

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting

August 3, 2015

6:30 p.m.

AGENDA

Call to Order:

Pledge of Allegiance:

Call to the Public*:

Approval of Consent Agenda:

1. Payment of Bills.
2. Request to Approve Minutes: July 20, 2015
3. Request for approval of annual rate adjustments for Lake Edgewood Water and Pine Creek Sewer and Water customers as recommended by Greg Tatara, Utility Director.
4. Consider approval of a contract services proposal from the Livingston County Economic Development Council.

Approval of Regular Agenda:

5. Clarification of previous action related to the Livingston Christian School special use application at Brighton Church of Nazarene.
6. Consideration of an environmental impact assessment and site plan for a proposed 3,954 square foot Culver's Restaurant, located on a vacant lot south of Grand River Avenue and west of Latson Rd., Howell, Michigan, parcel #4711-05-400-066. The request is petitioned by Metro Design & Build, Inc.
 - A. Disposition of Environmental Impact Assessment received on 07-24-15
 - B. Disposition of Final PUD Site Plan dated 07-24-15
7. Request to approve the order of the Hearing Officer for removal of the dangerous building located 1112 Chemung Drive.

Correspondence
Member Discussion
Adjournment

*Citizen's Comments- In addition to providing the public with an opportunity to address the Township Board at the beginning of the meeting, opportunity to comment on individual agenda items may be offered by the Chairman as they are presented.

CHECK REGISTERS FOR TOWNSHIP BOARD MEETING

DATE: August 3, 2015

TOWNSHIP GENERAL EXPENSES: Thru August 3, 2015	\$67,363.70
July 31, 2015 Bi Weekly Payroll	\$80,961.45
August 3, 2015 Monthly Payroll	\$11,434.18
OPERATING EXPENSES: Thru August 3, 2015	\$143,949.77
TOTAL:	<u>\$303,709.10</u>

<u>Check Number</u>	<u>Vendor No</u>	<u>Vendor Name</u>	<u>Check Date</u>	<u>Check Amount</u>
31959	Allstar	Allstar Alarm LLC	07/17/2015	270.00
31960	BoyneUSA	Boyne USA Resorts	07/17/2015	799.35
31961	EHIM	EHIM, INC	07/17/2015	1,402.27
31962	JOHNSONR	Johnson, Rosati, Schultz & Jop	07/17/2015	87.50
31963	LSL	LSL Planning, Inc.	07/17/2015	3,337.43
31964	Mancuso	Mancuso & Cameron, P.C.	07/17/2015	3,373.00
31965	Tetra Te	Tetra Tech Inc	07/17/2015	9,040.00
31966	VANMART	Kelly VanMarter	07/17/2015	162.56
31967	VERIZONW	Verizon Wireless	07/17/2015	332.16
31968	LivCTrea	Livingston County Treasurer	07/23/2015	29.00
31970	MichMuni	Michigan Municipal Risk Mgmt A	07/23/2015	25,311.39
31971	VERIZONW	Verizon Wireless	07/23/2015	249.29
31972	CARDM	Chase Card Services	07/28/2015	10,182.59
31973	COMC	Comcast	07/28/2015	136.88
31974	DTE EN	DTE Energy	07/28/2015	138.47
31975	DTE LAKE	DTE Energy	07/28/2015	45.96
31976	LivCTrea	Livingston County Treasurer	07/28/2015	32.00
31977	RELIANCE	Reliance Standard Life Insuran	07/28/2015	2,708.88
31978	Unum	Unum Provident	07/28/2015	2,674.90
31979	WALMART	Walmart Community	07/28/2015	157.58
31982	ARCHINAL	Michael Archinal	07/29/2015	500.00
31983	EHIM	EHIM, INC	07/29/2015	5,000.00
31984	USTREA	United States Treasury	07/29/2015	114.00
31986	Americ G	American General Life Insuranc	08/03/2015	296.50
31987	AT&T Fax	AT&T	08/03/2015	62.57
31988	BYRWA	David Byrwa	08/03/2015	150.00
31989	ETNA SUP	Etna Supply Company	08/03/2015	52.84
31990	MASTER M	Master Media Supply	08/03/2015	240.37
31991	Tetra Te	Tetra Tech Inc	08/03/2015	160.00
31992	TRI COUN	Tri County Supply, Inc.	08/03/2015	316.21

Report Total:

67,363.70

CK# 31955
31956 → VOID
31957
31958

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: cindy
Printed: 07/23/2015 - 12:40
Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
13386	EFT-FED	EFT- Federal Payroll Tax	07/31/2015		8,339.70 4,739.22 4,739.22 1,108.38 <u>1,108.38</u>
				Check 13386 Total:	20,034.90
13387	EFT-PENS	EFT- Payroll Pens Ln Pyts	07/31/2015		<u>2,678.88</u>
				Check 13387 Total:	2,678.88
13388	EFT-PRIN	EFT-Principal Retirement 457	07/31/2015		<u>1,095.00</u>
				Check 13388 Total:	1,095.00
13389	EFT-ROTH	EFT-Principal Roth	07/31/2015		<u>615.00</u>
				Check 13389 Total:	615.00
13390	EFT-TASC	EFT-Flex Spending	07/31/2015		<u>1,034.97</u>
				Check 13390 Total:	1,034.97

Report Total:

25,458.75

7/31
Payroll 54494.42

79953.17

CK#
12129 1008.28

Page 1

TOTAL
7/31-Payroll 80961.45

Genoa Charter Township
User: cindy

Payroll
Computer Check Register

Printed: 07/23/15 12:27
Batch: 731-07-2015

<u>Check No</u>	<u>Check Date</u>	<u>Employee Information</u>	<u>Amount</u>
12129	07/31/2015	Czuprenski Brian Czuprenski	1,008.28
Total Number of Employees: 1			Total for Payroll Check Run: 1,008.28

Genoa Charter Township
User: cindy

Electronic Clearinghouse
Distribution Report

Printed: 07/23/15 14:27
Batch: 731-07-2015

Account Number	Debit	Credit	Account Description
101-000-002-000	0.00	54,494.42	Cash-checking Account Only
101-000-259-000	54,494.42	0.00	Payroll Direct Deposit
	54,494.42	54,494.42	
Report Totals:	54,494.42	54,494.42	

Accounts Payable
Computer Check Register

Genoa Township

2911 Dorr Road
Brighton, MI 48116

(810) 227-5225

User: CINDY

Printed: 07/21/2015 - 16:19

Bank Account: 101CH

Check	Vendor No	Vendor Name	Date	Invoice No	Amount
13381	EFT-FED	EFT- Federal Payroll Tax	08/03/2015		1,932.89 692.06 692.06 161.86 161.86
Check 13381 Total:					3,640.73
13382	EFT-PENS	EFT- Payroll Pens Ln Pyts	08/03/2015		394.21
Check 13382 Total:					394.21
13383	EFT-ROTH	EFT-Principal Roth	08/03/2015		200.00
Check 13383 Total:					200.00
13384	EFT-TASC	EFT-Flex Spending	08/03/2015		83.33
Check 13384 Total:					83.33
13385	FIRST NA	First National Bank	08/03/2015		7,115.91
Check 13385 Total:					7,115.91
Report Total:					11,434.18

10:34 AM

#595 PINE CREEK W/S FUND**Payment of Bills**

July 16 through August 3, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	07/17/2015	2151	City of Brighton	Owner Jong Yoon Kim 5193 River Ridge Dr	-9,500.00
Bill Pmt -Check	07/22/2015	2152	City of Brighton, City Hall	Increase for 15-16 5193- River Ridge Dr Brighton	-500.00
Total					-10,000.00

10:29 AM

#593 LAKE EDGEWOOD W/S FUND**Payment of Bills**

July 16, 2015 through August 3, 2016

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	08/03/2015	2784	Brighton Analytical L.L.C.	Laboratory costs	-77.00
Bill Pmt -Check	08/03/2015	2785	MHOG Utilities	7817 Bendlix	-14.15
Bill Pmt -Check	07/23/2015	2786	MMRMA	M0001432	-1,226.25
Bill Pmt -Check	08/03/2015	2787	Brighton Analytical L.L.C.	Laboratory costs	-77.00
Bill Pmt -Check	08/03/2015	2788	GRUNDY ACE OF HOWELL	supplies	-34.99
Bill Pmt -Check	08/03/2015	2789	M & K Jetting and Televising		-2,025.00
Bill Pmt -Check	08/03/2015	2790	MICHIGAN CAT		-1,911.19
Bill Pmt -Check	08/03/2015	2791	PVS NOLWOOD CHEMICALS, II	supplies-chemicals	-882.00
Bill Pmt -Check	08/03/2015	2792	Tetra Tech Inc.	Project # 117-1045032	-7,103.58
Bill Pmt -Check	08/03/2015	2793	TLS CONSTRUCTION LLC	Sewer Break in front of Henderson Glass	-3,296.25
Total					-16,647.41

10:38 AM

#592 OAK POINTE WATER/SEWER FUND**Payment of Bills**

July 16 through August 3, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	07/16/2015	3381	FONSON, INC.	Repair to Wate Main at Filbert	-951.58
Bill Pmt -Check	07/16/2015	3382	MHOG UTILITIES	April, May June Qtr 2015	-36,087.54
		3383	void		
Bill Pmt -Check	07/23/2015	3384	MMRMA	M0001432 First Installment	-3,438.80
Bill Pmt -Check	07/23/2015	3385	Darcee Harman	Reimburse for Sewer Flood Damage	-1,486.68
Bill Pmt -Check	07/27/2015	3386	AT&T(2)	Telephone Service	-65.00
Bill Pmt -Check	07/27/2015	3387	Livingston Press & Argus	Water Quality Report	-780.00
Bill Pmt -Check	08/03/2015	3388	HACH Company		-510.25
Bill Pmt -Check	08/03/2015	3389	Tetra Tech, Inc.	PROJECT #117-1045033	-6,345.24
Bill Pmt -Check	08/03/2015	3390	Connelly Crane Rental Corp.	Butler/Oakpointe Blvd	-475.50
Bill Pmt -Check	08/03/2015	3391	M & K Jetting and Televising		-4,050.00
Total					-54,190.59

#503 DPW UTILITY FUND
Payment of Bills
July 16 through August 3, 2015

Type	Date	Num	Name	Memo	Amount
Bill Pmt -Check	07/16/2015	3291	U.S. POSTMASTER	Qtr Billing	-1,440.49
Bill Pmt -Check	07/16/2015	3292	Carol A. Hanus	Postage Reimbursment	-66.08
Bill Pmt -Check	07/20/2015	3293	Brighton Urgent Care	For Brian Czuprenski	-172.00
Bill Pmt -Check	07/20/2015	3294	MWEA	Brian Czuprenski-New Member Registration	-65.00
Bill Pmt -Check	07/20/2015	3295	Verizon Wireless	Phone and Equipment charges Greg Tatara	-401.21
Bill Pmt -Check	07/20/2015	3296	MWEA	James Aulette, Fund, of Activated Sludge I	-125.00
Bill Pmt -Check	07/23/2015	3297	MMRMA	First Installment	-15,901.93
Bill Pmt -Check	07/27/2015	3298	Genoa Twp General fund	Reimbursement For Ins Refund	-35,521.53
Bill Pmt -Check	07/27/2015	3299	Lake Edgewood	Reimbursement for Insurance Refund	-1,721.11
Bill Pmt -Check	07/27/2015	3300	Oak Pointe Operating s/w	Reimbursement for Insurance refund	-4,826.55
Bill Pmt -Check	08/03/2015	3301	Greg Tatara	August Car Allowance	-500.00
Bill Pmt -Check	08/03/2015	3302	HUMPHRISS	August Car Allowance	-250.00
		3303	Void		
Bill Pmt -Check	07/27/2015	3304	TETRA TECH, INC.	Project # 200-12736-15015	-770.00
Bill Pmt -Check	08/03/2015	3305	Advanced Auto Parts	Maintenance	-136.99
Bill Pmt -Check	08/03/2015	3306	Auto Zone	Wiper Blades	-48.58
Bill Pmt -Check	08/03/2015	3307	D&G Equipment, Inc.	John Deere 4300 Tractor maintenance	-77.59
Bill Pmt -Check	08/03/2015	3308	Ryan McMahon	Completion of S-4 Certification	-54.00
Bill Pmt -Check	08/03/2015	3309	USABlueBook	DPW Tools	-939.23
Bill Pmt -Check	08/03/2015	3310	Victory Lane Quick Oil Chang	2008 Ford F-15 pickup	-40.48
Bill Pmt -Check	08/03/2015	3311	Zachery Thurston	Completion of D-4, F-4, S-4 certification	-54.00
Total					-63,111.77

draft

GENOA CHARTER TOWNSHIP BOARD

Regular Meeting
July 20, 2015

MINUTES

Supervisor McCririe called the regular meeting of the Genoa Charter Township Board to order at 6:30 p.m. The Pledge of Allegiance was then said. The following persons were present for the transaction of business: Gary McCririe, Paulette Skolarus, Robin Hunt, Todd Smith, Linda Rowell, Jim Mortensen and Jean Ledford. Also present were: Township Assistant Manager Kelly VanMarter, Township Attorney Frank Mancuso and approximately 20 persons in the audience.

A Call to the Public was made with no response.

Approval of Consent Agenda:

Moved by Ledford and supported by Mortensen to approve all items listed under the consent agenda as requested. The motion carried unanimously.

1. Payment of Bills.

2. Request to Approve Minutes: July 6, 2015

Approval of Regular Agenda:

Moved by Mortensen and supported by Rowell to approve for action all items listed under the regular agenda with the tabling of Item 6 until a future meeting. The motion carried unanimously.

3. Consideration of special land use, environmental impact assessment, and sketch plan for inclusion of the Livingston Christian School as an accessory use for the Brighton Church of the Nazarene, located at 7669 Brighton Rd., Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

Mr. Steve Morgan addressed the board on behalf of the Brighton Nazarene Church. He committed to the installation of the fence between the church and the neighboring properties whether the request for a special use permit was granted or not.

A call to the public was made with three residents asking the board to support the request.

Moved by Hunt and supported by Mortensen to approve the request for a special use permit with the following conditions referencing section 19.03 of the township zoning ordinance and referencing VanMarter's letter of 07/16/2015:

1. Implementation of the traffic control plan that provides safe and adequate onsite circulation and driveway egress. A written report analyzing traffic shall be provided to the Township annually;
2. The school will have no more than 32 employees and 250 students;
3. The church is responsible for coordination of uses and events to ensure that peak church and school uses do not overlap;
4. The special use permit expires following the 2016-17 school year;
5. The disposition of the driver's training operation shall be handled by Township Administration.
6. Exhibit D (from the environmental impact assessment) will be added to the conditions of the special use permit at the request of Attorney Mancuso.
7. The church may not modify start or stop times of the school without permission of the board.

The motion failed as follows: Ayes- Hunt, Skolarus and Mortensen. Nays – Rowell, McCririe, Smith and Ledford.

(Township Attorney Frank Mancuso stated that there was no reason to consider the other requests related to the environmental impact assessment and sketch plan for the petition.)

4. Consider approval of a request for proposal for 2015 Paving Improvements.

Moved by Smith and supported by Ledford to approve paving projects for the Township Hall parking at a cost of \$81,000.00 and Tri-Lakes slurry coat and spot base repair at a cost of \$105,000.00.

5. Request for approval of budget amendments for the Fiscal Year ending March 31, 2016:

Moved by Mortensen and supported by Smith to approve amendments to the following budgets as requested by Skolarus: General Fund 101, Road Improvement Fund 261, Road Lake Lighting Reimbursement Fund 264, Future Development Parks and Recreation Fund 270, Cemetery/Building Reserve Fund 271. This action increases expenditures for all funds by \$353,500.00. The motion carried unanimously.

6. Tabled - Discussion of the Board Meeting Cancellation and Bill Payment Policy.

The regular meeting of the Genoa Charter Township Board was adjourned at 8:05 p.m.



Paulette A. Skolarus
Genoa Township Clerk

Gary McCririe
Genoa Township Supervisor



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMO

TO: Honorable Members of the Genoa Charter Township Board
FROM: Greg Tatara, Utility Director
DATE: July 28, 2015
SUBJECT: Annual Rate Adjustments for the Lake Edgewood Water and Pine Creek Sewer and Water Customers

MANAGER REVIEW: 
.....

For consideration at the August 3rd Board Meeting is the proposed rate adjustments for the Lake Edgewood Water and Pine Creek Water/Sewer Systems serviced by the City of Brighton.

Please find attached a letter dated June 9, 2015 from the City of Brighton regarding their adopted 2015 - 2016 fee schedule for sewer and water use and connection fees. Correspondingly, please find attached a letter from Pfeffer, Hanniford, and Palka, which recommends the adjusted rates charged to customers for sewer and water use, as well as adjusted Pine Creek water and sewer connection fees. As staff, we concur with the proposed adjustments, and we recommend that the effective date of the changes be September 1st, 2015. This will correspond to a new billing cycle for Lake Edgewood Water and Pine Creek Sewer and Water Customers.

Based on the above explanation and the attached documents, please consider the following motion:

Moved by _____, supported by _____ that September 1, 2015, the following sewer and water rate adjustments will have become effective:

- Increase the Lake Edgewood Conference Center Quarterly Water Fee to \$3.97 /1,000 gallons from \$3.33/1,000 gallons;
- Increase the Lake Edgewood other Quarterly water fee to \$3.80 /1,000 gallons from \$3.20 per 1,000 gallons;
- Increase the Pine Creek quarterly water fee to \$3.47 / 1,000 gallons from \$2.92 per 1,000 gallons and Decrease the Quarterly Sewer Fee to \$4.10 / 1,000 gallons from \$4.33 per 1,000 gallons; and
- Increase the Pine Creek water connection fee to \$2,852 from \$2,712 per REU and the sewer connection fee to \$7,248 from \$6,888 per REU.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen
Jean W. Ledford
Todd W. Smith
Linda Rowell



PFEFFER • HANNIFORD • PALKA
Certified Public Accountants

John M. Pfeffer, C.P.A.
Patrick M. Hanniford, C.P.A.
Kenneth J. Palka, C.P.A.

Members:
AICPA Private Practice Companies Section
MACPA

225 E. Grand River - Suite 104
Brighton, Michigan 48116-1575
(810) 229-5550
FAX (810) 229-5578

July 22, 2015

Mr. Gregory Tatara
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Dear Greg:

As you have requested we have reviewed the City of Brighton's revised fee schedule effective July 1, 2015 for Lake Edgewood Water and Pine Creek Water/Sewer.

Based on our review we recommend the following rate changes be implemented by Genoa Township.

1. Lake Edgewood - Conference Center Quarterly Usage Fee - Water
The water fee should increase to \$3.97 per 1,000 gallons from \$3.33 per 1,000 gallons.
2. Lake Edgewood - Other Quarterly Usage Fee - Water
The water fee should increase to \$3.80 per 1,000 gallons from \$3.20 per 1,000 gallons.
3. Pine Creek Quarterly Usage Fee - Water and Sewer
The water fee should increase to \$3.47 per 1,000 gallons from \$2.92 per 1,000 gallons.
The sewer fee should decrease to \$4.10 per 1,000 gallons from \$4.33 per 1,000 gallons.
4. Pine Creek Connection Fees
Increase the water connection fee from \$2,712 per REU to \$2,852.
Increase the sewer connection fee from \$6,888 per REU to \$7,248.

If you should have any questions please call.

Sincerely,

PFEFFER, HANNIFORD & PALKA
Certified Public Accountants

Kenneth J. Palka

KJP:em



CITY OF BRIGHTON

"Providing quality service"

June 9, 2015

Mike Archinal, Manager
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Mr. Archinal:

The City of Brighton's adopted FY 2015-2016 Fee Schedule for Sewer and Water user and connection fees, as they relate to Genoa Township, are listed below. These rates are effective July 1, 2015.

	<u>Pine Creek</u>	<u>Dillon</u>	<u>Northstar</u>	<u>Lake Edgewood</u>
Water:				
Commodity (1,000 gal.)-	\$3.27	\$3.60	\$3.77	\$3.60
PILOT (bi-monthly)		\$16.66		
Sewer:				
Commodity	\$ 3.90			
Administrative	\$20.43			
Connection Fees (Per REU):				
Water	\$2,802			
Sewer	\$7,198			

Please contact me if you have any questions at 810.225.9283.

Sincerely,

Kelly Hanna
Finance Director

Cc: Dana Foster, City Manager
Tim Krugh, Utilities Director
Ken Palka, Pfeffer, Hanniford & Palka

City Hall
200 N. First St.
Brighton, MI 48116-1593
(810) 227-1911
Fax# 227-6420
TDD Phone: (810) 227-8357

City Manager
225-8022
City Clerk
227-0463
Human Resources Director
225-9251
Cemetery/ Voter Registration
227-0463

Community Development
Building
227-9005
Building Inspection Line
227-0419
Planning / Zoning
225-9257
Community Development/ DDA
225-8025

Finance
Accounts Payable
225-8019
Assessing Assistant
227-9006
City Assessor
225-8024
City Treasurer
225-8023
Finance Director
225-9283
Assistant Finance Director
227-7738
Property Taxes
227-0179
Utility Billing
225-8041

Police Department
440 S. Third St.
(810) 227-2700
Fax# 227-2063

Department of Public Services
420 S. Third St.
(810) 225-8001
Fax# 225-9249
DPS Director
225-9284
Assistant DPS Director
225-9282
Water Plant
227-2968
Wastewater Plant
227-9479



ECONOMIC DEVELOPMENT COUNCIL
of LIVINGSTON COUNTY

July 20, 2015

Gary McCrie
Township Supervisor
Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116

Dear Mr. McCrie:

I would like to first and foremost thank you for acknowledging the importance of economic development in Livingston County. I hope that our efforts not only benefit the Charter Township of Genoa business needs, but also the quality of life for the residents, business owners, and the rest of the community.

The Township's investment in our efforts is critical to the success of our program. We are very grateful for the continued commitment to support our efforts over the next three years. Please find enclosed with this letter our invoice detailing the Township's level of partnership for 2015 in the amount of \$21,500.

