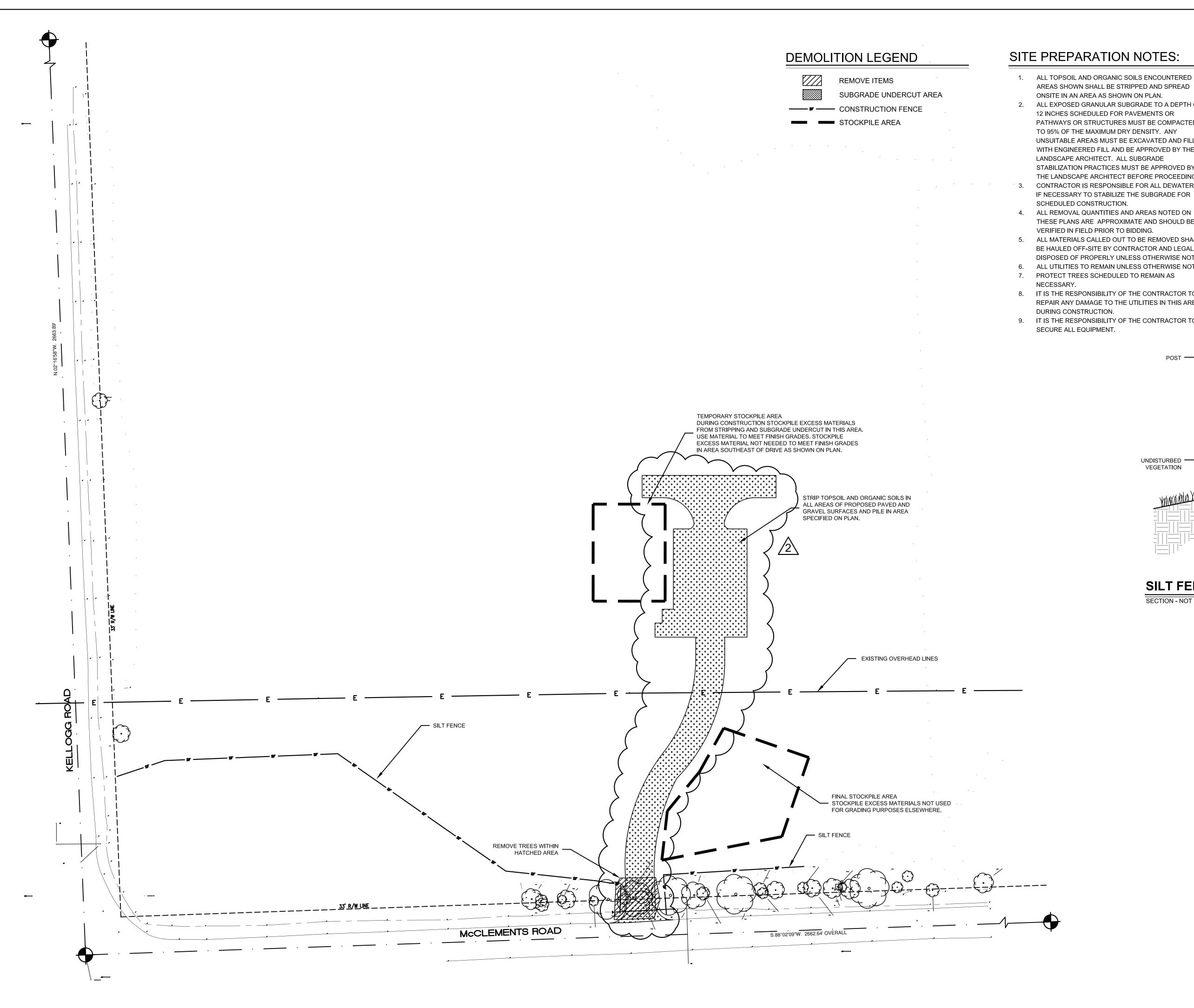
OAKLAND CENTER
809 CENTER STREET
SUITE ONE
LANSING, MI 48906
P: (517) 485-5500
F: (517) 485-5576
info@lapinc.net

LIVINGSTON COUNT
PLANNING DEPARTMENT

CONDITIONS

Know what's below.
Call before you dig.

SHEET



Plot Date: 4/30/2018 5:19 PM

SITE PREPARATION NOTES:

- 1. ALL TOPSOIL AND ORGANIC SOILS ENCOUNTERED IN AREAS SHOWN SHALL BE STRIPPED AND SPREAD ONSITE IN AN AREA AS SHOWN ON PLAN.
- 2. ALL EXPOSED GRANULAR SUBGRADE TO A DEPTH OF 12 INCHES SCHEDULED FOR PAVEMENTS OR PATHWAYS OR STRUCTURES MUST BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY. ANY UNSUITABLE AREAS MUST BE EXCAVATED AND FILLED WITH ENGINEERED FILL AND BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL SUBGRADE STABILIZATION PRACTICES MUST BE APPROVED BY
- THE LANDSCAPE ARCHITECT BEFORE PROCEEDING. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING
- SCHEDULED CONSTRUCTION. 4. ALL REMOVAL QUANTITIES AND AREAS NOTED ON THESE PLANS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD PRIOR TO BIDDING.
- 5. ALL MATERIALS CALLED OUT TO BE REMOVED SHALL BE HAULED OFF-SITE BY CONTRACTOR AND LEGALLY DISPOSED OF PROPERLY UNLESS OTHERWISE NOTED.
- 6. ALL UTILITIES TO REMAIN UNLESS OTHERWISE NOTED. 7. PROTECT TREES SCHEDULED TO REMAIN AS
- 8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY DAMAGE TO THE UTILITIES IN THIS AREA DURING CONSTRUCTION.
- 9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL EQUIPMENT.

TREE PROTECTION NOTES:

- 1. TREES WILL BE PROTECTED USING PROTECTION FENCE TO DRIPLINE; ORANGE SAFETY SCREEN ON STEEL T-POSTS 1.33 LB / FT, SEE DETAIL 1.
- 2. IF PROTECTION TO THE DRIPLINE IS NOT FEASIBLE, CONTRACTOR TO SUBMIT ALTERNATE PLAN.
- TEETH ARE REQUIRED TO BE REMOVED FROM MACHINE BUCKET WHEN REMOVING MATERIALS NEAR TREE DRIPLINES.
- 4. WHEN REMOVING MATERIAL AROUND DRIPLINE, IT MUST BE PULLED AWAY FROM THE TREE USING HAND

Landscape Architects &

Planners, Inc.

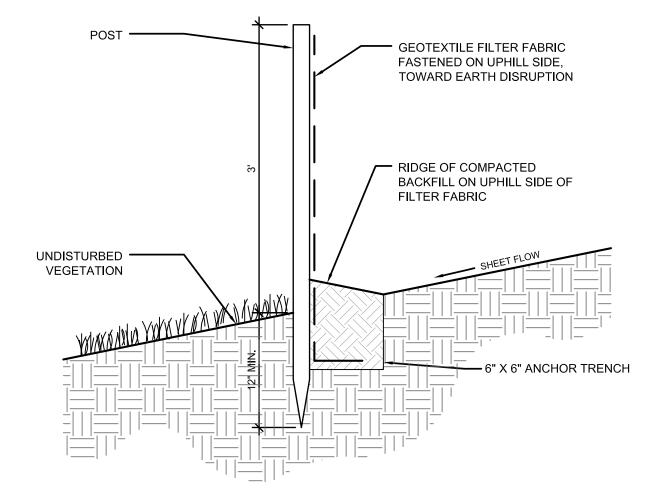
OAKLAND CENTER 809 CENTER STREET SUITE ONE LANSING, MI 48906

P: (517) 485-5500

F: (517) 485-5576 info@lapinc.net

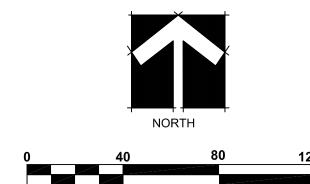
REVISIONS
INITIALS DATE
ADD 2 5/1/20

- METHODS AND WITH EXTREME CAUTION. 5. NOTIFY LANDSCAPE ARCHITECT 24 HOURS PRIOR TO DEMOLITION FOR OBSERVATION TO ENSURE
- PROTECTION OF TREE FEEDER ROOTS. 6. IF ANY QUESTIONS OR CONCERNS ARISE, CONTACT THE LANDSCAPE ARCHITECT IN ADVANCE.



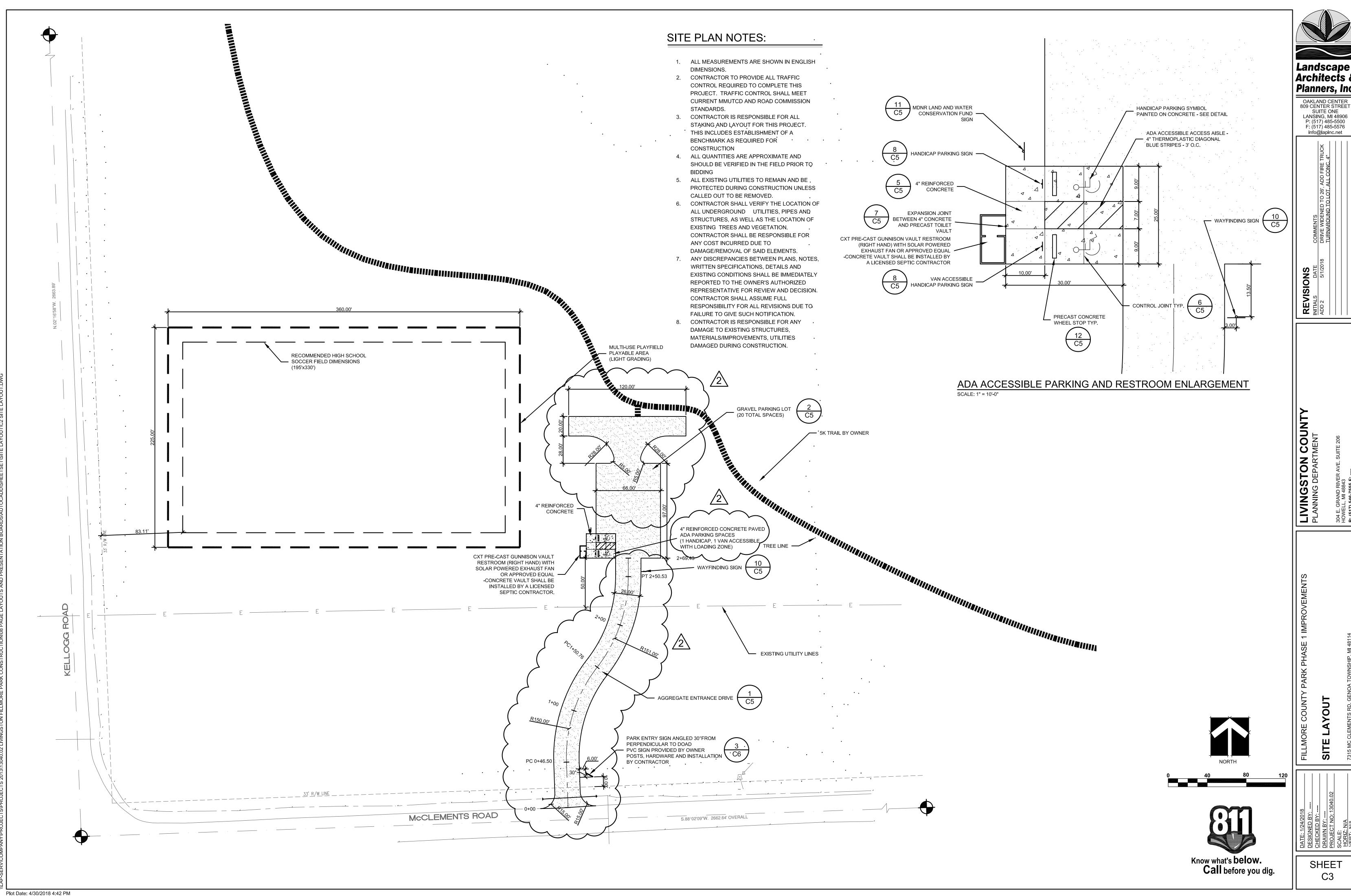
SILT FENCE INSTALLATION DETAIL

SECTION - NOT TO SCALE



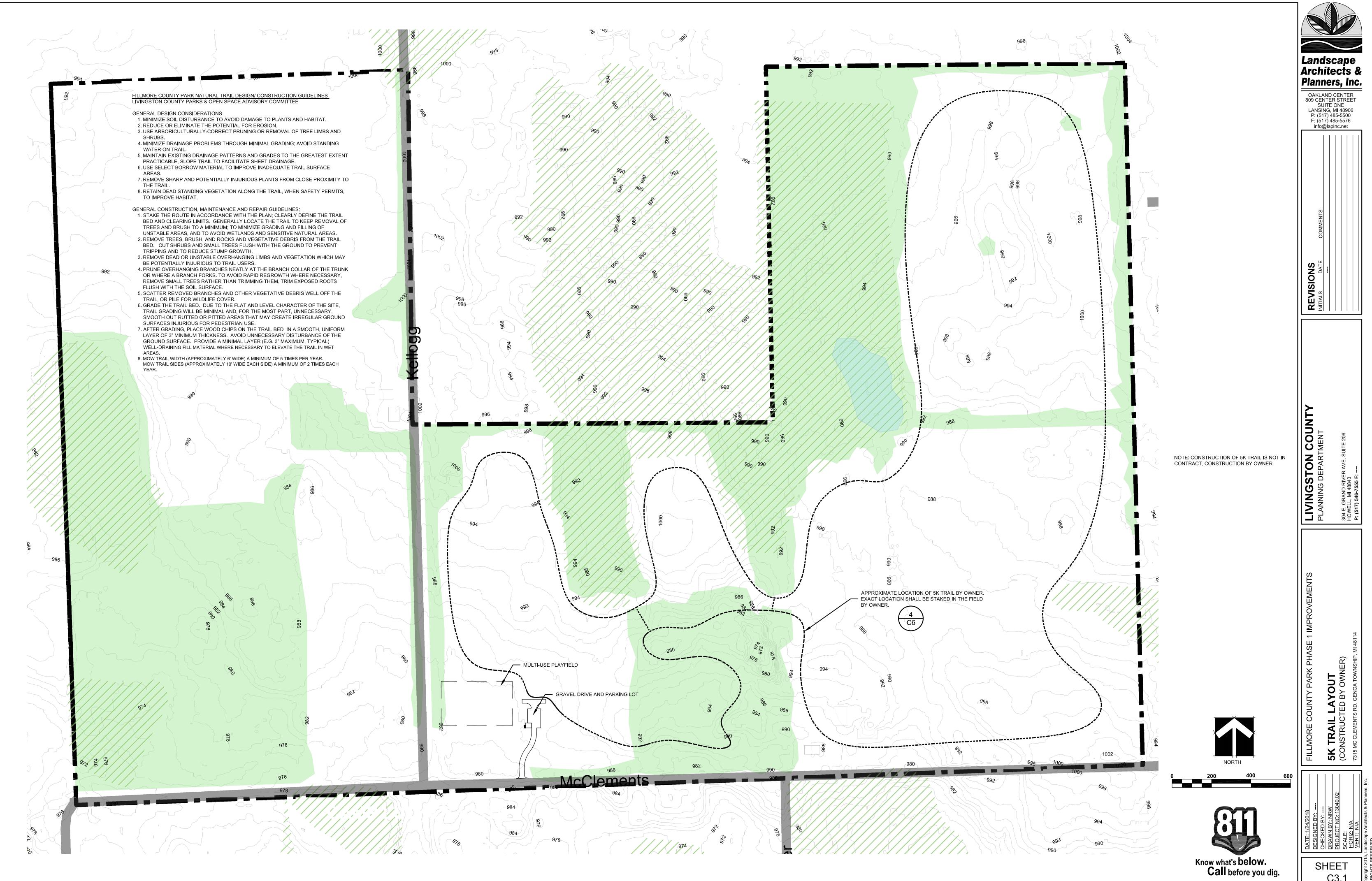


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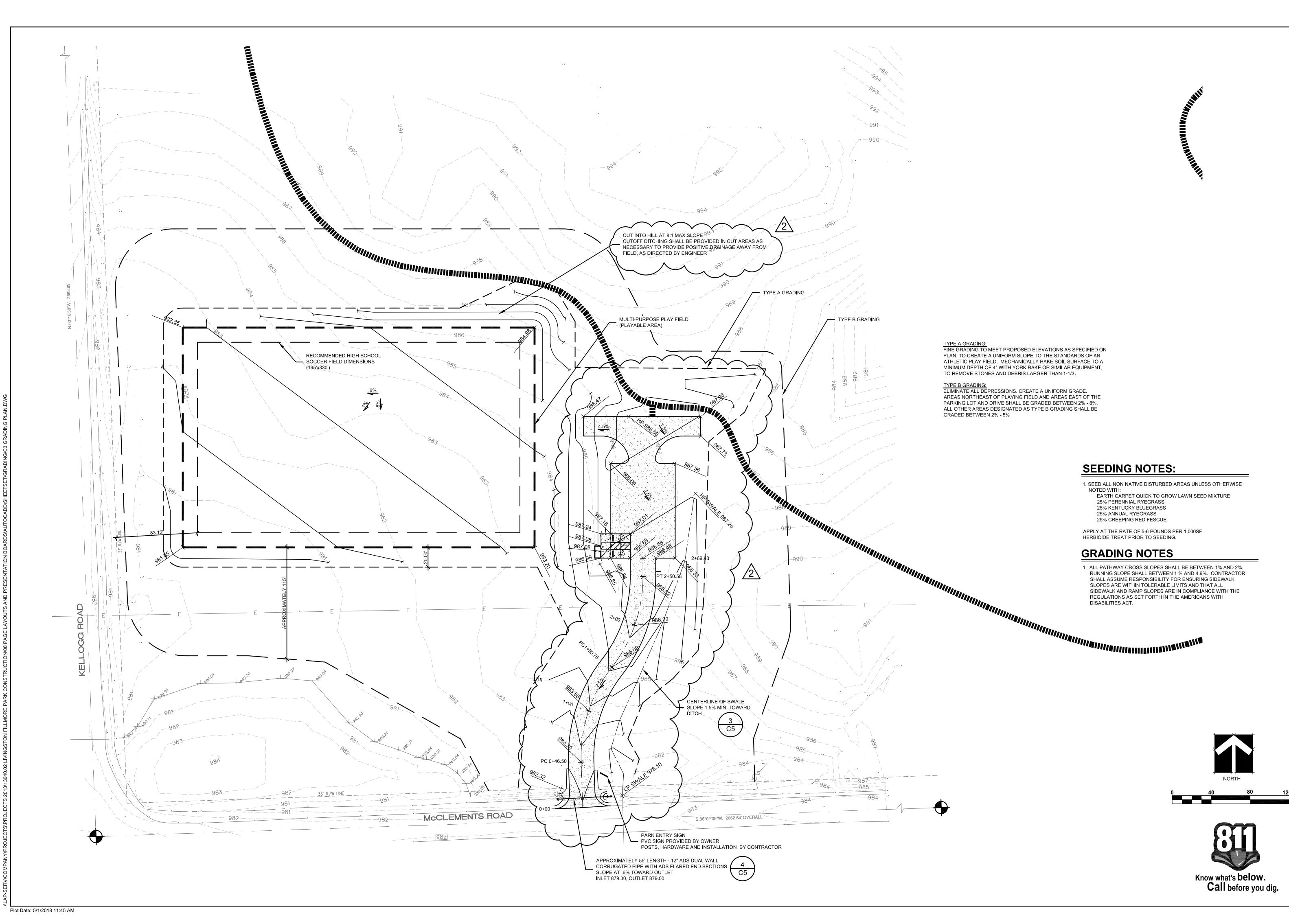


Landscape Architects & Planners, Inc.

F: (517) 485-5576



Plot Date: 4/30/2018 4:43 PM

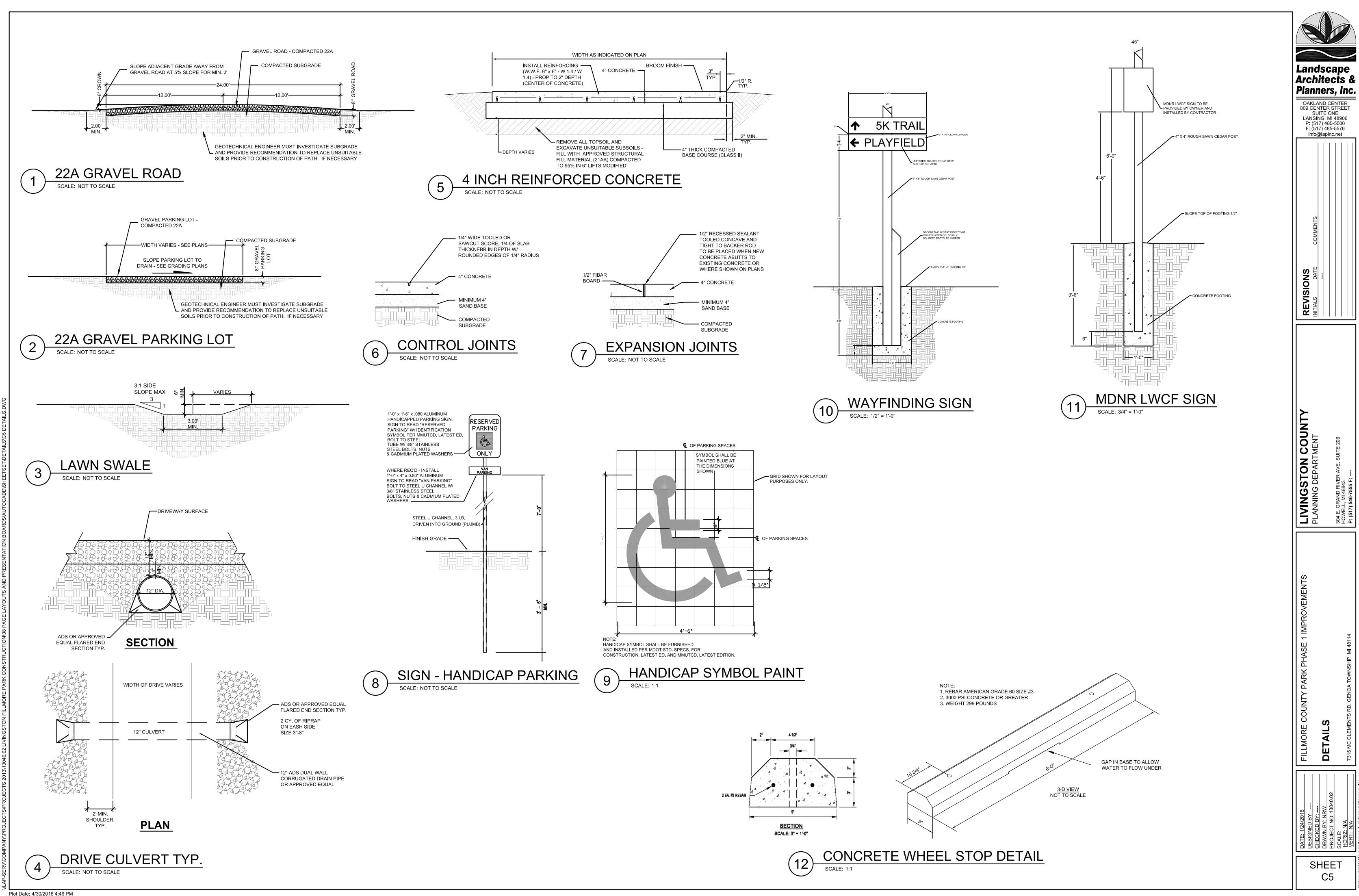




Landscape Architects & Planners, Inc.

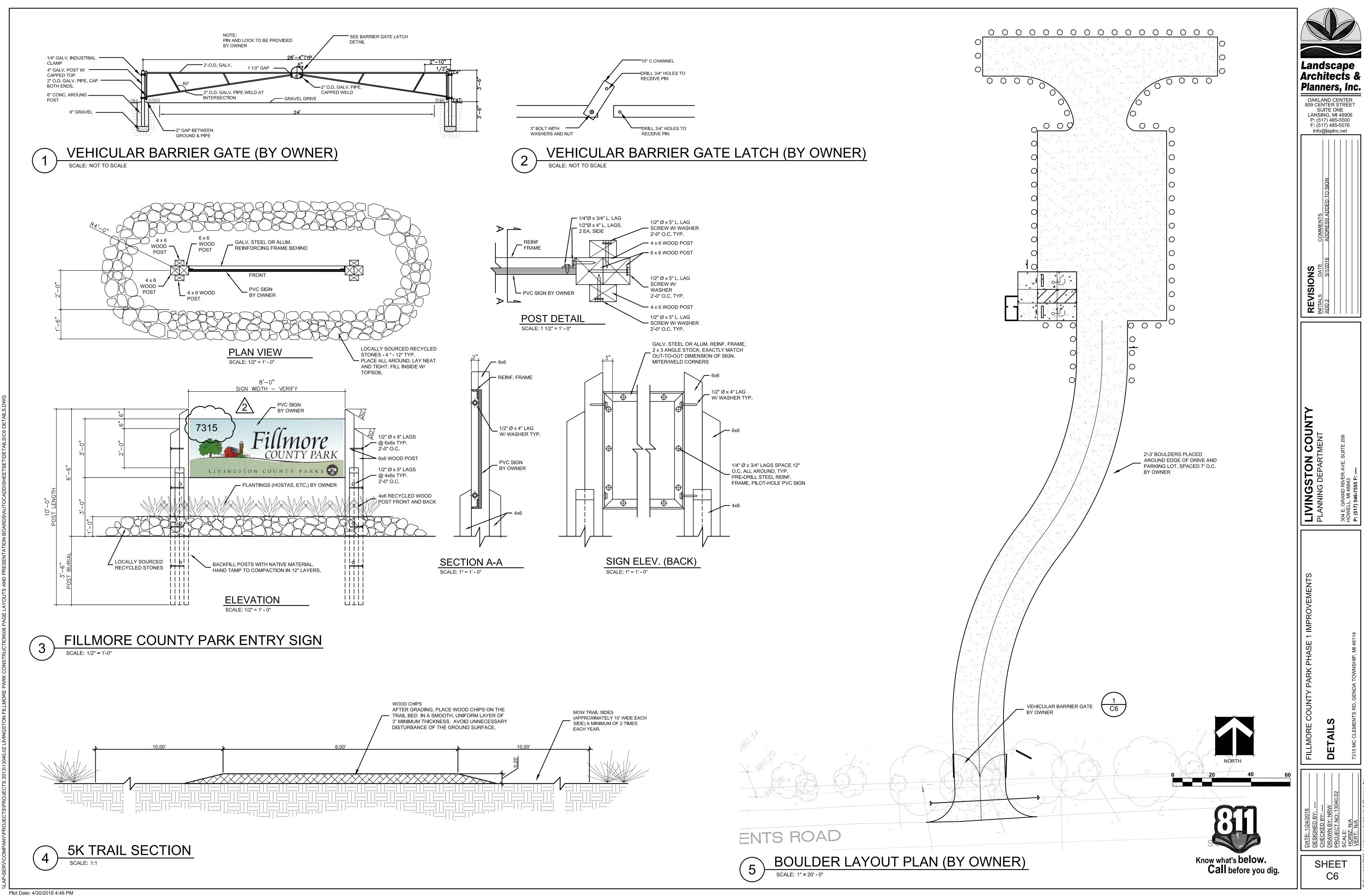
OAKLAND CENTER 809 CENTER STREET SUITE ONE LANSING, MI 48906 P: (517) 485-5500 F: (517) 485-5576 info@lapinc.net

SHEET



SHEET

DETAILS





GENOA CHARTER TOWNSHIP Special Land Use Application

GENOA TOWNSHIP

APR - 4 2018

RECEIVED

This application must be accompanied by a site plan review application and the associated submittal requirements. (The Zoning Official may allow a less detailed sketch plan for a change in use.)

Submit a letter of Authorization from Property Owner if application is signed by Acting Agent. APPLICANT PHONE: (248) 348-9911 EMAIL: kmcquade@acsbuild.com OWNER NAME & ADDRESS: Truck & Trailer Specialties SITE ADDRESS: Vacant Land, Grand Oaks Drive PARCEL #(s): 4711-05-300-054	APPLICANT NAME & ADDRESS: Ken McQuade, ACS Build, Inc., 28525 Beck Road, Suite 118, Wixom, MI 48393
OWNER NAME & ADDRESS: Truck & Trailer Specialties SITE ADDRESS: Vacant Land, Grand Oaks Drive PARCEL #(s): 4711-05-300-054 OWNER PHONE: (Submit a letter of Authorization from Property Owner if application is signed by Acting Agent.
OWNER PHONE: (APPLICANT PHONE: (248) 348-9911 EMAIL: kmcquade@acsbuild.com
Counter Phone: (Alb.) 734 - 4968 EMAIL: Docume is the Ast of Street and Surroundings: Parcel is located on the west side of Grand Oaks Drive, south of Grand River. Parcel is vacant and wooded, approximately 10.03 Acres. Proposed Use: The proposed use is a new 30,000 S.F. building, specializing in Truck and Snow Equipment. Describe how your request meets the Zoning Ordinance General Review Standards (section 19.03): a. Describe how the use will be compatible and in accordance with the goals, objectives, and policies of the Genoa Township Comprehensive Plan and subarea plans, and will promote the Statement of Purpose of the zoning district in which the use is proposed. Site is being used for industrial purpose in industrial zoning. Adjacent properties outdoor storage. b. Describe how the use will be designed, constructed, operated, and maintained to be compatible with, and not significantly alter, the existing or intended character of the general vicinity. Design in accordance with Genoa Township requirements. c. How will the use be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, water and sewage facilities, refuse disposal and schools? Site will provide entrance from Grand Oaks Drive and tie Into existing public utilities. Storm water detained per requirements	OWNER NAME & ADDRESS: Truck & Trailer Specialties
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and outlet to wetland.	Site will provide entrance from Grand Oaks Drive and tie into existing public utilities. Storm water detained per requirements
	and outlet to wetland.

d. Will the use involve any uses, activities, processes, or materials potentially detrimental to the natural environment, public health, safety, or welfare by reason of excessive production of traffic, noise, vibration, smoke, fumes, odors, glare, or other such nuisance? If so, how will the impacts be mitigated?	
No	
	_
e. Does the use have specific criteria as listed in the Zoning Ordinance (sections 3.03.02, 7.02.02, & 8.02.02)? If so, describe how the criteria are met.	?
yes, Snowplow, truck fabrication and repair.	
	_
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIE I AGREE TO DESIGN, CONSTRUCT AND OPERATE, AND MAINTAIN THESE PREMISES AND THE BUILDINGS, STRUCTURES, AND FACILITIES WHICH ARE GOVERNED BY THIS PERMIT IN ACCORDANCE WITH THE STATED REQUIREMENTS OF THE GENOA TOWNSHIP ZONING ORDINANCE, AND SUCH ADDITIONAL LIMITS AND SAFEGUARDS AS MAY BE MADE A PART OF THE UNDERSIGNED STATES THAT THEY ARE THE FREE OWNER OF THE PROPERTY OF PROPERTIES DESCRIBED ABOVE AND MAKES APPLICATION FOR THIS SPECIAL LAND USE PERMIT. BY: Daniel Bouwman, Truck & Trailer Specialties, Inc. ADDRESS: 3286 Hanna Lake Industrial Park Drive, Dutton, MI 49316	EF.
Contact Information - Review Letters and Correspondence shall be forwarded to the following:	
Ken McQuade of ACS Build, Inc. at kmcquade@acsbuild.com	
lame Business Affiliation Email	
	l
FEE EXCEEDANCE AGREEMENT	
As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one 1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be equired to pay the actual incurred costs for the additional reviews. If applicable, additional review fee sayment will be required concurrent with submittal to the Township Board. By signing below, applicant and full understanding of this policy.	
SIGNATURE: FO M' fluid DATE: 4/4/2018	
PRINT NAME: Ken McQuade, ACS Build, Inc. PHONE: (248) 348-9911	



GENOA CHARTER TOWNSHIP Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: Ken McQuade, ACS Build, Inc., 28525 Beck Road, Suite 118, Wixom, MI 48393
If applicant is not the owner, a letter of Authorization from Property Owner is needed.
OWNER'S NAME & ADDRESS:Truck & Trailer Specialties, Inc.
SITE ADDRESS: Vacant Land, Grand Oaks Dr. PARCEL #(s): 4711-05-300-051
APPLICANT PHONE: (248) 348-9911 ■OWNER PHONE: (6/6) 734-4968
OWNER EMAIL: bbouwman @ ++ Spec. com
LOCATION AND BRIEF DESCRIPTION OF SITE: Parcel is located on the west side of Grand Oaks Drive,
south of Grand River. Parcel is vacant and wooded, approximately 10,03 Acres.
BRIEF STATEMENT OF PROPOSED USE: The proposed use is a new 30,000 S.F. building,
specializing in Truck and Snow Equipment.
THE FOLLOWING PLIN DINICE ARE INCORPOSED. New 30,000 S.F. Building
THE FOLLOWING BUILDINGS ARE PROPOSED:
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.
BY: Level Ken McQuade, ACS Build, Inc.
ADDRESS: 28525 Beck Road, Suite 118, Wixom, MI 48393

Contact Information - Review Letters and Correspondence shall be forwarded to the following:					
1.) Ken McQuade	of ACS Build, Inc.	at kmcquade@acsbuild.com			
Name	Business Affiliation	E-mail Address			
		•			

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and
one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant
will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review
fee payment will be required concurrent with submittal to the Township Board. By signing below,
applicant indicates agreement and full understanding of this policy.