Sincerely,

Michael J. Kennedy, Past Chair
Economic Development Council of Livingston County



**Economic Development Council of
Livingston County**

INVOICE

218 E. Grand River, Brighton, MI 48116
Phone: (517) 586-0822

Bill To:

Genoa Charter Township
2911 Dorr Road
Brighton, MI 48116

Invoice Number: 9659GT-150720

Date: July 20, 2015

Due Date: August 20, 2015

DESCRIPTION	AMOUNT
2015 Partnership - Contract Services	\$21,500.00



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director 

DATE: July 29, 2015

RE: Brighton Church of the Nazarene – Livingston Christian School

MANAGER'S REVIEW: 

Given the failed approval motion at the last meeting for the Church of the Nazarene special land use request for the Livingston Christian School, township staff and counsel are recommending clarification of the action to comply with Section 19.02.04(i) of the Zoning Ordinance. Based on the comments heard at the last meeting the following items would be appropriate to be included in the record:

Motion by _____, supported by _____, to deny the Special Land Use request as provided by Section 19.02.04 (f)(5) for the Livingston Christian School located at the Brighton Nazarene Church at 7669 Brighton Road. This action is based upon the finding that the proposed use is inconsistent with the standards of Section 19.03.01, 19.03.02, 19.03.03, 19.03.04, and 19.03.05 of the Township Zoning Ordinance and specifically finds that:

- 1.) The expanded use of the church to include a K-12 school will exacerbate the existing and historical negative impacts of the church on the adjacent neighborhood. The need for active traffic management and restricted egress from the facility provides that the site cannot accommodate the use properly and it increases the potential for negative off-site traffic impacts.
- 2.) The proposed use is not consistent with the following goals of the Master Plan:
 - a. "Achieve well-planned, safe, balanced, and pleasant residential neighborhoods."
 - b. "Promote harmonious and organized development consistent with adjacent land uses."

SUPERVISOR

Gary T. McCrie

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

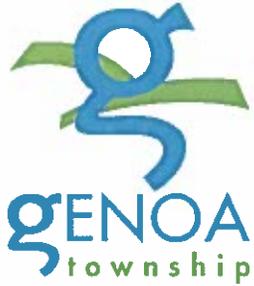
H. James Mortensen

Jean W. Ledford

Todd W. Smith

Robert D. Smith

- 3.) The project is contrary to the statement of purpose for the Single Family Residential Zoning in regard to items 3.01.02(e.) and (g.) and (i.) as follows:
 - a. 3.01.02(e.) – “Discourage any use of land which may overburden public infrastructure and services and the areas natural resources.”
 - b. 3.01.02(g.) – “Discourage land use which would generate excessive traffic on residential streets.”
 - c. 3.01.02(i.) – “Prohibit any land use that would substantially interfere with the development, utilization or continuation of single family dwellings in the District.”
- 4.) The proposed use significantly alters the existing or intended character of the general vicinity.
- 5.) The need for traffic management personnel and the potential off-site impacts created by forced right-turn only exiting will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic. The proposed “D” condition on exit from Church grounds during pick-up and drop-off provides a detriment to the existing walking path, other neighborhoods/buildings for turn-around, in addition to an impact on neighborhood travel including traffic from Worden Lake, Pine Creek, and travelers from the west towards Brighton. In addition, current conditions of this area also include the primary hub for the Brighton Area Schools, with Hornung (elementary), Maltby (intermediate), Scranton (7/8th grade) and Brighton High School. While not all students attending Scranton will flow through Brighton Road, Scranton was not taken into consideration. It is reasonable to suggest parents with students at both schools drop off at the High School and then proceed to Scranton which starts school at 7:50 a.m.
- 6.) The potential negative impacts to be created by the use will not be sufficiently mitigated by the conditions of the proposal.
- 7.) The Nazarene Church has a history of non-compliance with past site plan and ordinance requirements resulting in a negative impact on surrounding neighborhoods, notably found in Planning Commission minutes from August 28, 2000, May 12, 2003, July 22, 2013 and April 2015 through current. Historical and consistent behavior suggests further non-compliance from petitioners. Specific issues include the following:
 - a. The applicant has not yet fully implemented the project approved by the Township in 2013. Of particular note are the installation of additional landscaping and parking lot islands;
 - b. The applicant has continued to allow a driver’s testing operation, despite being informed that it is an illegal nonconforming use of the property; and
 - c. The applicant has demonstrated disregard for existing approvals by making significant changes to their building design contrary to the approved 2013 plans and without necessary permits or approvals to do so.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

MEMORANDUM

TO: Honorable Board of Trustees

FROM: Kelly VanMarter, Assistant Township Manager/Community Development Director

DATE: July 29, 2015

RE: Culver's Restaurant - Environmental Impact Assessment & Site Plan

MANAGER'S REVIEW: 

I have reviewed the revised environmental impact assessment and revised site plan for a proposal to construct a 3,954 square foot Culver's Restaurant located on a vacant lot south of Grand River Avenue and west of Latson Road on Parcel # 4711-05-400-066. This project was recommended for approval by the Township Planning Commission on July 13, 2015. My review of the revised submittal was focused on compliance with the outstanding items discussed at the Planning Commission and my recommendation is as follows:

IMPACT ASSESSMENT

I recommend **APPROVAL** of the environmental impact assessment dated July 24, 2015 with the addition of a statement that deliveries will occur during off hours using smaller trucks.

SITE PLAN

I recommend **APPROVAL** of the site plan dated July 24, 2015.

Should you have any questions concerning this matter, please do not hesitate to contact me.

Sincerely,



Kelly VanMarter
Assistant Township Manager/Community Development Director

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



GENOA CHARTER TOWNSHIP
Application for Site Plan Review

GENOA TOWNSHIP
JUN 02 2015

TO THE GENOA TOWNSHIP PLANNING COMMISSION AND TOWNSHIP BOARD:

APPLICANT NAME & ADDRESS: METRO DESIGN & BUILD INC 20031 CARLYSLE
If applicant is not the owner, a letter of Authorization from Property Owner is needed. DEARBORN 48124

OWNER'S NAME & ADDRESS: CHARLES PAISLEY 49169 ALPHA DR. WIXOM 48393

SITE ADDRESS: GRAND RIVER : LATSON PARCEL #(s): _____

APPLICANT PHONE: (313) 563-5847 OWNER PHONE: (248) 860-8365

OWNER EMAIL: CHARLES@UNIONPACIFIC HOLDINGS.COM / METRO791@AMERITECH.NET

LOCATION AND BRIEF DESCRIPTION OF SITE: OUT LOT IN WAL MART PARKING
LOT BETWEEN BOB EVANS ; BENNIGANIS

BRIEF STATEMENT OF PROPOSED USE: NEW CULVERS RESTAURANT

THE FOLLOWING BUILDINGS ARE PROPOSED: 1 STORY, 3954 SF
Culver's

I HEREBY CERTIFY THAT ALL INFORMATION AND DATA ATTACHED TO AND MADE PART OF THIS APPLICATION IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: [Signature]

ADDRESS: 20031 CARLYSLE DEARBORN, MI. 48124

Contact Information - Review Letters and Correspondence shall be forwarded to the following:

1.) RON NELSON of METRO DESIGN ; BUILD at METROTAC AMERITECH
Name Business Affiliation E-mail Address • NEI

FEE EXCEEDANCE AGREEMENT

As stated on the site plan review fee schedule, all site plans are allocated two (2) consultant reviews and one (1) Planning Commission meeting. If additional reviews or meetings are necessary, the applicant will be required to pay the actual incurred costs for the additional reviews. If applicable, additional review fee payment will be required concurrent with submittal to the Township Board. By signing below, applicant indicates agreement and full understanding of this policy.

SIGNATURE: [Signature] DATE: 6-1-15
PRINT NAME: RONALD J. NELSON PHONE: 313-563-5847
ADDRESS: 20031 CARLYSLE DEARBORN, MI. 48124

5. Any other requirements of the Township Engineer in his letter of 7/7/15 and the Brighton Fire Authority in their letter of 7/2/15 will be complied with.

Support by Diana Lowe.

Ayes: Lowe, Mortensen, Grajek, Brown, McManus

Nays: Figurski

Motion carried.

OPEN PUBLIC HEARING #2... Review of a sketch plan application for an amendment to the approved building elevations for Brighton Church of the Nazarene, located at 7669 Brighton Rd., Brighton, Michigan, parcel # 4711-25-400-058. The request is petitioned by Brighton Nazarene Church.

Gary Anscombe addressed the Planning Commission. There is no sample of the proposed brick because it has yet to be made. So essentially, the brick on the existing building is the sample.

The blue siding will be changed to the same color as the color on the roof and eaves trim that currently exists.

Brian Borden indicated he's comfortable now that he knows the materials and colors will match the rendering. Also, he is pleased with the contrast of the entrance canopy color. The petitioner requests that the canopy say "children's entrance." Mr. Markstrom inquired about the handrail in the front as shown in the rendering and how it conflicts with the school loading zone. Stairs could be utilized.

Eric Rauch inquired if the petitioner considered a metal canopy rather than the cloth canopy. The petitioner felt the texture added an architectural feel to it, but could put a metal one on.

Barbara Figurski inquired as to the height of the cross on the front of the building. It's 32' according to the petitioner.

Planning Commission disposition of petition

A. Disposition of Amended Site Plan Building Elevations (06-23-15)

Motion by James Mortensen to approve the site plan, subject to:

1. The pictures and renderings reviewed this evening will become Township property;
2. Prior to completion, the applicant will work with the Township Engineer to coordinate the re-stripping of the pedestrian area in view of the installation of handrails.

Support by John McManus. **Motion carried unanimously.**

OPEN PUBLIC HEARING #3... Review of a site plan and environmental impact assessment for a proposed 3,954 sq ft restaurant building, located on a vacant lot south of Grand River Avenue and west of Latson Rd., Howell, Michigan, parcel # 4711-05-400-066. The request is petitioned by Metro Design & Build, Inc.

Ron Nelson of Metro Design and Charles Paisley, the franchisee addressed the Planning Commission. They reviewed the proposed site plan, which was very similar to what was approved in 2011 as tweaked in the Panera plan.

Chris Grajek inquired about expanding the use of the cultured stone, particularly around the drive-thru and sides of the building. The percentage of stone to siding is 32% is stone. The ordinance requires 80%. Mr. Mortensen indicated he did not feel this site plan is the same as that in 2011.

Brian Borden addressed his letter of July 8, 2015.

The petitioner is willing to increase the field stone use on the sides of the building near the ring road and the drive-thru, specifically the drive-thru tower and rear elevation. The cornice will be bronze.

The petitioner has demonstrated that the 2 stacking spaces that are deficient would not be required anyway.

The east-west drive aisle was discussed. The width is deficient on the west. Matt Swanko of Landmark Commercial indicated the island near there could be modified, but parking spots may not be eliminated. The petitioner will modify the island.

The landscape plan is deficient by five canopy trees. The petitioner has agreed to provide them, but the landscape architect has been out of the country. The waste receptacle area will be minimized. The pole mounted fixtures will remain the same. Signage was discussed. There is more wall signage than permitted by ordinance. One is permitted. A second may be granted. The petitioner seeks four total. The petitioner will reduce it to two--the north and south sides of the building. The petitioner is to provide a written acknowledgment that they will comply with the electronic sign ordinance. A note on the site plan on the page with the signs would be appropriate.

Menu boards are permitted. Eric Rauch indicated the sizes proposed are what is industry standard, although larger than the ordinance permits.

Gary Markstrom requested a plan that sets forth the easement width. Additionally, he addressed the utility plan. There are two taps on the existing main: a 6" and a 2" tap. He indicated that a 6" would be permissible, split outside of the building. This would be more economical for the petitioner. The details on the sheet should be cleaned up and those that are not applicable should be crossed out.

The letter from the Brighton Fire Authority dated July 1, 2015 was addressed. The petitioner will comply with the requirements outlined therein.

Planning Commission disposition of petition

- A. Recommendation of Environmental Impact Assessment (06-01-15)
- B. Recommendation of Site Plan (06-25-15)

Motion by Barbara Figurski to recommend approval of the environmental impact assessment, subject to the addition of dust control measures.

Support by John McManus.

Motion by James Mortensen to recommend approval of the site plan, subject to:

1. The building materials will be revised to add cultured stone to the drive-thru tower and the entire south of the facility facing Ring Road;
2. The samples viewed this evening will become Township property;
3. The island will be reduced in order to increase the drive aisle to 24';
4. Culvers' experience indicates that the queuing for the drive-thru can be reduced by two from Township standards and that is recommended for approval;
5. In order to avoid driving over the curbs to navigate the site, deliveries will be made off hours and use of smaller trailers will be encouraged;
6. Five additional canopy trees will be provided;
7. The waste receptacle will be reduced and the shed shown there will be eliminated;
8. Lighting on the pole mounted fixtures matching those existing elsewhere on the site will be added to the site plan;
9. Two wall signs will be permitted--one on the north and one on the south side of the facility;
10. A note will be added to the site plan acknowledging compliance with ordinance 16.07.02e for electronic changeable message signs;
11. The menu boards as shown on the site plan are acceptable;
12. The requirements of the Township Engineer addressed in his letter of July 8, 2015 shall be complied with;
13. The requirements of the Brighton Area Fire Authority addressed in their letter of July 1, 2015 shall be complied with;
14. The awnings will be solid colored and the cornice shall be bronze.

Support by John McManus. **Motion carried unanimously.**

Administrative Business:

- *Staff report*
- *Approval of June 8, 2015 Planning Commission meeting minutes. Motion by Barbara Figurski to approve the minutes of June 8, 2015 as corrected. Support by Diana Lowe. **Motion carried unanimously.***
- *Member discussion*
- *Adjournment. Motion by Diana Lowe to adjourn at 9:15 p.m. Support by Barbara Figurski. **Motion carried unanimously.***

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Genoa Township
2911 Dorr Road
Brighton, MI 48116

July 15, 2015

Attn: Genoa Township
Township Board

Re: Correspondence Letter
Culvers Restaurant
Grand River & Latson Road

Please find below a list of plan changes from our planning commission approval on 7-13-15.

- Exterior building finishes have been modified, to add more cultured stone. We have added full height stone walls on the rear (south elevation) and to the drive through bump out on 3 sides (east elevation).
- The existing island in the N.E. corner of the parking lot has been reduced in width to achieve the required 24' drive width.
- 5 additional canopy trees have been provided to meet the ordinance.
- The trash corral has been reduced in size and the storage shed within has been eliminated.
- Lot lights are existing and will remain
- The East and West wall signs have been eliminated
- A note was added for the road sign electronic reader board, that it will comply with ordinance 16.07.02e
- The awnings will be solid blue in color, and the roof cap is painted bronze tone in lieu of blue.
- The water main easement width has been defined. The water main has been adjusted to show the 2" tap to be made off of the 6" fire main just outside the building wall

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

- Unused standard engineering details have been crossed out.
- The fire dept connection (FDC) has been added in the S.E. corner of the building
- Names and contact information has been added to the plan.
- Dust control practices while under construction have been added to the environmental impact statement.
- Removed the Bennigan's references and change them to Panera in the environmental impact statement.

If you have any questions or require more info on any of the above information, please give me a call @ 313.563.5847

Sincerely,
Metro Design & Build, Inc.

Ronald J. Nelson - President



July 8, 2015

Planning Commission
Genoa Township
2911 Dorr Road
Brighton, Michigan 48116

Attention:	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
Subject:	Culver's drive-through restaurant – PUD Site Plan Review #2
Location:	Southwest corner of Grand River Avenue and Latson Road
Zoning:	NR-PUD Non-Residential Planned Unit Development District

Dear Commissioners:

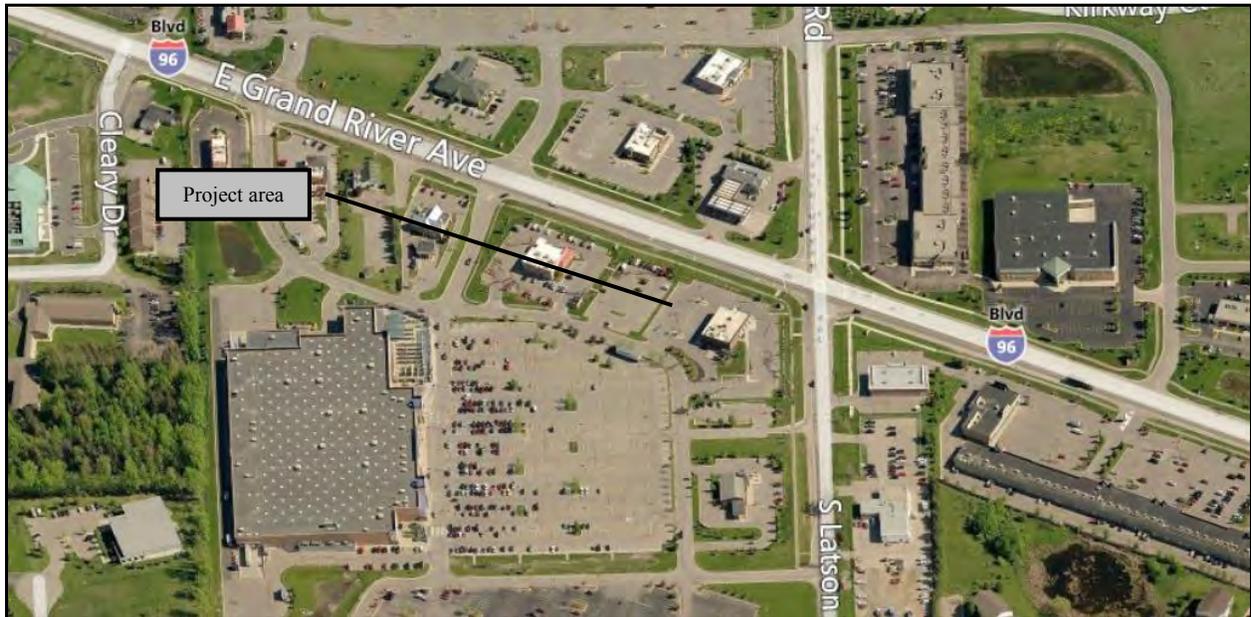
At the Township's request, we have reviewed the revised site plan (dated 6/25/15) proposing the construction of a new Culver's drive-through restaurant on the west side of Lot #4 in the Livingston Commons PUD (adjacent to the recently approved Panera Bread drive-through restaurant).

The site is located at the southwest corner of Grand River Avenue and Latson Road within the Livingston Commons PUD, which is zoned NR-PUD. We have reviewed the proposal in accordance with the applicable provisions of the Genoa Township Zoning Ordinance and PUD Agreement for the development.

As a side note, the Township recently approved a Panera Bread drive-through restaurant on the east half of Lot #4, as well as amendments to the PUD Agreement for Livingston Commons.

A. Summary

1. The Planning Commission may reduce/waive side yard parking lot setbacks per Section 14.06.11.
2. The Planning Commission has approval authority over the building elevations, including materials and colors.
3. In our estimation, the building provides too much fiber cement siding and EIFS (at least 80% of each façade must be natural materials, such as brick or stone).
4. The applicant must provide material and color samples for the Commission's consideration.
5. The drive through is deficient by 2 stacking spaces. The applicant requests a reduction in the stacking space requirement given the nature of the business, which typically has a lower percentage of drive through traffic. In our opinion, this requires a deviation via the PUD Agreement.
6. The main east/west drive aisle is deficient in terms of width for two-way traffic.
7. Large delivery trucks will need to drive over curbs to navigate the site. This should be avoided to the greatest extent possible.
8. The landscape plan is deficient by 5 canopy trees.
9. The waste receptacle area appears to be larger than needed.
10. We suggest an easement or shared access agreement be provided allowing cross access between both halves of Lot #4.
11. The submittal does not include details or cut sheets for the pole mounted light fixtures.
12. The proposal includes 4 wall signs – 1 is permitted and a 2nd may be allowed by the Planning Commission.
13. The applicant must demonstrate/confirm compliance with the standards of Section 16.07.02(e) for the electronic changeable message sign.
14. The proposed menu boards exceed the maximum area allowed by Ordinance.



Aerial view of site and surroundings (looking north)

B. Proposal

In accordance with the recently approved changes to the Livingston Commons PUD, the applicant requests site plan review/approval for a new Culver’s drive-through restaurant on the west half of Lot #4.

Recent amendments to the PUD Agreement permit 2 drive-through restaurants on Lot #4 – the recently approved Panera Bread and the currently proposed Culver’s.

C. Use Conditions (Drive-through Restaurant)

Section 7.02.02(j) provides the following conditions for drive-through restaurants:

- 1. Principal and accessory buildings shall be setback fifty (50) feet from any adjacent public right of way line or property line.**

This standard is met.

- 2. The establishment of a new drive-through restaurant shall require the lot be separated a minimum of five hundred (500) feet from any other lot containing a drive-through restaurant.**

The proposed Culver’s is within 500 feet of the recently approved Panera Bread; however, the PUD Agreement specifically allows for two drive-through restaurants on Lot #4, regardless of their spacing.

- 3. Only one (1) access shall be provided onto any street.**

Lot #4 does not provide direct access to/from Grand River Avenue or Latson Road. Vehicular access is provided via the existing service drive, which provides access to both public roadways.

- 4. Such restaurants constructed adjacent to other commercial developments shall have a direct vehicular access connection where possible.**

The proposed site plan includes access to the remainder of the Livingston Commons development.

D. Site Plan Review

1. Dimensional Requirements. As described in the table below, the proposed Panera Bread complies with the dimensional standards for this PUD:

District	Lot Size		Minimum Setbacks (feet)				Max. Height	Lot Coverage
	Lot Area (acres)	Width (feet)	Front Yard	Side Yard	Rear Yard	Parking		
NR-PUD	1	150	70	15	50	22 front 10 side/rear	35’	35% building 75% impervious
Proposal	1.12	220 (Grand River)	95 (Grand River)	126 (W) 34 (E)	54 (S)	20 front 0 side* 15 rear	22’-4”	8.1% building 75% impervious

* Section 14.06.11 allows the Planning Commission to reduce or waive side or rear parking lot setbacks where a shared access driveway, connected parking lots, frontage road, or rear service drive is provided.

2. Building Materials and Design. The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission.

Building materials include stone veneer, fiber cement siding and EIFS. The PUD Agreement requires at least 80% of wall surfaces to be natural materials (such as brick or stone); however, in our estimation, the proposed building does not appear to meet this standard (too much fiber cement siding and EIFS). The applicant should either provide material calculations for each façade to demonstrate compliance or increase the use of natural materials (stone).

Additionally, the applicant must provide color renderings and a material/color sample board for the Commission’s consideration.

3. Parking. As outlined in the table on Sheet C-1, 43 spaces are required for the proposed Culver’s. Additionally, 2 RV spaces, 3 waiting spaces and 10 stacking spaces are also required.

The plan provides for 62 parking spaces, including the required barrier free, RV and waiting spaces. As a side note, the parking spaces that are marked as ‘large vehicle spaces’ are striped as typical 9’ by 18’ spaces on the plans. The applicant must correct this inconsistency.

Additionally, the drive through lane provides only 8 of the 10 required stacking spaces. We have reviewed Culver’s restaurants in several communities and they have previously demonstrated that drive through usage is less than a conventional fast food type restaurant, in which case fewer stacking spaces typically works.

The Impact Assessment states that the nature of this particular business entails a much smaller percentage of drive through traffic. Accordingly, the applicant requests that the Township grant a reduction in the required number of stacking spaces. The Ordinance does not provide discretion on this matter and we are of the opinion that it requires a deviation via the PUD Agreement.

For the most part, the parking spaces and drive aisles meet or exceed the dimensional standards of Section 14.06; however, a portion of the east/west drive aisle nearest Grand River is deficient in terms of width (24’ required vs. 17’ provided). Lastly, Sheet C-1 identifies the use of looped (double striped) spaces.

4. **Pedestrian Circulation.** The plan identifies the existing sidewalks along Grand River with a new connection proposed between the public sidewalk and the site. Similar to the approved Panera development, crosswalk striping has been added to increase pedestrian safety. Sidewalks are also proposed along the majority of the building, separating parking and drive aisles from the building.
5. **Vehicular Circulation.** As noted above, the site does not have direct access to Grand River, but rather has access to/from the internal service drive and across the Panera site (east half of Lot #4).

As previously noted, the main east/west drive aisle does not provide the required width (24’) for two-way traffic. Additionally, the truck turning template shown on Sheet C-1 indicates that large delivery trucks will drive over at least two curbed areas. This is likely to result in future issues of site maintenance and should be avoided to the greatest extent possible.

6. **Loading.** The Impact Assessment states that deliveries will take place outside of business hours with sufficient space in the drive through lane to accommodate loading/unloading.
7. **Landscaping.** We have reviewed the landscape plan as follows:

Location	Requirements	Proposed	Comments
Front yard greenbelt (Grand River & Latson)	8 canopy trees 8 evergreen trees 30 shrubs 20-foot width	3 canopy trees 3 existing trees 63 shrubs 22-foot width	Deficient by 2 canopy trees and 8 evergreen trees*
Parking lot	16 canopy trees hedgerow	11 canopy trees 2 existing trees hedgerow	Deficient by 3 canopy trees*

* The applicant has indicated that additional trees will be provided, but the revised landscape plan does not reflect this.

8. **Waste Receptacle and Enclosure.** The project includes a new waste receptacle area southeast of the proposed building with a 6-foot masonry enclosure faced with stone veneer matching that used on the building.

Details on Sheet A-12 show the required concrete base pad and enclosure. The area enclosed is much larger than needed for the dumpster shown. We request the applicant explain the need for an oversized waste receptacle area. Additionally, vehicular access to this area is accommodated via the Panera site. The applicant should provide an easement or shared access agreement across the two halves of Lot #4.

9. **Exterior Lighting.** The submittal proposes 3 new pole-mounted light fixtures; however, pole height and cut sheets were not provided for these lights. The applicant needs to provide details.

The plan also proposes 24 wall mounted fixtures. Details and cut sheets provided show that these fixtures are downward directed in accordance with the requirements of Section 12.03.

The photometric grid provided shows readings above 1.0 fc at the east lot line; however, this lot line is shared with Panera within the same PUD. As such, we do not believe this spillover will create any adverse impacts.

10. Signs. In total, the submittal includes 1 monument sign (with a reader board), 4 wall signs and 2 menu boards. Per Section 16.07, 1 monument sign, 1 wall sign and 2 menu boards are permitted.

The Planning Commission may permit a 2nd wall sign in certain circumstances, such as obstructed views and building orientation. The monument sign is 60 square feet in area, per the Ordinance and PUD agreement.

The electronic changeable message component of the monument sign complies with most of the standards of Section 16.07.02; however, the applicant must confirm/demonstrate compliance with the requirements of paragraph (e).

The Ordinance allows up to 2 menu boards with a maximum size of 16 square feet per board and directional signs with no advertising are allowed at driveways. Any proposed signage in excess of current Ordinance standards should be addressed within the PUD Agreement.

A sign permit is required prior to installation of any new signage.

11. Impact Assessment. The submittal includes an updated Impact Assessment (dated 6/1/15). In summary, the Assessment notes that the project is not anticipated to adversely impact natural features, public services/utilities, surrounding land uses or traffic. We defer to the Township Engineer as to whether a more detailed traffic impact study is needed.

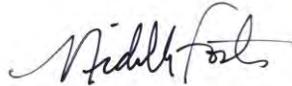
Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at borden@lslplanning.com and foster@lslplanning.com.

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP
Principal Planner



Michelle Foster
Project Planner



July 8, 2015

Ms. Kelly Van Marter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Re: Culver's Restaurant Site Plan Review #2

Dear Ms. Van Marter:

We have reviewed the resubmitted impact assessment and site plan documents prepared by Williams & Works for the Culver's Restaurant development dated June 25, 2015. The site is on the southwest corner of the intersection of Grand River Avenue and Latson Road. The petitioner is planning to construct a new Culver's Restaurant complete with drive-thru on the site of existing Walmart overflow parking in the Livingston Commons PUD.

We offer the following comments for consideration by the planning commission:

SUMMARY

1. Show existing utility easements clearly on site plan.
2. Include only the Township Standard Details to be utilized on the project. Use details to revise water service connection layout

SITE PLAN

1. MHOG water mains have existing 25-foot easements which must be shown on the drawings. Sanitary sewer main easements are based on depth, as noted in the Township Design Standards.
2. The petitioner shall cross out any Township standard details that are not applicable to the project. Suggest reviewing commercial water service connection detail.

The petitioner has satisfactorily addressed our primary concerns from the initial review. We recommend the above comments be addressed on the construction drawings which are required to be submitted to MHOG for review. Please call if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Gary J. Markstrom'.

Gary J. Markstrom, P.E.
Unit Vice President

A handwritten signature in blue ink, appearing to read 'Joseph C. Siwek'.

Joseph C. Siwek, P.E.
Project Engineer

copy: Ronald J Nelson, Metro Design & Build



BRIGHTON AREA FIRE AUTHORITY

615 W. Grand River Ave.
Brighton, MI 48116
o: 810-229-6640 f: 810-229-1619

July 1, 2015

Kelly VanMarter
Genoa Township
2911 Dorr Road
Brighton, MI 48116

RE: Culver Restaurant
??? E. Grand River
Site Plan Review

Dear Kelly:

The Brighton Area Fire Department has reviewed the above mentioned site plan. The plans were received revised drawings for review on June 29, 2015 and the drawings are dated June 25, 2015. The project is based on a new 3,954 square foot A-2 occupancy use building. The plan review is based on the requirements of the International Fire Code (IFC) 2012 edition.

1. The building shall be provided with an automatic sprinkler system in accordance with NFPA 13, *Standard for the Installation of Automatic Sprinkler Systems*.
IFC 903
 - A. The FDC shall be located on the South face of the building, outside of the fire sprinkler riser. This is not indicated on the plan. This will place it within 100' of the existing fire hydrant on site. **(Revised on Plans)**
2. Future project submittals shall include the address and street name of the project in the title block. **(Address not yet assigned)**
IFC 105.4.2
3. The building shall include the building address on the building. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible from the street (Grand River). The location and size shall be verified prior to installation. **(Revised on architectural Drawings)**
IFC 505.1
4. The access road into the site shall be a minimum of 26' wide. Access roads to site shall be provided and maintained during construction. Access roads shall be constructed to be capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds. **(Provided at 28' & 26' widths)**
IFC D 103.6
IFC D 103.1
IFC D 102.1
IFC D 103.3
5. Access around building shall provide emergency vehicles with an outside turning radius of up to 55' and an inside turning radius of 30'. The drive shall be provided with a minimum vertical clearance of 13 ½ feet. Provide an emergency vehicle traffic flow to indicate that emergency vehicles will be able to access around the structure and out without crossing over curbs, parking or landscaping. **(Provided on sheet C-2 & C-3)**
6. The Knox box will be located adjacent to the front door of the structure. The box location shall be approved by the fire department and installed in accordance with the manufacturer's instructions. **(Revised on architectural Drawings)**



July 1, 2015

Page 2

Culver Restaurant

??? E. Grand River

Site Plan Review

IFC 506.1

7. Provide names, addresses, phone numbers, emails of owner or owner's agent, contractor, architect, on-site project supervisor. **(Revised on architectural Drawings)**
8. Provide address for the project on future submittals. **(Address not yet assigned)**

Additional comments will be given during the building plan review process (specific to the building plans and occupancy). The applicant is reminded that the fire authority must review the fire protection systems submittals (sprinkler & alarm) prior to permit issuance by the Building Department and that the authority will also review the building plans for life safety requirements in conjunction with the Building Department.

If you have any questions about the comments on this plan review please contact me at 810-229-6640.

Cordially,

A handwritten signature in black ink, appearing to read 'R. Boisvert'.

Capt. Rick Boisvert
Fire Inspector

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Genoa Township
2911 Dorr Road
Brighton, MI 48116

July 24, 2015

Attn: Genoa Township
Planning Commission

Re: Impact Statement for proposed
Culvers Restaurant
Grand River & Latson Road

Name(s) & address(es) of person(s) responsible for preparation

Metro Design and Build Inc	Architectural Concepts
20031 Carlisle	6650 Crossing Rd. S.E.
Dearborn, MI. 48124	Grand Rapids, MI. 49508
Ron Nelson	Ken Watkins

Maps & written description/analysis of the project site

This site is currently being used and maintained by Wal Mart and is owned by RLG Howell LLC. The existing site is currently being used as remote overflow parking spaces for Wal-Mart. The lot fronts Grand River Ave. on the North, is improved with asphalt paving, lot lighting, curbs, storm drainage, and access to the "Ring Road" on the South side. The proposed Culvers project would be utilizing 48711 SF of the existing parcel. Please refer to submitted plans for locations of existing features.

Impact on natural features

This project will enhance the current area by reducing paved areas with the addition of new landscaping and a new facility. All natural features were eliminated during the initial development of the site when the paving and site improvements were installed. Therefore there will be no impact on any natural features.

Impact on storm water management

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

This project will actually improve the existing storm run-off for this site by reducing the existing impervious pavement by approx. 4000 SF with new landscaping. Silt fencing will be used on the perimeter of the site during construction and filters will be placed over all existing and new storm basins. We will also comply with standard dust control procedures. The site naturally drains to the existing regional detention system for the Livingston Commons project and meets all standards of the governing agencies.

Impact on surrounding land used

This project will not impact the existing surrounding land uses. It is bordered on the West side by Bob Evans and on the East by the new Panera project, both similar restaurant uses. There will be a drive thru associated with this project and thus an external ordering point (speaker). The sound level emitted by this unit has an adjustable range of 0 to 95 db. The unit will be located in the rear of the building and facing the ring road and will not be audible to either Bob Evans or Panera. This speaker will conform to the Township noise ordinance. The stocking of this building takes place outside of business hours (10 AM to 10 PM Sunday, through Wednesday and 10 AM to midnight Thursday through Saturday). The truck is able to back into the drive thru lane to access the rear door to off-load without disruption to traffic.

Impact on public facilities & services

A typical Culvers Restaurant has 10-12 employees per shift, and yearly guest counts of around 190,000. The peak projected guest count between noon and 1:00 PM would be approx. 100-120 guests per hour with 30% of those guests using the Drive thru and 70% using the lobby.

Impact on public utilities

This development will be utilizing the existing utilities as shown on our plan submittals. We will be tapping into the existing 8" water main, the existing 8" sanitary line, and the existing 15" storm sewer utilizing the existing detention basin, which is a part of the original Wal-mart system. An average Culvers uses the following:

METRO DESIGN BUILD, INC
20031 CARLYSLE
DEARBORN, MI 48124
313-563-5847 OFFICE
313-561-5051 FAX

Water usage – average quarterly use is 248,000 gal.
Natural gas – ave. peak monthly usage is 778.47 THM
Electricity – ave. monthly usage is 25,880 KWH.
All systems that are being utilized were designed to handle usage in excess of Culver's needs.

Storage & handling of any hazardous materials

There will be no hazardous materials used or stored at this facility

Impact on traffic & pedestrians

This development will be accessed from the current Wal-Mart ring road and will not have any curb cuts onto Grand River Ave. Research indicates that 70% of Quick Service Restaurant (QSR) visits are impulse visits, from customers already on the existing roadways. Consequently only 30% of the visits to Culver's would be new trips for the road systems. Overall traffic volumes will be minimally impacted. Given that, the traffic levels should remain fairly consistent with current counts after the opening of the Culver's. The new infrastructure changes, including the new I-96 interchange and Latson Rd improvements will further negate any impact of traffic increases from this development. The current walk along Grand River will be maintained for pedestrian traffic during and after construction is completed. The required drive thru stacking requirement of the Township is excessive for Culver's operation. Because the small percentage of drive thru business which is 25%-30% compared to QSR average of 70%-80% the stacking shown on the plans is adequate for the intended purpose. We are requesting that this requirement be lowered for this facility to an 8 car stack with 3 waiting spaces for a total of 11 D.T. spaces.

Special Provisions:

The site is subject to the following (Special Provisions):

- Declaration of restrictions & easements for outlets
- Plan unit development agreement
- Plan unit development agreement for Phase II land
- Easement with covenant & restrictions affecting land ("ECR")

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If you have any questions or require more info on any of the above information,
please give me a call @ 313.563.5847

Sincerely,
Metro Design & Build, Inc.

Ronald J. Nelson - President



This following photographs are of the Culver's located in Wixom, Michigan. These pictures are provided as a comparable for colors and materials. The proposed Genoa building has additional cultured stone on the drive-through and entry features. The elevation drawings for the Genoa restaurant are shown following the pictures. - K. VanMarter



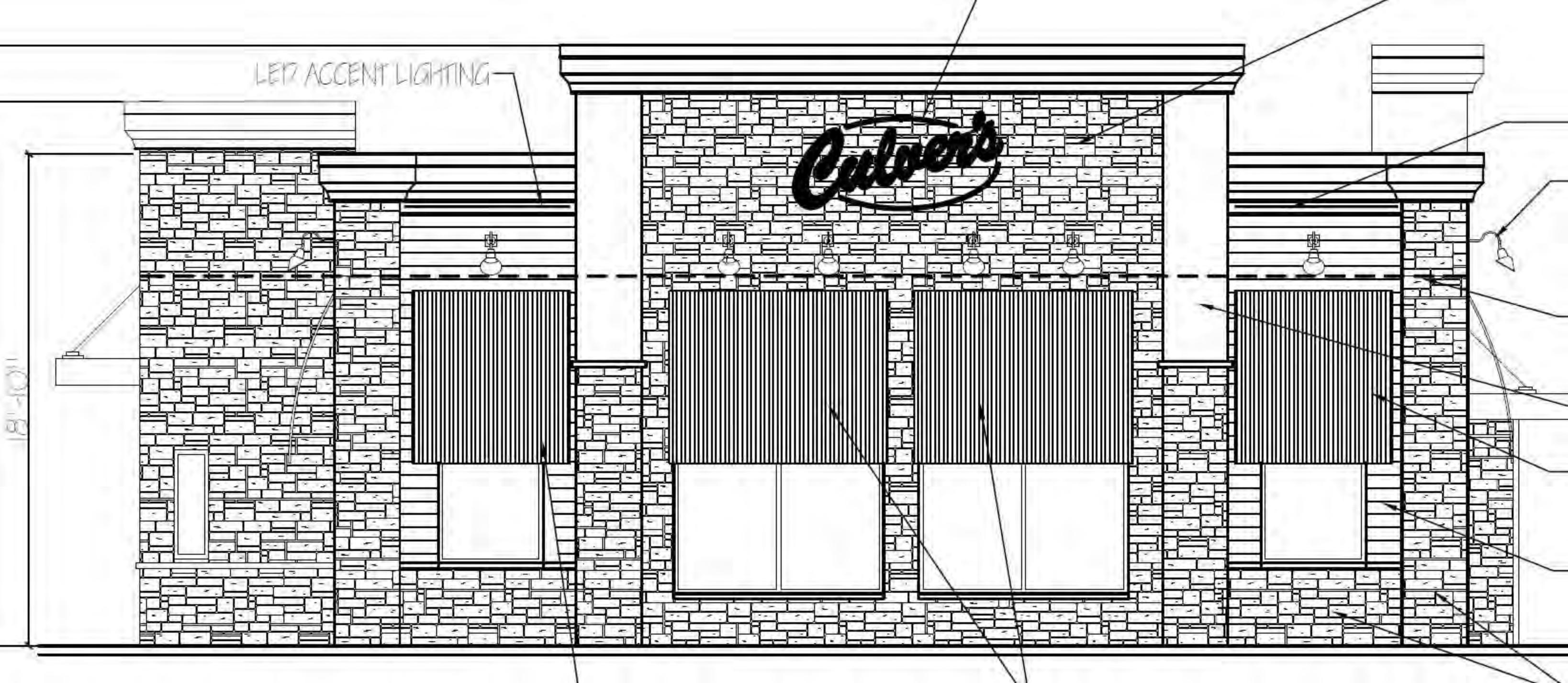
Culver's

Culver's

LED ACCENT LIGHTING

Culver's

18'-10"





HOSE RIBB

SOLID BLUE CANVAS AWNING
6'-7 1/4" H x 8'-0" W x 1"-4" D

SOLID BLUE CANVAS AWNING
6'-7 1/4" H x 6'-0" W x 1"-4" D

SOLID BLUE CANVAS AWNING
2'-6" H x 6'-0" W

HORIZONTAL FIBER CEMENT
SIDING (SEE TABLE)
VENEERED STONE
(SEE TABLE)

EAST ELEVATION

PROPOSED BUILDING FOR:



CULVER'S RESTAURANT GRAND RIVER AVENUE GENOA TOWNSHIP, MI

DESIGN CRITERIA

BUILDING CODE: MICHIGAN BUILDING CODE 2012
 USE GROUP: A2 RESTAURANT
 CONSTRUCTION TYPE: 5B
 FULLY-SPRINKLED BUILDING (903.2.1.2)
 BUILDING AREA 3,954 Sq. Ft. < 5,000 Sq. Ft.
 171 OCCUPANTS > 100 PEOPLE

OCCUPANT LOAD: (PER SECTION 1004.7 & TABLE 1004.1.1)
 DINING AREA: 85 SEATS
 CUSTOMER ORDER AREA: 78 PEOPLE
 (1 PERSON PER 5 SF = 386 SF/5 = 77.2)
 KITCHEN: 7 PEOPLE
 (1 PERSON PER 200 SF = 1356 SF/200 = 6.78)
 OFFICE: 1 PERSON
 (1 PERSON PER 100 SF = 74 SF/100 = 0.74)
 TOTAL OCCUPANT LOAD 171 PEOPLE

SEE SHEET A-1 FOR STRUCTURAL DESIGN CRITERIA

ARCHITECT

KEN WATKINS
 ARCHITECTURAL CONCEPTS
 6650 CROSSING DRIVE, S.E.
 GRAND RAPIDS, MICHIGAN 49508
 (616) 554-1222 FAX (616) 554-1225

STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING ENGINEERING

CLASSIC ENGINEERING, L.L.C.
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 GRAND RAPIDS, MI 49503
 (616) 742-2810 FAX (616) 742-2814

CONTRACTOR

RON NELSON
 METRO DESIGN AND BUILD, INC.
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OWNER

CHARLES PAISLEY
 49169 ALPHA DRIVE
 WIXOM, MI
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GENERAL NOTES

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2. These plans are not intended to be final construction documents and should be regarded as standard details intended to aid the architect/engineer in developing a set of construction documents that meet the requirements of Culver Franchising System, Inc. It is the responsibility of the project architect/engineer to develop a complete set of construction documents for each project that are in compliance with local codes and site conditions such as snow loads, wind loads, seismic requirements, soil conditions, and heating and cooling loads.
3. Copies of these plans will be provided to the project architect/engineer in electronic format (AutoCAD) and permission is hereby granted the project architect/engineer to copy these files for use in the construction documents after reviewing them for correctness, applicability, and suitability for the particular project. Correctness, applicability, and suitability of copied portions of these documents is the sole responsibility of the project architect/engineer.
4. All changes to these plans must be approved by Culver Franchising System, Inc.
5. The project architect/engineer shall provide one complete set of plans and specifications to Culver Franchising System, Inc. prior to beginning construction.
6. The project architect/engineer shall notify Culver Franchising System, Inc. of any plan conflicts or errors. Please call (608) 644-2116 and ask to speak to Tom Williams or send an e-mail message to tomwilliams@culvers.com
7. Culver Franchising System, Inc. will assist each project architect/engineer in interpreting the intent of the drawings or modifying these plans to accommodate local code requirements or site conditions. Please call (608) 644-2116 and ask to speak to Tom Williams or send an e-mail message to tomwilliams@culvers.com

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C-1	SITE PLAN
C-2	SITE GRADING & EROSION CONTROL PLAN
C-3	SITE UTILITY PLAN
L-1	LANDSCAPE PLAN
A-1	FOUNDATION PLAN, DETAILS, STRUCTURAL NOTES
A-2	FLOOR PLAN
A-3	EXTERIOR ELEVATIONS, DOORS & WINDOWS
A-4	ROOF PLAN, ROOF FRAMING PLAN, & TRUSS PROFILES
A-5	REFLECTED CEILING PLAN
A-6	FINISH PLAN
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FS-1	FOOD SERVICE LAYOUT
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E-2	POWER & COMMUNICATIONS PLAN
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E-4	ELECTRICAL DETAILS
E-5	ONE-LINE DIAGRAM

ALL CONTRACTORS ARE RESPONSIBLE FOR ALL PLAN SHEETS.
DO NOT ISSUE PARTIAL PLANS!



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**CULVER'S RESTAURANT
 GRAND RIVER AVENUE
 GENOA TOWNSHIP, MI**

Revision	Date	FOR HEALTH DEPT. REVIEW	REVD PER PLANNING COMM.
	10-13-2011		
	07-24-2015		

Sheet
T-1

PROPOSED CULVERS PARCEL

All that part of the Southeast 1/4 of Section 5, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as: Commencing at the Southeast corner of Section 5; thence South 87°37'12" West 60.02 feet to the west right of way line of Latson Road (120 feet wide); thence North 00°54'40" West 485.68 feet along said west right of way line to the southwesterly right of way line of Grand River Avenue (variable width), thence North 20°31'52" West 21.17 feet along said southwesterly right of way line; thence North 63°57'17" West 139.30 feet along said southwesterly right of way line to THE PLACE OF BEGINNING OF THIS DESCRIPTION; thence South 25°59'46" West 69.21 feet; thence North 63°52'56" West 18.89 feet; thence South 26°07'04" West 111.80 feet; thence South 52°09'47" West 15.01 feet; thence South 25°52'33" West 42.88 feet; thence northwesterly 9.35 feet along a 102.00 radius non-tangent curve to the left, the chord of which bears North 61°22'01" West 9.35 feet; thence North 64°00'14" West 185.21 feet; thence North 25°59'46" East 237.09 feet to the southwesterly right of way line of Grand River Avenue; thence South 63°57'17" East 220.20 feet along said southwesterly right of way line to the place of beginning.