SIGNATURE Ken Zul Chante	_DATE: 4/4/2018
\	PHONE: (248) 348-9911
28525 Beck Road, Suite 118, Wixom, MI, 48393	



51147 W. Pontiac Trail Wixom, MI 48393 Office: (248) 668-0700 Fax: (248) 668-0701

April 23, 2018

Amy Ruthig Planning Commission Genoa Township 2911 Dorr Road Brighton, MI 48116

Truck & Trailer Specialties – Addendum to Site Plan Application

For: Professional Engineering

Grand Oaks Drive - Vacant Parcel

Genoa Township, Livingston County, Michigan

In response to your email dated April 13, 2018, please find below a detailed description of the proposed use and a list of the Special Land Uses that the applicant is seeking:

Truck & Trailer Specialties, with three Michigan locations, has been serving the public works and commercial trucking industry since 1974. The focus of their work is to fabricate and equip trucks for snow plowing services needed by City, County and private snow clearing operations. Truck & Trailer Specialties originated and remains in the small west Michigan town of Dutton, Michigan, located just south of Grand Rapids. The company was founded by the father & son team of Cal and Dan Bouwman. In 1996, the Boyne Falls Truck & Trailer Specialties location was opened under the direction of Butch Cone, former longtime employee of Hyde Equipment in Petoskey, Michigan. The goal of the Boyne Falls store is to serve northern Lower Michigan and the Upper Peninsula. Spring of 2013 saw the opening of the newest Truck & Trailer facility in Howell, Michigan. Truck & Trailer Specialties prides itself on extraordinary craftsmanship, ingenuity, and loyal long time customers. The Truck & Trailer locations feature full service, truck set-up facilities including body & paint shops, welding & fabricating capabilities, complete line of truck bodies & attachments, and mobile hydraulic system expertise specializing in closed center systems with load sense piston pumps, Bosch Rexroth being the premier supplier. The Howell, Michigan (Grand Oaks) location will have 20 employees. The hours of operation are Monday through Friday 7AM to 5 PM, Saturday 8AM to 12PM, and closed on Sunday. Typical loading/unloading procedures will occur at the west side of the building, as indicated on the plans.

Planning Commission – Genoa Township Truck & Trailer Specialties April 23, 2018 Page 2 of 2

The special uses could be:

- 1) Automotive Assembly or Manufacturing
- 2) Any use with outdoor equipment/material storage and all other open air businesses.
- 3)Accessory fuel storage or use of hazardous materials

If additional information is needed prior to publication, please let us know. If you have any questions, please do not hesitate to contact me.

Sincerely,

GreenTech Engineering, Inc.

Jesse Parkinson Project Manager

Attachments



Planning Commission Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP				
	Planning Director and Assistant Township Manager				
Subject:	Truck and Trailer Specialties – Special Land Use and Site Plan Review #2				
Location:	Grand Oaks Drive – west side of Grand Oaks, south of Grand River Avenue				
Zoning:	IND Industrial District				

Dear Commissioners:

At the Township's request, we have reviewed the revised submittal from Truck and Trailer Specialties for special land use (application dated 4/4/18) and site plan (plans most recently dated 4/25/18) review and approval.

A. **Summary**

- 1. In our opinion, the special land use standards of Section 19.03 are generally met; however, the use conditions must also be met and any comments by the Township Engineer or Brighton Area Fire Authority must be addressed.
- 2. Outdoor storage/display comments:
 - a. The applicant must confirm that there will be no loosely packaged materials stored outdoors;
 - b. The Commission may allow gravel for a portion of the outdoor storage area;
 - c. The vehicle display area does not comply with the required setback;
 - d. The Commission may allow use of a 6-foot privacy fence as the required screening; however, we request additional detail on the proposed use of "privacy slats."
 - The applicant must confirm that the height of equipment/material to be stored outdoors will not exceed the height of the screening provided.
- 3. The submittal includes a PIPP but does not provide sufficient information to verify compliance with Section 13.07. The applicant must provide additional information demonstrating compliance or that certain conditions do not apply to their request
- 4. Building elevations are subject to review and approval by the Planning Commission.
- 5. The applicant should be prepared to present building material and color samples to the Commission.
- 6. The applicant requests relief from the building material requirements of Section 12.01 for an increased amount of metal siding.
- 7. The applicant requests Commission approval to relocate the landscaping required for the detention pond to the front of the building/site.
- 8. Given that the PIPP submitted is from 2015, we request the applicant confirm that all of the information provided is up to date.

В. Proposal/Process

The project entails a new 30,000 square foot industrial building on the front portion of a vacant 10-acre parcel. Based on the revised submittal, special land use approval is needed for: automotive assembly, outdoor equipment/material storage and accessory fuel storage/use of hazardous materials.

Procedurally, the Planning Commission is to review the requests for special land use, site plan and impact assessment and provide a recommendation on each to the Township Board following a public hearing.

426 East Lincoln Avenue Royal Oak, Michigan 48067 248.586.0505 Fax 248.586.0501 www.safebuilt.com



Aerial view of site and surroundings (looking north)

C. Special Land Use Review

Section 19.03 of the Zoning Ordinance identifies the review criteria for Special Land Use applications as follows:

1. Master Plan. The Township Master Plan identifies the subject site, as well as many of the properties along Grand Oaks, as Industrial. This category is intended for "industrial uses such as research, wholesale and warehouse activities and light industrial operations which manufacture, compounding, process, package, assemble and/or treat finished or semi-finished products from previously prepared material."

Based on the use description provided by the applicant, the proposal is generally consistent with the Master Plan.

2. Compatibility. Grand Oaks is primarily developed with light industrial uses, many of which include some amount of outdoor storage.

Provided the applicable use conditions are met, the proposal is generally expected to be compatible with the existing and planned character of the area.

- **3. Public Facilities and Services.** As an undeveloped lot surrounded by several developed sites, we anticipate necessary public facilities and services are in place; however, the Commission should consider any comments provided ty the Township Engineer and Brighton Area Fire Department with respect to this standard.
- **4. Impacts.** The use conditions are intended to limit on- or off-site impacts of the proposal. Provided those standards are met, the proposal is not expected to adversely impact adjacent or surrounding properties and/or uses.
- **5. Mitigation.** If additional concerns arise as part of the review process, the Township may require additional efforts to mitigate potential adverse impacts.

D. Use Conditions

Accessory outdoor equipment/material storage uses are subject to the following use conditions of Section 8.02.02(b):

1. Minimum lot area shall be one (1) acre.

The subject site contains 10 acres.

2. Any stockpiles of soils, fertilizer or similar loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials.

Given the nature of the proposed use, we do not believe the outdoor storage will entail the use of loosely packaged materials that need containment; however, we request the applicant confirm this is the case.

3. All outdoor storage areas shall be paved with a permanent, durable and dustless surface and shall be graded and drained to dispose stormwater without negatively impact adjacent property. The Township Board, following a recommendation of the Planning Commission and the Township Engineer, may approve a gravel surface for all or part of the display or storage area for low intensity activities, upon a finding that neighboring properties and the environment will not be negatively impacted.

The area surrounding the building is paved, while the area adjacent to the pavement at the rear of the site is proposed as gravel. Pending input from the Township Engineer, the Commission may allow the use of gravel in accordance with this standard.

4. No outdoor storage shall be permitted in any required yard (setback) of buildings for the district in which the outdoor display, sales or storage use is located. Any approved outdoor sales or display with a parking lot shall meet the required parking lot setback; provided the Planning Commission may require additional landscaping screening or ornamental fencing.

The outdoor storage area is located within the rear yard and complies with all setback requirements of the IND.

However, the request also includes a vehicle display area in the front yard that does not comply with setback requirements.

5. The site shall include a building of at least five hundred (500) feet of gross floor area for office use in conjunction with the use.

The 30,000 square foot building includes 4,400 square feet of office space.

6. All loading and truck maneuvering shall be accommodated on-site.

Sheet 8 includes a circulation plan demonstrating that large vehicles (a fire truck is depicted) can navigate the site without impacting traffic along Grand Oaks.

7. All outdoor storage area property lines adjacent to a residential district shall provide a buffer zone A as described in Section 12.02. A buffer zone B shall be provided on all other sides. The Planning Commission may approve a six (6) foot high screen wall or fence, or a four (4) foot high landscaped berm as an alternative.

The applicant proposes use of a 6-foot screen fence around the outdoor storage area at the rear of the site.

A detail on Sheet 7 identifies the proposed chain link fencing and notes that "privacy slats" are to be used. We request the applicant provide additional detail on the "privacy slats." If this entails plastic strips woven into the chain link fence, we question their appropriateness and durability and suggest an alternative method of screening.

8. The height of all material and equipment stored in an outdoor storage area shall not exceed the height of any landscape screening, wall or fence. Boats and recreational vehicles may exceed the height of the fence provided that they are setback from the fence a distance equal to their height. Storage of materials up to the height of the adjacent building wall may be permitted in the rear yard if it is illustrated on the site plan, the rear yard does not abut a residential district or face an expressway, and such storage is confined to within twenty (20) feet of the building.

We request the applicant confirm that this standard will be met.

E. Use Conditions

Accessory fuel storage/use of hazardous materials is subject to the following use conditions of Section 13.07:

- 1. Above Ground Storage Tanks: Above ground storage tanks shall be limited to three hundred (300) gallon capacity, shall be located not less than seventy-five (75) feet from any occupied building or any lot line and shall be mounted on a solid concrete slab to prevent overturn and spilling;
- 2. Below Ground Fuel Storage Tanks: Below ground fuel storage tanks shall be at least two thousand (2,000) feet from any drinking water well serving two or more residential units.
- 3. Secondary Containment: Uses utilizing, storing or handling hazardous material have provided secondary containment facilities and provide documentation of compliance with state and federal regulations, as required.
- 4. Pollution Incident Prevention Plan: A Pollution Incident Prevention Plan (PIPP) shall be submitted that provides documentation for the following, with appropriate correspondence from the MDEQ, Michigan State Police Fire Marshall, local fire department, and Livingston County Health Department:
 - (a) Description of any discharge of any type of wastewater to a storm sewer, drain, lake, stream, wetland, other surface water body or into the groundwater;
 - (b) Description of storage of any salt, oil or other potentially hazardous materials including common name, name of chemical components, location, maximum quantity expected on hand at any time, type of storage containers or base material, and anticipated procedure for use and handling;
 - (c) Description of any transportation, on-site treatment, storage or disposal of hazardous waste generated in quantities of 250 gallons or 2200 pounds per month;
 - (d) Description of any secondary containment measures proposed including design, construction materials and specifications, volume and security measures;
 - (e) Name and phone number(s) of person(s) responsible for materials and available 24 hours, in case of detected spill.
- 5. Permits: Any discharge of wastewater to a storm sewer, drain, lake, stream or other surface water shall be documented and appropriate permits obtained from the MDEQ, Surface Water Quality Division. Any discharge of liquids, sludge, wastewater and/or wastewater residuals into or onto the ground shall be documented and appropriate permits obtained from the MDEQ, Waste Management Division. If flammable or combustible liquids are to be stored in fixed

aboveground storage containers with a capacity greater than 1,100 gallons, this shall be documented and appropriate permits obtained from the State Police Fire Marshal Division. Storage of pesticide or fertilizer in quantities greater than 55 gallons or 100 pounds shall be documented and appropriate permits obtained from the Michigan Department of Agriculture, Pesticide and Plant Pest Division.

The submittal includes a PIPP but does not provide sufficient information to verify compliance with the required of Section 13.07. The applicant must provide additional information demonstrating compliance or noting that certain conditions do not apply to their request.

F. Site Plan Review

1. Dimensional Requirements. As shown in the table below, the proposed project complies with the dimensional standards of the IND:

	Lot Size		Minimum Setbacks (feet)					
District	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking	Max. Height	Lot Coverage
IND	1	150	85	25	40	20 front 10 side/rear	30' 2 stories	40% building 85% impervious
Proposal	10	331	98	62.5 (N) 118.5 (S)	1,000	20 front 10 side (N) 25 side (S)	30' 1 story	6.9% building 28.4% impervious

2. Building Materials and Design. The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. The applicant should be prepared to present material and color samples to the Commission at the upcoming meeting for their consideration.

Building materials include face brick and metal siding with a standing seam metal roof. The entrance canopy is constructed of aluminum clad columns and a metal roof.

The revised submittal does not include material calculations; however, the amount of metal siding clearly exceeds the 25% limitation of Section 12.01.

In response, the applicant states that they "will be seeking relief from this requirement at the Planning Commission meeting."

3. Parking. The Ordinance requires 40 parking spaces, while 49 are proposed, including the 2 required barrier free spaces.

The parking spaces and drive aisles meet or exceed the dimensional standards of Section 14.06 and the use of looped striping is proposed (as required).

- **4. Pedestrian Circulation.** As an industrial property, a public sidewalk is not required along the site's frontage. The project does include a 7-foot wide concrete sidewalk along the front of the building providing pedestrian access between the parking lot and main building entrance.
- **5. Vehicular Circulation.** The site will have direct access to Grand Oaks via a proposed curb cut. The proposed driveway is situated a good distance from the nearest drives on the same side of the roadway and is 270 feet from the nearest driveway on the opposite side.

Based on our review, the proposed location complies with the access management standards of Section 15.06; however, any comments provided by the Township Engineer with respect to the proposed driveway design must be addressed.

The project includes a fence enclosure around the rear and sides of the building, including gates across both driveways, that restricts access to the side/rear of the site/building.

In the revised submittal, the applicant states that the gates will remain open during business hours and a Knox Box has been added to both sets of gates for emergency access

- **6. Loading.** The sides and rear of the building contain several overhead doors (6 in total) for deliveries and loading and a dedicated loading zone has been added at the rear of the building. As noted above, the gates are to remain open during business hours, so delivery vehicles will have access to the rear of the building without causing back-up or delays at the entry gates.
- **7. Waste Receptacle and Enclosure.** The site plan proposes a new waste receptacle and enclosure on the south side of the property. The proposed location, enclosure and base pad comply with the standards of Section 12.04.
- **8. Landscaping**. The revised landscape plan (Sheet L-1) has been reviewed for compliance with the standards of Section 12.02, as noted in the following table:

Location	Requirements	Proposed	Comments
Greenbelt	20' width	20' width	Requirements met
	9 canopy trees	9 canopy trees	
Parking lot	490 SF landscaped area	503 SF landscaped area	Requirements met
	5 canopy trees	5 canopy trees	
Detention pond	8 trees	8 trees	The applicant requests relocation of the
	77 shrubs	67 shrubs	required plantings to the front of the
		11 ornamental grasses	building/site, as opposed to surrounding the
			detention pond

9. Exterior Lighting. The submittal includes a revised lighting plan (Sheet SD.101), which includes 2 light poles in the parking lot and 16 wall mounted fixtures around the building.

The proposed pole heights and light intensities comply with Ordinance standards. Additionally, the proposed metal halide (wall mounted) and LED (pole mounted) fixtures are also compliant.

10. Signs. The site plan notes a proposed monument sign on the north side of the driveway. The proposed location and setback meet current Ordinance standards.

A depiction of the sign is not provided, though the applicant notes that such details will be provided with a sign permit application at a later date.

11. Impact Assessment. The submittal includes an Impact Assessment (dated April 4, 2018), a Wetland Delineation report (dated April 2, 2018) and a Pollution Incident Prevention Plan (dated October 20, 2015).

In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic.

The Wetland Delineation report identifies a regulated wetland at the rear of the site. The required 25-foot natural feature setback is also depicted on the plan and the proposed development area is approximately 500 feet from the near edge of the wetland.

The PIPP appears to include all of the information required by Section 13.07.04; however, given its date, we request the applicant confirm that all of the information is up to date.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com and steve.hannon@safebuilt.com.

Respectfully,

SAFEBUILT STUDIO

Brian V. Borden, AICP

Planning Manager

Stephen Hannon, AICP

Planner



May 10, 2018

Ms. Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

Re: Truck & Trailer Specialties, Inc.

Site Plan Review 3

Dear Ms. VanMarter:

We have reviewed the site plan documents from Greentech Engineering, Inc. dated May 7, 2018, for the referenced project. The approximately 10-acre site, located on Grand Oaks Drive just north of the Grand Oaks Ice Arena, is proposed for a 30,000-square-foot structure.

The petitioner has satisfactorily addressed our previous comments with the following comment requiring input from the Planning Commission.

1. Genoa Township design standards require the parking area to be provided with hard surface and concrete curbing. The west side of the parking lot is proposed as a gravel surface without curbing. The Township needs to determine if this gravel area will be permitted as proposed or whether it needs to be hard surfaced in accordance with the Township design standards.

From an engineering stand point we have no objection to site plan approval provided the petitioner and planning commission resolve the gravel parking lot issue above.

If you have any questions please call.

Sincerely,

Gary J. Markstrom, P.E.

Vice President

copy: Tesha Humphriss, P.E.

BRIGHTON AREA FIRE AUTHORITY



615 W. Grand River Ave. Brighton, MI 48116 o: 810-229-6640 f: 810-229-1619

May 9, 2018

Kelly VanMarter Genoa Township 2911 Dorr Road Brighton, MI 48116

RE: Truck & Trailer Specialties

Vacant land on Grand Oaks Dr.

Genoa Twp., MI

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received for review on April 6, 2018 and the drawings are dated April 4, 2018. The revised plans were received for review on May 3, 2018 and are dated April 25, 2018. The project is for the proposed construction of a new Type IIB, 30,000 square foot S-1/B non-separated mixed-use building. (Revised utility and dimension/paving plans were received by email on Saturday May 5, prior to hard copy. This review covers both sets, however comments may be incomplete due to timing and receipt of submittal.)

The plan review is based on the requirements of the International Fire Code (IFC) 2018 edition.

1. A fire hydrant shall be located within 100' of the fire department connection. (The hydrant shown to be located within 100' of the FDC on the most recent drawing (May 5) is approved in that location, however, the FDC must be relocated to the front (East face of the Northeast corner) of the building)

IFC 912

- 2. To provide for proper hydrant spacing and required fire flow a new fire hydrant must be added to the rear of the proposed development. It shall be located to the northwest corner of the building at the corner of the employee parking area. This hydrant run will also provide required water supply in the event the identified future 6.9 acre parcel is developed. (The additional hydrant has been located on the site in the location requested.)
- 3. The building is shown to be provided with an automatic sprinkler system as required. The system shall be designed and installed in accordance with NFPA 13, Standard for the Installation of Automatic Sprinkler Systems. (Indicated to be complied by FDC and Fire Lead location)

IFC 903

4. The address shall be located on the building and a <u>minimum of 6"</u> high letters of contrasting colors and be clearly visible from the street. The location and size shall be verified prior to installation. (Noted to be provided when assigned.)

IFC 105.4.2 IFC 505.1



May 9, 2018
Page 2
Truck & Trailer Specialties
Vacant land on Grand Oaks Dr.
Site Plan Review

5. The access drives onto and throughout the site shall be a minimum of 26' wide. With a width of 26' wide, the building side of the drive shall be marked as a fire lane. In addition to the front drive, signage is required on all three sides of the rear of the structure spaced every 50'. Include the location of the proposed fire lane signage and include a detail of the fire lane sign in the submittal. Access roads to site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 84,000 pounds. (The surface is identified as heavy duty construction.) (The width of the drives have been revised to a 26' minimum, however, the north gate is indicated at 25' wide, on a 26' clear width drive. This must be corrected to 26' minimum to maintain 26' clear width.) (No Parking Fire Lane Signs are noted to be located as described on the North, West and South sides of the building.)

IFC D 103.6 IFC D 103.1 IFC D 102.1 IFC D 103.3

- 6. Access around building shall provide emergency vehicles with a turning radius of 30' inside and 50' outside, with a minimum vertical clearance of 13½ feet. Provide an emergency vehicle circulation plan. (Radii has been improved and vehicle circulation has been provided. Red Maple (AR) located at the northeast corner of building on landscape sheet must be pulled back to not overhang the drive to prevent encroachment on clear height and width)
- 7. The location of a key box (Knox Box) shall be indicated on future submittals. The Knox box shall be located adjacent to the main entrance of the structure. Each side gate shall also be provided with a Knox Padlock secured to the owner lock to permit emergency access security. (Knox padlocks are noted to be provided on both gates, however, the knox box location is not identified at the main entrance.)

IFC 506.1

8. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor.

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department. If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

Rick Boisvert, CFPS Fire Marshal

cc: Amy Ruthig

51147 W. Pontiac Trail Wixom, MI 48393 Office: (248) 668-0700 Fax: (248) 668-0701

IMPACT ASSESSMENT FOR SITE PLAN APPROVAL

Truck & Trailer Specialties, LLC Genoa Township, Livingston County, Michigan

April 4, 2018

Prepared for:

Ken McQuade ACS Build, Inc. 28525 Beck Road, Suite 118 Wixom, MI 48393 (248) 348-9911

A. Names and addresses of persons responsible for preparation of impact assessment and brief statement of qualifications.

Prepared by:

GreenTech Engineering, Inc. 51147 W. Pontiac Trail Wixom, MI 48393 (248) 668-0700 Civil Engineerings & Land Surveyors ACS Build, Inc. 28525 Beck Road, Suite 118 Wixom, MI 48393 (248) 348-9911 Contractor

G.A.V. Associates 24001 Orchard Lake Rd. Suite 180A Farmington, Michigan 48336 (248) 985-9101 Ext 1003 Architects

- B. **Map(s)** and written description/analysis of the project site including all existing structures, manmade facilities, and natural features. The analysis shall also include information for areas within 10 feet of the property. An aerial photograph or drawing may be used to delineate these areas.
 - 1) See drawings in SPA Application and submission for property description and location.
 - a. Site is located south of Grand River on the west side of Grand Oaks Drive
- C. **Impact on natural features:** A written description of the environmental characteristics of the site prior to development and following development, i.e., topography, soils, wildlife, woodlands,

mature trees (eight-inch caliper or greater), wetlands, drainage, lakes, streams, creeks or ponds. Documentation by a qualified wetland specialist shall be required wherever the Township determines that there is a potential regulated wetland. Reduced copies of the Existing Conditions Map(s) or aerial photographs may accompany written material.

The property size is approximately 10.03 acres which was recently split off of the parent parcel. The site is vacant and wooded with wetlands at the west side of the property.

The existing topography on the site has ground elevations ranging from 945 to 994 the site is lower than Grand Oaks Drive and slopes from east to west with the storm water sheet flowing overland. The ultimate outlet for the storm water is a proposed stormwater pond at the west side and wetland soils per attached existing condition plan of the property.

D. **Impact on stormwater management:** Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the Livingston County Drain Commission at (517) 546-0040.

Surface runoff during periods of construction will be controlled by property methods set forth by the Livingston County Drain Commissioner, including silt fences, check dams, tree protection fence, stormwater detention pond and a mud mat.

E. **Impact on surrounding land used:** Description of the types of proposed uses and other manmade facilities, including any project phasing, and an indication of how the proposed use conforms or conflicts with existing and potential development patterns. A description shall be provided of any increases of light, noise or air pollution which could negatively impact adjacent properties.

The applicant if proposing a Truck and Snow Equipment facility. This development shall have the required parking, lighting and storm water management, environmental impact management associated with this type of development. Applicant will have 1 entrance to the property via an access drive off of Grand Oaks Drive.

F. **Impact on public facilities and services:** Describe the number of expected residents, employees, visitors, or patrons, and the anticipated impact on public schools, police protection and fire protection. Letters from the appropriate agencies may be provided, as appropriate.

There is no negative impact on public facilities or services. This project is part of the overall development of the immediate and surrounding area and has been anticipated with regards to public services.

G. Impact on public utilities: Describe the method to be used to service the development with water and sanitary sewer facilities, the method to be used to control drainage on the site and from the site, including runoff control during periods of construction. For sites serviced with sanitary sewer, calculations for pre- and post development flows shall be provided in comparison with sewer line capacity. Expected sewage rates shall be provided in equivalents to a single family home. Where septic systems are proposed, documentation or permits from the Livingston County Health Department shall be provided.

The development will be serviced by both public water and sanitary sewer that are located at the east property line (Grand Oaks Drive).

H. **Storage and handling of any hazardous materials:** A description of any hazardous substances expected to be used, stored or disposed of on the site. The information shall describe the type of materials, location within the site and method of containment. Documentation of compliance with federal and state requirements, and a Pollution Incident Prevention Plan (PIPP) shall be submitted, as appropriate.

The development will have a list of all hazardous substances expected to be used, stored or disposed of on the site. MSDS sheets will be kept on each material with the location within the site and the method of containment. A PIPP will be submitted at a later date and within a reasonable time table.

I. **Impact on Traffic and Pedestrians:** A description of the traffic volumes to be generated based on national reference documents, such as the most recent edition of the *Institute of Transportation Engineers Trip Generation Manual*, other published studies or actual counts of similar uses in Michigan. A detailed traffic impact study shall be submitted for any site over ten (10) acres in size which would be expected to generate 100 directional vehicle trips (i.e. 100 inbound or 100 outbound trips) during the peak hour of traffic of the generator or on the adjacent streets. The contents of the detailed study shall include:

There will be 20 employees and minimal deliveries daily. This will have little impact on traffic for Grand Oaks Drive.

J. **Special Provisions:** General description of any deed restrictions, protective covenants, master deed or association bylaws.

None at this time

K. A list of all sources shall be provided.

Genoa Twp submittal requirements for impact study Genoa Twp zoning ordinance

POLLUTION INCIDENT PREVENTION PLAN AND

HAZARDOUS WASTE CONTINGENCY PLAN

for

Truck & Trailer Specialties, Inc.
Howell Store Location
Parcel #4711-05-300-054
Grand Oaks Drive
Howell, Michigan 48843

Telephone: 517-552-3855

PRIMARY EMERGENCY COORDINATOR

Brian Bouwman

Work: 517-552-3855

Cell: 616-734-4968

ALTERNATE EMERGENCY COORDINATOR

Dan Bouwman

Work: 616-698-8215 Cell: 616-889-7495

DATE: April 25, 2018

STATUTORY AUTHORITY

This Pollution Incident Prevention Plan (PIPP) has been prepared in accordance with Part 5 of the General Rules established by the Michigan Water Resources Commission under the authority of Act 245 of the Public Acts of 1929 as amended.

This facility is a small quantity generator of hazardous wastes and is therefore required to maintain and follow a hazardous waste contingency plan. This PIPP has been amended to incorporate hazardous waste management provisions sufficient to comply with the Resource Conservation and Recovery Act (40 CFR 265 Subpart D) and the Michigan Hazardous Waste Management Act (Act 64). Copies of this plan have been placed on file with the appropriate agencies.

This plan is to be kept on file in the facility waste notebook. Its content should be familiar to each employee. The plan is to be reviewed and amended as required by changes in operations or failure of the plan in an emergency.

A formal training program on hazardous waste and polluting materials management has been developed by Tuck & Trailer Specialties. This training will be required for all emergency coordinators, their alternates and any employee who manages polluting materials and hazardous wastes as part of day to day operations.

An outline of this training program is on file in the Waste Management Notebook at this facility.

* NOTE - Although the statute and rules refer to the Part 5 of the General Rules of the Water Resource Commission, promulgated pursuant to Act 245, P.A. 1929, as amended (Act 245), and to the Water Resources Commission (WRC), the decision making authority formerly held by the WRC was delegated to the DEQ through Executive Orders signed by the governor. In addition, Act 245 has been incorporated as Part 31. Water Resources Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (Act 451) MCL 324.3101 et seq. **Please be aware that these rules are currently under revision.**

EMERGENCY RESPONSE AGENCIES

POLICE

State - Brighton 810-227-1051

County - Livingston/Sheriff 517-546-2440

City - Howell Police Dept. 517-546-1330

FIRE

Howell 517-546-0560

HOSPITAL

St. Joseph Mercy 517-545-6000

AMBULANCE

Livingston Co. EMS 517-546-6220

HEALTH DEPT- Livingston Co.

Environmental 517-546-9858 Public 517-546-9850

MDEQ OFFICE

Lansing Office 517-284-6651

CALL 911 FOR EMERGENCIES

POLLUTION INCIDENT RESPONSE

If a spill or leak of salt, oil or polluting material occurs, the Emergency Response Actions posted near the telephones are to be followed. These are given here in more detail. The emergency response coordinator and alternates should become familiar with these steps.

- 1. Assess the situation; follow all health and safety precautions warranted by the material and circumstances.
- 2. If there is reason to believe that the release of polluting material threatens the health or safety of employees or of surrounding residents or properties evacuate the facility, notify the local emergency response agencies listed in this plan and follow their instructions.
- 3. If there is reason to believe that the polluting material has or may reach the waters of this state via the drains, sewers, surface runoff or soils at the facility, immediately contact the DEQ Pollution Emergency Alerting System (PEAS) at the number on the front of this plan. Follow their instructions for containing or cleaning up the material.
- 4. Take steps to minimize the release of polluting material to the environment. This can include but is in no way limited to the following measures:
 - a. DO NOT FLUSH WITH WATER UNLESS DIRECTED TO DO SO.
 - b. Shut off valves, plug leaks, pump tanks etc. to stop the release.
 - c. Dike or absorb the material using sand or other material.
 - d. Redirect flows to a holding area.
 - e. Excavate contaminated soils.
- 5. Clean up all contaminated material. Follow instructions given by DEQ staff for final clean up action.
- 6. Properly store, label and document the wastes for disposal.