Subject to all easements and restrictions of record.

PROPOSED RESIDUAL PARCEL

All that part of the Southeast 1/4 of Section 5, Town 2 North, Range 5 East, Genoa Township, Livingston County, Michigan, described as: Commencing at the Southeast corner of Section 5; thence South 87°37'12" West 60.02 feet to the west right of way line of Latson Road (120 feet wide); thence North 00°54'40" West 485.68 feet along said west right of way line to the southwesterly right of way line of Grand River Avenue (variable width), thence North 20°31'52" West 21.17 feet along said southwesterly right of way line; thence North 63°57'17" West 139.30 feet along said southwesterly right of way line to THE PLACE OF BEGINNING OF THIS DESCRIPTION; thence South 25°59'46" West 69.21 feet; thence North 63°52'56" West 18.89 feet; thence South 26°07'04" West 111.80 feet; thence South 52°09'47" West 15.01 feet; thence South 25°52'33" West 42.88 feet; thence northwesterly 9.35 feet along a 102.00 radius non-tangent curve to the left, the chord of which bears North 61°22'01" West 9.35 feet; thence North 64°00'14" West 185.21 feet; thence North 25°59'46" East 237.09 feet to the southwesterly right of way line of Grand River Avenue; thence South 63°57'17" East 220.20 feet along said southwesterly right of way line to the place of beginning.

Subject to all easements and restrictions of record.

GENERAL NOTES:

SITE AREA = 48,711 Sq. Ft.

ZONING: NRPUD

BUILDING AREA: 3,954 Sq. Ft.

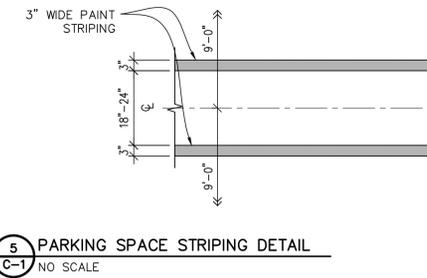
PERCENTAGE OF LAND COVERED BY PROPOSED IMPERVIOUS SURFACES BUILDING + PAVEMENT = 3,954 + 32,178 = 75%

PARKING REQUIREMENTS: DRIVE-THROUGH RESTAURANT
1 SPACE PER 70 SQ. FT. GROSS LEASABLE FLOOR AREA OR 0.5 SPACES PER SEAT, WHICHEVER IS GREATER, PLUS 3 DESIGNATED DRIVE-THROUGH SHORT TERM WAITING SPACES, PLUS 10 STACKING SPACES FOR DRIVE THROUGH SERVICE WHICH DO NOT CONFLICT WITH USE OF REQUIRED SPACES, PLUS AT LEAST 2 LONGER SPACES DESIGNATED FOR RECREATIONAL VEHICLES AND SEMI-TRUCKS

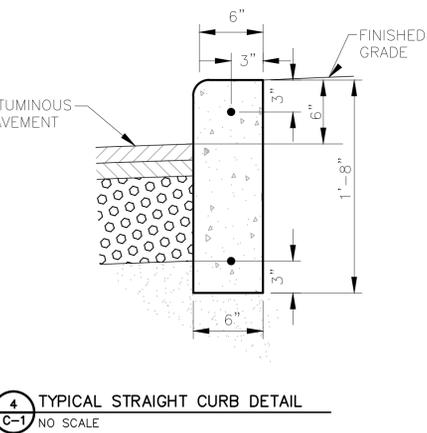
85 SEATS x .5 = 43 SPACES REQUIRED

PARKING SHOWN: 60 SPACES

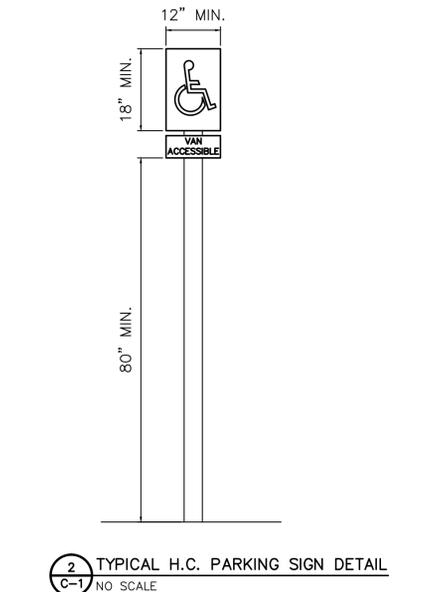
PARKING SIZE:
9'-0" x 18'-0" WITH 24'-0" AISLE
H.C. 9'-0" x 18'-0" WITH 9'-0" AISLE



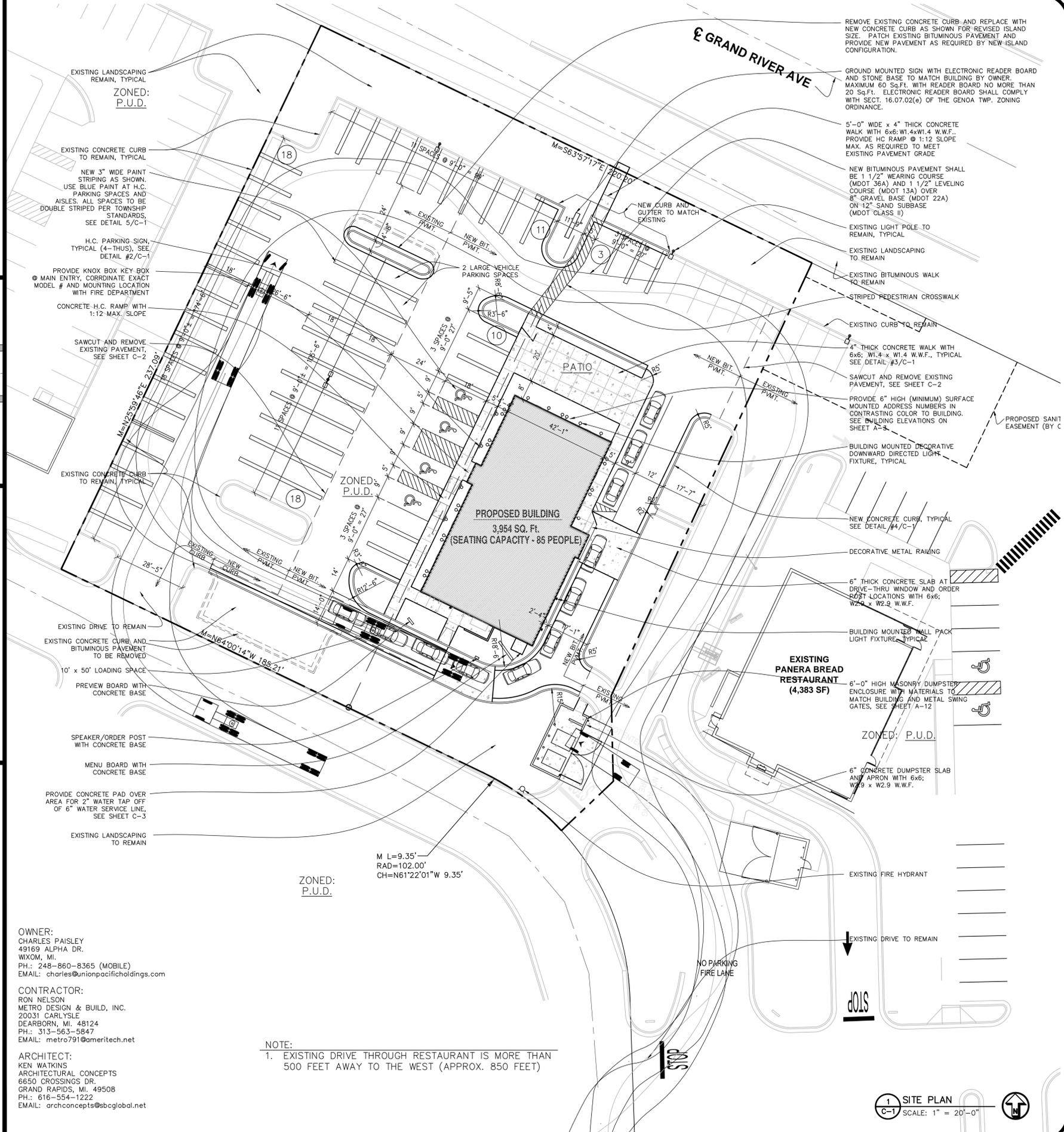
5 PARKING SPACE STRIPING DETAIL
C-1 NO SCALE



4 TYPICAL STRAIGHT CURB DETAIL
C-1 NO SCALE



2 TYPICAL H.C. PARKING SIGN DETAIL
C-1 NO SCALE



OWNER:
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49169 ALPHA DR.
WIXOM, MI
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EMAIL: charles@unionpacificholdings.com

CONTRACTOR:
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METRO DESIGN & BUILD, INC.
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EMAIL: metro791@ameritech.net

ARCHITECT:
KEN WATKINS
ARCHITECTURAL CONCEPTS
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GRAND RAPIDS, MI 49508
PH: 616-554-1222
EMAIL: archconcepts@sbcglobal.net

NOTE:
1. EXISTING DRIVE THROUGH RESTAURANT IS MORE THAN 500 FEET AWAY TO THE WEST (APPROX. 850 FEET)

REMOVE EXISTING CONCRETE CURB AND REPLACE WITH NEW CONCRETE CURB AS SHOWN FOR REVISED ISLAND SIZE. PATCH EXISTING BITUMINOUS PAVEMENT AND PROVIDE NEW PAVEMENT AS REQUIRED BY NEW ISLAND CONFIGURATION.

GROUND MOUNTED SIGN WITH ELECTRONIC READER BOARD AND STONE BASE TO MATCH BUILDING BY OWNER. MAXIMUM 60 SQ.FT. WITH READER BOARD NO MORE THAN 20 SQ.FT. ELECTRONIC READER BOARD SHALL COMPLY WITH SECT. 16.07.02(e) OF THE GENOA TWP. ZONING ORDINANCE.

5'-0" WIDE x 4" THICK CONCRETE WALK WITH 6x6: W1.4xW1.4 W.W.F.. PROVIDE HC RAMP @ 1:12 SLOPE MAX. AS REQUIRED TO MEET EXISTING PAVEMENT GRADE

NEW BITUMINOUS PAVEMENT SHALL BE 1 1/2" WEARING COURSE (MDOT 36A) AND 1 1/2" LEVELING COURSE (MDOT 13A) OVER 8" GRAVEL BASE (MDOT 22A) ON 12" SAND SUBBASE (MDOT CLASS II)

EXISTING LIGHT POLE TO REMAIN, TYPICAL

EXISTING LANDSCAPING TO REMAIN

EXISTING BITUMINOUS WALK TO REMAIN

STRIPED PEDESTRIAN CROSSWALK

EXISTING CURB TO REMAIN

4" THICK CONCRETE WALK WITH 6x6: W1.4xW1.4 W.W.F., TYPICAL SEE DETAIL #3/C-1

SAWCUT AND REMOVE EXISTING PAVEMENT, SEE SHEET C-2

PROVIDE 6" HIGH (MINIMUM) SURFACE MOUNTED ADDRESS NUMBERS IN CONTRASTING COLOR TO BUILDING. SEE BUILDING ELEVATIONS ON SHEET A-5

BUILDING MOUNTED DECORATIVE DOWNWARD DIRECTED LIGHT FIXTURE, TYPICAL

NEW CONCRETE CURB, TYPICAL SEE DETAIL #4/C-1

DECORATIVE METAL RAILING

6" THICK CONCRETE SLAB AT DRIVE-THRU WINDOW AND ORDER POST LOCATIONS WITH 6x6: W2.9 x W2.9 W.W.F.

BUILDING MOUNTED WALL PACK LIGHT FIXTURE, TYPICAL

6'-0" HIGH MASONRY DUMPSTER ENCLOSURE WITH MATERIALS TO MATCH BUILDING AND METAL SWING GATES. SEE SHEET A-12

6" CONCRETE DUMPSTER SLAB AND APRON WITH 6x6: W2.9 x W2.9 W.W.F.

EXISTING FIRE HYDRANT

EXISTING DRIVE TO REMAIN

STOP

STOP

NO PARKING FIRE LANE

STOP

STOP

STOP

STOP

STOP

STOP

PRELIMINARY NO FOR CONSTRUCTION

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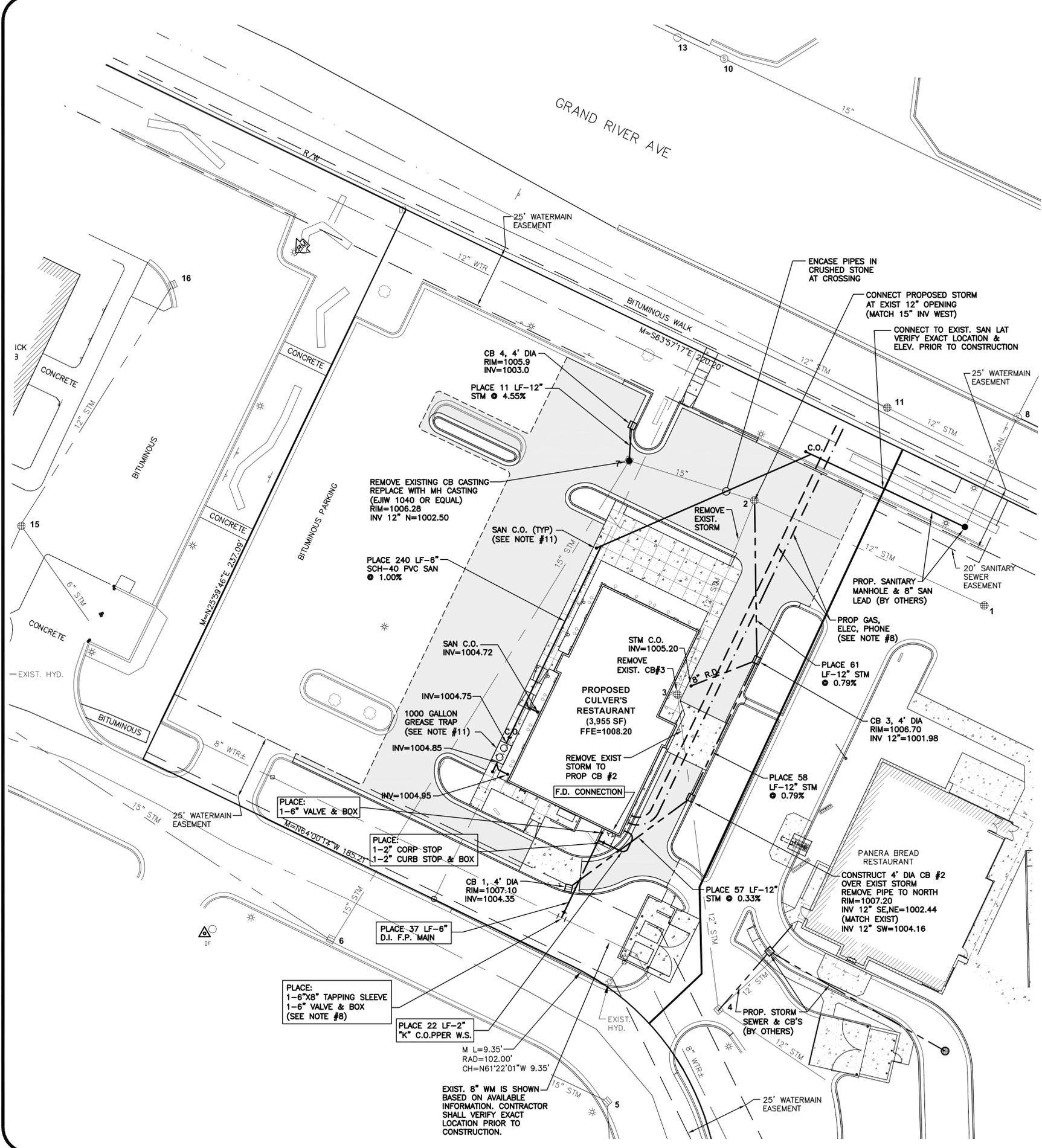


CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

Revision	Date	Description
06-01-2015	FOR SITE PLAN APPROVAL	
06-25-2015	REVISED PER TWP REVIEW	
07-24-2015	REV'D PER PLANNING COMM.	

Sheet
C-1

1 SITE PLAN
C-1 SCALE: 1" = 20'-0"



LEGEND

- ⊕ = PROPOSED STORM CATCH BASIN
- = PROPOSED MANHOLE
- = PROPOSED STORM SEWER
- = PROPOSED WATERMAIN
- = PROPOSED SANITARY SEWER
- - - = PROPOSED GAS
- - - = PROPOSED ELECTRIC/PHONE

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 or 811

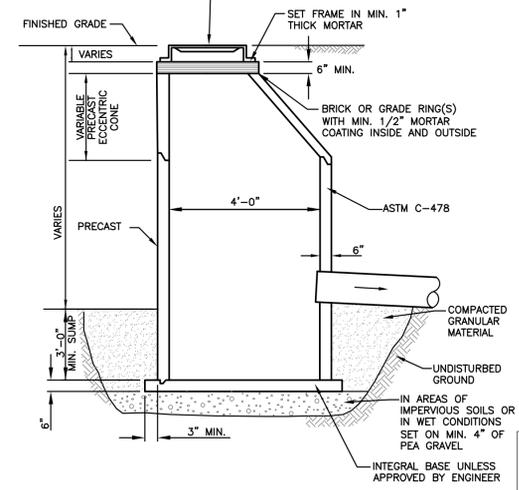
EXISTING UTILITY STRUCTURE INVERTS

- | | | | |
|------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|
| 1) ROUND CATCH BASIN
RIM=1006.61
12" W 1003.01 | 5) SQUARE CATCH BASIN
RIM=1007.19
15" W 1001.59
15" SE 1001.54 | 9) SANITARY MANHOLE
RIM=1006.96
8" S 1000.06
8" E 1000.46
15" W 1000.01 | 13) WATER MANHOLE?
RIM=1007.84
BOLTED SHUT |
| 2) ROUND CATCH BASIN
RIM=1006.32
12" E 1001.82
12" S 1001.32
15" W 1001.52 | 6) SQUARE CATCH BASIN
RIM=1007.69
24" W 1001.39 15"?
15" NE 1001.39 | 10) SANITARY MANHOLE
RIM=1007.73
15" E 999.48
15" W 999.38 | 14) SQUARE CATCH BASIN
RIM=1006.94
24" W 1000.74
15" N 1000.94 12"?
15" E 1000.94 24"? |
| 3) ROUND CATCH BASIN
RIM=1006.22
12" N 1002.37
12" SE 1002.37 | 7) SQUARE CATCH BASIN
RIM=1006.00
15" S 1001.70
15" E 1001.70 | 11) BEEHIVE CATCH BASIN
RIM=1008.09
12" E 1005.24
12" W 1005.24 | 15) ROUND CATCH BASIN
RIM=1006.34
12" N 1002.44
12" S 1002.39 15"?
6" PVS TO DUMPSTER |
| 4) SQUARE CATCH BASIN
RIM=1006.07
12" E 1002.57
12" NW 1002.57
12" N 1002.57 | 8) SANITARY MANHOLE
RIM=1007.65
8" N 1000.40
8" S 1000.50
8" E 1000.50 | 12) SANITARY MANHOLE
RIM=1008.22
15" E 998.22
15" W 998.02 | 16) SQUARE CATCH BASIN
RIM=1006.74
12" S 1002.99 |

GENERAL NOTES

- EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA.
- EXISTING SITE CONSISTS OF PAVED PARKING AREAS. THE LIVINGSTON COUNTY SOIL SURVEY INDICATES UNDERLYING SOILS TO CONSIST OF CONOVER LOAM AND MIAMI LOAM.
- EXISTING IMPERVIOUS SURFACE AREA (WITHIN PROPOSED PROPERTY) = 38,533 S.F.
PROPOSED IMPERVIOUS AREA (WITHIN PROPOSED PROPERTY) = 36,132 S.F.
PROPOSED SITE IMPROVEMENTS RESULT IN A NET DECREASE OF IMPERVIOUS SURFACE.
- ALL CONSTRUCTION METHODS & MATERIALS SHALL COMPLY WITH GENOA TOWNSHIP REQUIREMENTS AND SPECIFICATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE STAKED AND GRADED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
- ALL RUNOFF FROM PROPOSED BUILDING ROOF SHALL BE CONNECTED TO THE PROPOSED STORM SEWER AS INDICATED.
- STORM SEWER PIPE TO BE SLOPP HANCOR MEGA GREEN ST-1B (OR APPROVED EQUAL) UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY PROVIDERS PRIOR TO BEGINNING CONSTRUCTION.
- STORM WATER WILL BE COLLECTED IN A COLLECTION SYSTEM AND WILL DISCHARGE THROUGH THE EXISTING SITE OUTLET TO THE PRIVATE DRIVE ALONG THE SOUTH PROPERTY LINE.
- A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONTRACTED TO MONITOR EARTHWORK & PAVING ACTIVITIES.
- GREASE INTERCEPTOR TO BE 1000 GALLON AND SHALL CONFORM TO GENOA TOWNSHIP STANDARD DETAIL. SANITARY SEWER CLEANOUTS SHALL CONFORM TO GENOA TOWNSHIP STANDARD DETAIL.
- WHERE UNSUITABLE MATERIAL IS ENCOUNTERED, IT SHALL BE UNDERCUT TO SUITABLE MATERIALS. BACKFILL SHALL MEET GRANULAR MATERIAL CLASS II REQUIREMENTS.

CASTING SCHEDULE:
 BITUMINOUS AREA - EJIW 1020 W/M1 COVER
 UNPAVED AREA - EJIW 1020 W/TYPE 02 BEEHIVE
 BIT VALLEY GUTTER - EJIW 7066
 CURB LINE - EJIW 7000-T1, M1
 INVERTED CROWN - EJIW 5100



STANDARD CATCH BASIN
NO SCALE

SITE UTILITY PLAN

PRELIMINARY - NOT FOR CONSTRUCTION

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Culver's Restaurant
 540 Water Street
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 608-643-7980



CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

Date	Revision
6-25-15	REVISED PER TWP REVIEW
7-24-15	REV. PER PLANNING COMM.

Sheet
C-3

Williams & Works
 engineers, planners, surveyors
 616.224.1500 phone · 616.224.1501 facsimile
 549 Ottawa Ave NW · Grand Rapids, MI 49503
 W&W JOB#: 211093

PROPOSED LANDSCAPE PLAN FOR:



AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS

DRAWN BY:

Joyce E. Weise ASLA

DRAWING NUMBER:

090211

DRAWING DATE:

09/06/11

Issued For:

4/26/11 Site Plan Approval

4/27/11 Revised per Twp. Review

10/26/11 Revised per Planning Commission

11/27/11 Revised per Planning Commission

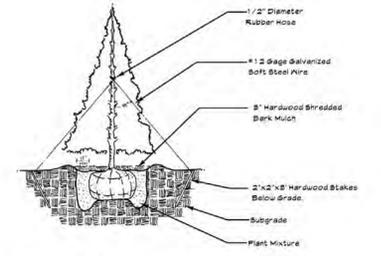
01/24/12 Revised per Planning Commission

SCALE

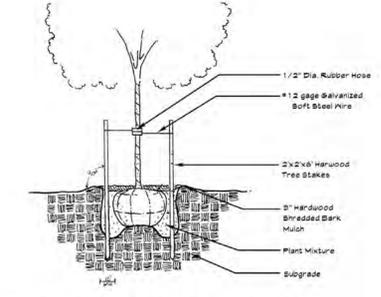
1"=20'

SHEET NUMBER

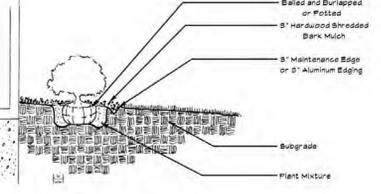
L-1



Evergreen Planting Detail-B' and Taller (as needed)



Deciduous Trees 8" Caliper and Smaller (as needed or required)



Shrub Planting Detail



Notes:

- All landscaping to be installed by a qualified Landscape Contractor. No substitutions without prior authorization from Landscape Architect.
- All plantings, including trees in lawn areas shall be mulched with 3" shredded hardwood bark mulch.
- Trees and shrubs shall be planted with a plant mix consisting of 1 part topsoil, 1 part peat, and 1 part existing soil.
- Planting areas shall be edged with aluminum edging unless noted otherwise.
- Lawn areas shall receive 4" of topsoil and sod. Check with specifications for topsoil availability or contact project manager.
- Provide irrigation for new landscaped areas only. Irrigation system shall be designed and installed by the Landscape Contractor.
- Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and watering.
- Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.

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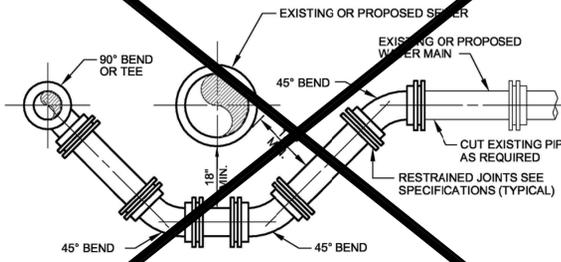


PIPE RESTRAINT SCHEDULE

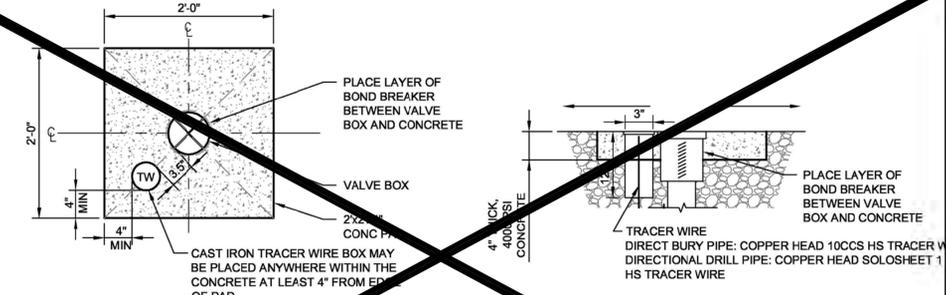
GROUND BURIED PRESSURE PIPE - POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	--	--
6	19	8	4	2	58	31	--
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	168

- LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.
 - IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.
 - THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY).
 - THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.
 - IF TIE RODS ARE USED, USE FOUR RODS MINIMUM AND ADD 1/8-INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.
 - SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.
- BASED UPON:
- | | |
|--------------------|-----------|
| INTERNAL PRESSURE: | 180 |
| PIPE DEPTH: | 5 |
| BEDDING CLASS: | TYPE 4 |
| SOIL TYPE: | GOOD SAND |
| SAFETY FACTOR: | 2 |

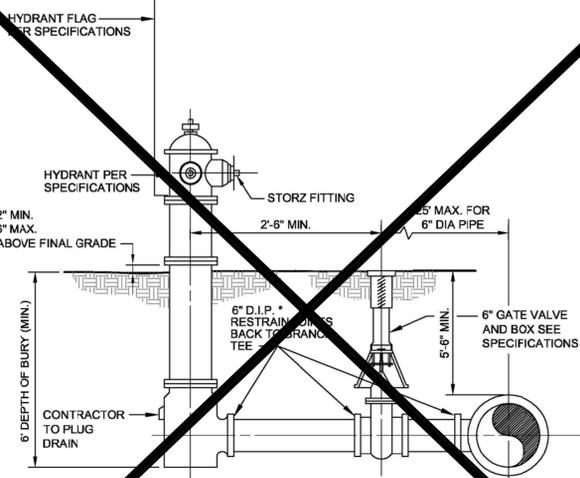


WATER MAIN UTILITY OFFSET



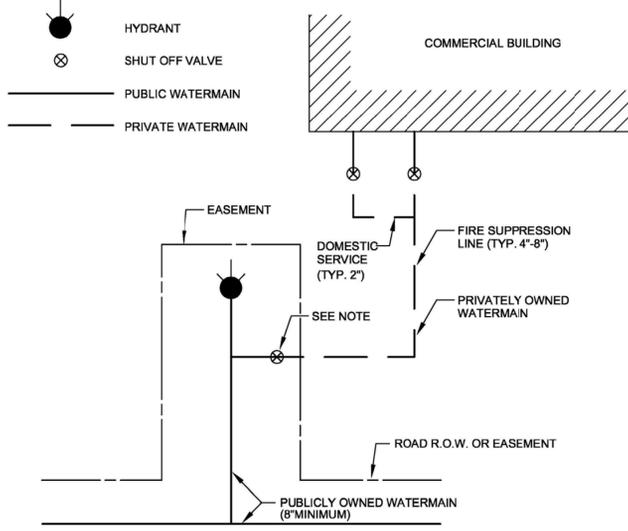
- NOTE: ALL BOXES & ADJOINING TW BOXES SHALL BE ENCASED IN A CONC. PAD UNLESS OTHERWISE DETERMINED BY MHOG.
- NOTE:
- TRACER WIRE BOXES LOCATED WITHOUT A VALVE BOX ONLY REQUIRE AN 18" X 18" CONCRETE PAD.
 - TRACER WIRE BOX SHALL HAVE A LOCKING LID WITH STANDARD AWWA PENTAGON KEY.

VALVE/TRACER WIRE BOX IN CONCRETE DETAIL
NO SCALE



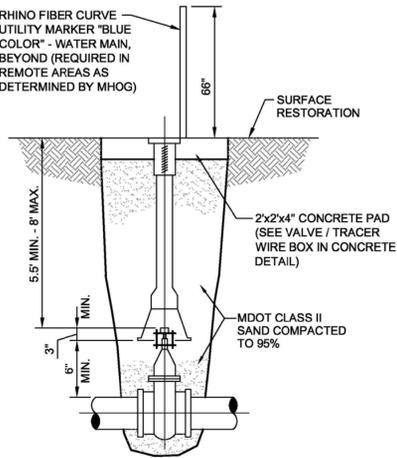
FIRE HYDRANT ASSEMBLY

* THE LENGTH OF 6" PIPE FROM THE MAIN TO THE HYDRANT ASSEMBLY CANNOT EXCEED 25'. ANY PIPE OVER 25 FEET SHALL BE 8" DIAMETER MINIMUM AND DESIGNED PER MHOG SPECIFICATIONS.



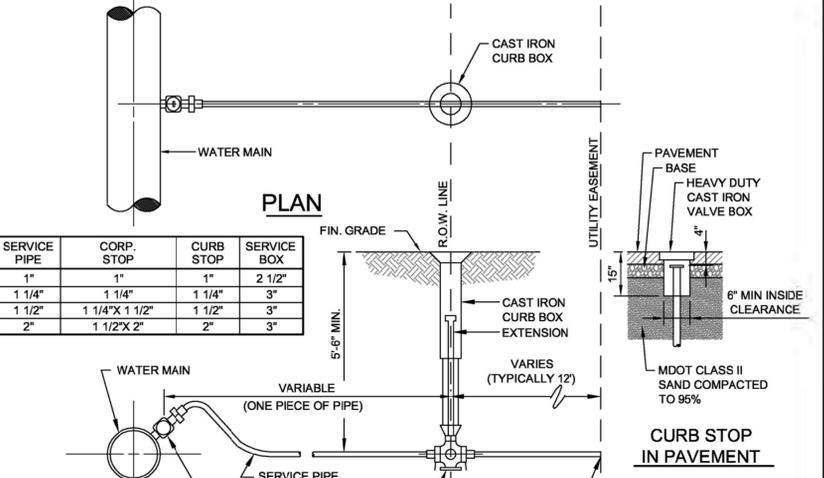
COMMERCIAL BUILDING WATER SERVICE LAYOUT

NOTE: PUBLICLY OWNED SHUT OFF VALVE TO BE LOCATED IN EASEMENT.

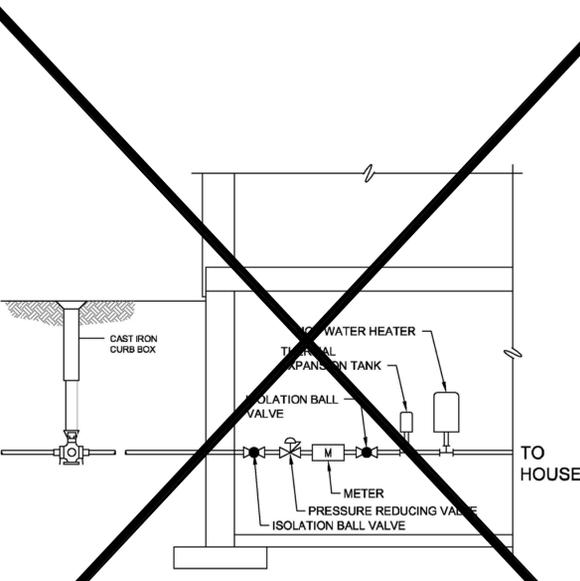


GATE VALVE AND BOX

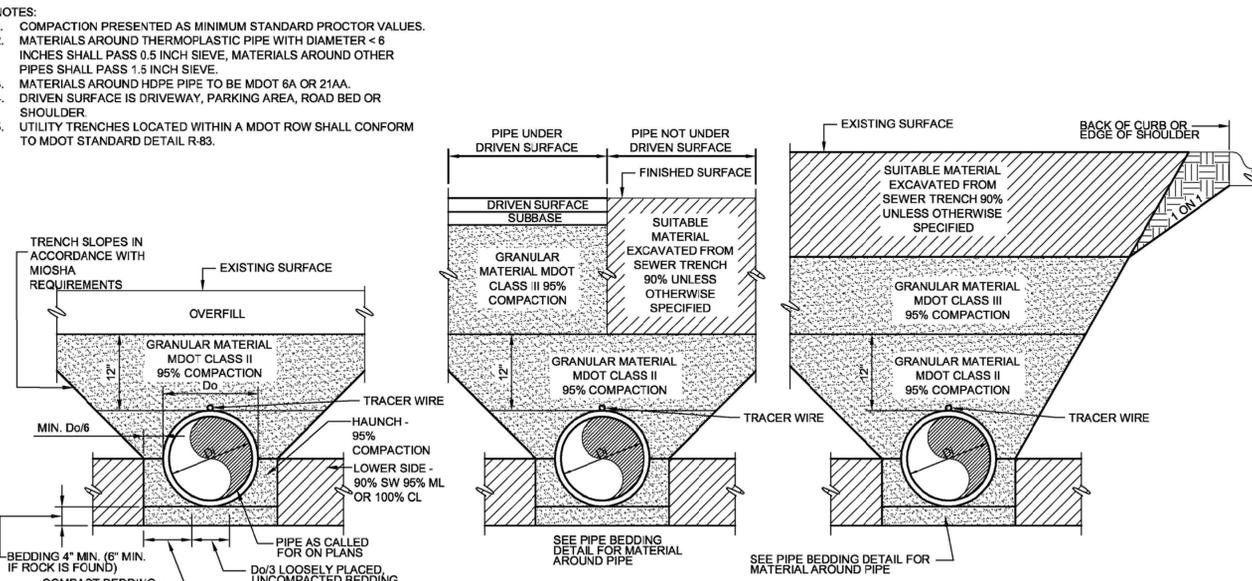
- NOTES:
- VALVE BOX SHALL NOT REST ON VALVE OR MAIN LINE PIPE.
 - A VALVE STEM EXTENSION WITH CENTERING RING IS REQUIRED FOR VALVES BURIED DEEPER THAN 6".



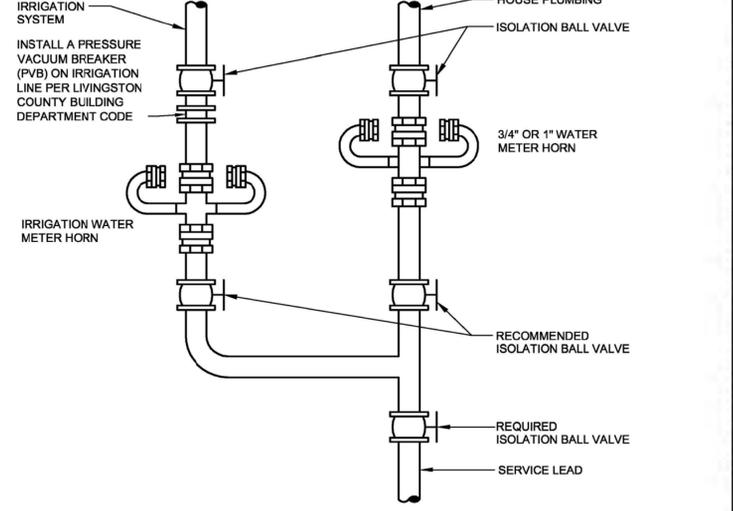
WATER SERVICE LATERAL



PRIVATE RESIDENCE PRESSURE REDUCING VALVE (PRV)



TRENCH EXCAVATION & PIPE BEDDING



- NOTES:
- ALL METERS ARE TO BE INSTALLED HORIZONTALLY IN A DRY, CLEAN, SANITARY LOCATION THAT IS READILY ACCESSIBLE. THIS DRAWING IS NOT TO SCALE & IS ONLY A REPRESENTATION OF HOW THE METERS SHOULD BE INSTALLED. THE SECOND METER IS OPTIONAL FOR IRRIGATION USAGE. METERS SHOULD NOT BE INSTALLED IN LINE (ONE RIGHT AFTER THE OTHER).
 - PROPERTIES DESIGNATED "HIGH HAZARD" PER THE MHOG CROSS CONNECTION RULES MANUAL WILL REQUIRE THE INSTALLATION OF A REDUCED PRESSURE ZONE (RPZ) BACK FLOW PREVENTION DEVICE.

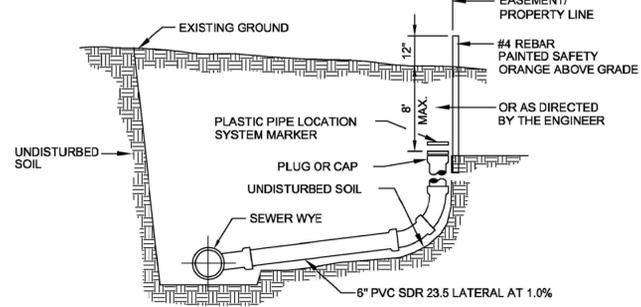
TYPICAL METER HORN INSTALLATION



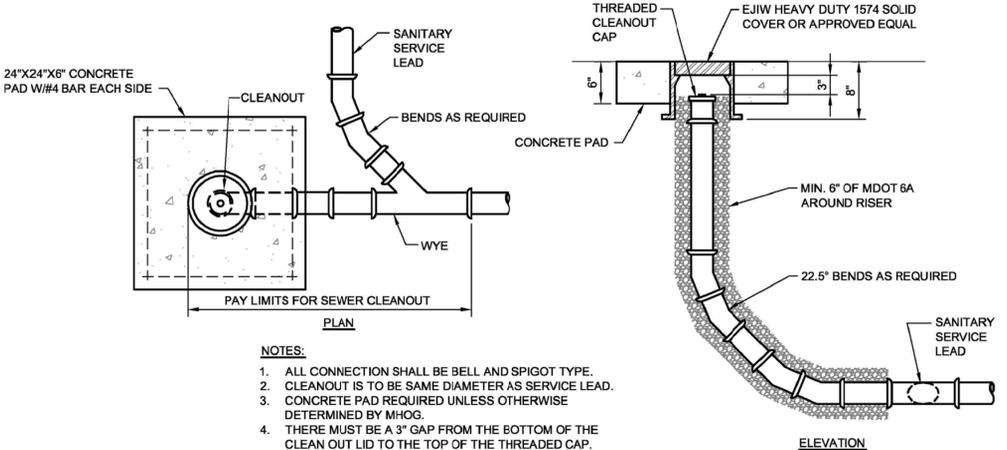
MARION HOWELL OCEOLA GENOA
Sewer and Water Authority

Scale: NONE
Issued Date: JANUARY - 2014

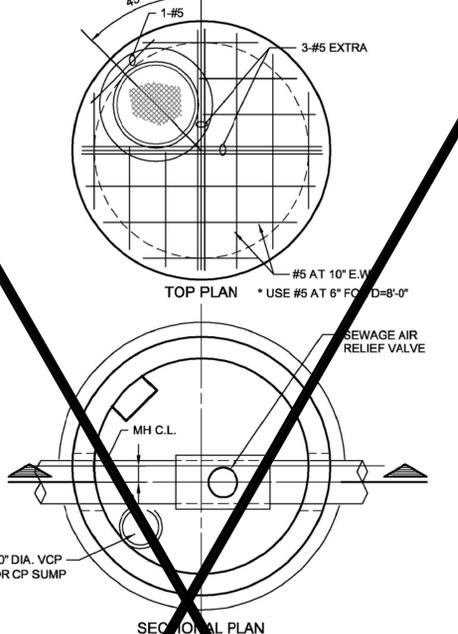
WATER MAIN
STANDARD DETAILS



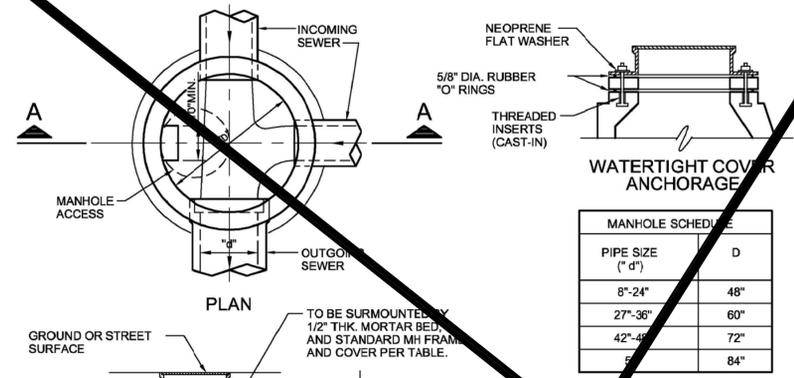
SANITARY SEWER LATERAL



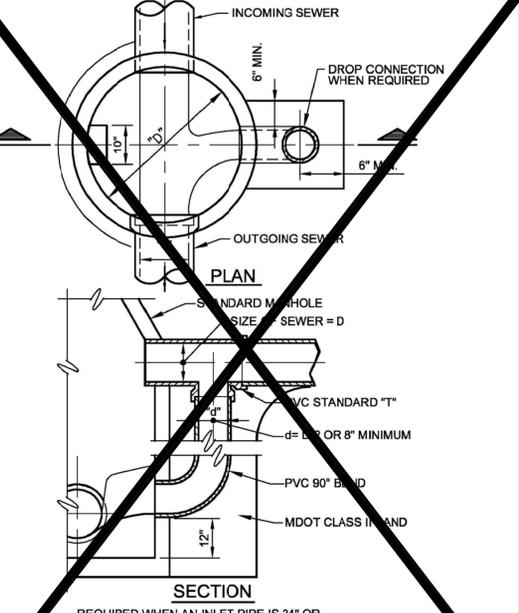
SEWER CLEANOUT DETAIL



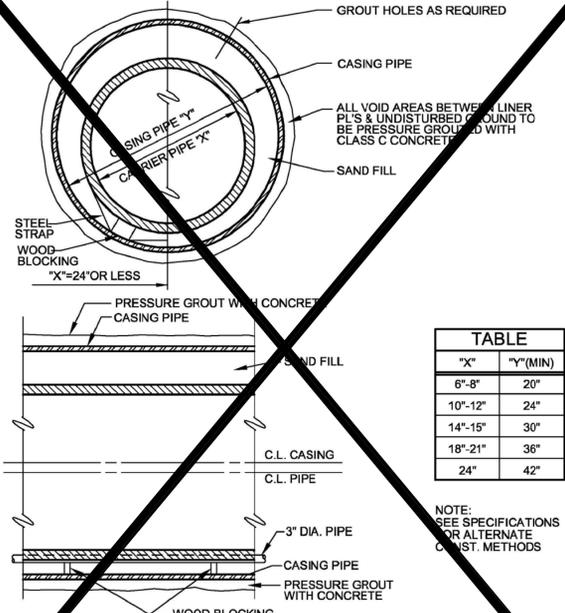
AIR RELIEF STRUCTURE



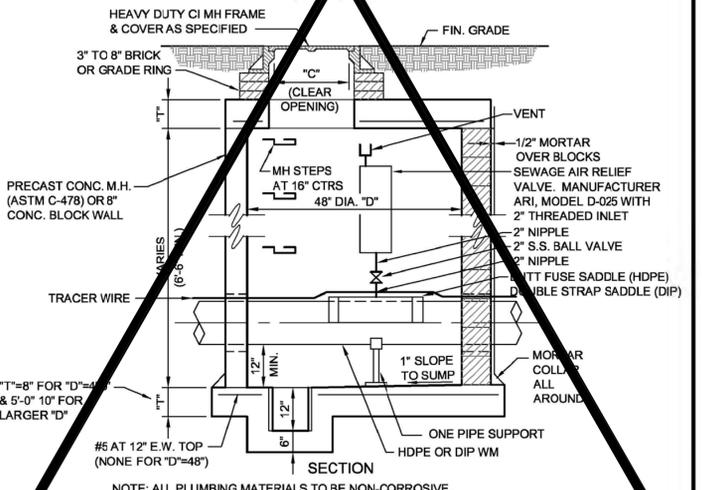
MANHOLE SCHEDULE	
PIPE SIZE (\" d")	D
8"-24"	48"
27"-36"	60"
42"-48"	72"
54"	84"