- 7. Notify Truck & Trailer Specialties Management that a spill or leak has occurred. Make arrangements for disposal of waste material.
- 8. Clean and service all emergency equipment. Replenish supplies of absorbent material, etc. Recommend and perform maintenance on containment systems.
- 9. Enter into the waste notebook, a full account of the incident including date, time, volume, material and response taken.

- 10. If the DEQ PEAS staff has not been notified, do so within 10 days of the incident with the following information:
 - a. Facility name and location.
 - b. Description and volume of material involved.
 - c. Time and date of spill or leak.
 - d. Assessment of damage and response taken.
 - e. Remedial action planned or assistance needed.
- 11. Review PIPP/HWCP for changes needed to make it more effective and realistic.

PHYSICAL DESCRIPTION OF THE FACILITY

This is an existing facility that was purchased by Truck & Trailer Specialties in 2012 for the purpose of truck buildups which encompasses body installation, plows, material distributors, hydraulic and lighting systems, etc. The sole structure incorporates the offices and shop areas. There are no floor drains within the facility or catch basins within the paved lot.

This facility has its own deep well for a fresh water source. The building is connected to the sanitary sewer. Roof and surface drainage is routed into catch basins which outlet into the lagoon. There are no floor drains within the structure. There is one storm water drain and manhole southwest of the shop about 50 feet that is routed to the lagoon.

For security and safety reasons, this facility has a fenced storage year. During off duty hours the gate is closed and locked.

EMERGENCY EQUIPMENT

Description

Hand Shovels

This facility will be maintained and operated to minimize the possibility of a fire, explosion or release of polluting materials. The following communications, fire protection, spill control and clean up equipment are available on site in case of an emergency. This equipment will be inspected and maintained as necessary to assure its proper operation if a pollution incident should occur.

1.	Portable Fire Extinguishers	Inspect annually or as needed
11.	Eye Wash	Inspect monthly
15.	Telephone/PA System	Test monthly Water hose
	Absorbent Material	Replenish supply as needed

Testing/Maintenance

^{*} Numbers correspond to the site plan in the Attachments Section.

POLLUTING MATERIALS STORED OR USED AT THIS FACILITY

Listed below are the materials currently stored or used at the Truck & Trailer Specialties Howell facility that have the potential of causing environmental damage in the event of accidental spills or leakage. Following is a discussion of the type of material, how it is stored and pollution incident prevention measures.

Vehicle Fluids

Waste Oil

Solvents

Small Quantity Chemical Products

The locations of these materials are shown on the Hazardous Material Site Plan found in the Attachments Section. Complete information regarding the physical properties and required safety precautions can be found in the Safety Data Sheets (SDS) posted at this facility.

Vehicle Fluids

The Truck & Trailer Specialties Howell facility uses varying quantities of lubricating oil, gear oil, automatic transmission fluid, hydraulic fluid and antifreeze. Bulk vehicle fluids are stored inside the main shop. The shop has no floor drains which renders the shop itself as the containment area. Vehicle fluids are pumped directly from their original containers as needed.

Pollution Incident Prevention Measures

If a large spill were to occur, it would be contained as quickly as possible. Absorbent material is available in the storage and use areas for cleaning up small spills. Care will be taken to avoid and clean up spills which may occur. The vehicle fluid storage and dispensing areas will be inspected regularly for signs of spills or leaking containers. In the event of the release of a large or unknown volume of material the POLLUTION INCIDENT RESPONSE STEPS presented in this plan and posted in the facility are to be followed.

Solvents

There is no inventory of bulk solvents maintained at this site. Small quantities are kept for immediate use. Flammable type solvents are kept in flammable liquid storage cabinet indicated as #8 on site plan.

Waste Oil Disposal

At the Truck & Trailer Specialties Howell location, waste oil is poured into a 55 gallon above ground holding drum (with containment), located in the shop facility along south wall. When the tank is full, a licensed hauler will pump out the tank and dispose of the waste oil. In the event that substances other than oil are deposited in the waste oil tank, the contents are analyzed to determine if it must be treated as a hazardous waste.

Pollution Incident Prevention Measures

Only oil may be deposited in the waste oil tank. The area around the tank will be checked weekly for irregularities. Leakage from the waste oil tank can be detected by regularly checking around the tank.

In the event of the release of a large or unknown volume of material, the POLLUTION INCIDENT RESPONSE STEPS presented in this plan and posted in the facility are to be followed.

Polluting Materials Stored in Small Quantities

The Truck & Trailer Specialties Howell location stores small quantities of several chemical products. Among these are tar removers, cleaners, paints and paint thinners. These are stored in their original containers in a designated storage area away from open drains. Each product's label and Material Safety Data Sheet (MSDS) will be consulted for proper use and disposal.

Hazardous Waste

This facility is a small quantity generator of hazardous wastes and is regulated under both the Federal Resource Conservation and Recovery Act and the Michigan Hazardous Waste Management Act (Act 64).

Typically the only hazardous waste generated by this facility is waste oil. This plan includes hazardous waste training for all employees, weekly inspection and documentation of any spills or leaking hazardous waste containers, and measures to reduce the volumes of waste generated at this facility. All hazardous waste will be accumulated and manifested for disposal as required by law.

Pollution Incident Prevention Measures

Hazardous Waste will be stored away from floor drains (The Howell shop has no floor drains). The storage area will be inspected regularly. Small spills of hazardous wastes will be blotted with absorbent material and placed in a separate, labeled container and disposed of as solid hazardous waste. In the event of the release of a large or unknown volume of material the POLLUTION INCIDENT RESPONSE STEPS presented in this plan and posted at the facility are to be followed.

EMERGENCY RESPONSE ACTIONS

(To be posted near telephone and in material storage areas)

- 1. Quickly assess the situation.
- 2. Call emergency response agencies and/or evacuate if necessary.
- 4. Notify the DEQ PEAS if a polluting material does or may reach water resources through sewers, ditches or soil.

PEAS: 1-800-292-4706

- 5. Minimize the damage
 - Take reasonable actions to control fire or limit the damage
 - DO NOT FLUSH <u>HAZARDOUS MATERIAL</u> WITH WATER UNLESS DIRECTED TO DO SO BY AN AGENCY REPRESENTATIVE
 - Shut off valves, pump tanks, plug inlets/outlets
 - Dike or redirect flows to a holding area
 - Absorb with sand or other material
 - Excavate contaminated soils
 - Clean out oil skimmer catch basins
- 7. Clean up and properly dispose of all recovered or contaminated material.
- 8. Make full report to DEQ PEAS within 10 days.
- 9. Evaluate the Plan and response actions for adequacy.

EVACUATION PLAN

(To be posted at the facility)

- 1. Employers will be given notification
 verbally *intercom*
- 2. All employees will be evacuated to an area outside the front gate.
- 3. An employee will be assigned to the front of the property to keep out unauthorized persons.
- 4. The front gate will be locked after all employees have been accounted for.
- 5. A sign will be placed on the front gate declaring the area contaminated.

ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

Know what's **below**

Call before you dig.

CONSTRUCTION SITE SAFETY IS THE SOLE

THE OWNER NOR THE ENGINEER SHALL BE

FOR SAFETY OF THE WORK, OF PERSONS

ENGAGED IN THE WORK, OF ANY NEARBY

EXPECTED TO ASSUME ANY RESPONSIBILITY

STRUCTURES, OR OF ANY OTHER PERSONS.

RESPONSIBILITY OF THE CONTRACTOR NEITHER

PARCEL TO BE DESCRIBED; THENCE S 88'40'50" W, 1320.04 FEET

(RECORDED AS S 87°53'37" W, 1320.00 FEET); THENCE ALONG THE

EAST LINE OF GRAND OAKS WEST INDUSTRIAL PARK, A SUBDIVISION

COUNTY RECORDS, N 01°20'08" W, 331.04 FEET (RECORDED AS N

02°06'23" W, 331.00 FEET); THENCE N 88°41'03" E, 1320.15 FEET

(RECORDED AS N 87.53'37" E, 1320.00 FEET); THENCE ALONG THE

WEST RIGHT-OF-WAY LINE OF GRAND OAKS DRIVE, S 01'18'58" E,

POINT OF BEGINNING. CONTAINING 10.03 ACRES, MORE OR LESS, AND

330.96 FEET (RECORDED AS S 02°06'23" E, 331.00 FEET) TO THE

INCLUDING THE USE OF GRAND OAKS DRIVE. SUBJECT TO ANY

EASEMENTS OR RESTRICTIONS OF RECORD.

RECORDED IN LIBER 30 OF PLATS, PAGES 1 THROUGH 5, LIVINGSTON

NOT FOR CONSTRUCTION

WIXOM, MI 48393 CONTACT: JASON FLEIS, P.E. (248) 668-0700

51147 WEST PONTIAC TRIAL

FBK: --CHF: MM

TRUCK & TRAILER SPECIALTIES, INC.

DUTTON, MI 49316

CONTACT: DANIEL BOUWMAN

PHONE: (888) 200-8146

3286 HANNA LAKE INDUSTRIAL DRIVE

ACS BUILD, INC.

WIXOM, MI 48393

28525 BECK ROAD, SUITE 118

CONTACT: KEN MCQUADE

PHONE: (248) 348-9911

SEAL

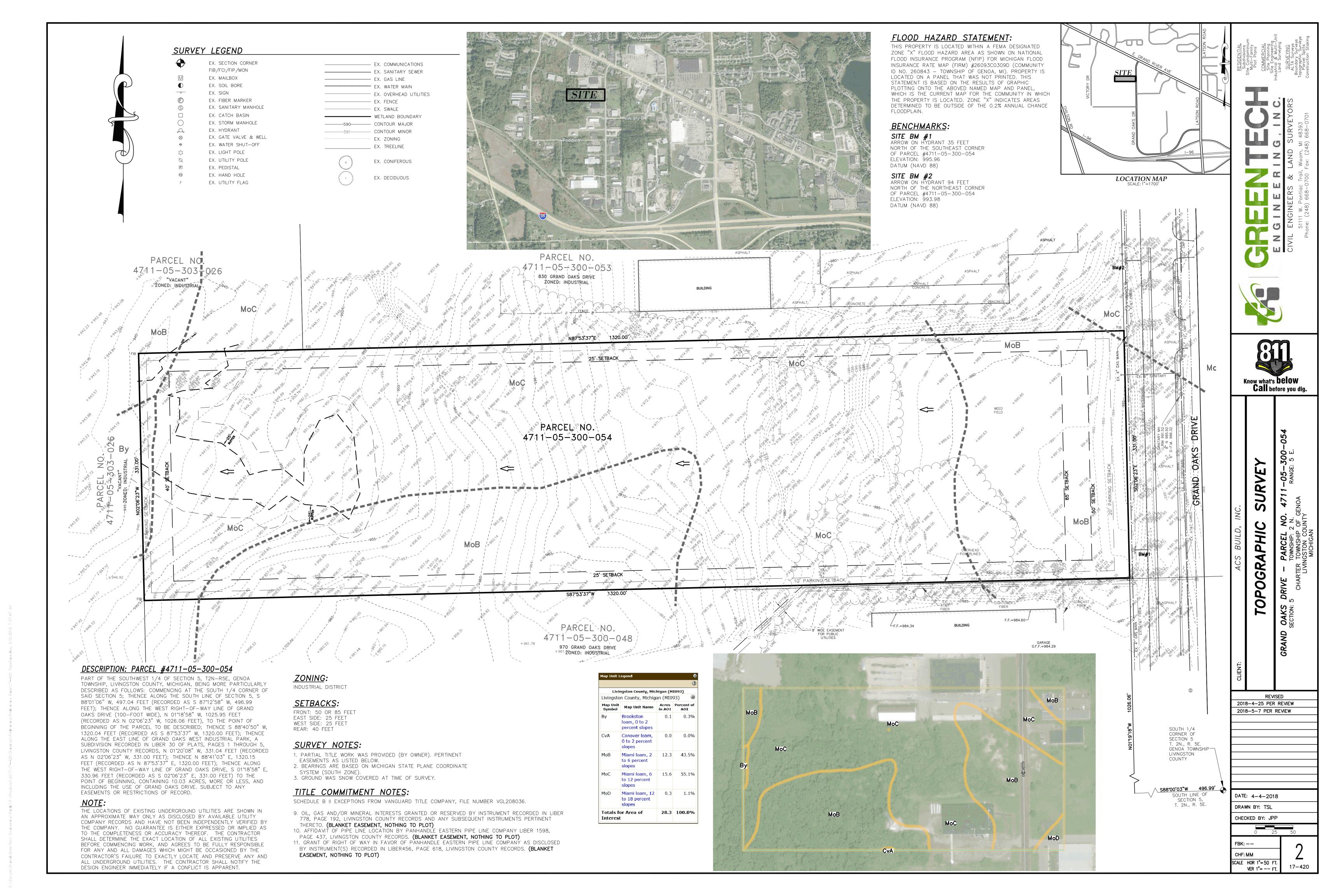
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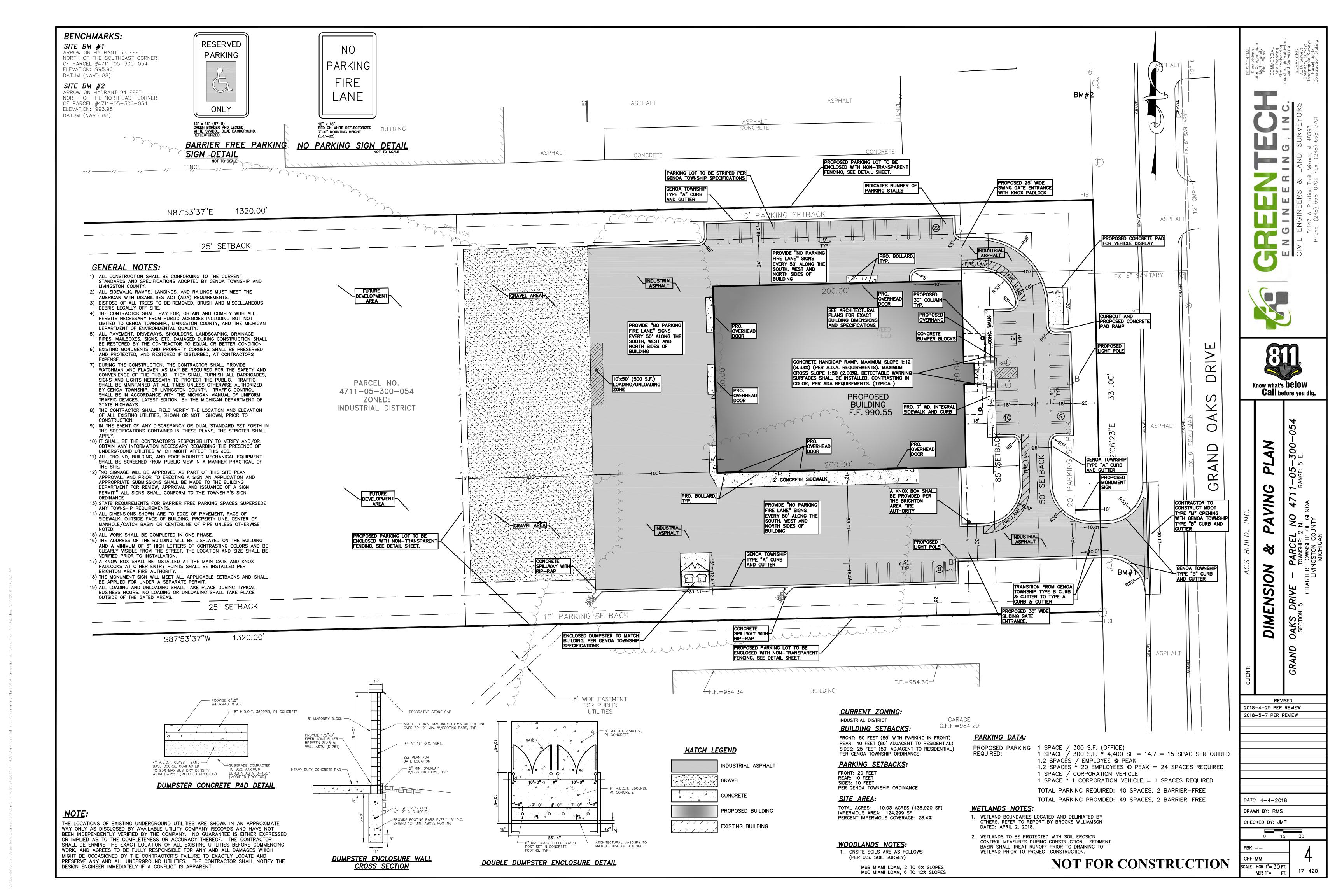
DATE: 4-4-2018 GREENTECH ENGINEERING, INC. DRAWN BY: RMS

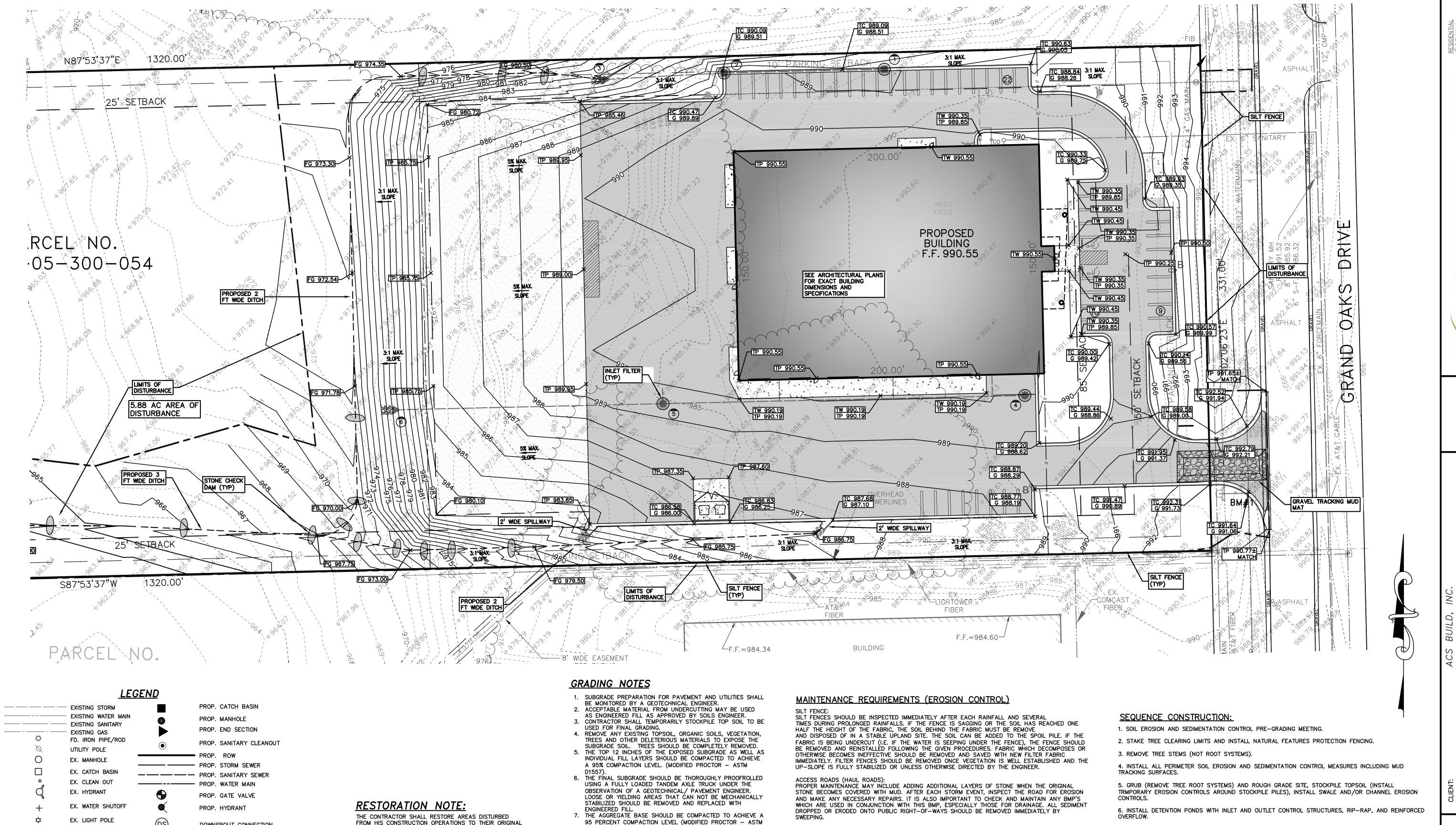
CHECKED BY: JMF

SCALE HOR 1"= 50 FT



C:\Egnyte\Shared\GreenTech Engineering\Public\P (Projects)\2017\17-420\Drawings\Preliminary\Preliminary\Preliminary\Preliminary Plans\003-Demo Plan-17-420.dwg, 5/5/2018 7:41:54 AM





DOWNSPOUT CONNECTION EX. END SECTION SURFACE DISCHARGE DOWNSPOUT EX. SIGN — — EXISTING RIGHT-OF-WAY

PROPOSED RIGHT-OF-WAY

GRADING AND DRAINAGE LEGEND:

PROPOSED SPOT GRADE ELEVATION TP = TOP OF PAVEMENTTW = TOP OF WALKTC = TOP OF CURB

G = GUTTERFG = FINISH GRADE

> FF = FINISH FLOOR= OVERLAND FLOW DIRECTION

SOIL EROSION LEGEND

INLET FILTER ---- SILT FENCE STONE CHECK DAM

FROM HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER, AND TO THE SATISFACTION OF THE OWNER. LANDSCAPE AREAS REQUIRING RESTORATION SHALL INCLUDE MIN. 3" TOPSOIL AND SOD. PAVEMENT AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, WITH THE APPLICABLE CROSS-SECTION TO MATCH EXISTING.

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

- 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR ASTM D1557). THE BASE AND SUBGRADE COMPACTION SHOULD EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE. 8. ALL BITUMINOUS MATERIAL SHOULD BE COMPACTED TO A
- DENSITY OF 97% OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD. 9. SAWCUT AND REMOVE EXISTING CURBS AND PAVEMENT AS NECESSARY FOR CONSTRUCTION.
- 10. FIELD VERIFY EXISTING PAVEMENT AND CURB ELEVATIONS WHERE PROPOSED PAVEMENT AND CURB MEETS EXISTING PAVEMENT AND CURB PRIOR TO CONSTRUCTION. PAVING CONTRACTOR SHALL TAKE EXTRA CARE TO ENSURE 1% MINIMUM PAVEMENT SLOPE IS ACHIEVED AND SHALL CONTACT DESIGN ENGINEER PRIOR TO CONSTRUCTION IF A CONFLICT IS
- 11. ADJUST ALL MANHOLE COVERS AS REQUIRED TO MATCH FINAL GRADES AND PROVIDE POSITIVE DRAINAGE.

- NO GRADING TO TAKE PLACE ON ADJACENT PROPERTIES ALL SIDEWALKS TO BE ADA COMPLIANT. ALL SPOT GRADES SHOWN ON THIS PLANS ARE PROPOSED
- TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE SHOWN AND MAINTAINED DURING GRADING AND CONSTRUCTION OPERATIONS OR UNTIL A PERMANENT GROUNDCOVER IS ESTABLISHED.
- CONSTRUCT THE PROPOSED SIDEWALK WITH 4-INCH NON-REINFORCED CONCRETE WITH 2% MAXIMUM TRAVERSE SLOPE TOWARD THE ROAD OR AS DIRECTED BY THE COUNTY ENGINEER.

SEEDING, SODDING & MULCHING: SEEDED, SODDED OR MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MATERIAL IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE AFOREMENTIONED MATERIALS IN PLACE. MAINTENANCE PROCEDURES SHOULD

ALSO BE FOLLOWED FOR THE BMP'S WHICH WERE IMPLEMENTED TO KEEP ERODED SOIL OR

SOIL EROSION CONTROL NOTES:

CONCENTRATED RUNOFF AWAY FROM THESE TARGET AREAS.

CONTRACTOR TO PLACE EROSION CONTROL MATS IN ALL DISTURBED AREAS WHICH HAVE A 3 ON 1

PERMANENT SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED WITHIN FIVE (5) DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGE.

INTERNAL AND EXTERNAL STREETS SHALL BE CLEANED OF ANY TRACKED MUD IMMEDIATELY FOLLOWING EACH MUD-TRACKING OCCURRENCE.

PRECIPITATION EVENT. THE WRITTEN REPORTS MUST BE MAINTAINED ONSITE.

THIS SITE WILL REQUIRE A NPDES/NOC PERMIT FROM THE STATE OF MICHIGAN. PER THE REQUIREMENTS OF THE NPDES PERMIT, INSPECTIONS WILL BE PERFORMED BY A CERTIFIED MDEQ STORMWATER OPERATOR AT LEAST ONCE A WEEK AND IMMEDIATELY FOLLOWING EACH

7. STABILIZE THE ENTIRE DETENTION PONDS INCLUDING THE BOTTOM, SIDE SLOPES, AND BERMS WITH TEMPORARY OR PERMANENT VEGETATION.

8. INSTALL ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO PROTECT STABILIZED AREAS FROM SEDIMENTATION.

9. INSTALL STORM SEWER SYSTEM WITH INLET FILTER CONTROLS.

10. INSTALL WATER MAIN, FIRE HYDRANTS AND OTHER UTILITIES.

11. INSTALL CURBING AND SUB-BASE OF AREAS TO BE PAVED, THEN INSTALL WEAR COAT OF ASPHALT. 12. BEGIN BUILDING CONSTRUCTION.

13. FINAL GRADE SITE AND REDISTRIBUTE TOPSOIL. STABILIZE ALL DISTURBED WITH SOD, HYDROSEED APPLICATION, OR SEEDING UNDER A CRIMPED STRAW MULCH.

14. MONITOR AND MAINTAIN ALL EROSION CONTROLS THROUGH CONSTRUCTION SEQUENCE.

15. REMOVE AND REPLACE GRAVEL FILTERS SURROUNDING STANDPIPES IN DETENTION AREAS. CLEAN OUT

MECHANICAL WATER QUALITY DEVICES, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS AFTER VEGETATION HAS ROOTED TO THE POINT OF PERMANENTLY STABILIZING THE SOILS. 16. PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY, DESIGN ENGINEER TO FURNISH THE TOWNSHIP, IN WRITING VERIFICATION THAT THE PONDS AND ACCOMPANYING STRUCTURES HAVE BEEN BUILT AND WILL

FUNCTION PER PLAN. NOTE: SCHEDULE SUBJECT TO LYON TOWNSHIP APPROVAL AND WEATHER.

NOT FOR CONSTRUCTION





EA

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0 02

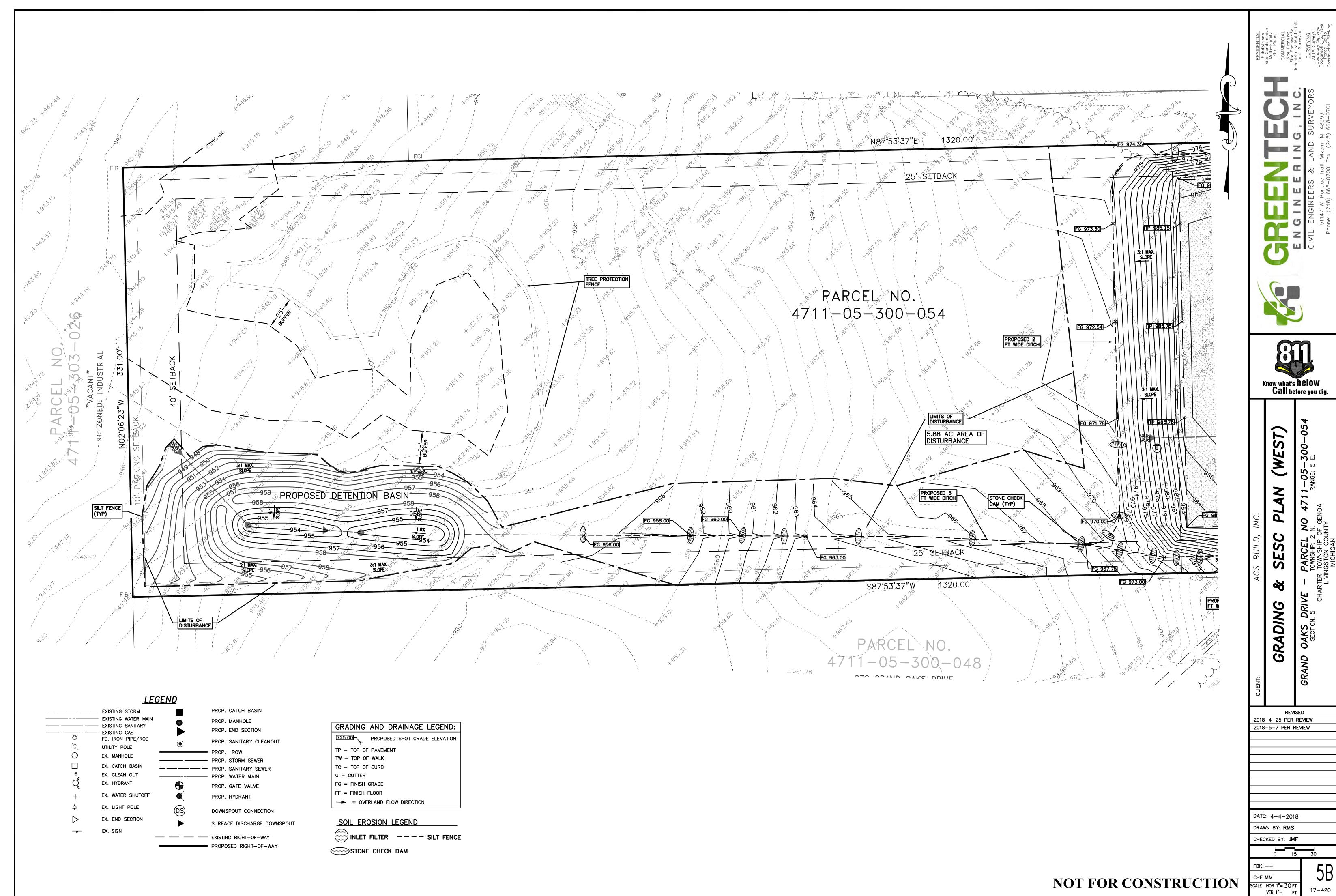
REVISED 2018-4-25 PER REVIEW 2018-5-7 PER REVIEW