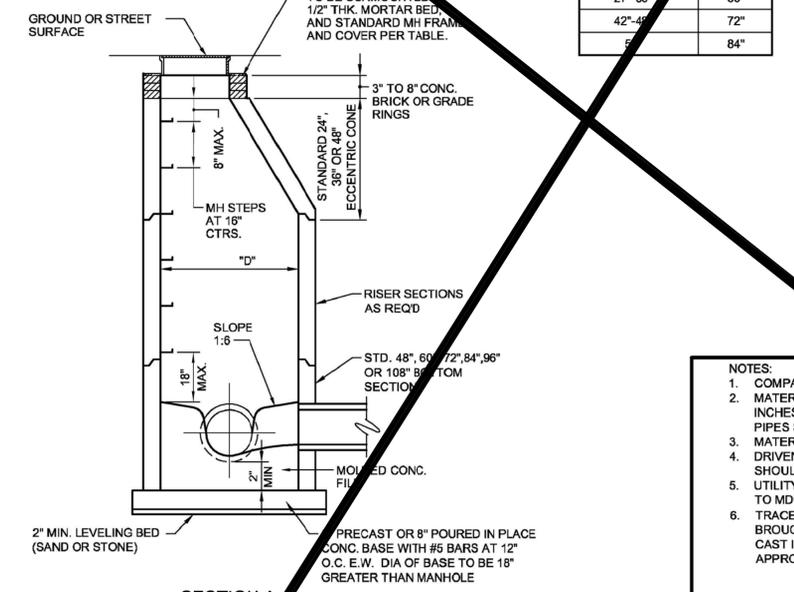
DROP CONNECTION



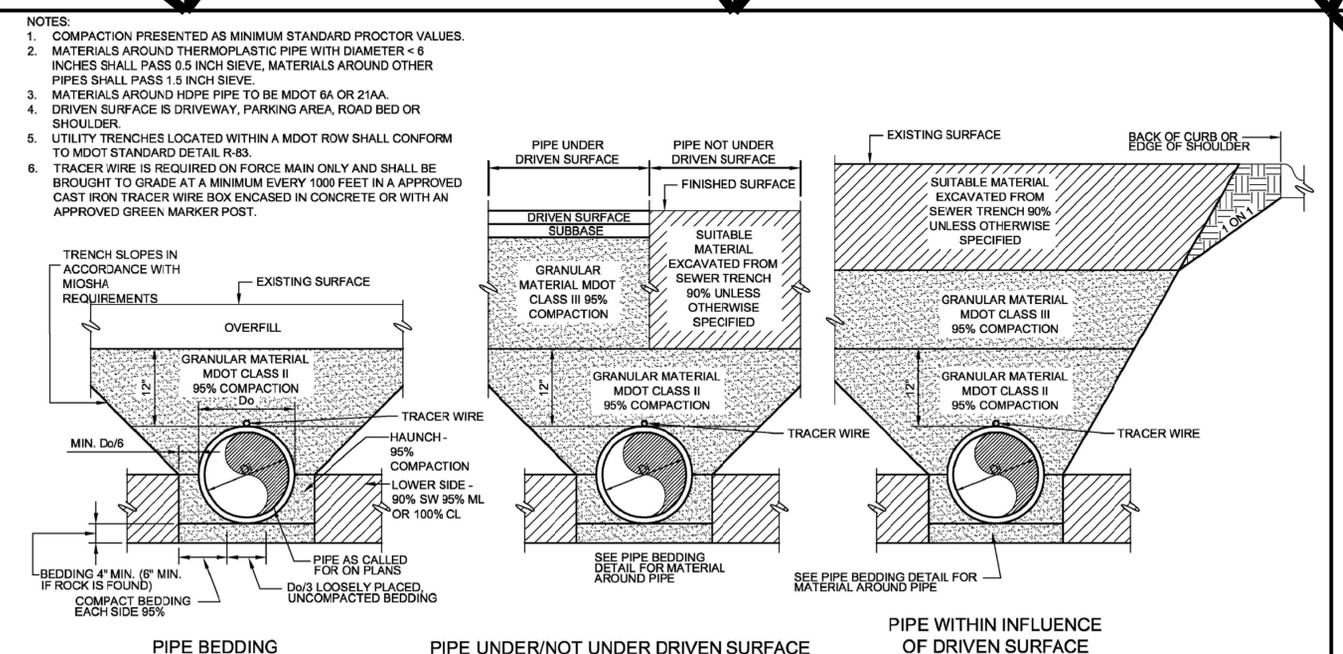
CASING PIPE



AIR RELIEF STRUCTURE

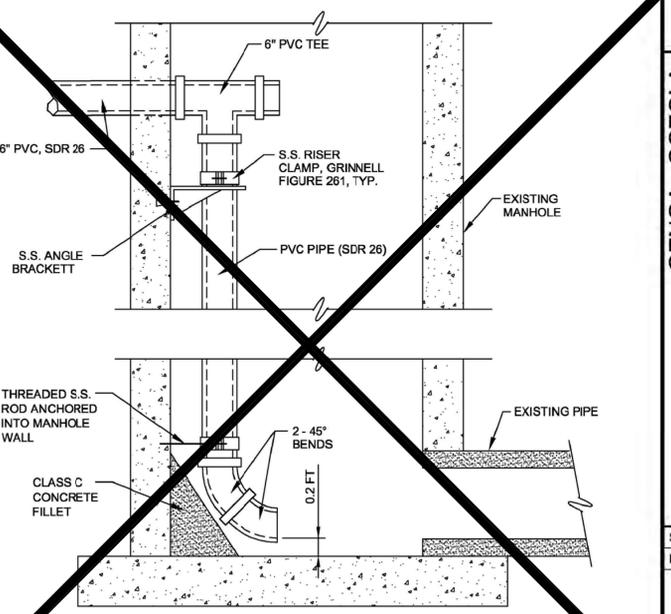


STANDARD MANHOLE



PIPE BEDDING

TRENCH EXCAVATION & PIPE BEDDING



INTERIOR SEWER LATERAL DROP CONNECTION

FRAME & COVER FOR SANITARY SEWER MANHOLES			
TYPE	TYPE OF COVER	MANUFACTURER OR EQUAL	
		EAST JORDAN	NEENAH
MH	SANITARY - SOLID SELF-SEALING	1040.0000	R-1642
MH	SANITARY - SOLID WATERTIGHT	1040-APT	R-1916-F
CO	SOLID	1574A	R-1973-A

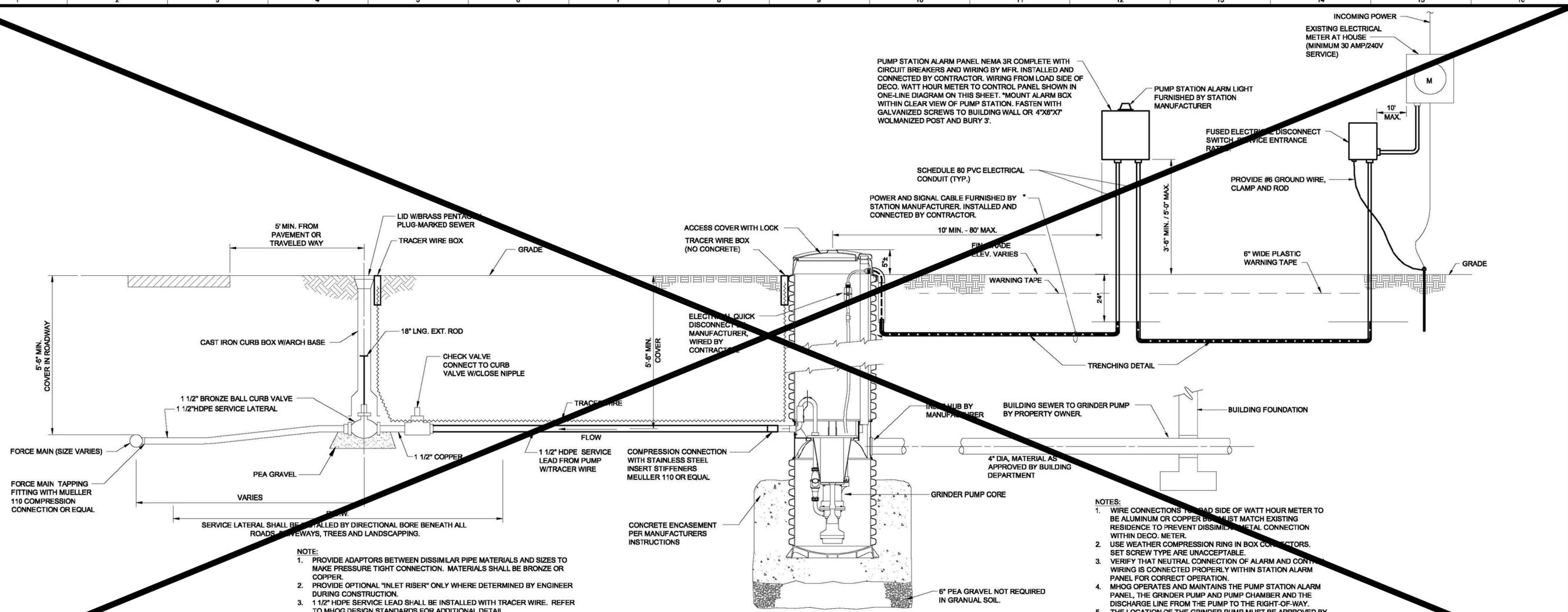
- NOTES:
1. COMPACTION PRESENTED AS MINIMUM STANDARD PROCTOR VALUES.
 2. MATERIALS AROUND THERMOPLASTIC PIPE WITH DIAMETER < 6 INCHES SHALL PASS 0.5 INCH SIEVE, MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.
 3. MATERIALS AROUND HDPE PIPE TO BE MDOT 6A OR 21AA.
 4. DRIVEN SURFACE IS DRIVEWAY, PARKING AREA, ROAD BED OR SHOULDER.
 5. UTILITY TRENCHES LOCATED WITHIN A MDOT ROW SHALL CONFORM TO MDOT STANDARD DETAIL R-83.
 6. TRACER WIRE IS REQUIRED ON FORCE MAIN ONLY AND SHALL BE BROUGHT TO GRADE AT A MINIMUM EVERY 1000 FEET IN A APPROVED CAST IRON TRACER WIRE BOX ENCASED IN CONCRETE OR WITH AN APPROVED GREEN MARKER POST.



GENOA OCEOLA Sewer and Water Authority

SANITARY SEWER STANDARD DETAILS

Scale: NONE
Issued Date: JANUARY - 2014

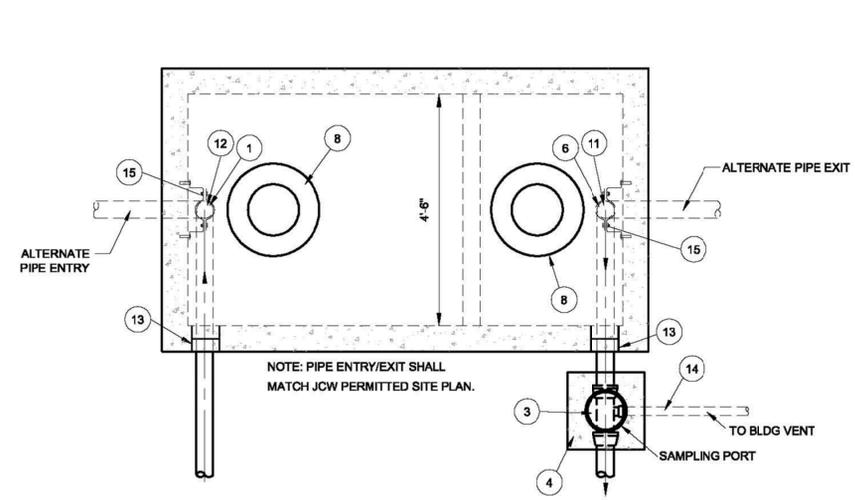


SIMPLEX/DUPLEX GRINDER PUMPING STATION

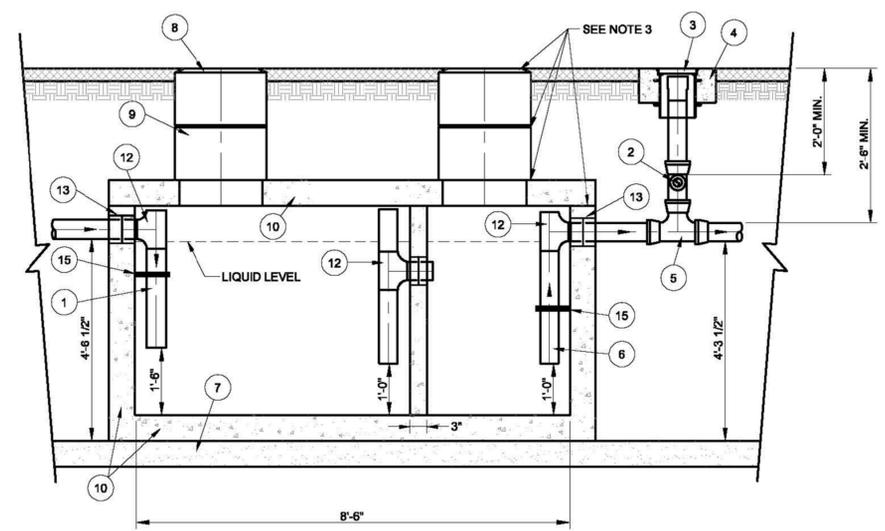
NO SCALE

- NOTE:
1. PROVIDE ADAPTORS BETWEEN DISSIMILAR PIPE MATERIALS AND SIZES TO MAKE PRESSURE TIGHT CONNECTION. MATERIALS SHALL BE BRONZE OR COPPER.
 2. PROVIDE OPTIONAL "INLET RISER" ONLY WHERE DETERMINED BY ENGINEER DURING CONSTRUCTION.
 3. 1 1/2" HDPE SERVICE LEAD SHALL BE INSTALLED WITH TRACER WIRE. REFER TO MHOG DESIGN STANDARDS FOR ADDITIONAL DETAIL.

- NOTES:
1. WIRE CONNECTIONS TO LOAD SIDE OF WATT HOUR METER TO BE ALUMINUM OR COPPER BUT MUST MATCH EXISTING RESIDENCE TO PREVENT DISSIMILAR METAL CONNECTION WITHIN DECO. METER.
 2. USE WEATHER COMPRESSION RING IN BOX CONNECTORS. SET SCREW TYPE ARE UNACCEPTABLE.
 3. VERIFY THAT NEUTRAL CONNECTION OF ALARM AND CONTROL WIRING IS CONNECTED PROPERLY WITHIN STATION ALARM PANEL FOR CORRECT OPERATION.
 4. MHOG OPERATES AND MAINTAINS THE PUMP STATION ALARM PANEL, THE GRINDER PUMP AND PUMP CHAMBER AND THE DISCHARGE LINE FROM THE PUMP TO THE RIGHT-OF-WAY.
 5. THE LOCATION OF THE GRINDER PUMP MUST BE APPROVED BY MHOG PRIOR TO INSTALLATION. THE GRINDER PUMP MUST BE SERVICEABLE (ACCESSIBLE BY TRUCK) AND FREE FROM OBSTRUCTION.
 6. MHOG MUST BE ONSITE FOR STARTUP OF ALL NEW GRINDER PUMPS.



NOTE: PIPE ENTRY/EXIT SHALL MATCH JCW PERMITTED SITE PLAN.



GREASE INTERCEPTOR 1000 GALLON

NO SCALE

ITEM	DESCRIPTION
1	4" PVC INLET PIPE*
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT*
3	THREADED C/O CAP JOSAM 58860 OR APP EQUAL**
4	CONCRETE PAD
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" PVC OUTLET*
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER ***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED FOR SERVICE CONDITIONS
11	4" PVC 90° ELBOW**
12	4" PVC TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE (IDENTIFY PIPE TYPE, CLASS & JOINT AS REQUIRED FOR PROJECT)
15	STAINLESS STEEL PIPE SUPPORT CLAMP ****

* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
 ** REFER TO CLEAN OUT DETAILS ON STANDARD DETAIL SHEET.
 *** CLAY & BAILEY 2008 BY OR EQUAL (FROST PROOF COVERS OPTIONAL)
 **** FM STAINLESS FASTENERS #83 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

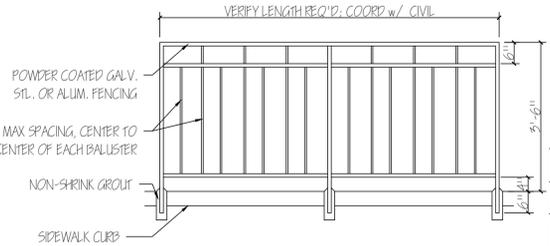
- NOTES:
1. THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
 2. INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS)
 3. ALL JOINTS AT THE FRAME & COVER*, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12".
 4. PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE PVC WITH SOLVENT-CEMENTED JOINTS.
 5. GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE LIVINGSTON COUNTY BUILDING DEPARTMENT SPECIFICATIONS FOR SEPTIC TANKS.
 6. ONLY KITCHEN WASTE SHALL BE DIVERTED TO THE GREASE TRAP.



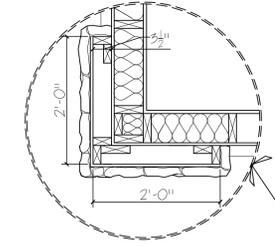
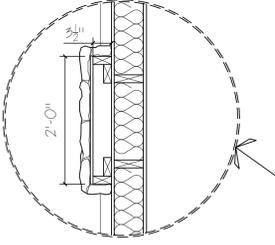
GENOA OCEOLA
Sewer and Water Authority

SANITARY SEWER
STANDARD DETAILS

Scale: NONE
 Issued Date: JANUARY - 2014
 Updated: APRIL - 2015



GUARD RAIL DETAIL
1/2" = 1'-0"



NOTES:

G.C. SHALL VERIFY & COORDINATE W/ ANY CLEARANCE REQUIREMENTS FOR WATER METER AND ELECTRICAL TRANSFORMER.

PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE T.V. & TELEPHONE. COORDINATE W/ OWNER.

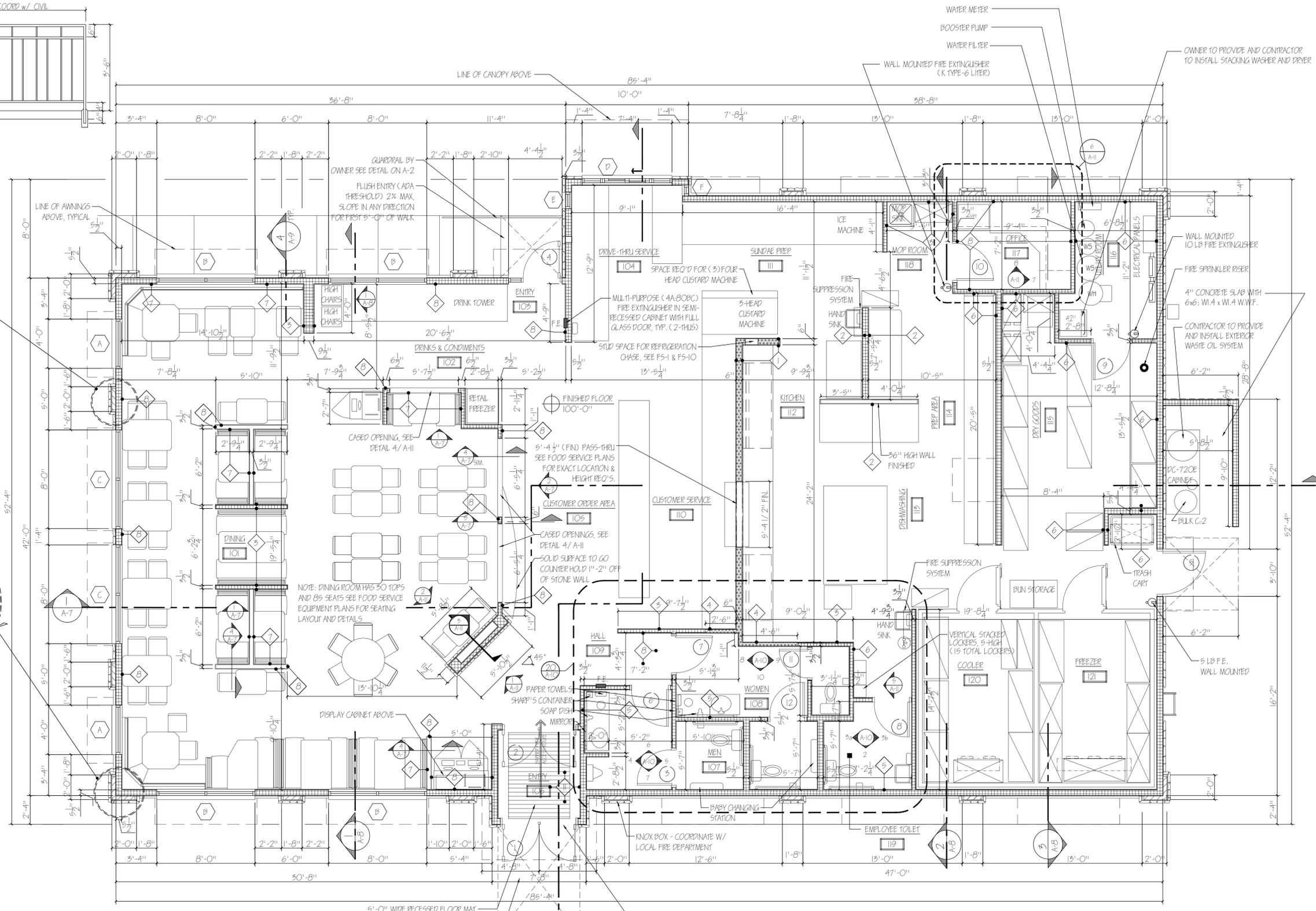
VERIFY LOCAL REQUIREMENTS FOR ELECTRIC TRANSFORMER PAD / BLAST WALLS IF NECESSARY.