DATE: 4-4-2018

DRAWN BY: RMS CHECKED BY: JMF

FBK: --CHF: MM SCALE HOR 1"= 30 F

VER 1"= F



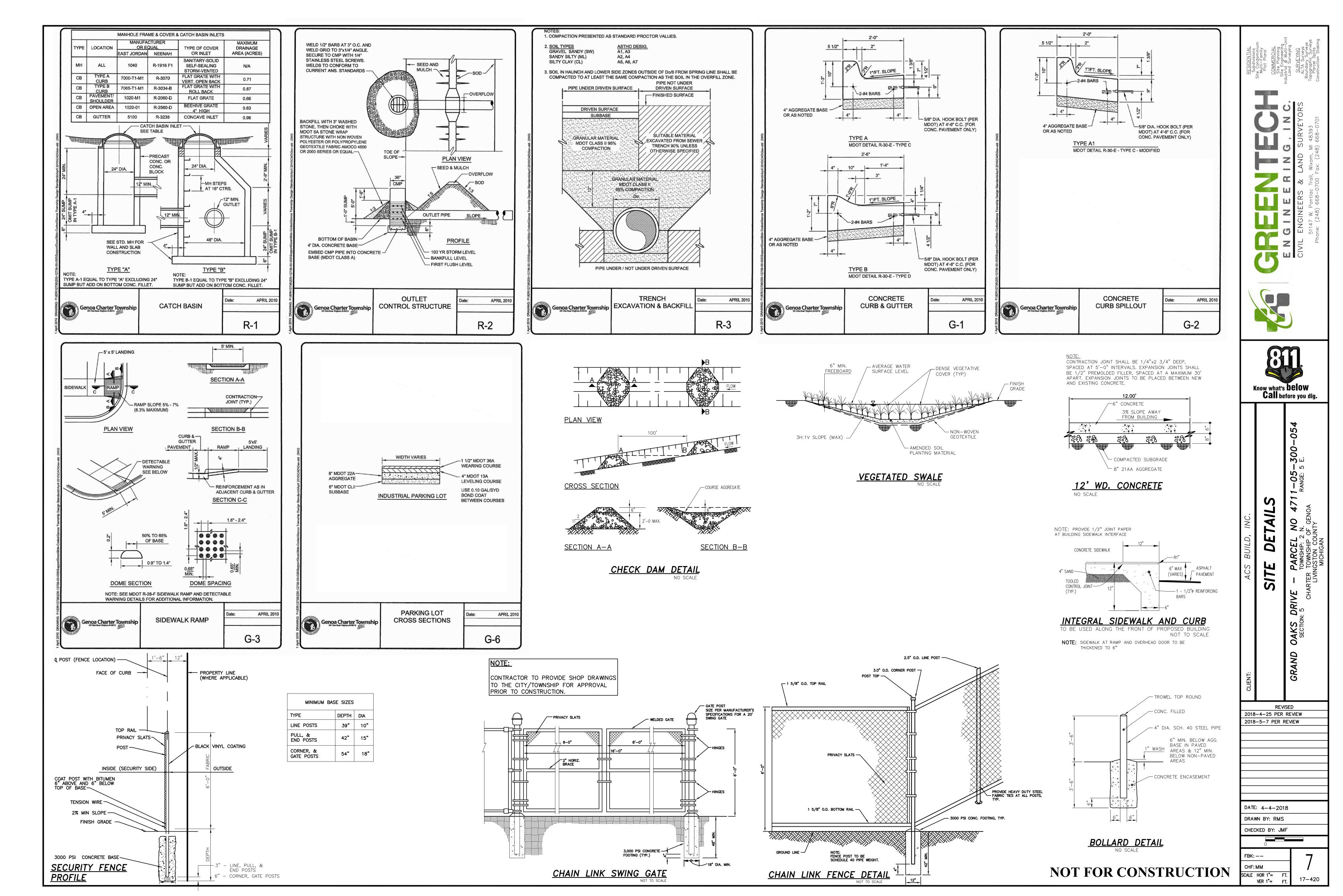
BENCHMARKS: SITE BM #1 0.67 15 MIN. ARROW ON HYDRANT 35 FEET NORTH OF THE SOUTHEAST CORNER OF PARCEL #4711-05-300-054 COMMUNITY: CHARTER TOWNSHIP OF GENOA PROJECT: TRUCK & TRAILER SPECIALTIES, INC. JOB NO. 17-420 COUNTY: LIVINGSTON ELEVATION: 995.96 DATUM (NAVD 88) FROM TOTAL Q=CIA CAPAC-DIAM. | LENGTH SLOPE MIN HG HG FOR ACTUAL H.G. H.G. GROUND ELEV. INVERT ELEV. UPPER LOWER COVER COVER TO INCRE-EQUIV. TIME SITE BM #2 ARROW ON HYDRANT 94 FEET MENT ELEV. **UPPER** MH AREA AREA TIME ELEV. UPPER LOWER LOWER LOWER NORTH OF THE NORTHEAST CORNER (MIN.) COVER COVER END **ACRES** 100% PER **FLOW** SEWER LINE ON "Q" IVEN "D **UPPER** LOWER END END END END OF PARCEL #4711-05-300-054 100% FLOW ELEVATION: 993.98 RIM -ACRES **ACRES** (FT./ END END TO RIM TO RIM HOUR) (IN.) (FT.) RIM -DATUM (NAVD 88) SEC.1 INV CA SUM CA INV 0.67 0.40 0.40 | 15.00 4.38 | 1.73 | 2.52 | 12 | 105 | 0.50 | 0.24 | 0.30 | 0.50 | 3.2 | 0.5 | 984.57 | 984.05 | 988.85 | 989.51 983.77 983.25 4.3 5.5 4.00 5.18 0.59 79 0.50 0.24 0.30 0.50 3.2 0.4 984.05 983.65 0.005 0.95 0.00 0.40 15.50 4.32 1.73 2.52 12 989.51 983.25 982.85 5.5 5.18 0.69 0.9 0.62 15.00 4.38 | 2.72 | 4.36 | 12 | 190 | 1.50 | 0.58 | 0.30 | 1.50 | 5.6 0.6 986.16 983.31 990.44 987.69 985.36 982.51 4.3 4.4 4.00 4.10 0.34 0.9 15.60 4.31 4.00 6.17 12 223 3.00 1.26 0.30 3.00 7.9 0.5 983.31 982.51 975.82 4.10 0.31 0.93 4.4 LOCATION MAP SANITARY LEAD NOTE: CONTRACTOR TO CONNECT TO EXISTING SANITARY LEAD PER GENOA TOWNSHIP STANDARDS AND SPECIFICATIONS. CONTRACTOR TO MAKE SURE ALL CONNECTIONS ARE WATER—TIGHT PER APPROVED GENOA TOWNSHIP METHODS. PARCEL NO. PARCEL NO. 4711-05-300-053 4711-05-303-026 HYDRANT 830 GRAND DAKS DRIVE ____= "VACANT" ZONED: INDUSTRIAL 8" GATE VALVE & BOX ZONED: INDUSTRIAL \ CAUTION!!! EXISTING GAS MAIN PRESENT 8"X6"X8" TEE-ASPHALT, 8"x6" REDUCER Proposed 8" WITHIN INFLUENCE OF WORK AREA. CONTRACTOR TO LOCATE AND PROTECT DURING TAP 6" FIRE LEAD D.I.W.M. 8"X6"X8" TEE FOR 2" DOMESTIC FIRE HYDRANT PROPOSED FIRE HYDRANT CONSTRUCTION. STORM SEWER CONNECT TO EXISTING WATER MAIN PER GENOA TOWNSHIP SPECIFICATIONS OR AS DIRECTED BY THE TWP. ENGINEER. 1320.00 N87°53′37"E CAUTION!!! EXISTING FIBER-OPTIC LINE PRESENT WITHIN INFLUENCE OF WORK AREA. CONTRACTOR TO LOCATE AND PROTECT DURING 25' SETBACK_ 0.59 AC C = 0.95CONSTRUCTION. CONTRACTOR TO FDC CONNECTION VERIFY DEPTH AND Know what's **below** PROPOSED 6" FIRE LOCATION Call before you dig. SERVICE LEAD CONNECT TO EXISTING PROVIDE ISOLATION VALVES |6" SANITARY LEAD 👁 PROPOSED 2" DOMESTIC INV EL +/- 986.25 SERVICE LEAD PARCEL NO. POTENTIAL 15,000 SF SEE MECHANICAL PLANS FOR EXACT LEAD, DOWNSPOUT, AND BUILDING EXPANSION 4711-05-300-054 RISER DIMENSIONS/LOCATIONS 125 LF 6" SANITARY AT 1.00% SLOPE 02 0.34 AC PROPOSED C = 0.900.69 AC 12" WATER MAIN PRESENT BUILDING WITHIN INFLUENCE OF WORK AREA. CONTRACTOR TO LOC POTENTIAL DEVEL 6.9 AC C=0.90 F.F. 990.55 AND PROTECT DURING C = 0.80ONSTRUCTION. Ü 223'-12" DETENTION BASIN SIZED TO ACCOMMODATE POTENTIAL FUTURE DEVELOPMENT TOTALING 6.9 ACRES OF DEVELOPED ARE WITH 0.80 FEATURES DURING CONSTRUCTION (UTILITY POLES, HYDRANTS, OVERHEAD LINES, TELEPHONE EQUIPMENT, ETC.) HYDRANT 25' SETBACK CAUTION!!! IUNDERGROUND FIBER-OPTIC UTILITIES PRESENT WITHIN INFLUENCE OF WORK AREA. F.F.=984.60 LOCATE AND PROTECT PARCEL NO. BUILDING DURING CONSTRUCTION. 4711-05-300-048 970 GRAND OAKS DRIVE G.F.F.=984.29 ZONED: INDUSTRIAL **UTILITY NOTES** TOWNSHIP STANDARD EASEMENTS ARE TO BE PROVIDED FOR PUBLIC WATER AND SANITARY SEWER. **SANITARY SEWER NOTES:** ALL PROPOSED FIRE SERVICE WATER LEAD IS CLASS 54 DUCTILE IRON PIPE. 1. ALL NEW SANITARY SEWER SYSTEMS INSTALLED ARE SUBJECT TO GENOA TWP., **Determination of Required Volume for Detention Basins** REVIEWS AND APPROVAL OF THE STORM SEWER SYSTEM BY THE LIVINGSTON OR LIVINGSTON COUNTY INSPECTION. **DETENTION BASIN SIZING** COUNTY DRAIN COMMISSIONER AND GENOA TOWNSHIP. 2. ROAD SHOULDERS, ROAD PAVEMENT, PARKING PAVEMENT, CURBS, DRIVEWAYS, Tributary Area (A) = 6.9 Acres MAINTENANCE OF THE STORMWATER DETENTION FACILITIES WILL BE THE SIDEWALKS, DITCHES, DRAINAGE PIPES AND STRUCTURES, FENCES, LAWNS, TREES, REVISED ELEVATION AREA AVG. AREA HEIGHT VOLUME CUM. VOLUME RESPONSIBILITY OF THE OWNER. BUSHES, MAILBOXES, STREET AND PUBLIC INFORMATION SIGNS, ADVERTISEMENT Run-off Coefficient* (C)= 0.8 2018-4-25 PER REVIEW SIGNS, AND ITEMS NOT LISTED, DAMAGED DURING CONSTRUCTION SHALL BE Design Constant $(K_1) = A \times C =$ CALL MISS DIG 72 HOURS PRIOR TO ANY EXCAVATION ON THE SITE. RESTORED AND/OR REPLACED TO NEW OR SIMILAR CONDITION. 2018-5-7 PER REVIEW 1,420 Allowable Outflow Rate $(Q_0) = 0.2 \text{ cfs/acre x A} =$ 955.0 ALL FOOTING LEADS TO BE CONNECTED TO THE ON-SITE STORM SYSTEM. 3. ALL SANITARY SEWERS UNDER PROPOSED PAVEMENT OR WITHIN A 1 TO 1 INFLUENCE OF PAVEMENT SHALL BE BACKFILLED WITH SAND AND COMPACTED TO 1.0 2,781 4,201 ALL END SECTIONS TO HAVE A SAFETY GRATE. 95% OPTIMUM DENSITY. 3,521 FRANCHISE EASEMENTS WILL BE INDICATED ON THE FINAL SITE PLAN AS 4. MAINTAIN 10 FEET OF MINIMUM HORIZONTAL AND 18" VERTICAL CLEARANCE 1.0 4,261 DETERMINED BY DTE ENERGY DURING THEIR SERVICE PLANNING DESIGN. Outflow BETWEEN ALL UTILITIES. 957.0 5,000 Volume = Duration Duration (100-yr Storm Volume = THE PROPOSED BUILDING SHALL HAVE FIRE SUPPRESSION SYSTEM INSTALLED. 5. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT Req Vol STANDARDS AND SPECIFICATIONS OF GENOA TOWNSHIP. Col. #4 x I=275/t+25) Col. #2 x Q₀ Col. #5 -(min) (sec) **SAND BACKFILL NOTE:** 958.0 Freeboard 4716 **GENERAL UTILITY NOTES** K₁ (CF) (CF) 6. CALL MISS DIG (1-800-482-7171) A MINIMUM OF 48 HOURS PRIOR TO THE ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE START OF CONSTRUCTION. EDGE OF PAVEMENT (OR WITHIN THE 45° LINE OF 1. ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH 300 9.17 2,751 2,201 414 1,787 FOREBAY SIZING INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. THE STANDARDS AND REQUIREMENTS OF GENOA TOWNSHIP. 7. NO CONNECTIONS SHALL BE MADE TO THE EXISTING SANITARY SEWER SYSTEM 10 600 4,716 3,773 CLASS II GRANULAR BACKFILL COMPACTED TO 95% 7.86 828 2,945 UNTIL FINAL PRESSURE TESTING HAS BEEN ACCEPTED BY TOWNSHIP SANITARY DATE: 4-4-2018 MAX. DRY DENSITY (ASTM D-1557). 2. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER SEWER SYSTEM OPERATOR OR SUCCESSOR OPERATOR OF THE SANITARY SEWER 15 900 4,954 1,242 3,712 6.88 6,192 ELEVATION AREA AVG. AREA HEIGHT VOLUME CUM. VOLUME MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE TOWNSHIP. SYSTEM AND THE TOWNSHIP ENGINEER. 20 1,200 7,332 5,866 1,656 4,210 6.11 DRAWN BY: RMS 3. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH 8. SEE GENOA TOWNSHIP DETAILS FOR PIPE BEDDING. 30 1,800 5.00 9,000 7,200 2,484 4,716 COMPRESSION FITTINGS, UNLESS OTHERWISE NOTED. CHECKED BY: JMF THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE 60 3,600 9,331 4,363 3.24 11,664 4,968 955.0 1,216 12. NO CONNECTION TO RECEIVING STORM WATER, SURFACE WATER, WATER WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT 4. ALL WATER MAIN SHALL BE PROVIDED WITH 5.5' OF COVER UNLESS OTHERWISE NOTED. SOFTENER BACKWASH DISCHARGE, OR GROUND WATER SHALL BE MADE TO 90 5,400 2.39 10,325 7,452 2,873 BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED Req Vol (5% Total) SANITARY SEWERS. OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR 120 7,200 10,944 9,936 1,008 1.90 13,680 5. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. 423 SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED. 180 14,472 | 11,578 | 14,904 10,800 1.34 FBK: --WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND 6. PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION CHF: MM PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UNLESS NOTED OTHERWISE. NOT FOR CONSTRUCTION

SCALE HOR 1"= 50 FT

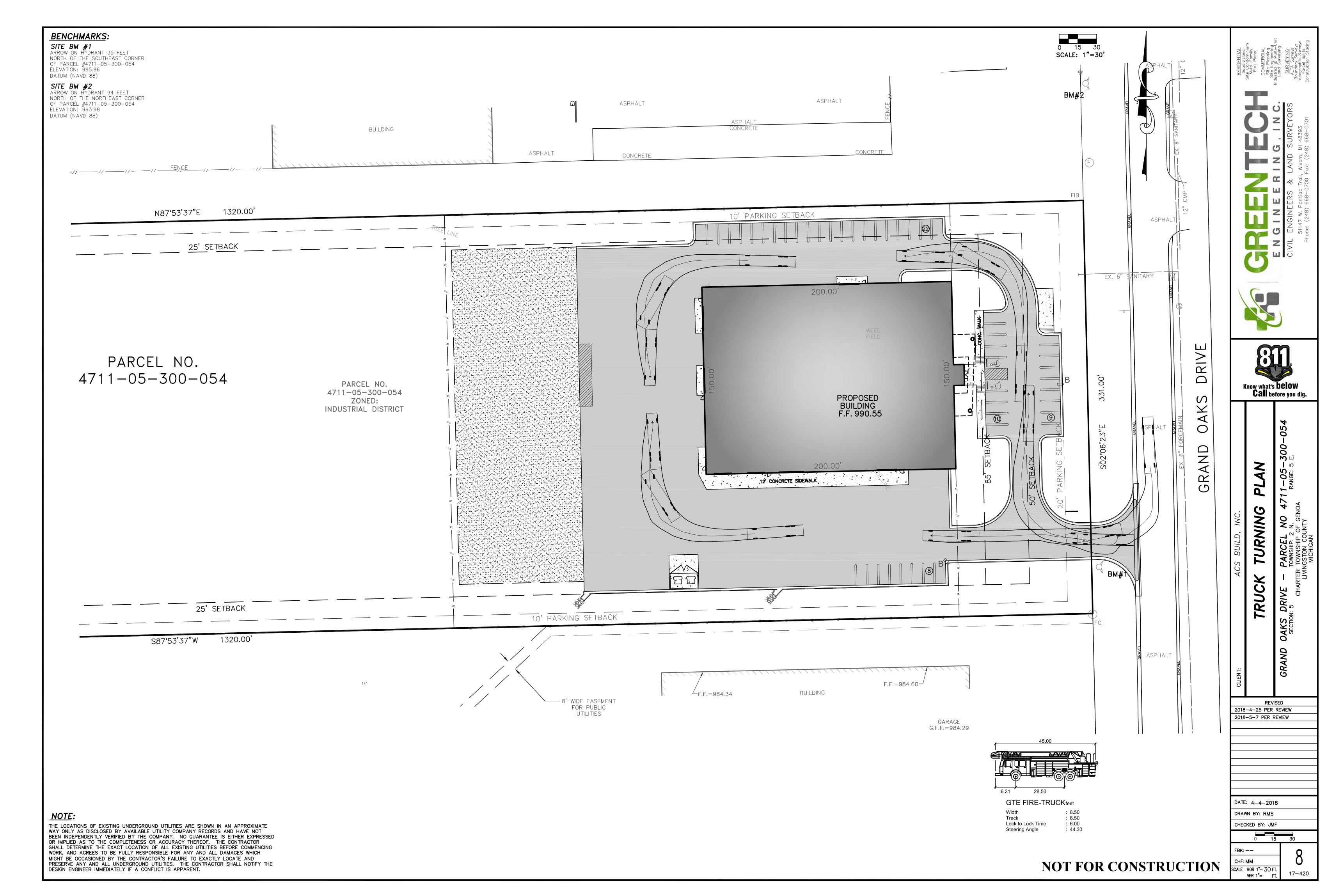
VER 1"= F1

17-420

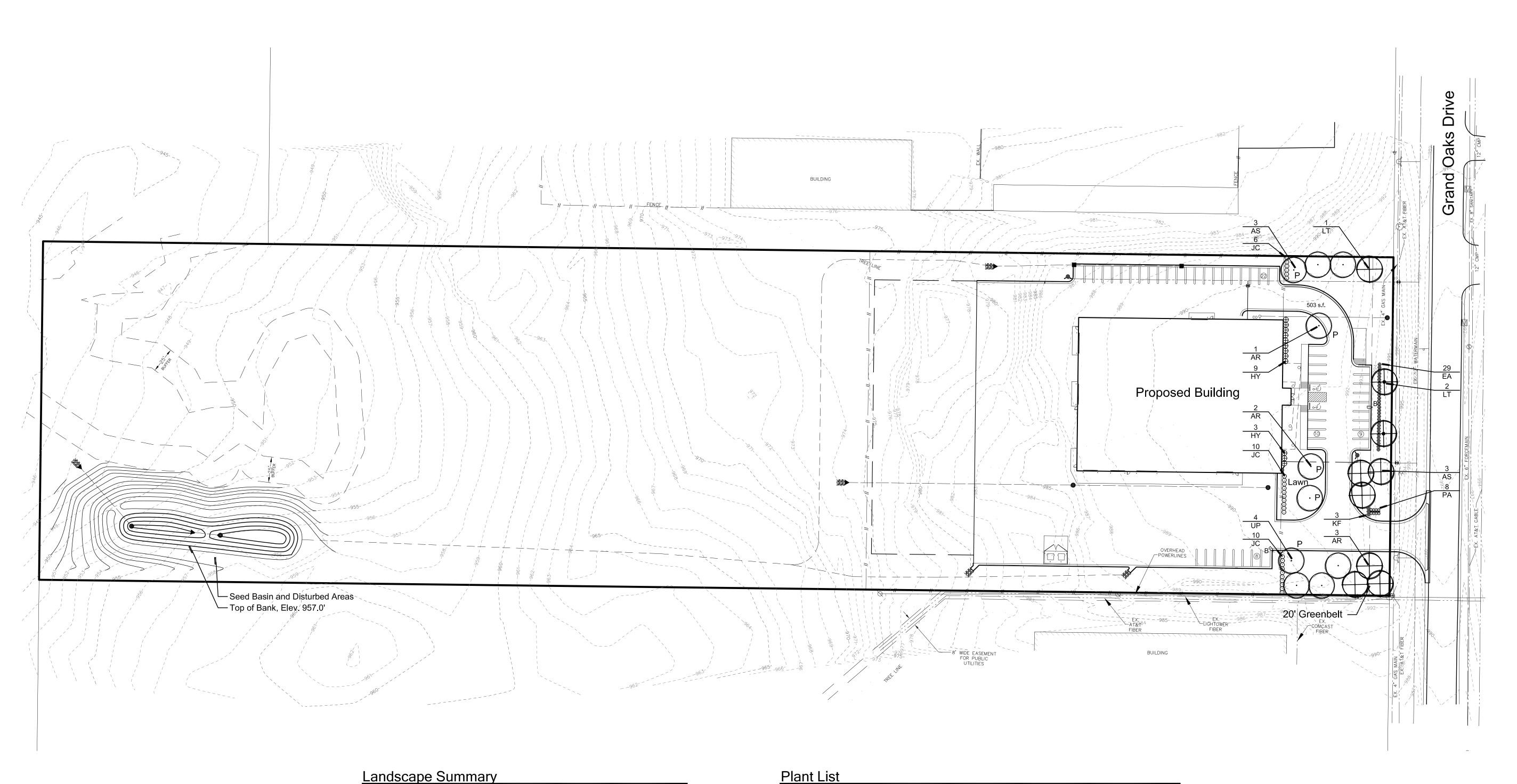
DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



C:\Egnyte\Shared\GreenTech Engineering\Public\P (Projects)\2017\17-420\Drawings\Preliminary\Preliminary Plans\007-Site Details-17-420.dwg, 5/6/2018 9:12:45

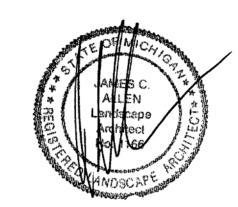


:\Egnyte\Shared\GreenTech Engineering\Public\P (Projects)\2017\17-420\Drawings\Preliminary\Preliminary Plans\008-Truck-Turning Plan-17-420.dwg





Seal:



Landscape Plan

Project:

Truck & Trailer Specialties Genoa Township, Michigan

Prepared for:

Greentech Engineering, INC 51147 Pontiac Trail Wixom, Michigan 48393 248.668.0700

Revision:

Submission

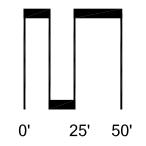
Issued:

April 25, 2018

Job Number: 18-029

Drawn By:

Checked By:





sym. qty.

AR 6 Acer rubrum

AS 6 Acer saccharum

EA 29 Euonymus alata 'Compacta' HY 12 Hydrangea 'Little Quick Fire'

KF 3 Calamagrostis × acutiflora 'Karl Foerster'

JC 26 Juniperus c. 'Keteleeri'

LT 3 Liriodendron tulipifera

UP 4 Ulmus 'Pioneer"

PA 8 Pennisetum a. 'Hameln'

All Landscaped Areas Shall be Provided with an Automatic Underground Irrigation System

botanical name

common name

Red Maple

Sugar Maple

Keteleer Juniper

Tulip Tree

Pioneer Elm

Karl Forester Grass

Dwarf Fountain Grass

Compact Burning Bush

Little Quick Fire Hydrangea

caliper spacing root height

as shown B&B 5'

#2 Cont.

2.5" as shown B&B 2.5" as shown B&B

as shown

as shown

as shown 2.5" as shown B&B

as shown

2.5" as shown B&B

Landscape Summary

Greenbelt Greenbelt Length Trees Required Trees Provided

Parking Lot Landscaping

331' 9 Trees (331' / 40') x Trees

490 s.f. (49 / 10) x 100

5 Trees (49 / 10)

49 Spaces

503 s.f. `

5 Trees

Total Proposed Spaces Landscape Area Required "P" Landscape Area Proposed Trees Required

Trees Provided Detention Pond - Plantings Relocated to Front of Building Top of Bank Length 385 l.f. Trees Required

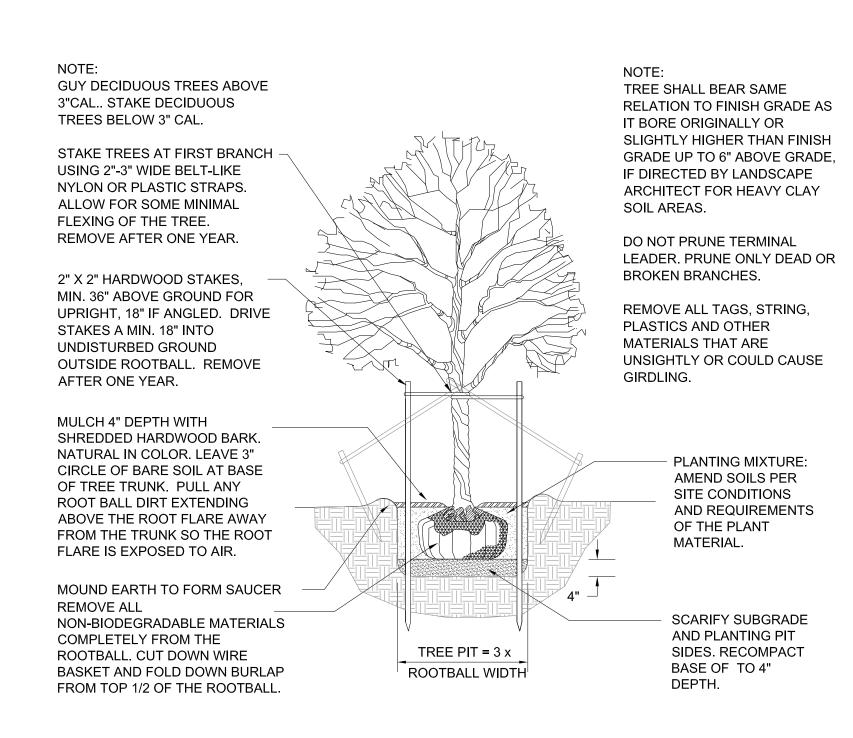
Trees Provided Shrubs Required Shrubs Provided

8 Trees (1 per 50') 5 Trees 77 Shrubs (10 per 50') 77 Shrubs

Know what's **below**. **Call** before you dig.

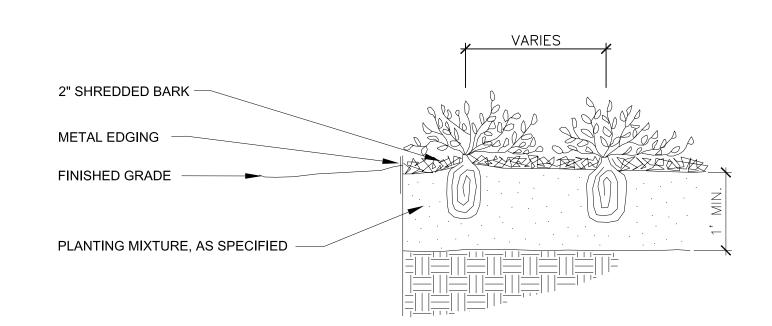
Sheet No.

L-1

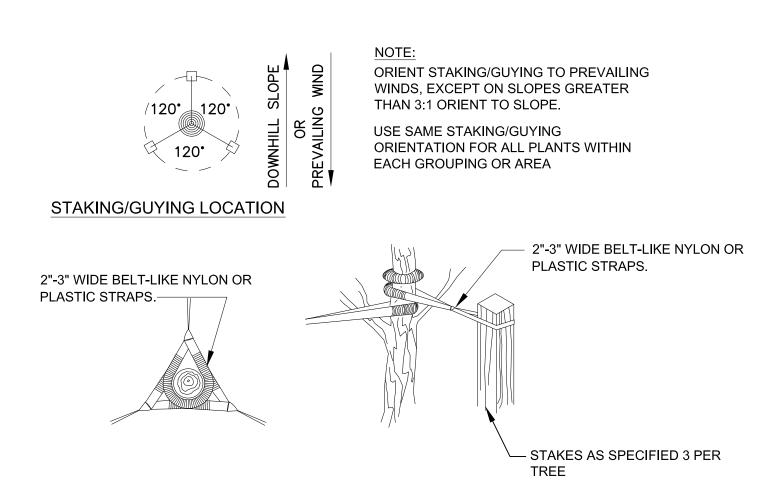


DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



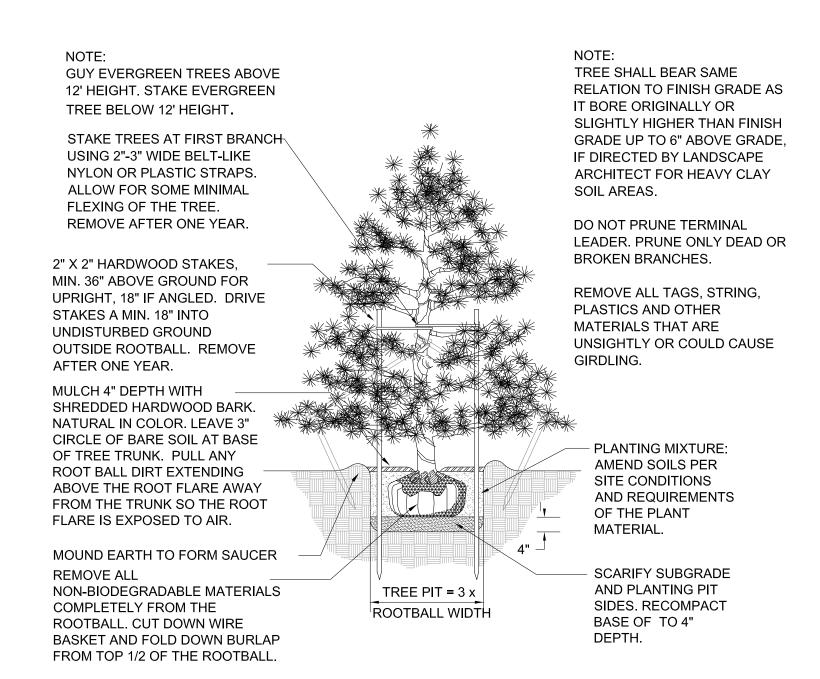
PERENNIAL PLANTING DETAIL



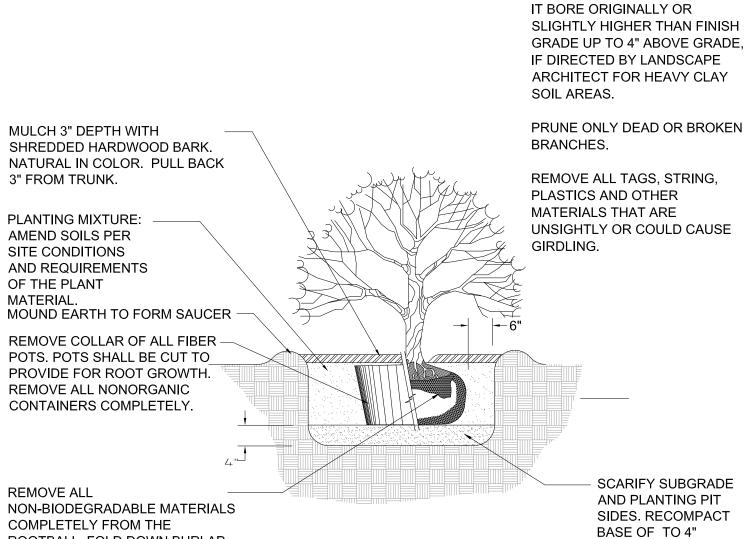
STAKING DETAIL

TREE STAKING DETAIL

GUYING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

LANDSCAPE NOTES

- 1. All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- 2. Plants shall be full, well-branched, and in healthy vigorous growing

ROOTBALL. FOLD DOWN BURLAP

FROM TOP $\frac{1}{3}$ OF THE ROOTBALL.

- 3. Plants shall be watered before and after planting is complete 4. All trees must be staked, fertilized and mulched and shall be guaranteed
- to exhibit a normal growth cycle for at least one (1) full year following Township approval.
- 5. All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- 6. Provide clean backfill soil, using material stockpiled on site. Soil shall be
- screened and free of any debris, foreign material, and stone.
- 7. "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- 8. Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- 9. All plantings shall be mulched per planting details located on this sheet. 10. The Landscape Contractor shall be responsible for all work shown on the
- landscape drawings and specifications.
- 11. No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- 12. The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- 13. The Landscape Contractor shall be responsible for maintaining all plant
- material in a vertical condition throughout the guaranteed period. 14. The Landscape Architect shall have the right, at any stage of the installation,

to reject any work or material that does not meet the requirements of the

- plans and specifications, if requested by owner. 15. Contractor shall be responsible for checking plant quantities to ensure
- quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- 16. The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- 17. A pre-emergent weed control agent, "Preen" or equal, shall be applied
- uniformly on top of all mulching in all planting beds.
- 18. All landscape areas shall be provided with an underground automatic
- 19. Sod shall be two year old "Baron/Cheriadelphi" Kentucky Blue Grass grown in a sod

TREE SHALL BEAR SAME

RELATION TO FINISH GRADE AS

Seal:

Landscape Details

557 CARPENTER • NORTHVILLE, MI 48167

248.467.4668 • Fax 248.349.0559

Email: jca@wideopenwest.com

Project

Truck & Trailer Specialties Genoa Township, Michigan

Prepared for:

Greentech Engineering, INC 51147 Pontiac Trail Wixom, Michigan 48393 248.668.0700

Revision: Issued: April 25, 2018 Submission

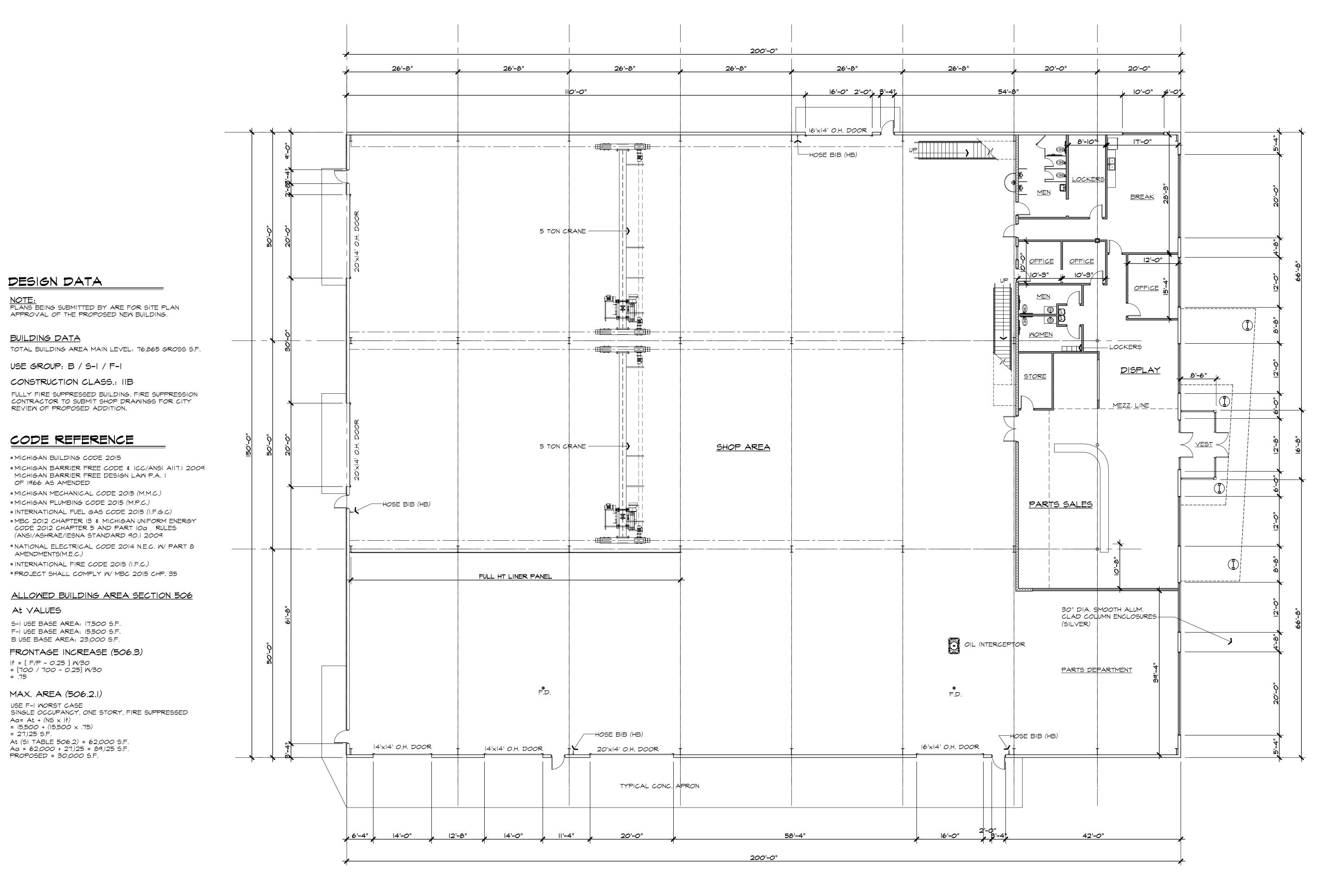
Job Number:

18-029

Drawn By: Checked By:

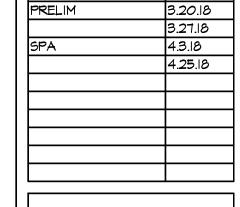
Know what's **below.** Call before you dig.

Sheet No.







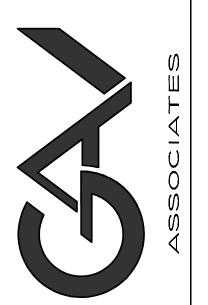


ISSUED FOR DATE

ARCHITECTURAL DESIGN

RESIDENTIAL COMMERCIAL INDUSTRIAL

G.A.V. ASSOCIATES, INC 24001 ORCHARD LAKE RD., STE. 180A FARMINGTON, MICHIGAN 48336 PH: (248) 985-9101 WEB: WWW.GAVASSOCIATES.COM



OPOSED NEW FACILITY FOR UCK and TRAILER

NOA TOWNSHIP, MI.

DRAWN: DESIGNED: CHECKED:

SCALE : 3/32" = 1'-0"

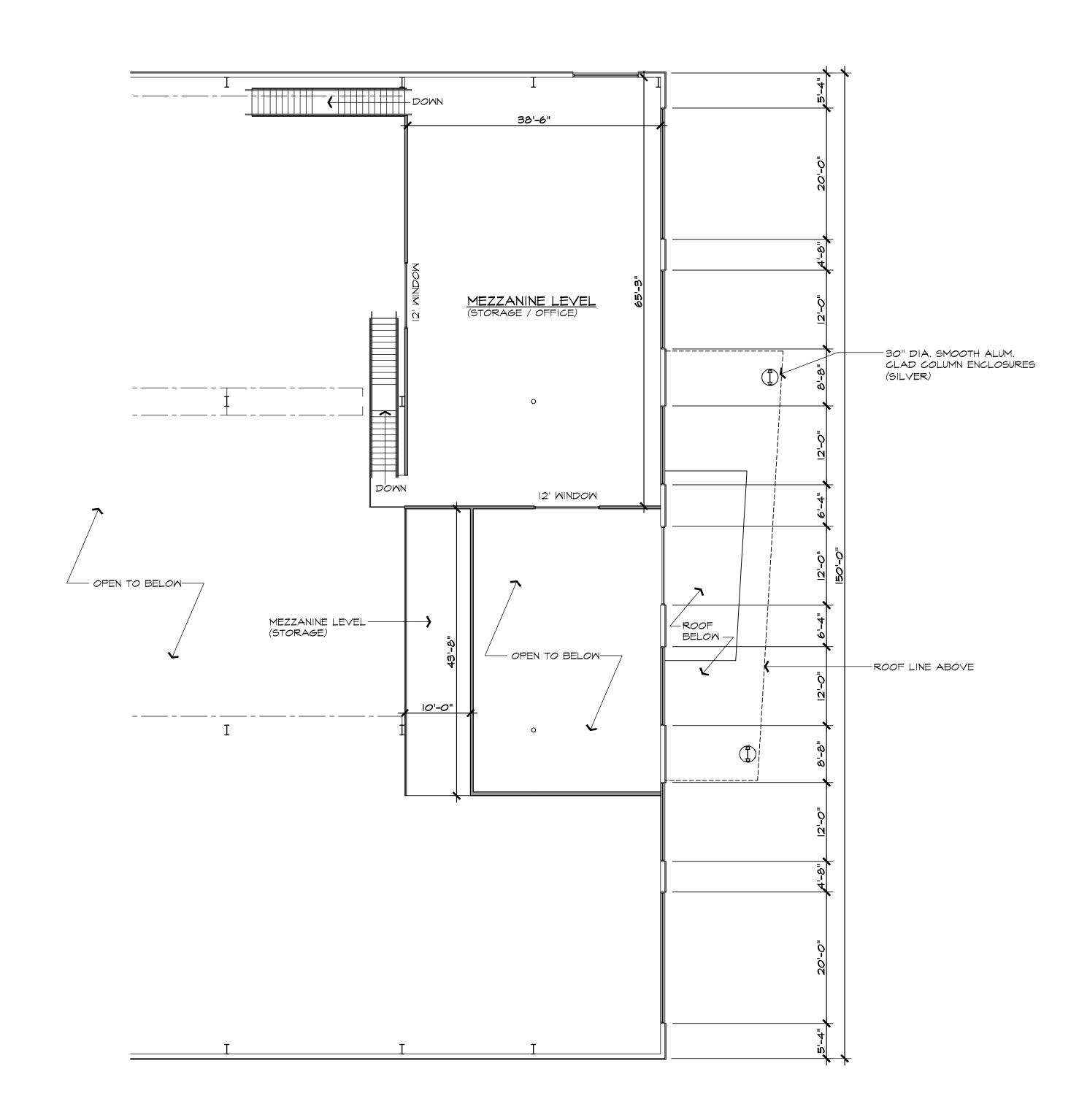
SCALE . 5/52 =

FILE NAME :

JOB #: |8027

SHEET TITLE FLOOR PLAN

SHEET #







ISSUED FOR DATE

PRELIM 3.20.18

3.27.18

SPA 4.3.18

4.25.18

ARCHITECTURAL DESIGN

RESIDENTIAL COMMERCIAL INDUSTRIAL

G.A.V. ASSOCIATES, INC 24001 ORCHARD LAKE RD., STE. 180A FARMINGTON, MICHIGAN 48336 PH: (248) 985-9101 WEB: WWW.GAVASSOCIATES.COM



ED NEW FACILITY FOR:
nd TRAILER
TOWNSHIP MI

DRAWN: DESIGNED: CHECKED:

SCALE : 3/32" = 1'-0"

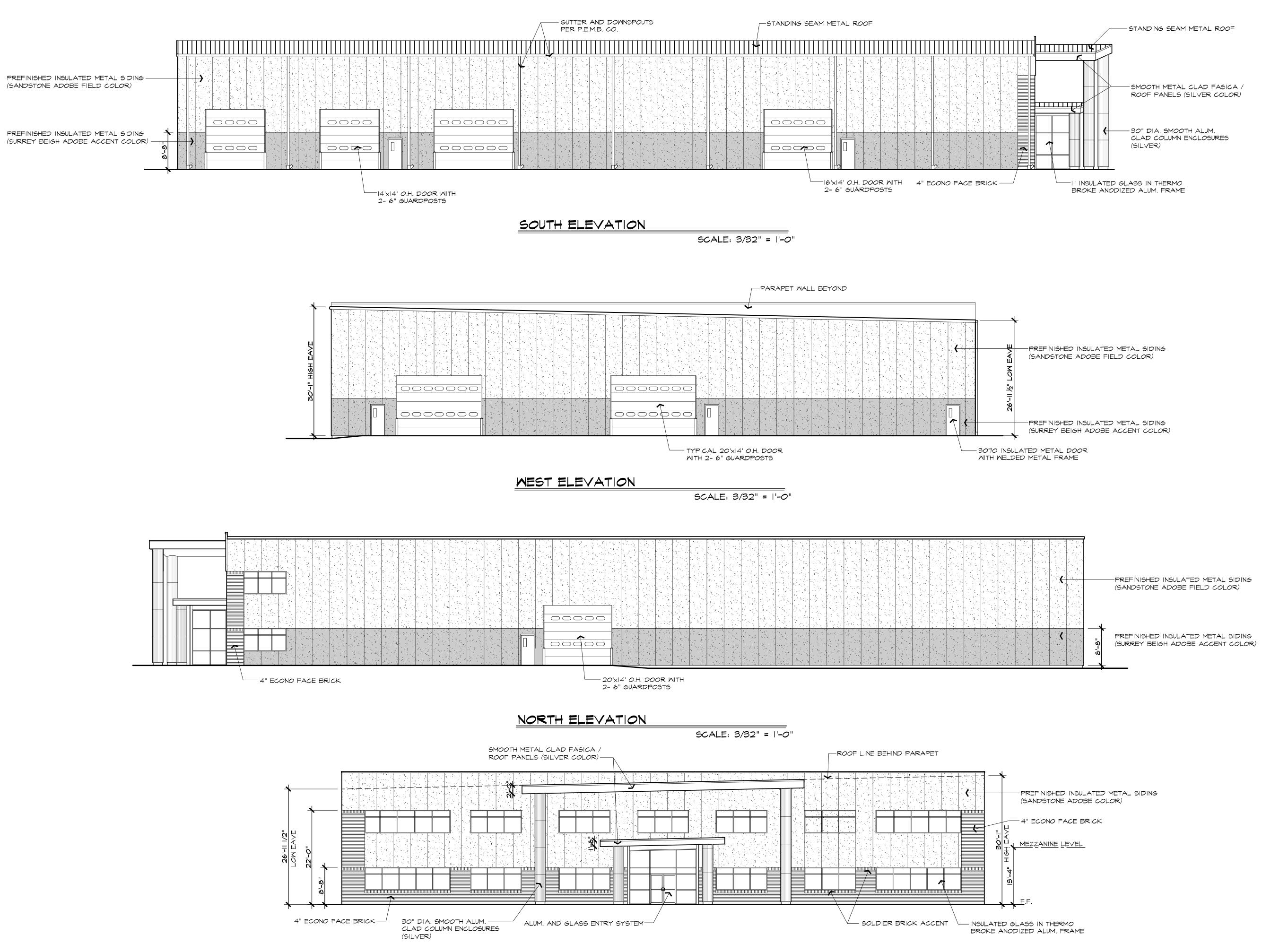
FILE NAME :

JOB #: 18027

SHEET TITLE

FLOOR PLAN

A. 02



EAST ELEVATION

SCALE: 3/32" = 1'-0"

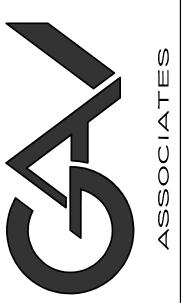


DATE ISSUED FOR 4.3.18 4.25.18

> **ARCHITECTURAL DESIGN**

> > RESIDENTIAL COMMERCIAL INDUSTRIAL

G.A.V. ASSOCIATES, INC 24001 ORCHARD LAKE RD., STE. 180A FARMINGTON, MICHIGAN 48336 PH: (248) 985-9101 WEB: WWW.GAVASSOCIATES.COM



DRAWN: DESIGNED: CHECKED:

SCALE : 1/8" = 1'-0"

FILE NAME :

JOB #: 18027

SHEET TITLE EXTERIOR ELEVATION

SHEET #

LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
	A	16	LITHONIA TWR2 250M	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR	ONE 250-WATT ED28 PULSE START METAL HALIDE, HORIZONTAL POS. 14' AF	22000	0.81	288
	В	2	LITHONIA KAD LED 30C 700 30K R3 MVOLT	KAD LED, 30 LED, 700mA MVOLT DRIVER, 3000K, TYPE 3 OPTICS.	LED 15' POLE	Absolute	0.95	69

Symbol	Avg	Max	Min
+	1.0 fc	10.0 fc	0.0 fc
	1	1.0 fc	1.0 fc 10.0 fc

| +0.1 +0.1 +0.1 +0.1 +0.1 +0.2 +0.2 +0.3 +1.2 | -1.2 |

| [†]0.1 [†]0.1 [†]0.1 [†]0.1 [†]0.1 [†]0.2 [†]0.2 [†]0.3 [†]0.3 [†]0.4

| \big| 0.1 \big| 0.1 \big| 0.1 \big| 0.2 \big| 0.2 \big| 0.3 \big| 0.4 \big| 0.6 \big| 0.8 \big| 0.5

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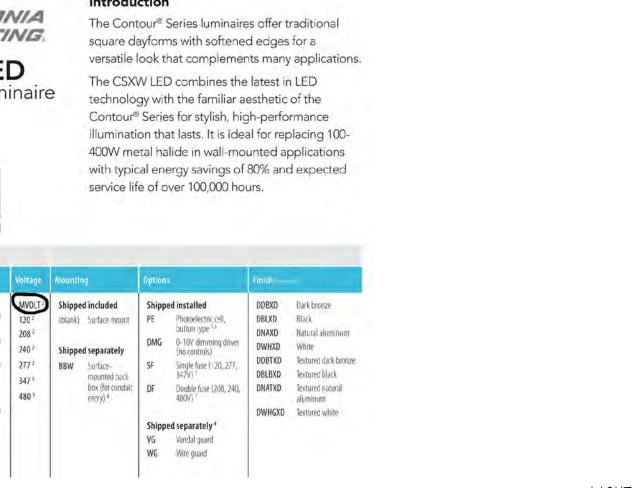
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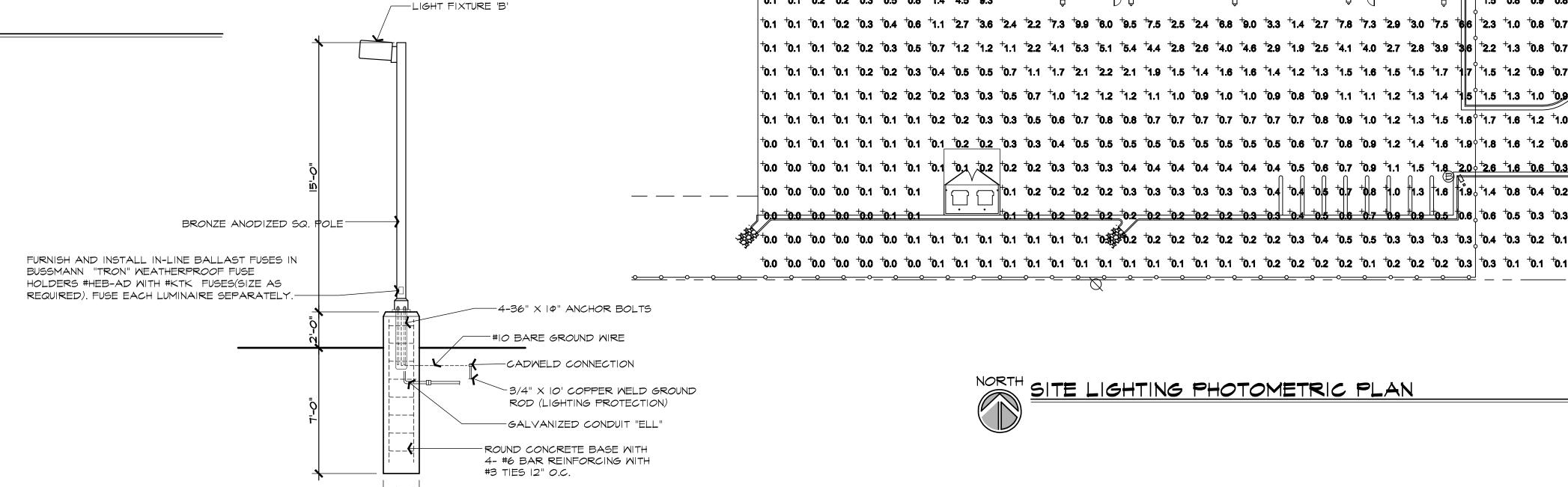
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POLE LIGHT DETAIL



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ISSUED FOR DATE 4.3.18 4.25.18

ARCHITECTURAL DESIGN

RESIDENTIAL COMMERCIAL INDUSTRIAL

G.A.V. ASSOCIATES, INC 24001 ORCHARD LAKE RD., STE. 180A FARMINGTON, MICHIGAN 48336 PH: (248) 985-9101 WEB: WWW.GAVASSOCIATES.COM



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DRAWN: DESIGNED: CHECKED:

SCALE : |" = 30' FILE NAME:

JOB #: 18027

SHEET TITLE

PHOTOMETRIC PLAN

SHEET #



GENOA CHARTER TOWNSHIP Application for Site Plan Review

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:
APPLICANT NAME & ADDRESS: Dave Howard 3750 Cleary Dr. Howell, MI 48843 If applicant is not the owner, a letter of Authorization from Property Owner is needed. OWNER'S NAME & ADDRESS: Cleary University
SITE ADDRESS: 3750 Cleary Drive PARCEL #(s):
APPLICANT PHONE: (517) 376-0989 OWNER PHONE: (517) 552-7805
LOCATION AND BRIEF DESCRIPTION OF SITE: Athletic and event stadium at Cleary University. This site plan review specifically pertains to the stadium press box and concession stand building,
stadium perimeter wall construction, and stadium dugout construction. In addition, we wish to seek support and approval
for a P.U.D. amendment regarding exclusive athletic and event stadium signage on campus.
BRIEF STATEMENT OF PROPOSED USE: Cleary seeks consideration and approval of siding and block building materials change for pressbox/concession stand, block materials on perimeter wall,
and block materials for stadium dugouts. The university also requests consideration for
approval of a P.U.D. amendment regarding exclusive athletic and event stadium signage on campus.
THE FOLLOWING BUILDINGS ARE PROPOSED: We propose an alterations from original site plan submission regarding pressbox\concessions stand siding and block materials
stadium wall perimeter block materials, and stadium dugout block materials.
I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. BY: Dr. Matthew L. Bennett
ADDRESS: 3750 Cleary Drive, Howell, MI 48843
ADDRESS.



Attn: Kelly VanMarter, AICP Assistant Township Manager Community Development Director Genoa Charter Township 2911 Dorr Road Brighton, Michigan 48116

Dear Ms. VanMarter,

Please accept this cover letter in anticipation of the May 14, 2018, Genoa Township Planning Commission meeting. This letter serves to provide an overview of project material updates and an amendment request pertaining to Cleary University's new athletic and event stadium.

The first item for Township consideration is the approval to address and integrate designated campus stadium signage and advertising language for corporate and community partners of the university. Such designated stadium advertising would not require permits from the Township for implementation. This issue was not considered or included in the university's Planned Unit Development Agreement (P.U.D.) dated October 2, 2015. Given that there is a great level of excitement and financial support from corporate and community partners for the stadium, we propose an amendment to the original P.U.D. specifically addressing ARTICLE VII. DESIGN OF BUILDING AND SIGNS. The university respectfully submits for the Township's consideration and approval. I have included the proposed amendment for your review.

Secondly, upon further research, assessment, and value engineering by the university and building partners, we have identified a far superior, appropriate, and cost effective material to utilize for the press box and concessions building, stadium seating perimeter walls, and dugouts since the original site and building plans were submitted and approved in November 2017.

The first proposed change of product building materials is the use of a solid colored concrete block for the press box and concession stand building. To further support aesthetic uniformity, we request this same colored block be used for the base layer of the stadium seating wall and stadium dugouts.

Originally approved was a faux brick facing product (i.e. Quick Brick) that was affixed to a block base wall. Given enhanced durability, improved aesthetics, and cost effectiveness, we request your support of this building material change. We also request this change for the dugouts and seating area walls to provide the opportunity to consistently and uniformly brand the stadium with athletic and university themed custom vinyl and paint murals. We will provide samples of all proposed changes at the May 14 meeting for review.



The final building materials change request pertains to the replacement of the cement "hardy" board product previously approved for the second level of the exterior of the press box and concession stand building. After further discussion with contractors and product material experts, it was discovered that this product would not adequately satisfy our long-term needs given its lack of effectiveness relative to specific sports use. Therefore, we request your support and approval to utilize Smart Side, a state-of-theart engineered wood siding product in place of the cement board material. Smart Side is statistically proven to be less prone to damage related to direct impact by baseballs and softballs, weather (hail) and is also mildew resistant.

Given the repetitive use of baseball, softball, and other team sports at this facility, and the high-quality aesthetic appearance of the Smart Side product, we believe this is a far superior material replacement option. Furthermore, the product will be custom painted to align with Township guidelines regarding uniform and consistent color tones and schemes as approved through our approved October 2, 2015, P.U.D Agreement.

Thank you again for your consideration. If you have any questions or concerns, please feel free to contact me directly at mbennett@cleary.edu or via telephone at **989.798.4118**.

We are privileged to work with Genoa Township through this process and will be sure to provide the necessary documentation and sample building materials for our presentation on May 14.

Sincerely,

Dr. Matthew L. Bennett

Senior Vice President, Institutional Advancement



Planning Commission Genoa Township 2911 Dorr Road Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP			
	Assistant Township Manager and Planning Director			
Subject:	Cleary University – Proposed Amendment to Approved PUD (1st Review)			
Location:	3750 Cleary Drive – south side of Grand River, between Grand Oaks and Latson Road			
Zoning:	MUPUD Mixed Use Planned Unit Development			

Dear Commissioners:

At the Township's request, we have reviewed the proposed amendment to the Cleary University PUD. The site is located on the south side of Grand River, between Grand Oaks and Latson Road.

The submittal includes a cover letter summarizing the proposal, a copy of proposed amendments to the PUD Agreement and plans pertaining to the athletic field buildings and signage.

We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance.

A. Summary

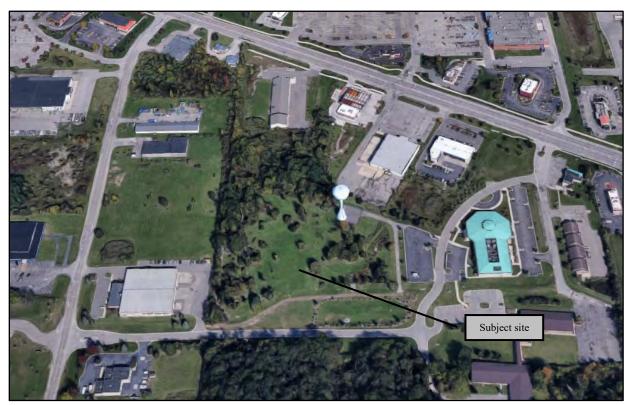
- 1. The proposed PUD amendment includes two changes in building materials:
 - a. Use of solid colored concrete block (as opposed to Quick Brick) for the lower level of the press/concessions stand building, the base around the seating areas and the dugouts; and
 - b. Use of an engineered wood siding (as opposed to cement "hardy" board) for the upper level of the press box/concessions stand.
- 2. The applicant must present building material and color samples to the Commission for their consideration.
- 3. The proposed amendment to the PUD Agreement would allow for a significant amount of signage, though much of it will only be visible from on-site. Nonetheless, we suggest the following:
 - a. A limit on the number of perimeter fencing signs should be established;
 - b. The foul pole signs should not be permitted, as their height is generally out of character with signage allowed in Township; and
 - c. The vehicle display platform should not be permitted, as this element is generally of character with the site and surroundings and there are ample opportunities for advertising via other means.

B. Proposal/Process

The applicant requests review and approval of an amendment to the approved PUD for Cleary University. The proposal entails changes to materials for athletic field buildings and allowance of additional signage for both sponsors and the University via an amendment to the PUD Agreement.

Section 10.11.04 requires Planning Commission review of amendments to an approved Final PUD Plan that are considered "major," which includes changes to the PUD Agreement.

Following review of the proposed amendment, the Planning Commission may make a recommendation to the Township Board, who has final approval authority.



Aerial view of site and surroundings (looking north)

C. Review

As noted above, there are multiple components to the proposed amendment. More specifically, the proposal includes:

- 1. Changes to the approved materials for the athletic field buildings (press box, concessions, stadium base and dugouts); and
- 2. Amendments to the PUD Agreement allowing additional stadium signage and advertising.
- 1. **Building materials.** As described in the applicant's cover letter (dated April 27, 2018) and depicted on Sheets A-003, A-104 and A-201, the request proposes two material changes: 1) from Quick Brick to a solid colored concrete block; and 2) the use of an engineered wood siding in lieu of cement "hardy" board.

The solid colored concrete block is proposed for the press box/concessions stand, dugouts and the base of the stadium seating.

The engineered wood siding is proposed for the upper level of the press box/concessions stand. This change was made to increase durability due to potential damage by sports usage (caused by base/softballs).

The applicant indicates that material and color samples will be presented to the Commission at their upcoming meeting.

Genoa Township Planning Commission Cleary University PUD Amendment Review #1 Page 3

2. PUD Agreement. The proposed amendment would allow for upwards of 10 additional sign types, including those for the University itself, as well as advertising for sponsors.

A variety of sign types/locations are proposed, including:

- Stadium naming rights (80 SF);
- Press box/concessions sponsorship (40 SF);
- Outfield digital scoreboard (200 SF);
- Outfield LED sponsor panel (50 SF);
- Perimeter fencing wind screen (48 SF each, with the opportunity for numerous signs);
- Stadium seating concourse wall (sizes not indicated);
- Dugouts (sizes not indicated);
- Backstop padding (240 SF of padding with the potential for university and/or sponsor logos);
- Pole banners (8 at 8 SF per);
- Foul poles (30 SF); and
- An outdoor vehicle display platform (depicted, but not included in the text amendment).

Most (if not all) of the signage will only be visible from on-site; however, the current proposal has the potential to result in a significant amount of signage.

As such, we suggest the following for discussion purposes:

- A limit should be placed on the number of perimeter fencing signs allowed. As currently written, the site could accommodate over 150 such signs. While we do not believe that is the applicant's intent, the current language is far too lenient.
- The submittal does not include a depiction of the foul pole signs, so we request that one be provided for the Commission's consideration. The text description indicates that they are 15' tall, which is much taller than signage typically allowed in the Township. Depending on the Commission's input, we suggest these signs be removed from the request as they would generally be out of character with other signage permitted in the Township.
- Similar to the comment above, the inclusion of a vehicle display platform is generally out of character with the site and surroundings. Such advertising is only allowed on a limited basis as an accessory element of an automobile dealership. Given the ample opportunities for advertising at this site, we suggest this element be removed from the request. Alternatively, if the Commission is open so such advertising, language must be added to the PUD Agreement.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com and steve.hannon@safebuilt.com.