G.C. WILL BE REQUIRED TO COORDINATE I.T., POWER, SECURITY, & P.O.S. TO ROOM 117.

FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. LOCAL A/E TO CONFIRM NUMBER, TYPE, & LOCATION REQUIRED PER CODE AND CONFIRM W/ LOCAL FIRE MARSHALL.

- WALL TYPE:**
- 1 6" WGA. STEEL STUDS W/ 1/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 2 3/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 3/8" PLYWOOD FROM 12" A.F.F. TO FULL HEIGHT.
 - 3 3/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 4 3 3/8" STEEL STUDS W/ 1/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 5 3/8" CEMENT BOARD / 3/8" MOISTURE RESISTANT GYP. BOARD TO ROOF DECK. (COORDINATE WITH INTERIOR FINISHES)
 - 6 3/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. 3/8" PLYWOOD IN LIEU OF GYP. BOARD FROM 4'-0" TO 8'-0" ABOVE FLOOR. GYP. BOARD TO 6" ABOVE CEILING.
 - 7 3/8" PLYWOOD FROM FLOOR TO TOP OF WAINSCOT. GULIE & SCREWED. 3/8" GYP. BOARD FROM TOP OF WAINSCOT TO 6" ABOVE CEILING WHERE APPLICABLE.
 - 8 3/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. 3/8" GYP. BOARD FROM 12" TO 6" ABOVE CEILING WHERE APPLICABLE.

- KEY TO SYMBOLS**
- XX DOOR TYPE - SEE SHEET A-3
 - XX WINDOW TYPE - SEE SHEET A-3
 - XX WALL TYPES



FLOOR PLAN - METRO M - 2015 PROTOTYPE
SCALE: 1/4" = 1'-0"
3,954 SQUARE FEET



CULVER'S RESTAURANT
450 Water Street
Prairie du Sac, WI 53578
608-643-7980

Revision	Date	Description
06-01-2015		FOR SITE PLAN APPROVAL
06-25-2015		REVISED PER TWP. REVIEW
07-24-2015		REV'D PER PLANNING COMM.

PRELIMINARY NO FOR CONSTRUCTION
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DOOR SCHEDULE

NO.	DOOR:				FRAME:		HARDWARE GROUP	NOTES
	WIDTH	HGT.	MAT'L	TYPE	MATERIAL	TYPE		
1	2 @ 36"	84"	ALUM	A	ALUM	A	1	
2	2 @ 36"	84"	ALUM	A	ALUM	B	2	
3	34"	60"	WD	E	HM	E, 3'-2"	7	HM FRAME PAINT TO MATCH LAMINATE 2: WILSONART FANTHILL PEAR
4	36"	84"	ALUM	A	ALUM	C	1	
5	42"	84"	HM	B	HM	D	3	
6	36"	84"	WD	C	HM	E	4	HM FRAME PAINT TO MATCH LAMINATE 2: WILSONART FANTHILL PEAR
7	36"	84"	WD	C	HM	E	4	HM FRAME PAINT TO MATCH LAMINATE 2: WILSONART FANTHILL PEAR
8	34"	84"	WD	C	HM	E	6	OPTIONAL - CONFIRM IF EMPLOYEE TOILET IS SELECTED
9	36"	84"	WD	C	HM	E	5	
10	36"	84"	WD	D	HM	E	5	HM FRAME PAINT TO MATCH LAMINATE 2: WILSONART FANTHILL PEAR
11	28"	60"	WD	E	HM	E, 2'-8"	7	HM FRAME PAINT TO MATCH LAMINATE 2: WILSONART FANTHILL PEAR
12	34"	60"	WD	E	HM	E, 3'-2"	7	HM FRAME PAINT TO MATCH LAMINATE 2: WILSONART FANTHILL PEAR

HARDWARE GROUPS:

HARDWARE GROUP 1: (Doors 1 & 4)
This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality system.

- Hinges: Roton continuous hinges with heavy duty hardware
- Lock: Touchless exit device (Van Duprin Series 98 or approved equal)
- Boots: Manufacturer's standard flush boots
- Closers: LCN 4000 series with heavy duty hardware
- Threshold: Aluminum - Meets ADA requirements
- Sweep: MiPar's standard sweep
- Weatherstripping: MiPar's premium package
- Wall stops

HARDWARE GROUP 2: (Door 2)
This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality system.

- Hinges: Roton continuous hinges with heavy duty hardware
- Lock: None
- Boots: None
- Closers: LCN 4000 Series with heavy duty hardware
- Threshold: None
- Sweep: None
- Weatherstripping: None

HARDWARE GROUP 3: (Door 5)

- Hinges: 1-1/2 pair butts Soss 55 4B 450 TBB NRP (or Stanley or Haeger equal)
- Lock: Schlage D series "Rhodes" in 626 finish
- Lock Protector: Alum-Johnson U532D - Coord. w/ lock
- Closers: LCN 4000 H Cush w/ Integral stop
- Threshold: Pemko 254 Series
- Weatherstripping: Full - Pemko or equal
- Kick Plate: 12" high x door width @ both sides of door. 626 finish - Rockwood or equal.

DOOR TYPES



TYPE "A"
36" x 84" clear anodized aluminum finish, glass is 5/8" tempered insulating glass pair @ door 1 single leaf @ door 2



TYPE "B"
42" x 84" insulated hm door w/ 12" x 12" tempered glass lite glaze w/ 5/8" insulating glass finish to match adjacent exterior field color



TYPE "C"
36" x 84" x 1-3/4" flush panel solid core wd door w/ maple veneer, finish to match laminate 2 alternate: marlite pre finished door

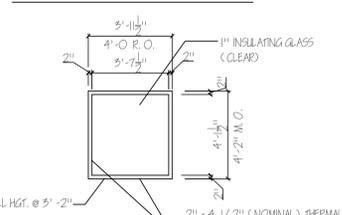


TYPE "D"
36" x 84" insulated hm door w/ single pane 1/4" tempered lite

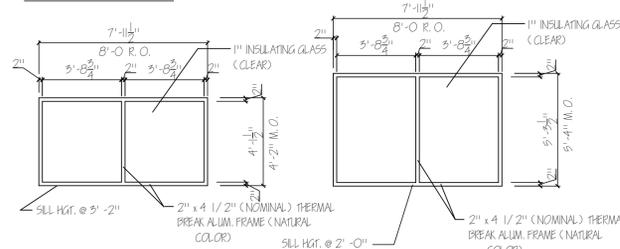


TYPE "E"
See Door Schedule for width. 60" x 1-3/4" flush panel solid core wd door w/ maple veneer, finish to match laminate 2 alternate: marlite pre finished door

WINDOW TYPES:

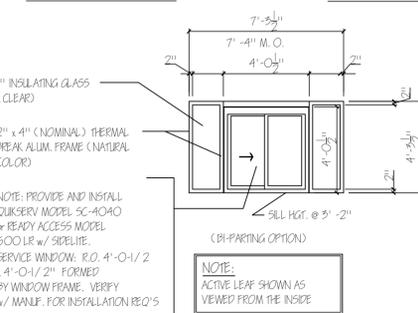


WINDOW TYPE "A"

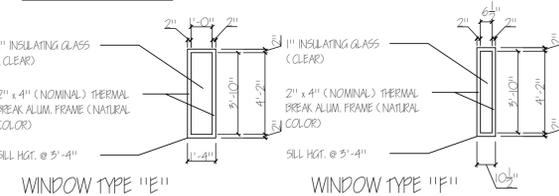


WINDOW TYPE "B"

WINDOW TYPE "C"



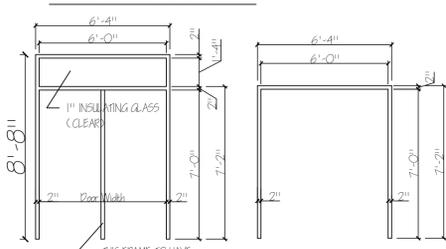
WINDOW TYPE "D"



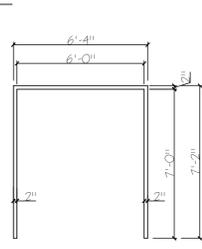
WINDOW TYPE "E"

WINDOW TYPE "F"

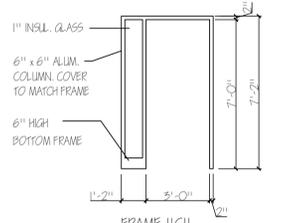
FRAME TYPES



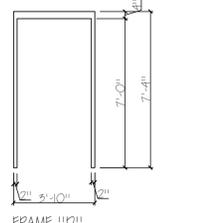
FRAME "A"
2" nominal thermal-break frame clear anodized aluminum finish



FRAME "B"
2" nominal thermal-break frame clear anodized aluminum finish



FRAME "C"
2" nominal thermal-break frame clear anodized aluminum finish



FRAME "D"
2" hollow metal frame factory primed finish to match adjacent exterior field color



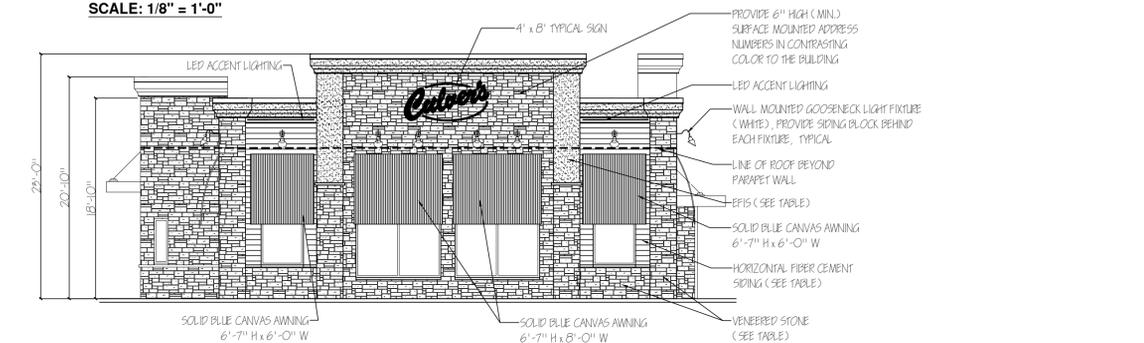
FRAME "E"
2" hollow metal frame

- General Notes:**
- TOP OF PARAPET TO BE CLAD WITH LINA-CLAD STEEL MEDIUM BRONZE
 - DO NOT DRYSTACK CULTURED STONE
- STONE:**
- ENVIRONMENTAL STONEWORKS: TUSCAN LEDGE - MANZANITA
 - SILL & ACCESSORIES: ENVIRONMENTAL STONEWORKS, MASH
- PILASTERS & CORNICES:**
- EPFS: PAREX, FINE SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7529 TREE BRANCH
- MAIN FIELD MATERIAL:**
- FIBER CEMENT BOARD SIDING, JAMES HARDIE, HARDPLANK
 - LAP SIDING, COLOR: KHAKI BROWN
- OR:**
- EPFS: PAREX, FINE SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7058 TONY TAUPE



WEST ELEVATION

SCALE: 1/8" = 1'-0"



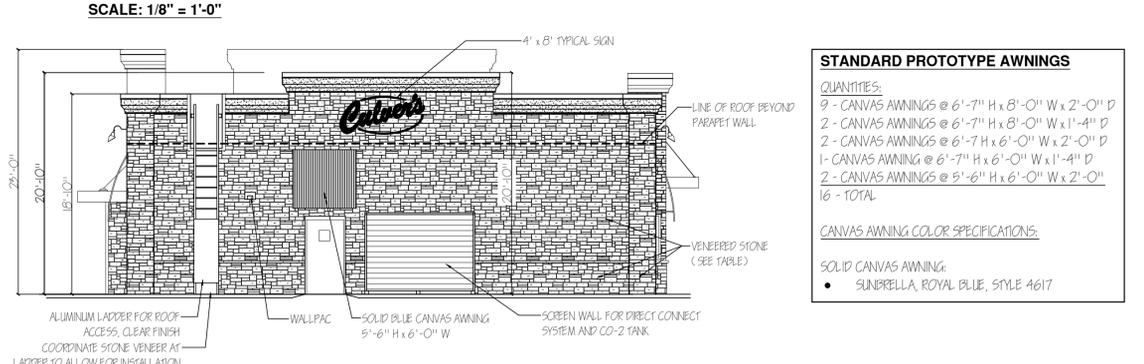
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

STANDARD PROTOTYPE AWNINGS

- QUANTITIES:**
- 9 - CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 2'-0" D
 - 2 - CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 1'-4" D
 - 2 - CANVAS AWNINGS @ 6'-7" H x 6'-0" W x 2'-0" D
 - 1 - CANVAS AWNING @ 6'-7" H x 6'-0" W x 1'-4" D
 - 2 - CANVAS AWNINGS @ 5'-6" H x 6'-0" W x 2'-0" D
 - 16 - TOTAL

CANVAS AWNING COLOR SPECIFICATIONS:

- SOLID CANVAS AWNING: SUNBRELLA, ROYAL BLUE, STYLE 4617

PRELIMINARY NO FOR CONSTRUCTION WARNING: These plans are for the exclusive use of Culver Franchising Systems, Inc. and authorized franchise holders only. No part of these plans or the design they represent may be duplicated or reproduced without permission of Culver Franchising System, Inc.

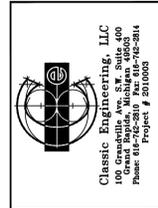
ARCHITECTURAL CONCEPTS
ARCHITECTURE PLANNING ENGINEERING
6650 CROSSING DRIVE, S.E. GRAND RAPIDS, MI 49508
(616) 554-1222 FAX (616) 554-1225

Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
608-643-7980

RESTAURANTS & BREWERY

CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

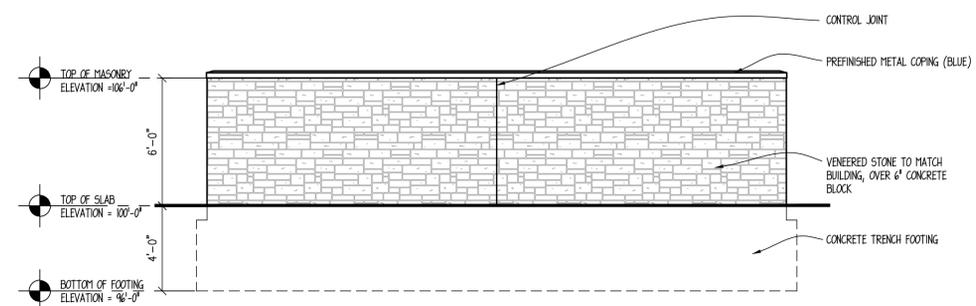
Date	Revision
06-01-2015	FOR SITE PLAN APPROVAL
06-25-2015	REVISED PER TWP. REVIEW
07-24-2015	REV'D. PER PLANNING COMM.



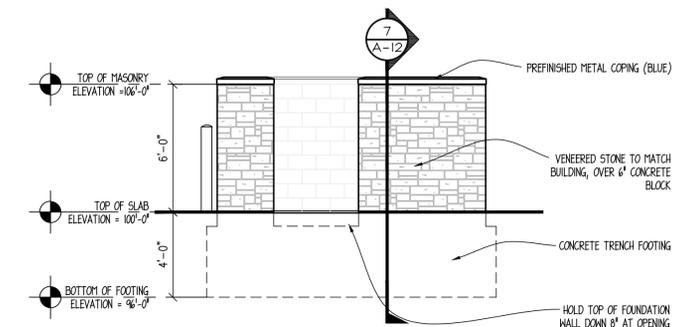
Classic Engineering, LLC
 100 Grandville Ave., S.W. Suite 400
 Grand Rapids, MI 49508
 Phone: (616) 554-1222 Fax: (616) 554-1225
 Project # 2015005



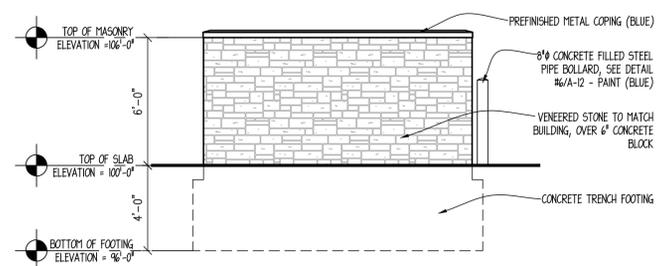
ARCHITECTURAL
 CONCEPTS
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 6650 CROSSING DRIVE, S.E.
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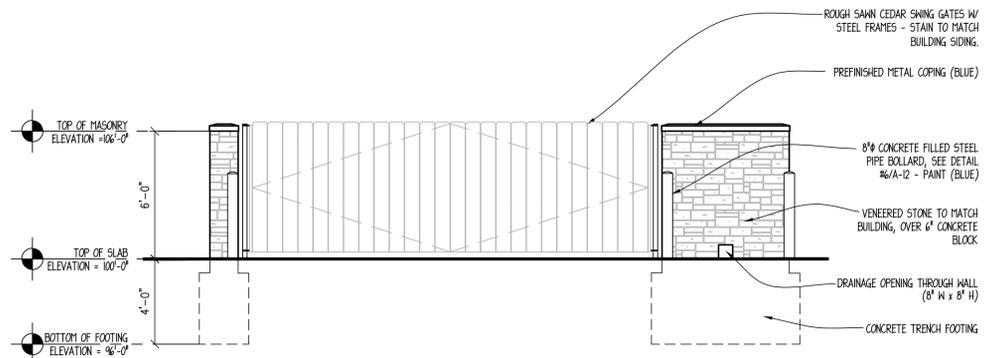
4 WEST ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



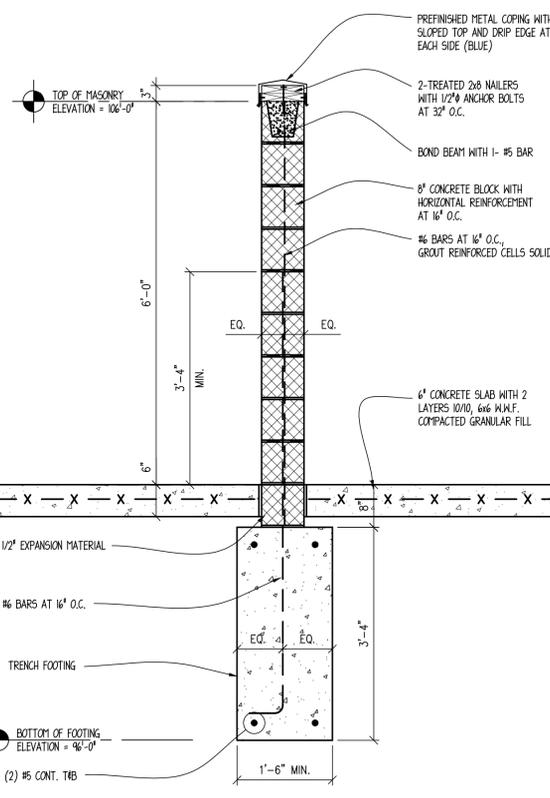
3 NORTH ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



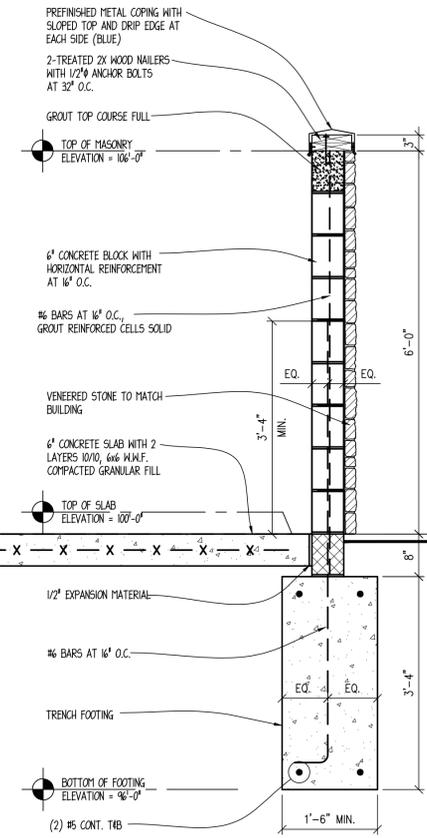
5 SOUTH ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



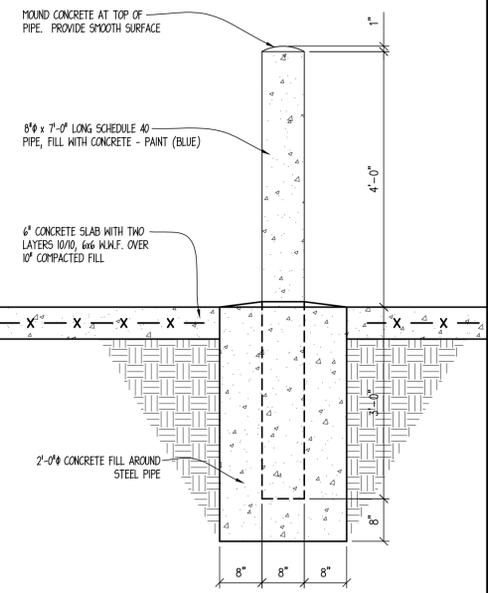
2 EAST ELEVATION
 A-12 SCALE: 1/4" = 1'-0"



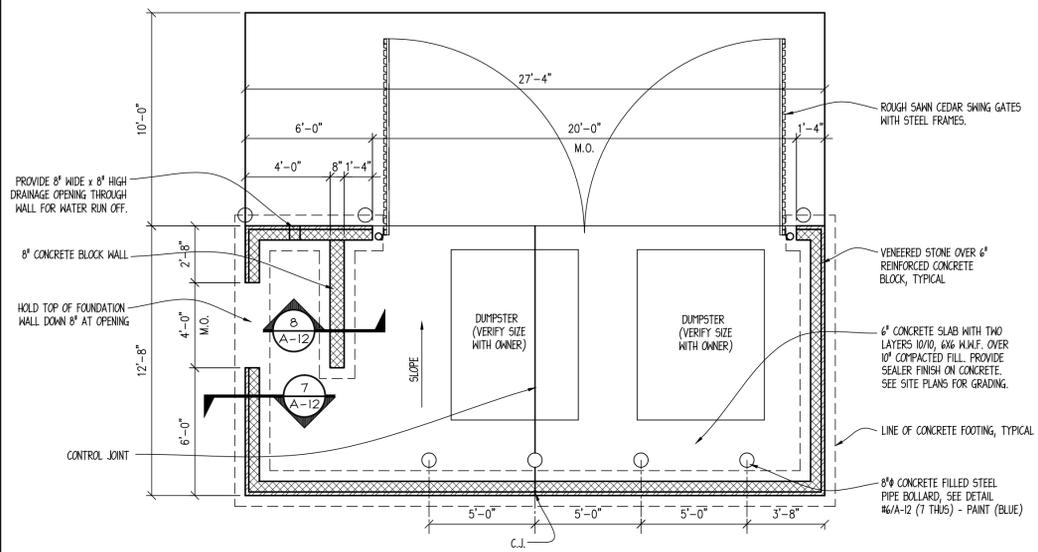
8 WALL SECTION
 A-12 SCALE: 3/4" = 1'-0"



7 WALL SECTION
 A-12 SCALE: 3/4" = 1'-0"



6 TYPICAL BOLLARD DETAIL
 A-12 SCALE: 3/4" = 1'-0"



1 DUMSTER ENCLOSURE PLAN
 A-12 SCALE: 1/4" = 1'-0"

PRELIMINARY NO FOR CONSTRUCTION

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CULVER'S RESTAURANT
GRAND RIVER AVENUE
GENOA TOWNSHIP, MI

Revision	Date	Description
06-01-2015	06-01-2015	FOR SITE PLAN APPROVAL
06-25-2015	06-25-2015	REVISED PER TWP. REVIEW
07-24-2015	07-24-2015	REV. PER PLANNING COMM.