Respectfully,

SAFEBUILT STUDIO

Brian V. Borden, AICP

Planning Manager

Stephen Hannon, AICP

Planner

STATE OF MICHIGAN

COUNTY OF LIVINGSTON

TOWNSHIP OF GENOA

AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT RELATIVE TO CLEARY UNIVERSITY CAMPUS

THIS AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT is made and entered into on this ____ day of May, 2018, by CLEARY UNIVERSITY, a Michigan non-profit corporation, 3750 Cleary Drive, Howell, MI 48843 (referred to as "Owner"), and the TOWNSHIP OF GENOA, a Michigan municipal corporation, whose address is 2911 Dorr Road, Brighton, Michigan 48116 (referred to as "Township").

RECITALS:

- A. The Township and CLEARY UNIVERSITY, entered into a Planned Unit Development Agreement on October 2, 2015, (the PUD Agreement") which was recorded on October 19, 2015, 2015R-033066, Livingston County Records.
- B. Article IX of the PUD Agreement provides that the PUD Agreement may be amended in writing by the parties to the Agreement.
- C. Owner and the Township desire to further amend the PUD Agreement only as it pertains to Article VII. Design of Buildings and Signs.

NOW, THEREFORE, OWNER AND TOWNSHIP, in consideration of the mutual promises contained in this amendment and in the PUD Agreement, HEREBY AGREE AS FOLLOWS:

- 1. University athletic and event stadium signage and advertising: The Owner shall have uniformly designed and designated stadium sponsorship signage. Stadium signage and advertising is not exposed to the public and visibility is confined to Owner's campus activities and events. Sign permits are not required from the Township for stadium sponsor advertising signage within the following designated areas:
 - a. Official Naming Right Sponsorship Signage: 4'x20' full color, custom laser-cut acrylic lettering for university stadium naming rights sponsor (10-year commitment). Signage will be permanently affixed to the stadium press box and concessions stand.
 - b. Press Box and Concession Sponsorship Signage: 2'x20' full color, custom laser-cut acrylic lettering for university press box and concession stand naming rights sponsor (10-year commitment). Signage will be permanently affixed to the stadium press box and concessions stand.

- c. Outfield LED Digital Board. 10'x20' 10mm LED full-color digital display multi-use scoreboard. LED panels affixed to galvanized tube frame, mounted to two custom fabricated and painted steel beams.
- d. Outfield LED Digital Board Sponsor Panel: 5'x10' raised vinyl covered aluminum affixed to the LED Digital board.
- e. Stadium Perimeter Fence Wind Screen: 6'x 1,230', custom vinyl-coated polyester dura-mesh windscreen affixed to stadium perimeter fencing will feature 6' x 8' stadium sponsor logoed panels as determined by the university. Wind screen signage will be uniformly designed and feature university athletics and partner sponsor branding.
- f. Stadium Seating Concourse Wall Perimeter: Custom designed, premium paint and vinyl university wall mural and stadium sponsor logos will be permitted behind stadium seating adjacent to press box and concession stand.
- g. Dugout: Custom designed, premium paint and vinyl university wall mural and stadium sponsor logos will be permitted behind dugout seating adjacent to press box and concession stand.
- h. Backstop Padding: 4' x 60' high-density open-cell foam core, heavy-duty UV-treated 18-oz vinyl laminated cover stock. Backstop padding will be navy blue with appropriately color-coordinated university and or sponsor logo(s).
- i. Pole Banners: 2'x4' dual-sided, 16oz. vinyl pole banners affixed to tension netting poles and stadium light pole (n=8). Banners are mounted with fiberglass poles and galvanized steel mounting brackets and bands.
- j. Foul Poles: 2'x15' heavy-duty UV-treated 18-oz vinyl laminated cover stock with stadium sponsor logo and or work mark.
- k. Stadium Seating: Custom vinyl branding for/on stadium chairs and bleacher sections in accordance with Cleary University and stadium sponsor color schemes.
- l. Alternative materials may be used by the University in the appropriate designated areas associated with stadium sponsorship and advertising signage.

2. This Amendment to Planned Unit Development Agreement was approved by t Township Board on the day of May, 2018, at a meeting duly called and he IN WITNESS WHEREOF, the undersigned have executed this Amendment to Pl Unit Development Agreement as of the day and year first above written.				
		Dr. Jayson M. Boyers Its: <u>President and CEO</u>		
		WNSHIP: wnship of Genoa		
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	w4signs.com
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Approval Signature:

p: 810-588-4703 £810-588-4706

8200 Grand River Road Brighton, MI 48114

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Company:	Order Taken By:	
Street:	Order Date:	
City:	Delivery Date:	
State: Zip:	Shipping:	
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Fax:	Description:	

NOTE: All sales are final once proofing has begun. There are no refunds once production has begun. Jobs canceled prior to production may be subject to design fees. %50 deposit required before production to begin. Artwork & Files are owned exclusively by W4 Signs, Inc. unless originally provided by client or specifically stated. Original artwork files and rights may be purchased for an additional fee.

It is the responsibility of the client to ensure proof accuracy, including all spelling, colors & materials as indicated. After the 3rd proof, each additional revision will incur an additional \$20 fee. Proof approval authorizes W4 Signs to proceed with production of the design selected. Call for specific estimated completion time, otherwise Jobs will be completed within the production schedule and/or notified for installation.

All Balances due upon completion / installation.

Please verify your proof approval or revisions have been received.

(Add. Revisions \$20 Extra Charge) 4

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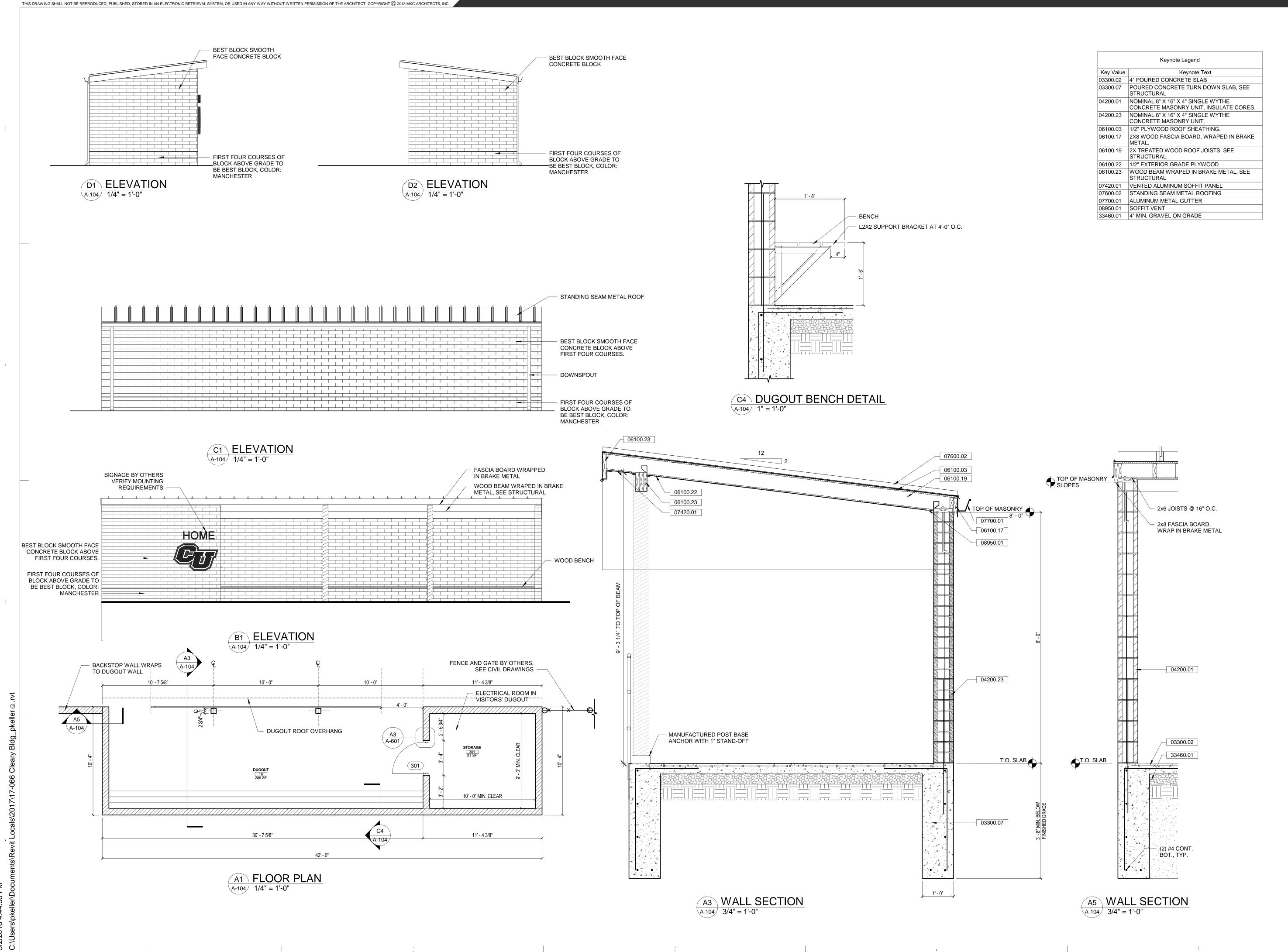
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7' x 16.5' Sponsor Area

7' x 16.5' CU Dugout Mural Area



MKC | ARCHITECTS

90 Hidden Ravines Drive Powell, OH 43065 866|675|7584 www.mkcinc.com

CONSULTANTS

UNIVERSITY ATHLETIC COMPLEX CLEARY UNIVERSITY

CLEARY

PAUL

WULLIN

ARCHITECT OF RECORD

ARCHITECT OF RECORD
PAUL J. MULLIN - 35245
EXPIRATION DATE: 10-31-2019

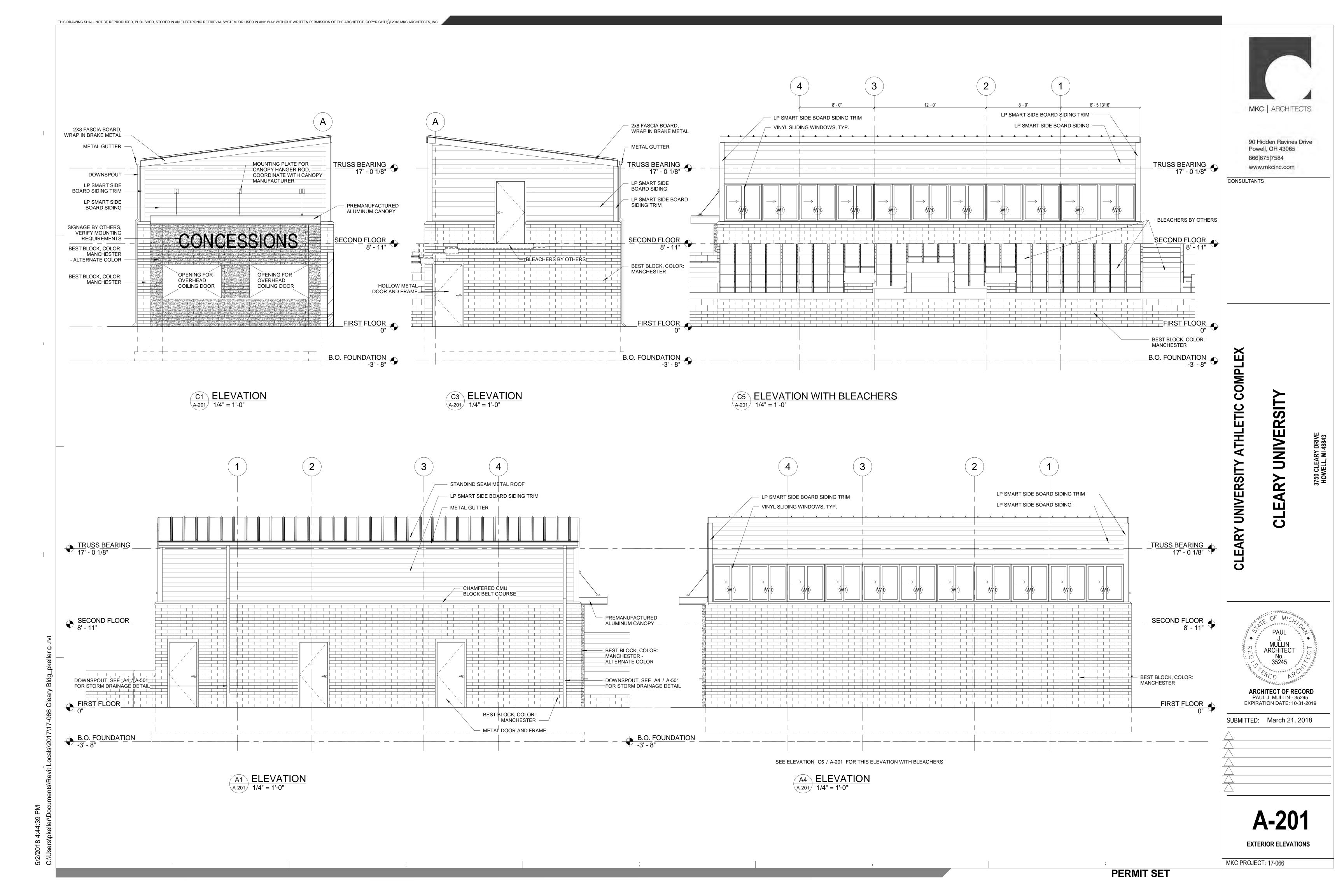
SUBMITTED: March 21, 2018

BMITTED: March 21, 2018

A-104

DUGOUT PLAN AND ELEVATIONS

MKC PROJECT: 17-066



CLEARY UNIVERSITY

3750 CLEARY DRIVE HOWELL, MI 48843

INDEX TO DRAWINGS

STRUCTURAL

STRUCTURAL NOTES FOUNDATION AND FRAMING PLAN ROOF FRAMING PLAN DUGOUT FOUNDATION AND FRAMING

STRUCTURAL WALL SECTIONS

<u>ARCHITECTURAL</u>

COVER SHEET MBC PLANS SITE PLAN SITE ELEVATIONS FIRST FLOOR PLAN SECOND FLOOR PLAN **DUGOUT PLAN AND ELEVATIONS EXTERIOR ELEVATIONS** BUILDING AND WALL SECTIONS

WALL SECTIONS

WALL SECTIONS

TOILET ROOMS OPENING SCHEDULE

FIRST & SECOND FLOOR REFLECTED

M-502

M-503

M-504

ELECTRICAL

ELECTRIC LIGHTING ELECTRIC LIGHTING - DUGOUT PLANS ELECTRIC LUMINARIE SCHEDULE ELECTRIC POWER ELECTRIC POWER - DUGOUT PLANS **ELECTRIC POWER - SINGLE LINE DIAGRAM** ELECTRIC POWER - PANEL SCHEDULES ELECTRIC POWER - SCHEDULES EP-603 ES-101 ELECTRIC SITE PLAN

MECHANICAL - LEGEND

MECHANICAL - DETAILS **MECHANICAL - DETAILS**

MECHANICAL - DETAILS

MECHANICAL - DETAILS

MECHANICAL - DETAILS

ELECTRIC - LEGEND

MECHANICAL - SCHEDULES & DETAILS

MECHANICAL - ENERGY COMPLIANCE

MECHANICAL DUCTWORK

PLUMBING

PLUMBING - LEGEND PLUMBING - FIRST FLOOR PLUMBING - SECOND FLOOR PLUMBING - DETAILS PLUMBING - SCHEDULES PLUMBING ISOMETRICS

SITE LOCATION



CONSULTANTS

STRUCTURAL

370 E. WILSON BRIDGE ROAD WORTHINGTON, OHIO 43085 PHONE: 614.436.6465





90 Hidden Ravines Drive

EXPIRATION DATE: 10-31-2019

SUBMITTED: March 21, 2018 **MKC PROJECT: 17-066**

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F. WILLIAM SHIRK
No.
42985

03-21-18

SUBMITTED: March 21, 2018

S-101
FOUNDATION AND FRAMING PLAN

MKC PROJECT: 17-066

PERMIT SET

BOTTOM LVL BEAM =
BOTTOM OF FLOOR JOISTS

SIMPSON LUS28 FACE MOUNT HANGER AT EACH JOIST, TYP.

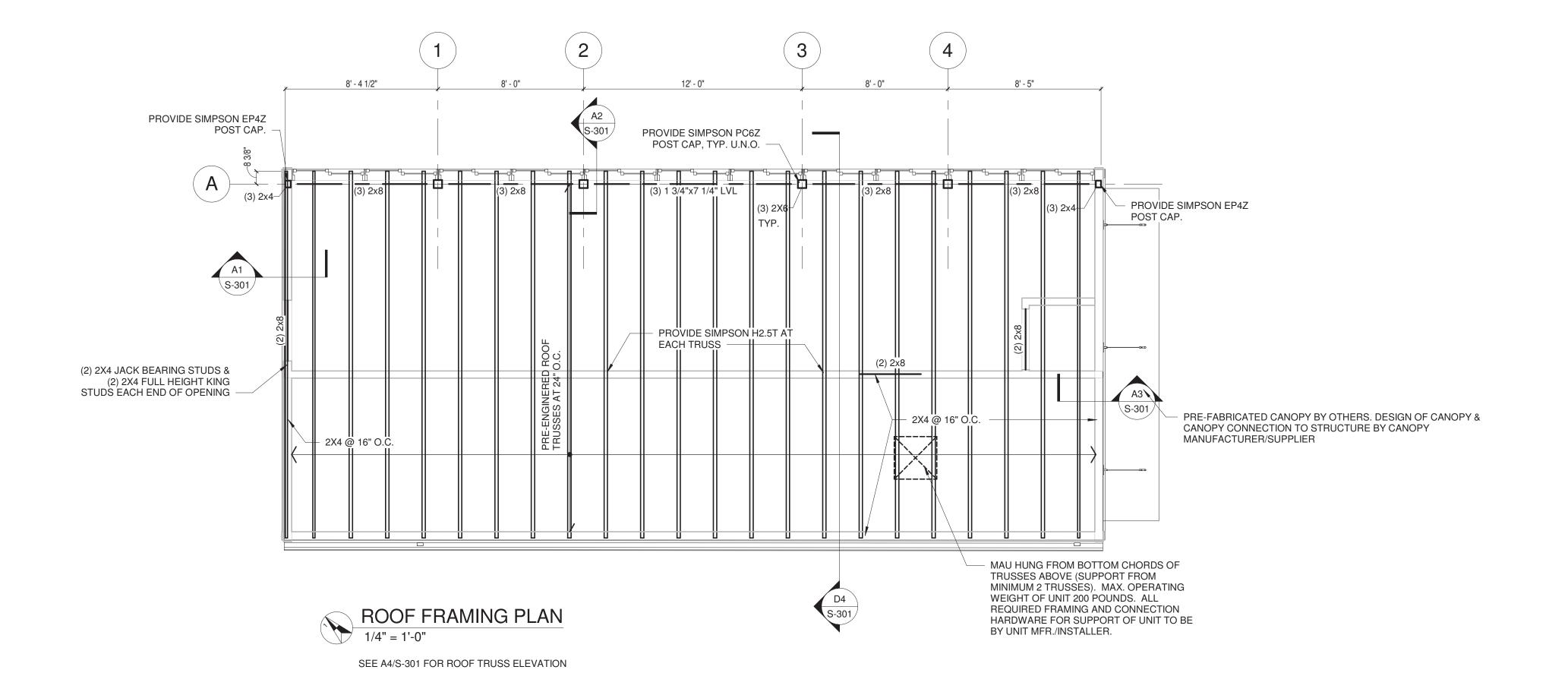
1/2" Ø THRU BOLTS @ 18" O.C. , TOP & BOTTOM, LOCATED 2" FROM TOP & BOTTOM OF BEAM —

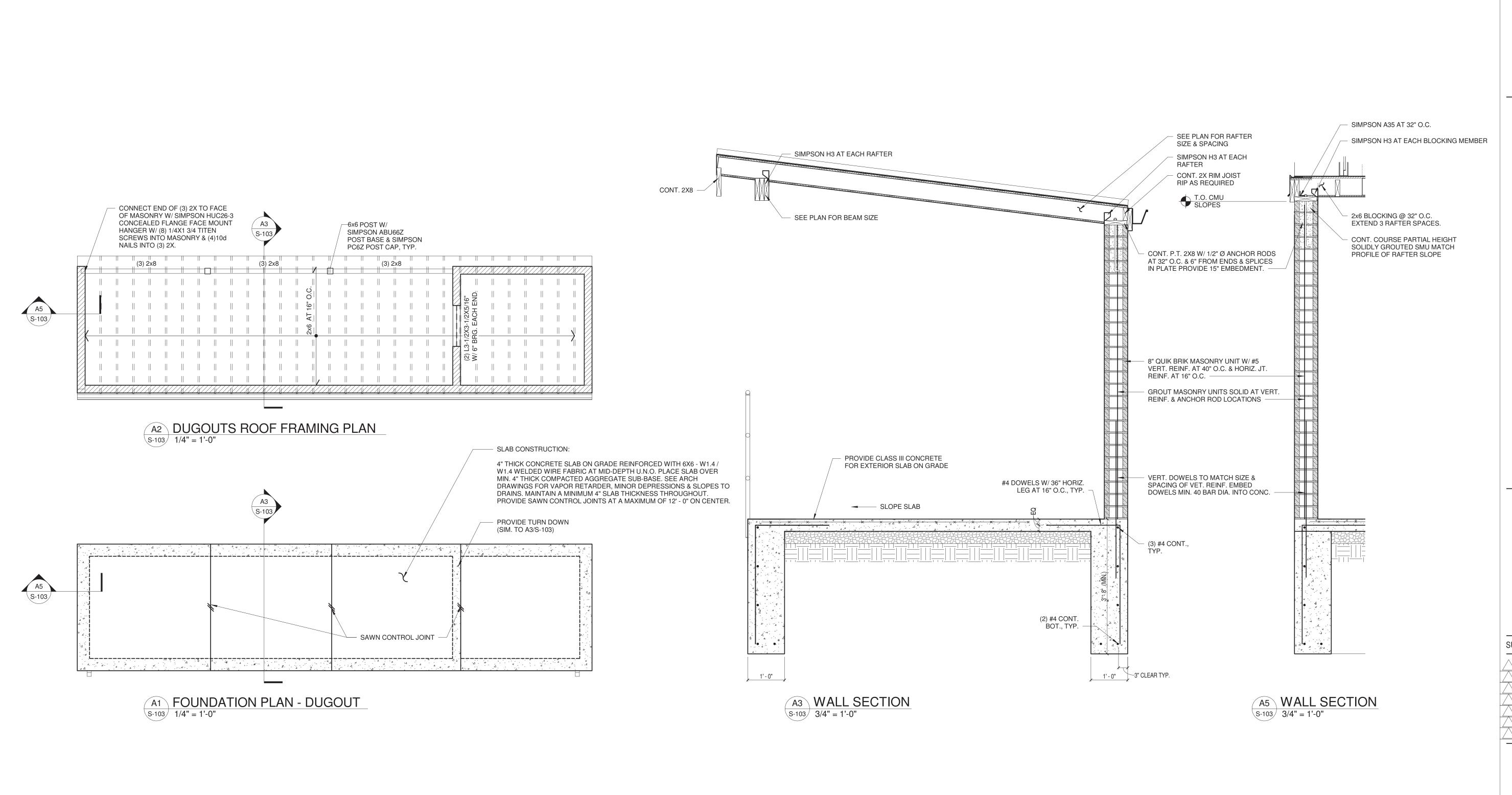
> A4 DETAIL S-101 1 1/2" = 1'-0"

03-21-18 SUBMITTED: March 21, 2018

ROOF FRAMING PLAN

MKC PROJECT: 17-066





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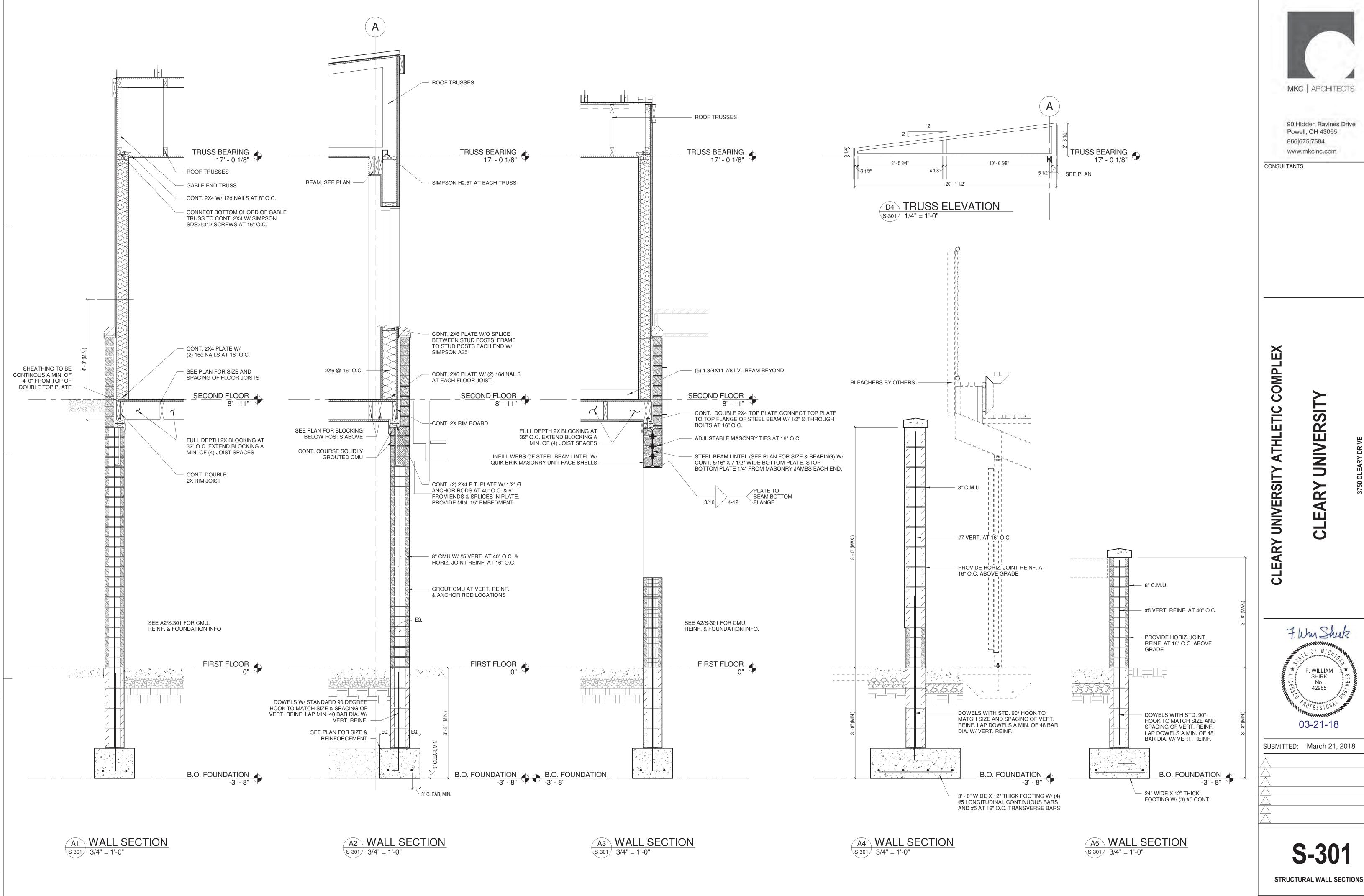
7. Wm Sheek SHIRK

SUBMITTED: March 21, 2018

S-103 DUGOUT FOUNDATION AND FRAMING

MKC PROJECT: 17-066

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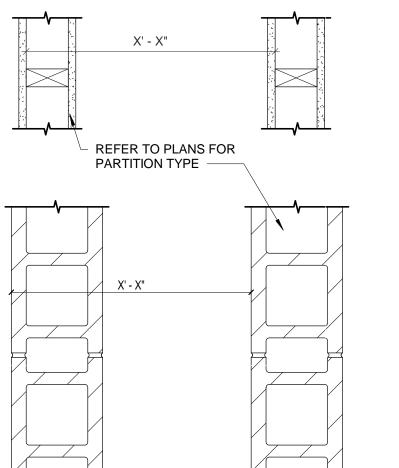
7. Wm Shuk

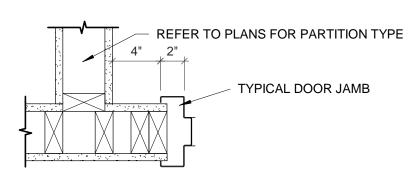
SUBMITTED: March 21, 2018

MKC PROJECT: 17-066

PERMIT SET

ARCHITECTURAL DIMENSIONING CONVENTIONS





AT TYPICAL DOOR JAMB

4" FROM INSIDE OF FRAME TO ADJACENT WALL AT HINGE SIDE - UNLESS NOTED OTHERWISE

TYPICAL DIMENSIONS

UNLESS NOTED OTHERWISE



ALL DIMENSIONS ARE TO FACE OF STUD/BLOCK

BUILDING CODE ANALYSIS: EDITION - BUILDING CODE: 2015 MICHIGAN BUILDING CODE - ENERGY CODE: 2015 MICHIGAN BUILDING CODE – CHAPTER 13

2009 MICHIGAN UNIFORM ENERGY CODE - CHAPTER 5 MICHIGAN UNIFORM ENERGY CODE, PART 10 a. Rules (ANSI/ASHRAE 90.1 – 2007) (effective March 9, 2011) - MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE - PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE

- ELECTRICAL CODE: NEC 2014 (STATE OF MICHIGAN ELECTGRICAL CODE) 2014 NATIONAL ELECTRICAL CODE WITH PART 8 AMMENDMENTS - ACCESSIBILITY CODES: 2015 MICHIGAN BUILDING CODE, CHAPTER 11 ICC ANSI A117.1-2009

PROJECT DESCRIPTION:
NEW CONCESSIONS AND PRESS BOX BUILDING WITH NEW BLEACHERS AND (2) NEW DUGOUTS.

2010 AMERICANS WITH DISABILITIES ACT

CHAPTER 3 - USE GROUP
304.1: B (BUSINESS) CONCESSIONS/PRESS BOX BUILDING & DUGOUTS 303.6: A-S (ASSEMBLY) BLEACHERS

FAIR HOUSING ACT

<u>CHAPTER 5 HEIGHT AND AREA LIMITATIONS:</u>
TABLE 504.3: ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE: 40 FEET PROVIDED = 24'-3" FEET TABLE 504.4: ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE: 2 STORIES PROVIDED = 2 STORIES TABLE 506.2: ALLOWABLE AREA: 9,000 SF ACTUAL = 959 SF (GROUND FLOOR)

CHAPTER 6 TYPES OF CONSTRUCTION:
CONSTRUCTION TYPE PER TABLE 601: TYPE VB FIRE RESISTANCE RATING OF BUILDING ELEMENTS: 1. PRIMARY STRUCTURAL FRAME: 0 HRS. 2. BEARING WALLS 0 HRS. A. EXTERIOR B. INTERIOR 0 HRS. 3. NONBEARING WALLS & PARTITION A. EXTERIOR (FIRE SEPARATION DISTANCE $X \ge 30$ PER TABLE 602) 0 HRS. B. INTERIOR 0 HRS. 4. FLOOR CONSTRUCTION 0 HRS. 0 HRS. 5. ROOF CONSTRUCTION

CHAPTER 7 - FIRE RESISTANCE RATED CONSTRUCTION: FIRE WALLS 706: NONE FIRE PARTITIONS 708: NONE SMOKE BARRIERS 709: NONE SMOKE PARTITIONS 710: NONE FLOOR AND ROOF ASSEMBLIES 711: NONE SHAFT ENCLOSURES 713:

CHAPTER 8 INTERIOR FINISHES: TABLE 803.11: - ROOMS AND ENCLOSED SPACES: CLASS C.

CHAPTER 9 FIRE PROTECTION SYSTEMS: 903.2.1.5 (GROUP A-5; PRESS BOX): AUTOMATIC SPRINKLER SYSTEM NOT REQUIRED. - PRESS BOX IS LESS THAN 1000 SF (ACTUAL AREA: 445 SF) PORTABLE FIRE EXTINGUISHERS:

- MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER = 75 FEET. - SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH 906.2 AND NFPA 10. CHAPTER 10 - MEANS OF EGRESS:

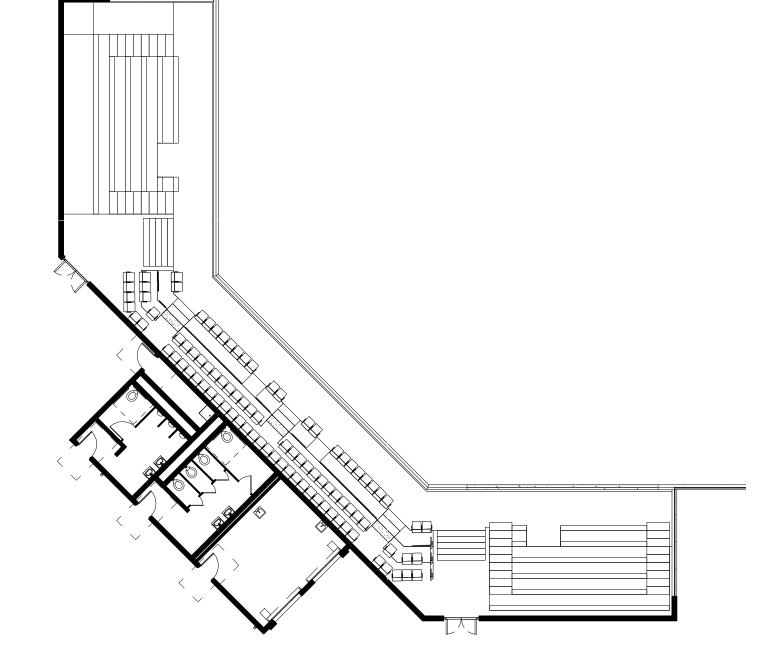
1004.0 DESIGN OCCUPANT LOAD: CONCESSIONS/PRESS BOX TABLE 1004.1.2: 100 GROSS SF - BUSINESS (B) 1ST FLOOR: 306 sf / 100 gross = 3.06 PEOPLE 2ND FLOOR: 445 sf / 100 gross = 4.45 PEOPLETOTAL OCCUPANCY = 7.51 PEOPLE

BLEACHERS: = 293 PEOPLE

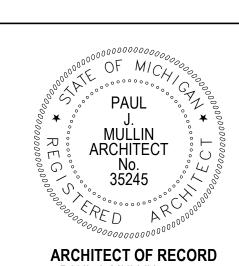
PARKING, ROUTE, AND ENTRANCE IS DESIGNED TO MEET REQUIREMENTS OF CHAPTER 11 AND ICC A117.1,

TABLE 1004.1.2: ACTUAL - BLEACHERS (A5)

REFER TO SITE PLAN DRAWINGS BY OTHERS. PRESS BOX ACCESS IN ACCORDANCE WITH 1104.3.2. - PRESS BOX IS LESS THAN 500 SF (ACTUAL AREA: 445 SF)







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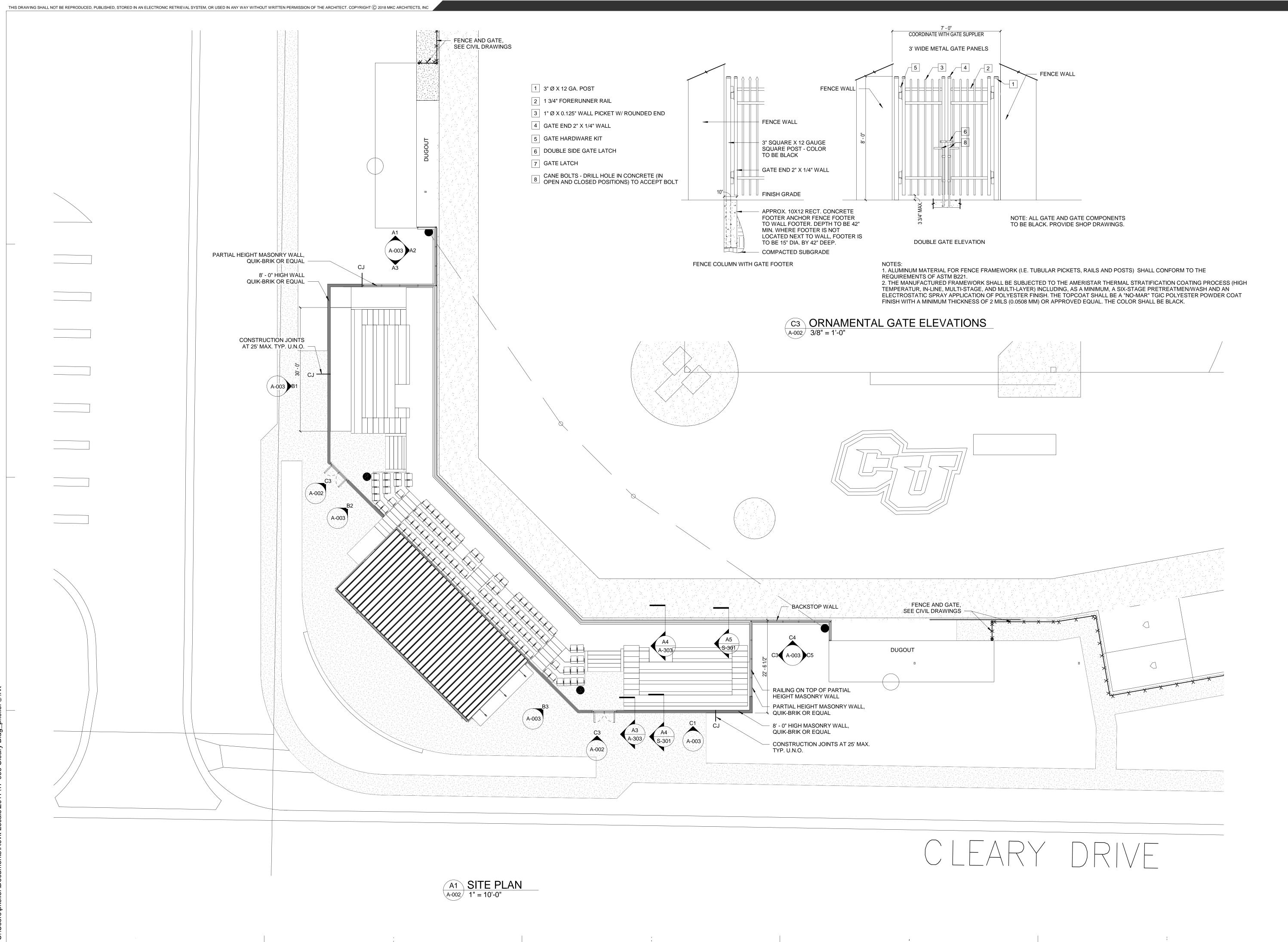
5

PAUL J. MULLIN - 35245 EXPIRATION DATE: 10-31-2019

SUBMITTED: March 21, 2018

MBC PLANS

MKC PROJECT: 17-066



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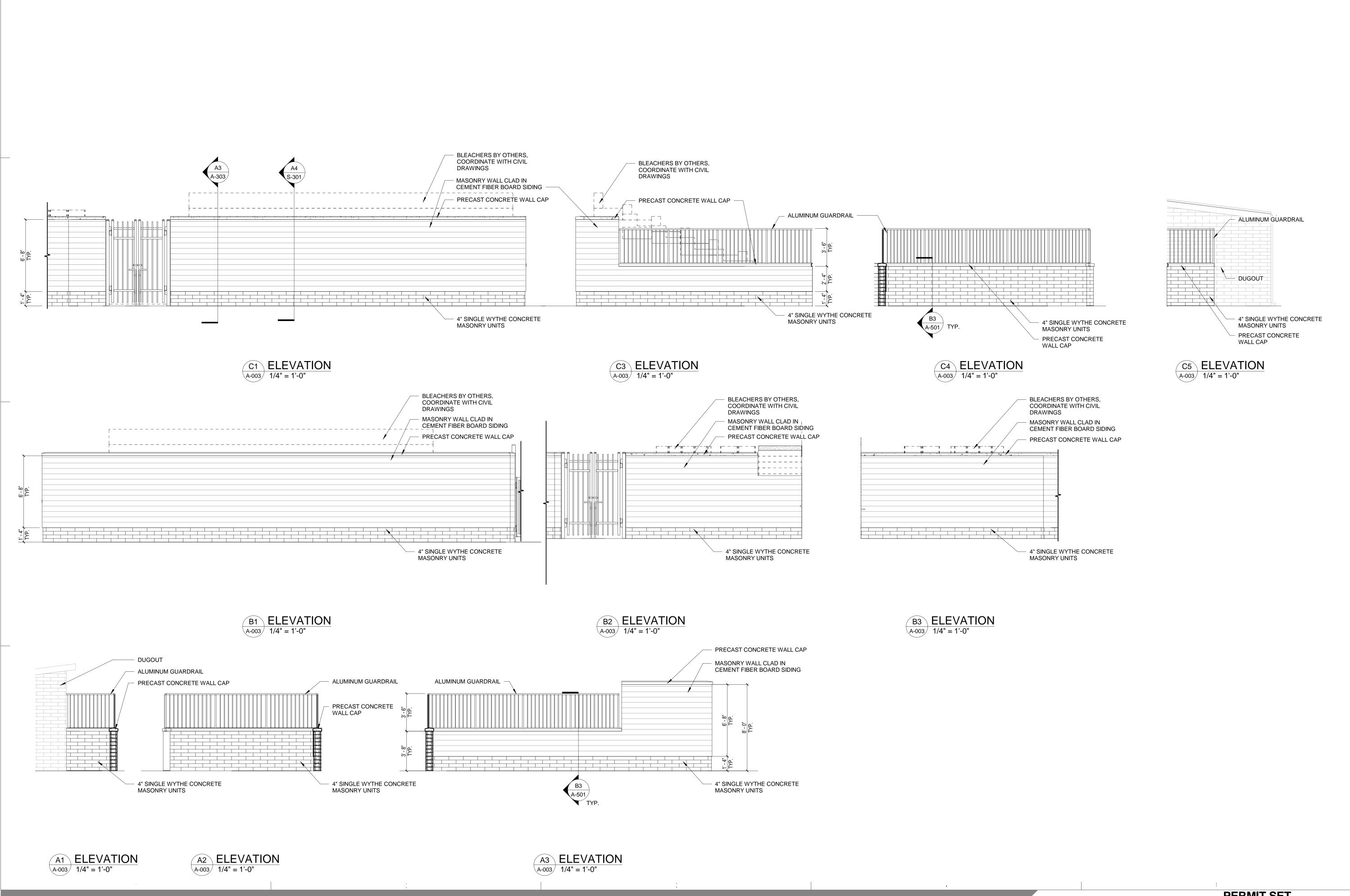
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A-002

SITE PLAN

MKC PROJECT: 17-066

PERMIT SET



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3750 CLEARY DRIVE HOWELL, MI 48843

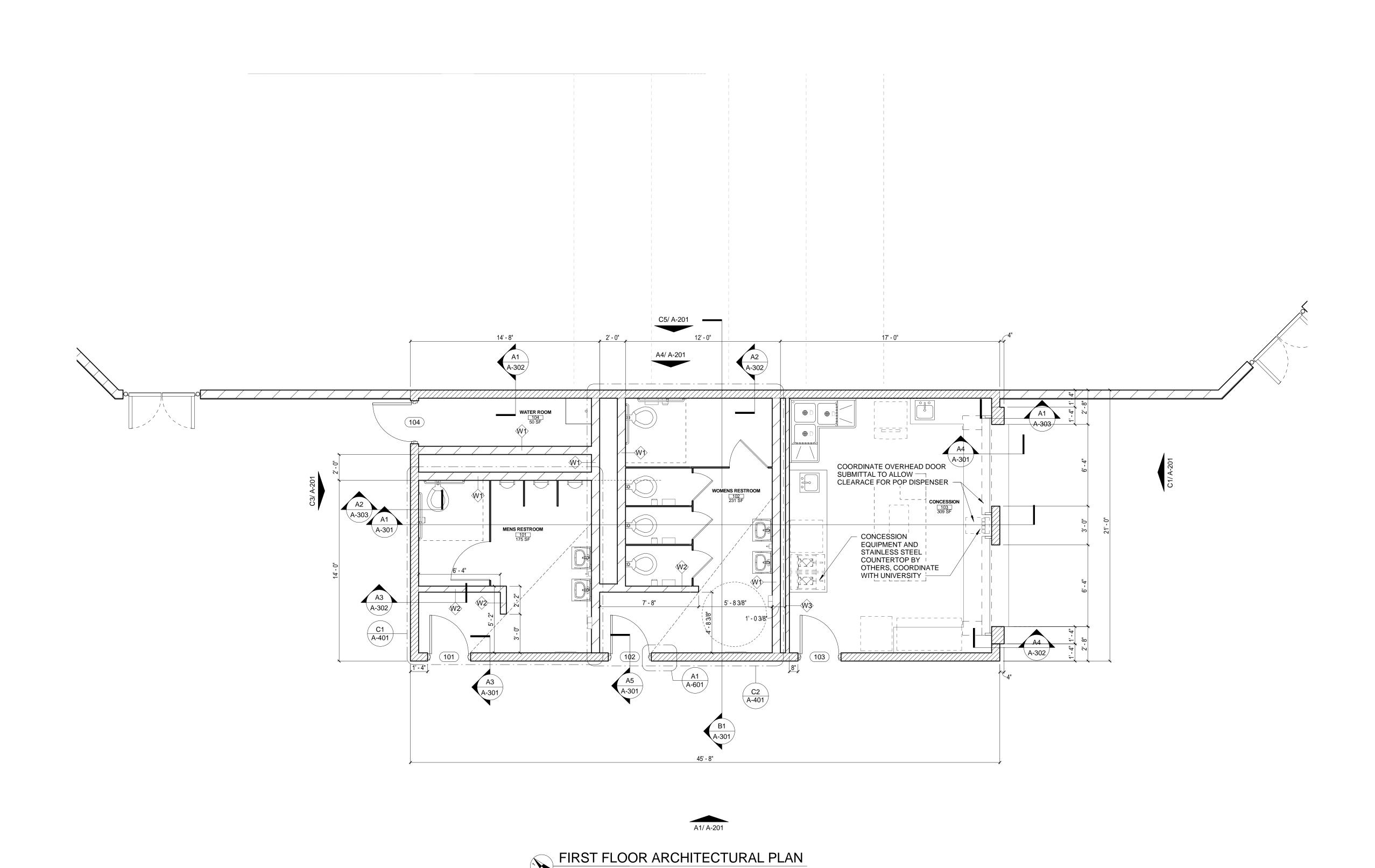
J. MULLIN ARCHITECT No. 35245 ARCHITECT OF RECORD PAUL J. MULLIN - 35245 EXPIRATION DATE: 10-31-2019

SUBMITTED: March 21, 2018

SITE ELEVATIONS

MKC PROJECT: 17-066

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SEE SHEET A-001 FOR PARTITION TYPES AND TYPICAL DIMENSIONING CONVENTIONS.

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PAUL

J.

MULLIN

ARCHITECT

No.

35245

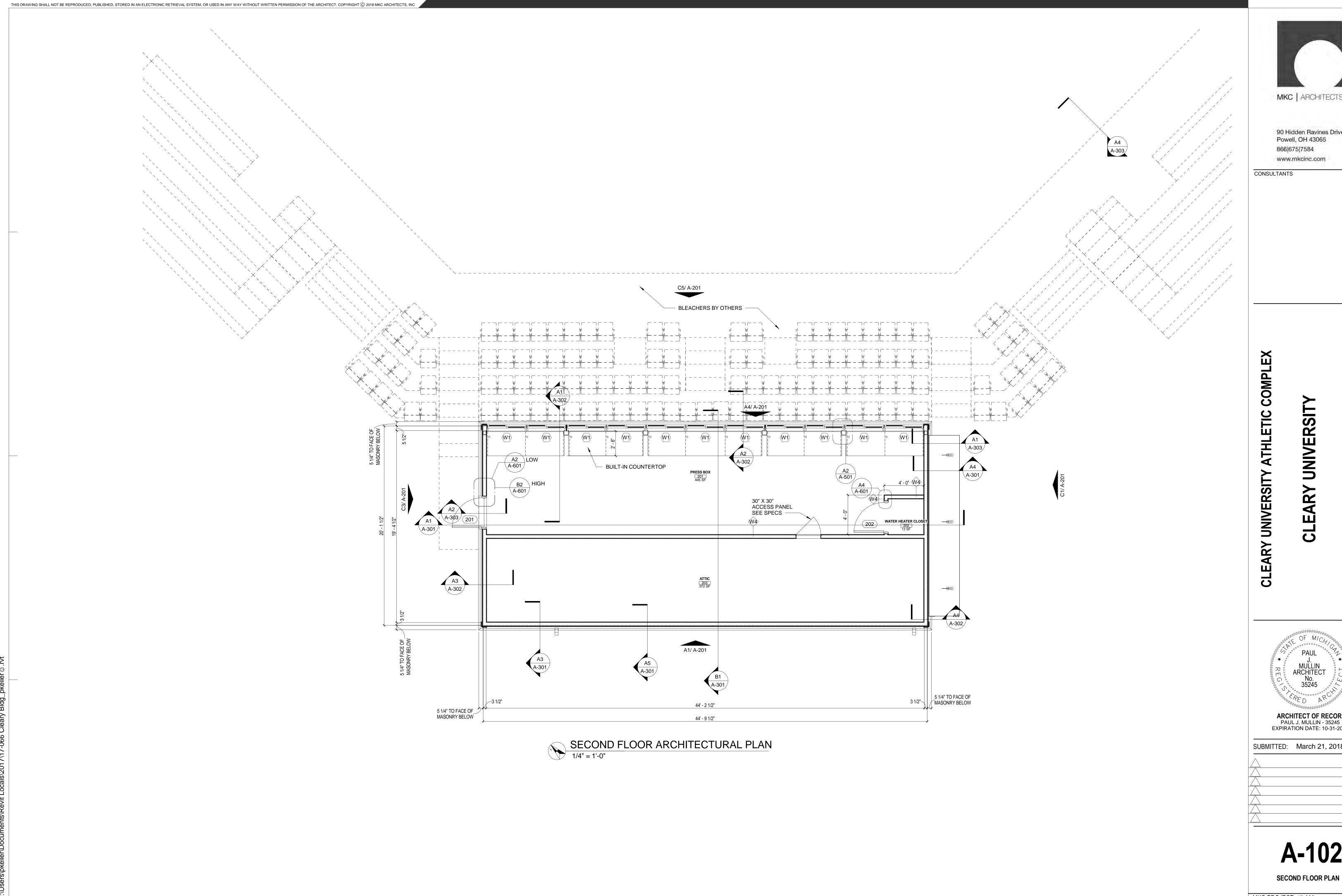
ARCHITECT OF RECORD PAUL J. MULLIN - 35245 EXPIRATION DATE: 10-31-2019

SUBMITTED: March 21, 2018

A-101
FIRST FLOOR PLAN

MKC PROJECT: 17-066

PERMIT SET





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ARCHITECT OF RECORD PAUL J. MULLIN - 35245 EXPIRATION DATE: 10-31-2019

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A-102

MKC PROJECT: 17-066

PERMIT SET



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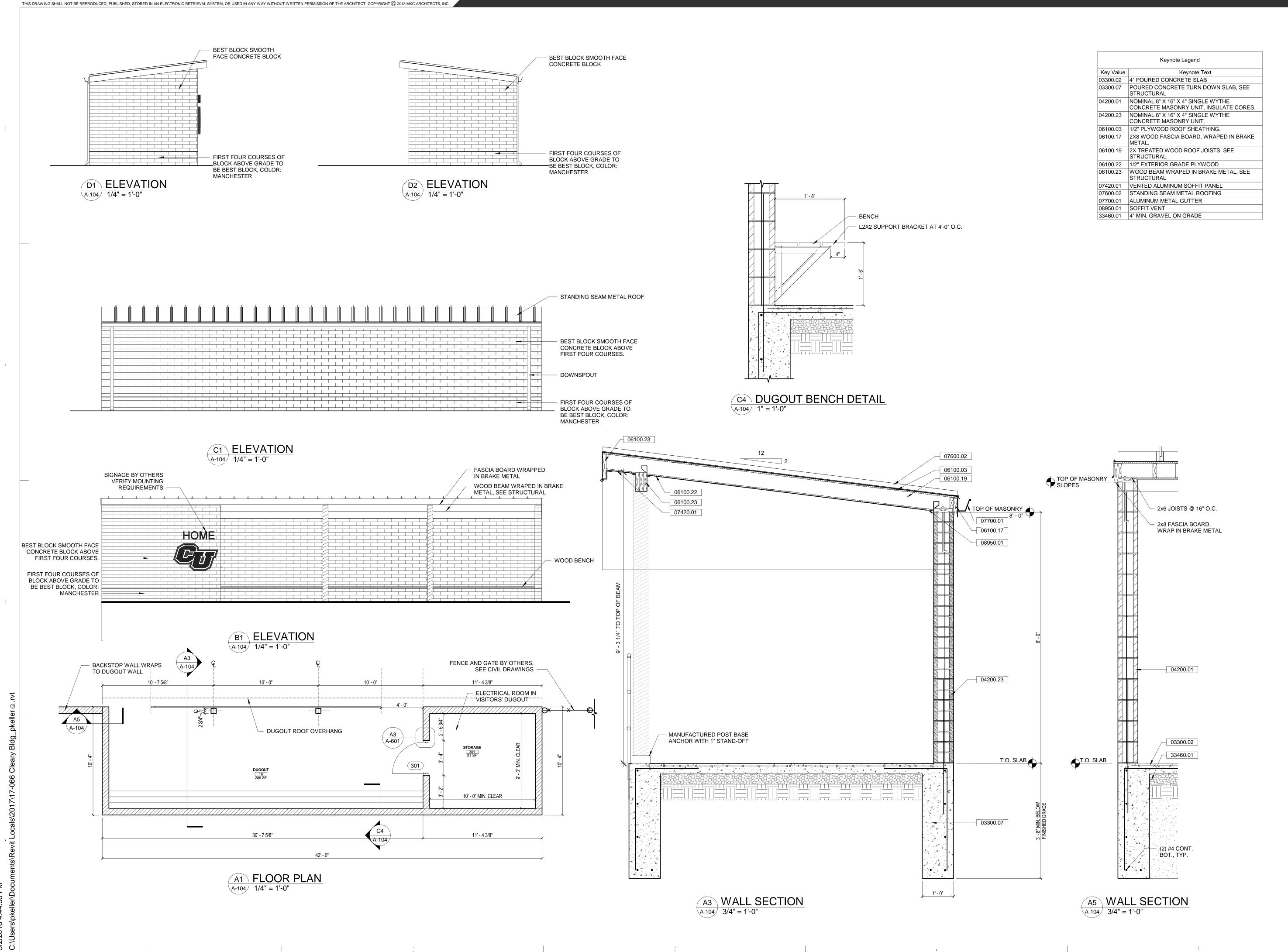


SUBMITTED: March 21, 2018

A-103
ROOF PLAN

MKC PROJECT: 17-066

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PAUL

WULLIN

ARCHITECT OF RECORD

ARCHITECT OF RECORD
PAUL J. MULLIN - 35245
EXPIRATION DATE: 10-31-2019

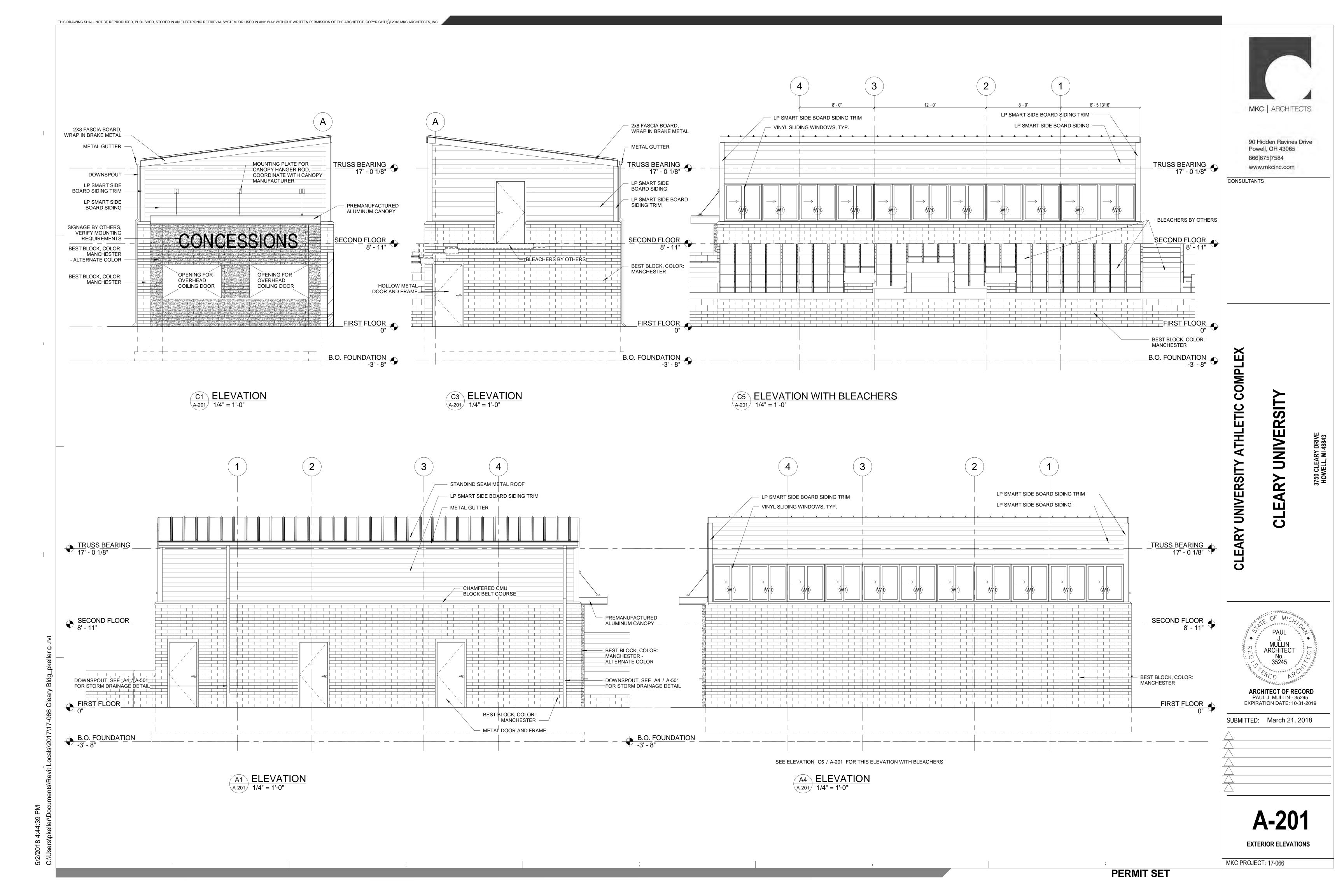
SUBMITTED: March 21, 2018

BMITTED: March 21, 2018

A-104

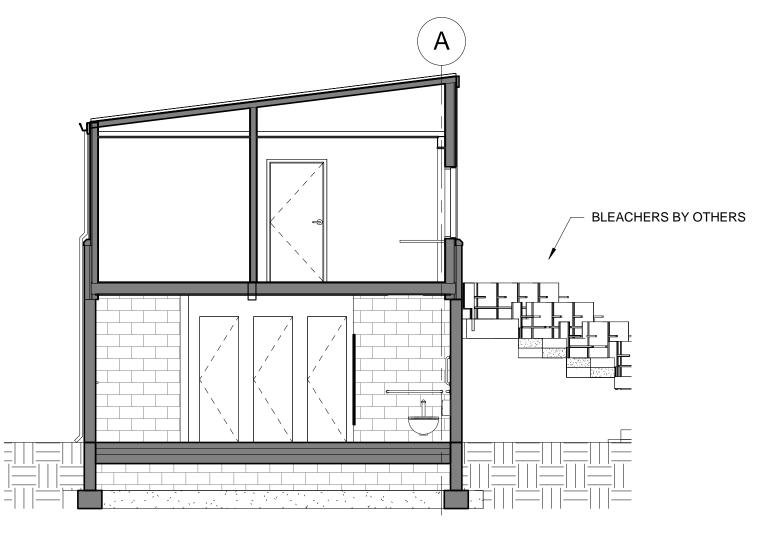
DUGOUT PLAN AND ELEVATIONS

MKC PROJECT: 17-066

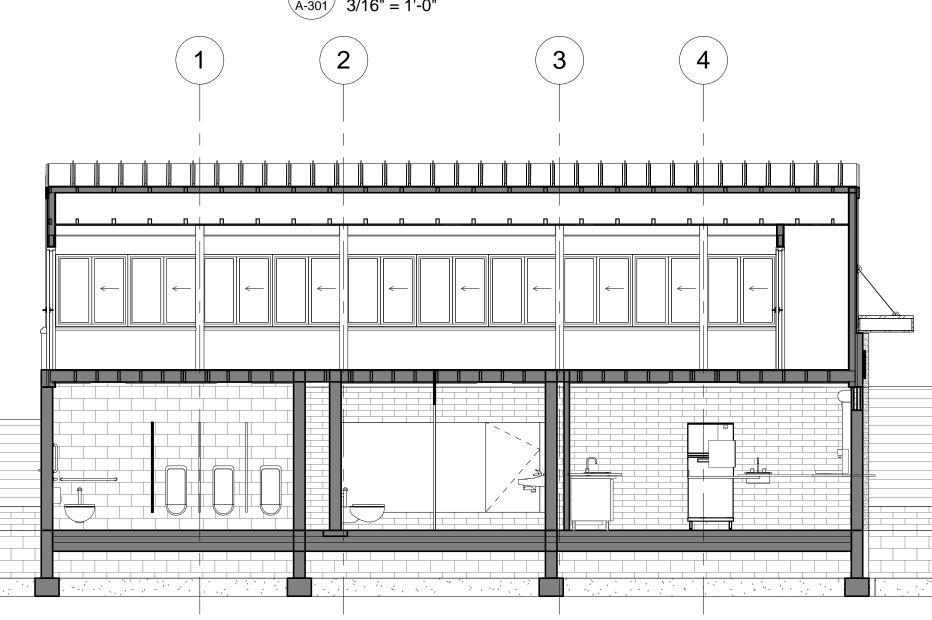


4" MIN. GRAVEL ON GRADE

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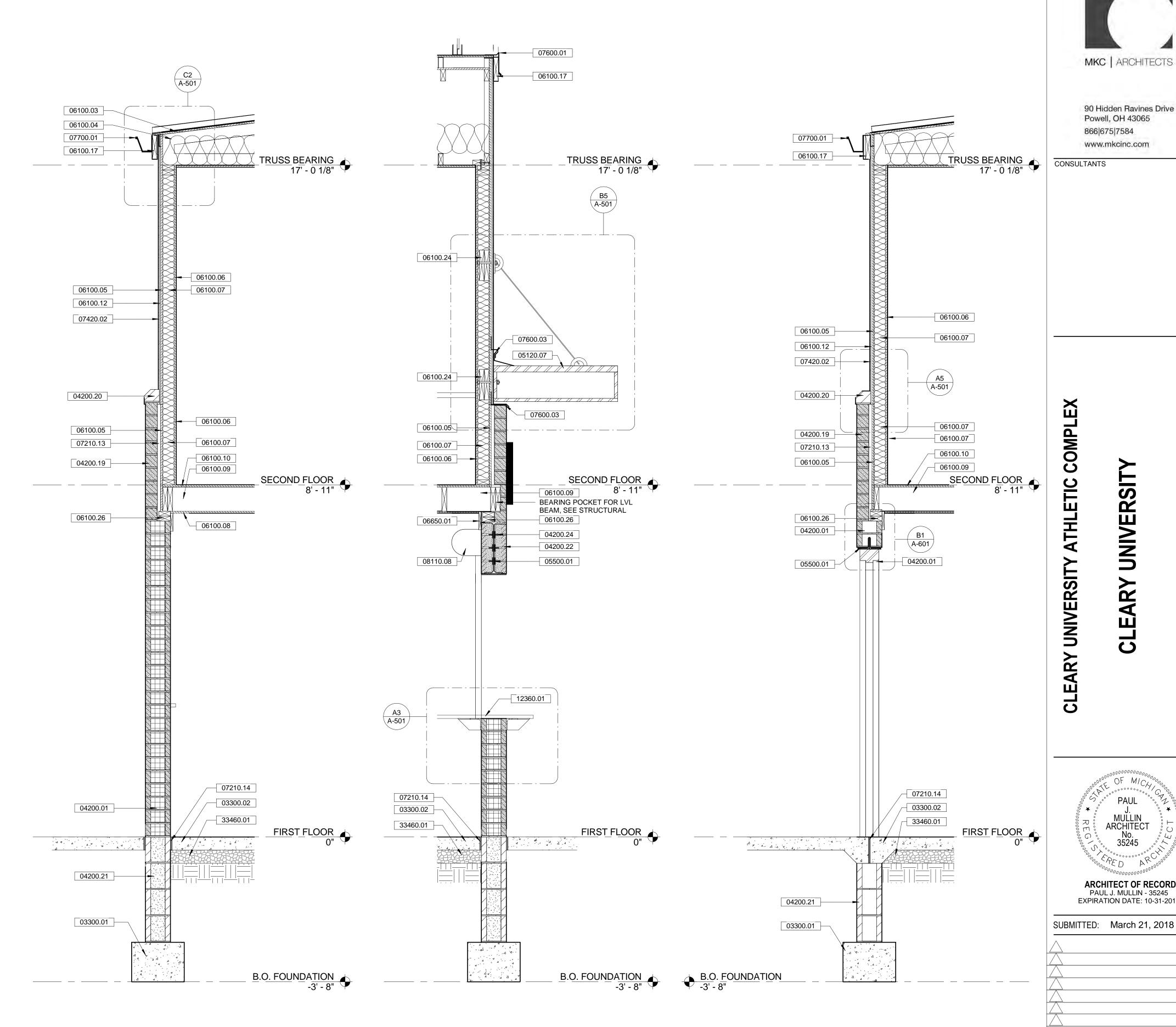


B1 BUILDING SECTION A-301 3/16" = 1'-0"



A1 BUILDING SECTION
A-301 3/16" = 1'-0"

A3 WALL SECTION
A-301 3/4" = 1'-0"



A4 WALL SECTION
A-301 3/4" = 1'-0"

PERMIT SET

A5 WALL SECTION 3/4" = 1'-0"

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J. MULLIN ARCHITECT No. 35245

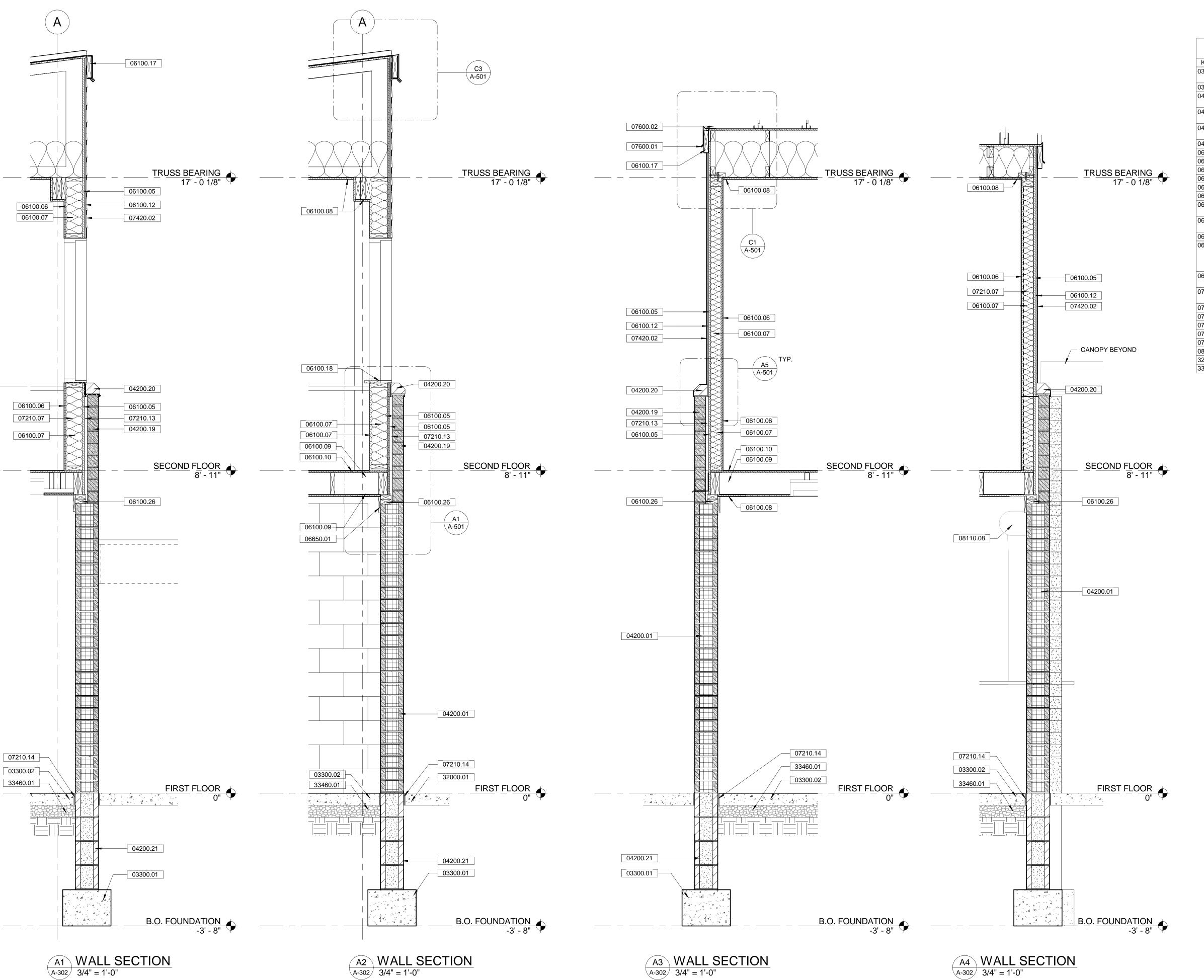
ARCHITECT OF RECORD PAUL J. MULLIN - 35245 EXPIRATION DATE: 10-31-2019

A-301

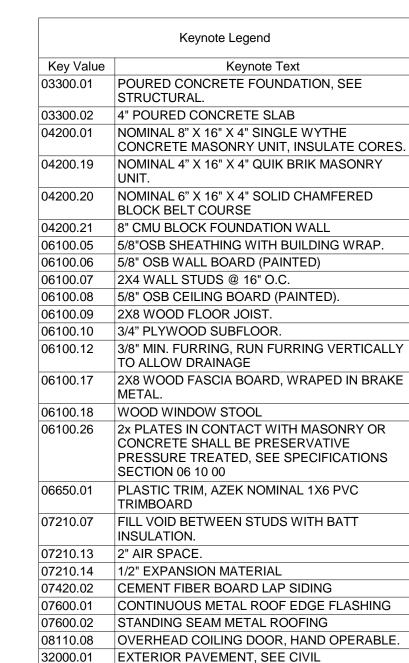
BUILDING AND WALL SECTIONS

MKC PROJECT: 17-066

3750 CL HOWEI



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33460.01 4" MIN. GRAVEL ON GRADE

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J. MULLIN ARCHITECT No. 35245

ARCHITECT OF RECORD
PAUL J. MULLIN - 35245
EXPIRATION DATE: 10-31-2019

SUBMITTED: March 21, 2018

A-302

WALL SECTIONS

MKC PROJECT: 17-066

TRUSS BEARING

17' - 0 1/8"

07600.01

06100.17

06100.05

07250.01

06100.12

07420.02

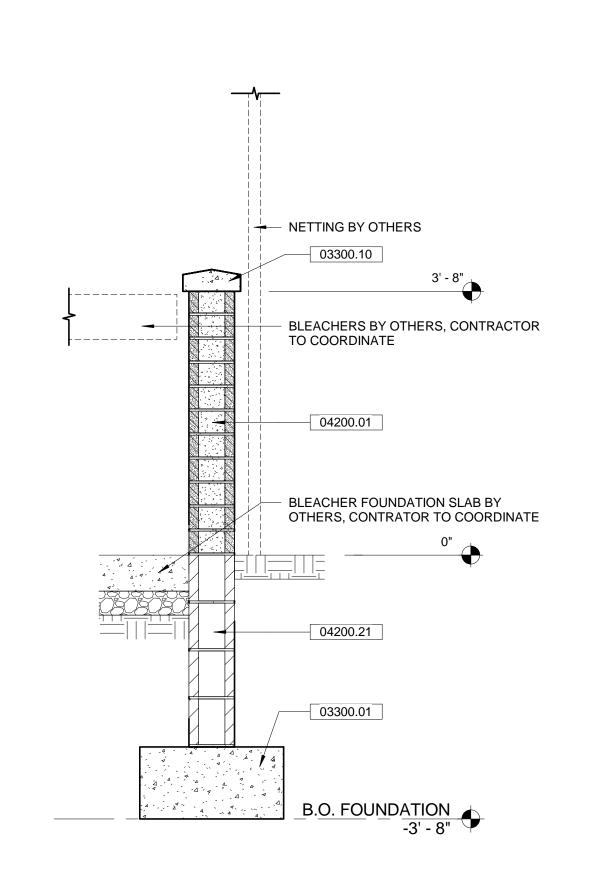
06100.08

06100.06

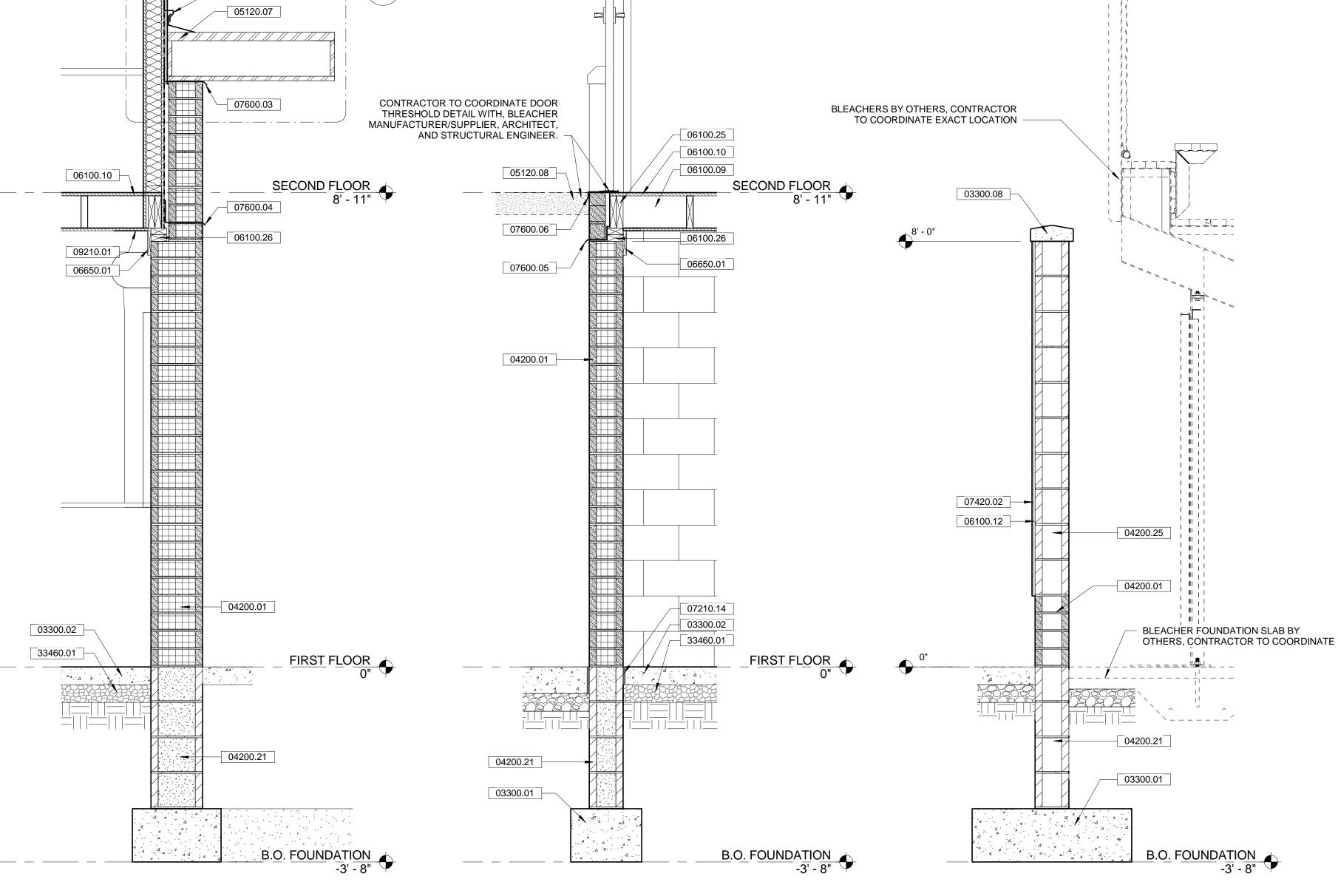
07210.07

06100.07

A1 WALL SECTION
A-303 3/4" = 1'-0"



A4 WALL SECTION
A-303 3/4" = 1'-0"



A2 WALL SECTION A-303 3/4" = 1'-0"

A3 WALL SECTION
A-303 3/4" = 1'-0"

TRUSS BEARING 17' - 0 1/8"

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SUBMITTED: March 21, 2018

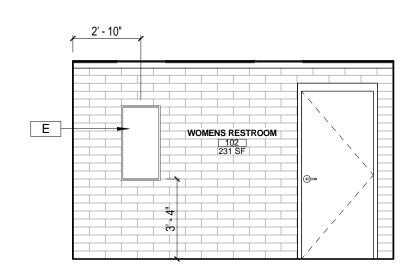
A-303

WALL SECTIONS

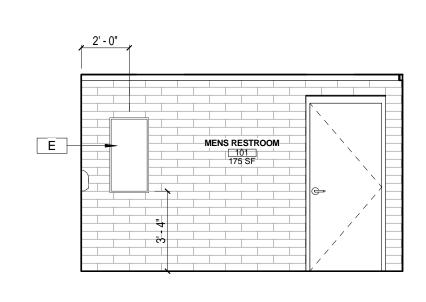
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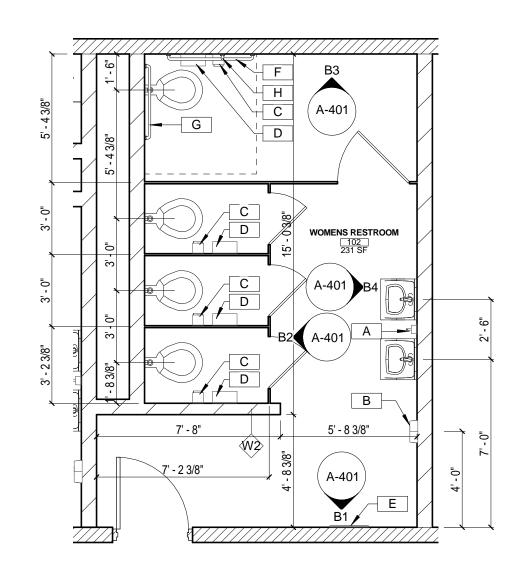




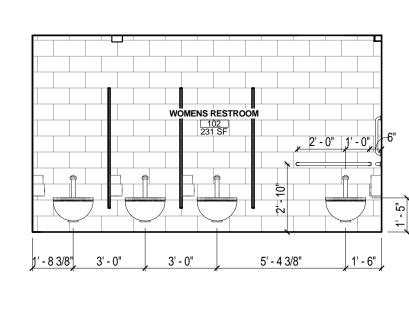
B1 ELEVATION A-401 1/4" = 1'-0"



A1 ELEVATION A-401 1/4" = 1'-0"



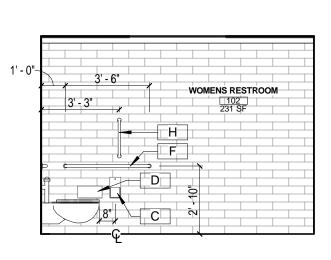
C2 TOILET ROOM PLAN A-401 1/4" = 1'-0"



B2 ELEVATION A-401 1/4" = 1'-0"

MENS RESTROOM

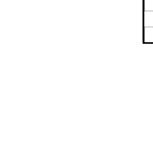
A2 ELEVATION A-401 1/4" = 1'-0"

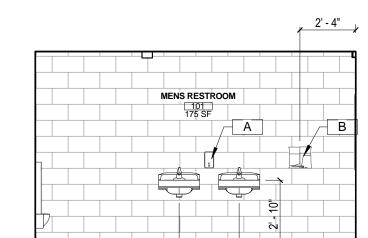


B3 ELEVATION A-401 1/4" = 1'-0"

2' - 7 1/2" 2' - 7 1/2" 1 - 3 3/8"

A3 ELEVATION A-401 1/4" = 1'-0"





4' - 0"

WOMENS RESTROOM

2' - 6"

B4 ELEVATION A-401 1/4" = 1'-0"

A4 ELEVATION A-401 1/4" = 1'-0"

2' - 6"

GENERAL NOTES RESTROOMS

- 1. ALL LAVATORY FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVE CONTROL SHALL BE NO GREATER THAN 5 LBS.
- 2. ALL TOILET AND URINAL CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVE CONTROL SHALL BE NO GREATER THAN 5 LBS. CONTROLS SHALL BE MOUNTED ON THE OPEN SIDE OF THE TOILET STALL AND NO MORE THAN 44" A.F.F.
- 3. REFER TO DETAILS FOR REQUIRED CLEAR FLOOR AREAS AROUND ADA PLUMBING FIXTURES.
- 4. HOT WATER AND DRAIN LINES UNDER LAVATORIES SHALL BE INSULATED, OR COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES BENEATH THE LAV.
- 5. MOUNT TOILET ACCESSORIES IN THE LOCATION INDICATED ON THE PLANS AND TO THE HEIGHT DETAILED ON THIS SHEET.
- 6. EACH ADA RESTROOM SHALL HAVE A CLEAR 60" DIA. AREA IN WHICH TO TURN A WHEELCHAIR.
- 7. THE ADA TOILET COMPARTMENT DOOR SHALL BE EQUIPPED WITH A SELF-CLOSING DOOR, HAVING A CLEAR UNOBSTRUCTED OPENING OF 32" AND A POSITIVE LATCHING MECHANISM THAT DOES NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST TO OPEN.
- 8. REFER TO DETAILS ON THIS SHEET FOR GRAB BAR REQUIRMENTS TO ADA TOILETS, GRAB BARS SHALL BE 1 1/2" DIA., BE MOUNTED EXACTLY 1 1/2" OFF WALL, AND SHALL BE ABLE TO SUPPROT A 250 LBS. FORCE.

RESTROOM ACCESSORY SCHEDULE			
NO.	DESCRIPTION	MOUNTING HEIGHT	NOTES
Α	SOAP DISPENSER	40" TO BOTTOM	SPEC. 10 28 00
В	ELECTRIC HAND DRYER	48" TO DISPENSER	SPEC. 10 28 00
С	TOILET TISSUE DISPENSER	18" TO BOTTOM	SPEC. 10 28 00
D	SANITARY NAPKIN DISPOSAL UNIT	18" TO BOTTOM	SPEC. 10 28 00
Е	MIRROR UNIT	40" TO BOTTOM	SPEC. 10 28 00
F	GRAB BAR - 42"	34" TO CENTERLINE	SPEC. 10 28 00
G	GRAB BAR - 36"	34" TO CENTERLINE	SPEC. 10 28 00
Н	GRAB BAR - 18"	48" TO CENTERLINE	SPEC. 10 28 00



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SUBMITTED: March 21, 2018

TOILET ROOMS

MKC PROJECT: 17-066

PERMIT SET

GENOA CHARTER TOWNSHIP PLANNING COMMISSION PUBLIC HEARING APRIL 9, 2018 6:30 P.M. MINUTES

<u>CALL TO ORDER:</u> The meeting of the Genoa Charter Township Planning Commission was called to order at 6:30 p.m. Present were Chairman Doug Brown, Jim Mortensen, Eric Rauch, Chris Grajek, Jill Rickard and Marianne McCreary. Absent was John McManus. Also present was Kelly VanMarter, Community Development Director/Assistant Township Manager, Brian Borden of LSL Planning, Gary Markstrom of Tetra Tech, and an audience of 11.

<u>PLEDGE OF ALLEGIANCE:</u> The pledge of allegiance was recited.

APPROVAL OF AGENDA:

Moved by Commissioner Grajek, seconded by Commissioner Mortensen, to approve the agenda as presented.

CALL TO THE PUBLIC: The call to the public was made at 6:32 pm with no response.

OLD BUSINESS

OPEN PUBLIC HEARING # 1... Review of a special use, site plan and environmental impact assessment for a proposed commercial outdoor display, sales and storage area for a new Family Farm and Home store. The property in question is located in the former TJ Maxx retail space at 3685 E. Grand River Avenue, Howell 48843. The request is petitioned by Family Farm and Home.

Planning Commission Recommendation of Petition:

- A. Recommendation of Special Use Application.
- B. Recommendation of Environmental Impact Assessment (1-4-18).
- C. Recommendation of Site Plan (3-29-18).

Mr. Martin Renel of ASHMARK Construction and Mr. Jeff Smith, representing the property owner, were present. They believe that they have addressed all of the concerns from the last meeting. Mr. Renel reviewed the revisions that have been made.

Mr. Borden agrees that the outstanding items have been addressed, specifically the reduction in impervious surface, ensuring the sidewalk is at least seven-feet-wide between the building and the fence, and providing the cross access easement to the Meijer property to the east. He noted that the Planning Commission will have to approve the screen fencing in lieu of Buffer Zone B.

Mr. Markstrom agrees that the applicant has noted on the plans that they will provide a cross access easement for future connection to the Meijer property to the east; however, they have not provided the legal description and paperwork. He noted that since the impervious surface was reduced, the applicant's detention basin calculations will need to be revised.

Additionally, since the latest set of plans was submitted today, he has not been able to review the fire hydrant details; however, they should meet MHOG requirements. He will need to review the calculations for the change in curbing on the east side of the site to determine if they meet the turning radius requirements. He believes he can do this prior to this item being presented to the Township Board.

Chairman Brown reviewed the Brighton Area Fire Department's letter dated April 3, 2018. Mr. Renel stated he spoke with Mr. Boisvert after he received that letter and they have complied with and/or clarified his concerns and comments.

The Call to the Public was made at 6:59 pm.

Ms. Bobbi Squires, who is a resident of Genoa Township, has concerns regarding Family Farm and Home. She is concerned with the overall quality of the plaza, specifically the lighting. She would like the applicant to address the safety of the plaza due to the robbery that occurred at one of their stores in Cedar Springs where guns were stolen. She questioned if they plan to offer a competitive retail wage and asked how many employees they plan to hire. The community should welcome development; however, this plaza has a lot of problems, and the existing business owners deserve a safe plaza. There are also many other similar retailers in the area that offer the same types of products. This causes a saturation of the market. She believes the Township needs to bring different types of businesses to the area.

Commissioner Mortensen stated the only reason this item is before the Planning Commission is because the applicant would like to have outside storage. If that was not proposed, the property owner would be able to move one retailer out and another one in. He agrees with Ms. Squires' comments regarding the overall condition of the plaza; however, the Township has limited ability to require the property owner to make improvements. He believes that the proposed business is a quality company.

The call to the public was closed at 7:10 pm.

Moved by Commissioner Mortensen, seconded by Commissioner Rickard, to recommend to the Township Board approval of the Special Land Use Application from Family Farm and Home for outside storage at the former TJ Maxx site, subject to the following:

- Compliance with the site plan descriptions and conditions noted on the site plan dated March 2, 2018 and revised April 9, 2018, which may be subject to further modifications prior to it being presented to the Township Board of Trustees meeting.
- The conditions of the Special Land Use Permit shall be as contained in the Environmental Impact Assessment dated January 4, 2018 with the specific condition that the materials stored outside will not be in an opened condition, which means they will be as packaged by the supplier.
- This recommendation is made because the Planning Commission believes that the conditions of Sections 19.03 and 7.02.02 (d) of the Township Ordinance are met.
- The applicant will maintain a five-foot clearance along the front of the building for pedestrian circulation.

The motion carried unanimously.

Moved by Commissioner Mortensen, seconded by Commissioner Grajek, to recommend to the Township Board approval of the Environmental Impact Assessment dated January 4, 2018 from

Family Farm and Home for outside storage at the former TJ Maxx site. **The motion carried unanimously.**

Moved by Commissioner Mortensen, seconded by Commissioner Grajek, to recommend to the Township Board approval of the Site Plan dated March 29, 2018 from Family Farm and Home for outside storage at the former TJ Maxx site, with minor revisions made on April 9, 2018 subject to the following:

- The cross-access easement shown on the site plan will require the petitioner to develop language satisfactory to the Township Attorney regarding the easement, which will be completed prior to issuance of a land use permit.
- Any signage proposed will require the approval and a permit from the Township prior to installation.
- The location of the fire hydrant and confirmation of the location of the water main will be done with the Township Engineer and Brighton Area Fire Authority prior to it being presented to the Township Board of Trustees meeting.
- The drive aisle curve will be examined and either redesigned or confirmed that an
 easement on the Wendy's property exists permitting that location. If the drive aisle
 curve and hydrant location require minor adjustments to the site plan, it can be
 approved by the Township Engineer and staff prior to it being presented to the
 Township Board of Trustees meeting.
- A revised site plan shall be provided and revised and approved by the Township Engineer prior to it being presented to the Township Board of Trustees meeting.

The motion carried unanimously.

OPEN PUBLIC HEARING #2... Review of a sketch plan for a proposed pavilion and canopy located at the existing Oak Pointe Country Club located at 4500 Club Drive, Brighton. The request is petitioned by Ventures Design.

Planning Commission Disposition of Petition:

A. Disposition of Sketch Plan. (3-16-18)

Mr. Loch Durrant and Mr. Jacob Lubig of Ventures Design were present. Mr. Durrant stated they are proposing to build accessory structures around the pool area in Oak Point. They would like to put in covered seating, an open air pavilion, and a brick paver patio.

They have provided the fire retardant information this evening as required by the Brighton Area Fire Department.

They questioned if the 10-foot setback requirement is for the overhang or the wall. Ms. VanMarter stated it is to the building wall. It was concluded that the setback will therefore be met.

Mr. Borden stated that the concerns in his letter dated March 28, 2018 have been met.

Mr. Markstrom stated that the petitioner has not provided site drainage calculations to include the additional impervious surfaces. Mr. Durrant provided the information of how the surface water will flow on the site. Mr. Markstrom is satisfied with what Mr. Durrant has provided.

The Call to the Public was made at 7:36 pm with no response.

Motion by Commissioner Mortensen, seconded by Commissioner Grajek, to approve the Sketch Plan dated March 16, 2018 for a proposed pavilion and canopy located at the existing

Oak Pointe Country Club located at 4500 Club Drive, Brighton subject to the applicant meeting the requirements of the Brighton Area Fire Authority's letter dated April 3, 2018. **The motion carried unanimously**.

OPEN PUBLIC HEARING #3... Review of a site plan amendment for proposed building design and material modifications to the previously approved Hampton Inn and Suites located on a vacant 2.56 acre site southwest of the Grand Oaks Drive and Latson Road Intersection. The request is petitioned by Bowers and Associates.

Planning Commission Recommendation of Petition:

A. Recommendation of Site Plan Amendment (3-23-18)

Mr. Scott Bowers of Bowers & Associates and Mr. Chris Adwell, representing the property owner, were present. Mr. Bowers stated that since they received their previous approval, Hampton Inn & Suites has made changes to their brand design. They are removing the large pillars and will now have a stepping-type facade. They have amended the plan to increase the masonry on the building and meet the Ordinance requirements per Mr. Borden's letter. He showed colored renderings and proposed building materials.

Ms. VanMarter showed renderings of the previously-approved building. The Commissioners discussed their opinions regarding the two different building designs.

The Call to the Public was made at 7:56 pm with no response.

Moved by Commissioner Mortensen, seconded by Commissioner Rauch, to recommend to the Township Board approval of the Site Plan Amendment dated March 23, 2013 with subsequent revisions changing the white metal to a sandstone color and increasing the materials to 80 percent, which meets the Township Ordinance, with the following conditions:

- Confirmation by Township staff of the calculation regarding the mix of materials as stated this evening by the petitioner.
- The renderings, which will be updated prior to submission to the Township Board, are approved and will become Township property.

The motion carried unanimously.

Administrative Business:

Staff Report

Ms. VanMarter stated the joint meeting between the Planning Commission, the Township Board and the ZBA will be held on Monday, April 30th at 6:30 pm to discuss the plans for the South Latson area.

There will be two items on the May Planning Commission agenda.

Approval of the March 12, 2017 Planning Commission meeting minutes

Moved by Commissioner McCreary, seconded by Commissioner Mortensen, to approve the minutes of the March 12, 2018 Planning Commission Meeting as presented. **The motion carried unanimously.**

• Member Discussion

Commissioner Mortensen asked if hard copies of the plans can be submitted so they are easier to read. Ms. VanMarter stated they can have the applicants provide hard copies and would be available to be picked up on the Friday before a meeting. Commissioners Rickard and Mortensen would prefer paper copies.

<u>Adjournment</u>

Moved by Commissioner Grajek, seconded by Commissioner Rickard, to adjourn the meeting at 8:06 pm. The motion carried unanimously.

Respectfully Submitted,

Patty Thomas, Recording Secretary