Sheet
A-12

CULVERS:

TYPE: M

Note: White color only. Alternate colors will require an additional cost and lead time.

ABOLITE LED ANGLED REFLECTOR (AD)



Directional Optics



Symmetrical Optics

U.S. Patent D581585 and other U.S. and international patents pending

APPLICATIONS - Signage Lighting and Accent Lighting. Interior or Exterior.

PRODUCT HIGHLIGHTS

- **"Green" Energy-Saving** - Reduces greenhouse gas emissions, slashes operating costs, extends life and eliminates costly lamp disposal involving mercury waste.
- **Long Lasting Sparkle** - LED light beam contains no heat, and no UV, which means degradation in color or quality of the product under display is minimized.
- **Dramatically Lower Maintenance Costs** - 60,000-hour LED source extends life 3 to 5 times as compared to conventional HID sources, 30 times incandescent.
- **Integrated Power Supply** - Built into fixture allowing RLM to be connected directly to line voltage.

FINISH - Available in either architectural textured, high gloss, satin or galvanized finish.

LED - Select, high brightness LEDs with 60,000 hour life. 5000°K color temperature (nominal).

MOUNTING - Fixed hub tapped for 3/4" NPT conduit. Pre-wired with 96" leads.

REFLECTOR - Heavy duty spun galvanized steel construction with either polyester powder coat or galvanized finish.

ELECTRICAL - Integral power supply operates on 120-240 VAC (50/60Hz) input; no external power supplies required.

LIGHT OUTPUT - 700 lumens with an input power of 10 watts.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

DRIVER - State-of-the-Art driver designed specifically for RLM fixtures provides unsurpassed system efficiency. Components are fully encased in potting material for moisture resistance. Driver complies with IEC and FCC standards.

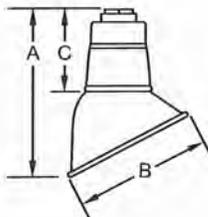
OPTIONAL DIRECTIONAL OPTICS - Allows field adjustment of the light beam for directional illumination of signage.

LISTING - Listed to U.S. and Canadian safety standards. Suitable for wet locations.



Suitable for wet locations

DIMENSIONS



Prefix	Height (A)	Diameter (B)	Neck (C)	Weight (lbs./kg)
AD 100	10" (254mm)	7" (178mm)	5" (127mm)	2.0 (.9kg)
AD 150	11-1/2" (292mm)	9" (229mm)	5-1/4" (133mm)	2.0 (.9kg)
AD 200	13-1/2" (343mm)	11" (279mm)	5-1/2" (140mm)	2.5 (1.1kg)

ABOLITE LED ANGLED REFLECTOR (AD)



LUMINAIRE ORDERING INFORMATION

SPECIAL BRACKET

TYPICAL ORDER EXAMPLE: **AD 200 10 CW LED UE** GWT **LDS96 WL DO** 414139GWT-SPL-GB-3-GWT

Prefix	Qty. LED's	Color Temp.	Light Source	Line Voltage	Reflector Color	Mounting	Options
AD 100' AD 150' AD 200'	10	CW - Cool White (5000°K)	LED - Light Emitting Diode	UE ² - Universal Electronic (120-240)	MSV-Metallic Silver GWT-Gloss White GBK-Gloss Black GRD-Gloss Red GGN-Gloss Green GPT-Textured Graphite RUS-Textured Rust SCP-Satin Copper STO-Satin Turquoise SVG-Satin Verde Green GAL-Galvanized	LDS96 WL - Factory prewired leads for use with stem or bracket mounting	DO - Directional Optics

- 1- Cordsets not available for AD Series.
- 2- Fixture will not operate on 277VAC (120-240 only).

CANOPY ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" (19mm) Tap Decorative Box Cover Aligner - Gloss White	BC600 3 GWT
3/4" (19mm) Tap Round Box Cover Aligner - Zinc	BC585 ZINC
3/4" (19mm) Tap Square Box Cover Aligner - Zinc	BC585SQ ZINC

- Standard BC600 finish is Gloss White Powder; other RLM colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)

WIRE GUARD ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
7" (178mm) Convex Wire Guard - Metallic Silver	COG 7 MSV
9" (229mm) Convex Wire Guard - Metallic Silver	COG 9 MSV
11" (279mm) Convex Wire Guard - Metallic Silver	COG 11 MSV

- Standard finish is Metallic Silver Powder; other RLM colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)

CONDUIT SYSTEM ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" x 3" (19mm x 76mm) Aluminum Stem - Gloss White	ST 3 3 GWT
3/4" x 6" (19mm x 152mm) Aluminum Stem - Gloss White	ST 6 3 GWT
3/4" x 12" (19mm x 4m) Aluminum Stem - Gloss White	ST 12 3 GWT
3/4" x 18" (19mm x .5m) Aluminum Stem - Gloss White	ST 18 3 GWT
3/4" x 24" (19mm x .6m) Aluminum Stem - Gloss White	ST 24 3 GWT
3/4" x 36" (19mm x .9m) Aluminum Stem - Gloss White	ST 36 3 GWT
3/4" x 48" (19mm x 1.2m) Aluminum Stem - Gloss White	ST 48 3 GWT
3/4" x 60" (19mm x 1.5m) Aluminum Stem - Gloss White	ST 60 3 GWT
3/4" x 72" (19mm x 1.8m) Aluminum Stem - Gloss White	ST 72 3 GWT
3/4" (19mm) Alum. Stem Coupler - Gloss White	COP 3 GWT

- Standard finish is Gloss White Powder; other RLM colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)

GOOSE NECK BRACKET ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB A 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB B 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB C 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB D 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB E 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB F 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB G 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB H 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB J 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB K 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB P 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GB U 3 GWT

WALL BRACKETS ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
Contemporary Wall Bracket - Medium - Gloss White	CWBM 1 GWT
Contemporary Wall Bracket - Long - Gloss White	CWBL 1 GWT
Nostalgic Aluminum Wall Scroll Bracket - Gloss White	DWB 1 GWT

BRACKETS

- See Buyers Guide for detail on bracket sizes and shapes.
- Standard finish is Gloss White Powder; colors available.
- Best color match for use with galvanized RLMs is Metallic Silver (MSV)
- Designed for mounting to recessed 4" (102mm) octagon box (by others).

02/27/09

© 2009
LSI INDUSTRIES INC.

Project Name _____ Fixture Type _____
Catalog # _____



Submitted by Enterprise Lighting, LTD.



Enterprise Lighting Ltd
Manufacturers Representatives

Job Name:

Culvers

Catalog Number:
LM10C WY/FC/CO

Notes: includes lamp

Type:

P

ELL09-4294

C PER LIGHTING - LUMARK®

DESCRIPTION

Lumark's Cutoff Wally is a cutoff classified wall luminaire. Combining compact and aerodynamic styling with higher wattage performance, it is ideal for areas where spill light and glare control must be managed effectively. U.L. Listed for wet locations.

Catalog #		Type	
Project		Date	
Comments			
Prepared by			

SPECIFICATION FEATURES

A ... Housing

Die-cast aluminum housing finished standard bronze polyester powder coat.

B ... Socket

HID: 4Kv medium-base socket.
CFL: GX24q-4 (4-pin)

C ... Lamp

HID: Medium-base lamp included and available, up to 150W High Pressure Sodium or 100W Pulse Start Metal Halide.
CFL: Supplied with 4-pin, 42W Compact Fluorescent lamp.

D ... Door

Special one-piece door design held in place with slot-head captive screws, provides lowglare cutoff lighting. Silicone gasketing seals out dirt and contaminants.

E ... Lens

Patterned tempered glass lens minimizes direct lamp imaging.

F ... Mounting

Ships completely prewired and preassembled. Easily mounts to J-box wall for quick installation. (3) 1/2" NPS conduit taps available.

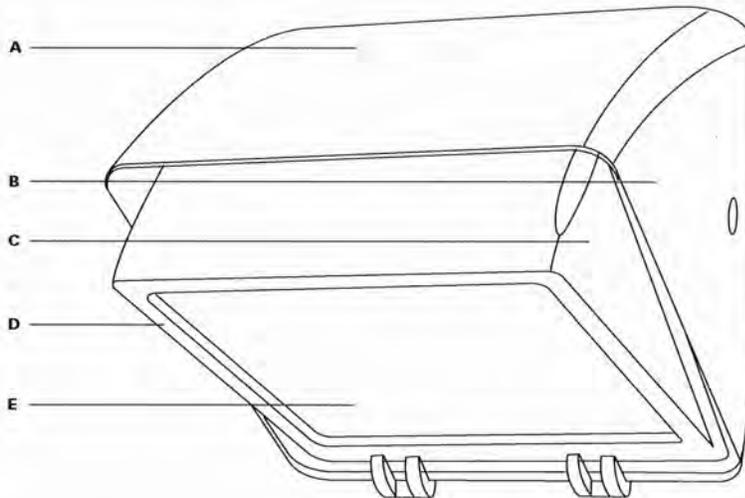


WALLY CUTOFF

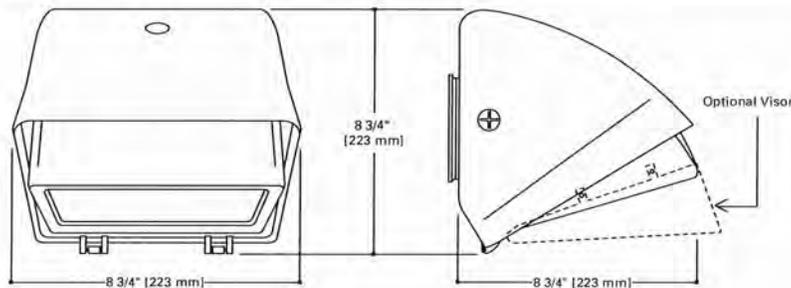
50-150W
High Pressure Sodium
70-100W
Pulse Start Metal Halide
42W
Compact Fluorescent

WALL MOUNT
LUMINAIRE

DARK SKY **CO**
COMPLIANT Cutoff



DIMENSIONS



TECHNICAL DATA

U.L. Wet Location Listed
CSA Certified

ENERGY DATA

Reactor Ballast Input Watts

50W HPS NPF (58 Watts)
70W HPS NPF (82 Watts)
100W HPS NPF (118 Watts)
150W HPS NPF (175 Watts)

High Reactance Ballast Input Watts

70W MP NPF (92 Watts)
100W MP NPF (128 Watts)

Electronic Ballast Input Watts

42W of Electronic (46 Watts)

SHIPPING DATA

Approximate Net Weight:

HID: 11 lbs. (5kgs.)
CFL: 7.1 lbs. (3.23 kgs.)

COOPER Lighting
www.cooperlighting.com

Specifications and Dimensions subject to change without notice.

Consult your representative for additional options and finishes.

ADH082315
12/29/2008 5:49:42 PM



Job Name:

Culvers

Catalog Number:
LM10C WY/FC/CO

Notes: includes lamp

Type:

P

ELL09-4294

ORDERING INFORMATION

WALLY CUTOFF

SAMPLE NUMBER: LS50C

Catalog Number	Lamp Type	Lamp Wattage	Ballast Type	Voltage	Net Wt Color
High Pressure Sodium					
LS50C	ED17	50	Reactor/NPF	120V	Bronze
LS70C	ED17	70	Reactor/NPF	120V	Bronze
LS10C	ED17	100	Reactor/NPF	120V	Bronze
LS15C	ED17	150	Reactor/NPF	120V	Bronze
Pulse Start Metal Halide					
LP70C	ED17	70	Hi. Reac/NPF	120-277V	Bronze
LP10C	ED17	100	Hi. Reac/NPF	120-277V	Bronze
Compact Fluorescent					
LC42C	GX24q-4 (4-pin)	42	Electronic	120-277V	Bronze

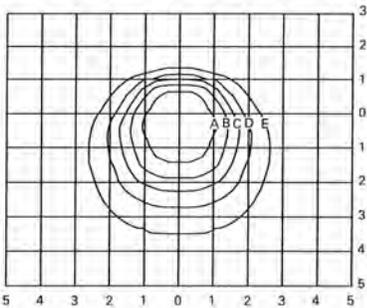
NOTE: Add "W" to the end of catalog number for white finish. Add "WHT" to the end of accessory for white finish (Example: WY/CO-WHT). Not available in 42W CF. In cold temperatures, Compact Fluorescent lamps produce lower illumination levels.

Accessories (order separately)

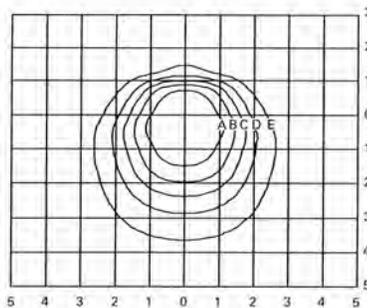
WY/CO=Cutoff Replacement Door (Bronze) (Not available in 42W Compact Fluorescent.)

WY/FC/CO=Full Cutoff Visor for Cutoff (Bronze)

PHOTOMETRICS



LP10C
100-Watt MP
9,300-Lumen Clear ED-17 Lamp

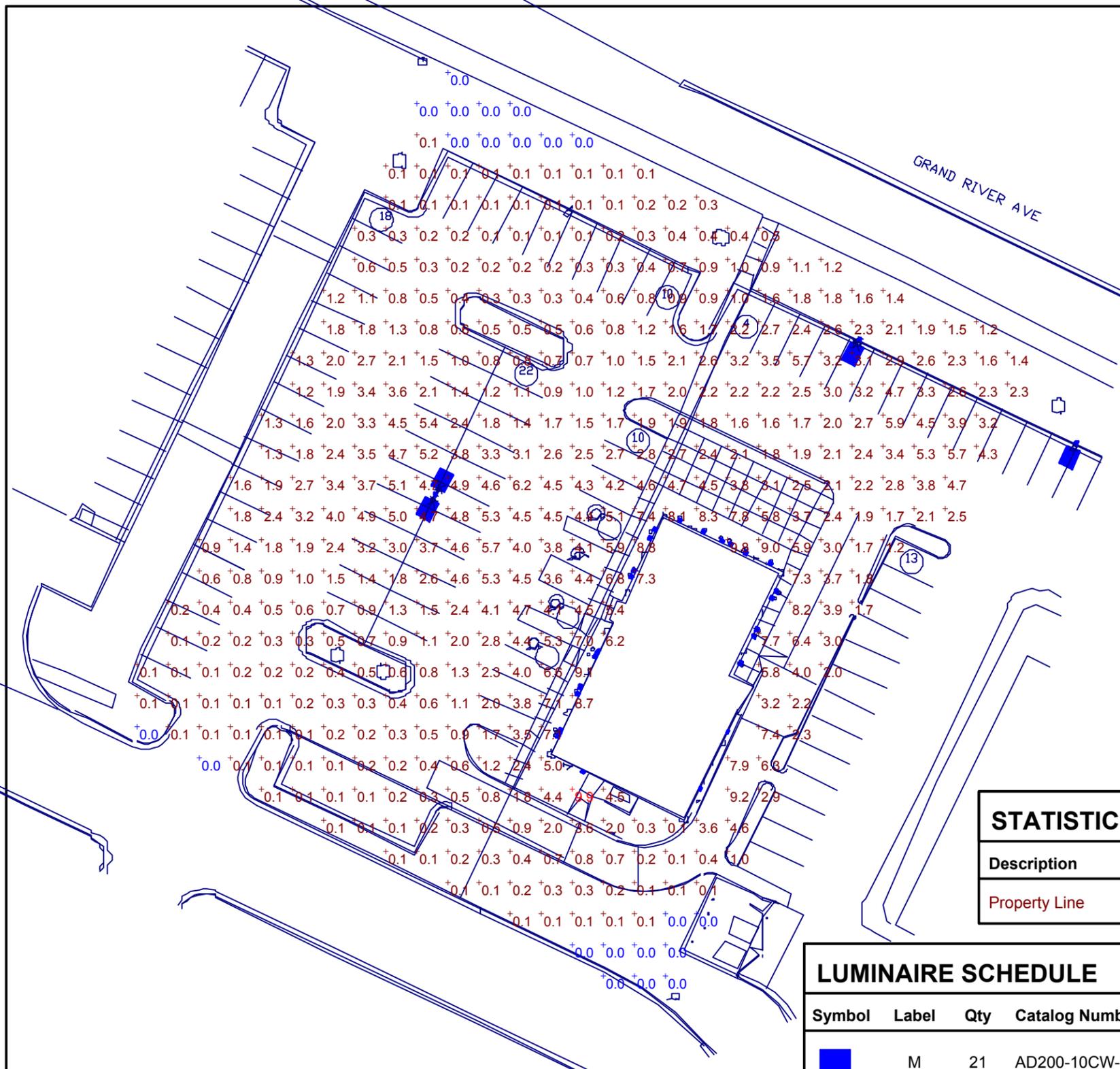


LS15C
150-Watt HPS
16,000-Lumen Clear ED-17 Lamp

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
10'	2.00	1.00	0.50	0.20	0.10
12'	1.38	0.69	0.34	0.13	0.06
15'	0.88	0.44	0.22	0.08	0.04



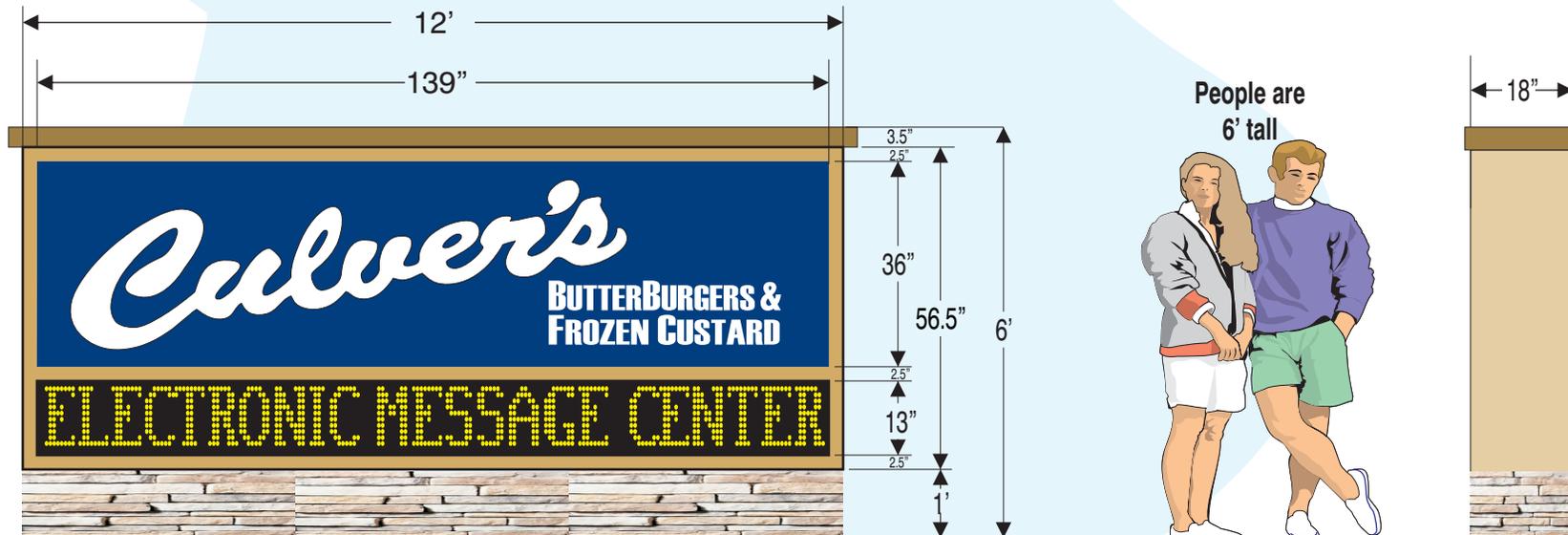
CALCULATIONS BASED UPON 400 WATT METAL HALIDE LAMPS IN LUMINAIRE WITH AN "R3" DISTRIBUTION AND MOUNTED AT APPROXIMATELY 30' ABOVE GRADE.

Plan View
 Scale 1" = 40'

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	2.0 fc	9.9 fc	0.0 fc	N / A	N / A

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	M	21	AD200-10CW-LED	ABOLITE LED ANGLED REFLECTOR	10 LED LAMPS	A810.IES	5500	0.75	80
	AA	2	KSF2 400M R3	AREA LIGHT WITH TYPE 3, SHORT,CUTOFF REFLECTOR, FLAT GLASS LENS.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POS.	94100501.ies	32000	0.75	465
	AA1	1	KSF2 400M R3	AREA LIGHT WITH TYPE 3, SHORT,CUTOFF REFLECTOR, FLAT GLASS LENS.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POS.	94100501.ies	32000	0.75	930
	WP	3	LM07CWY/FC/CO	BUILDING MOUNTED LUMINAIRE, CUTOFF 70W MH, W/ CLEAR LAMP.	ONE 70-WATT CLEAR E-17 METAL HALIDE, HORIZONTAL POSITION.	LTL12142.IES	5200	1.00	95

Designer
 jdt
Date
 Nov 14, 2011
Scale
 on dwg
Drawing No.

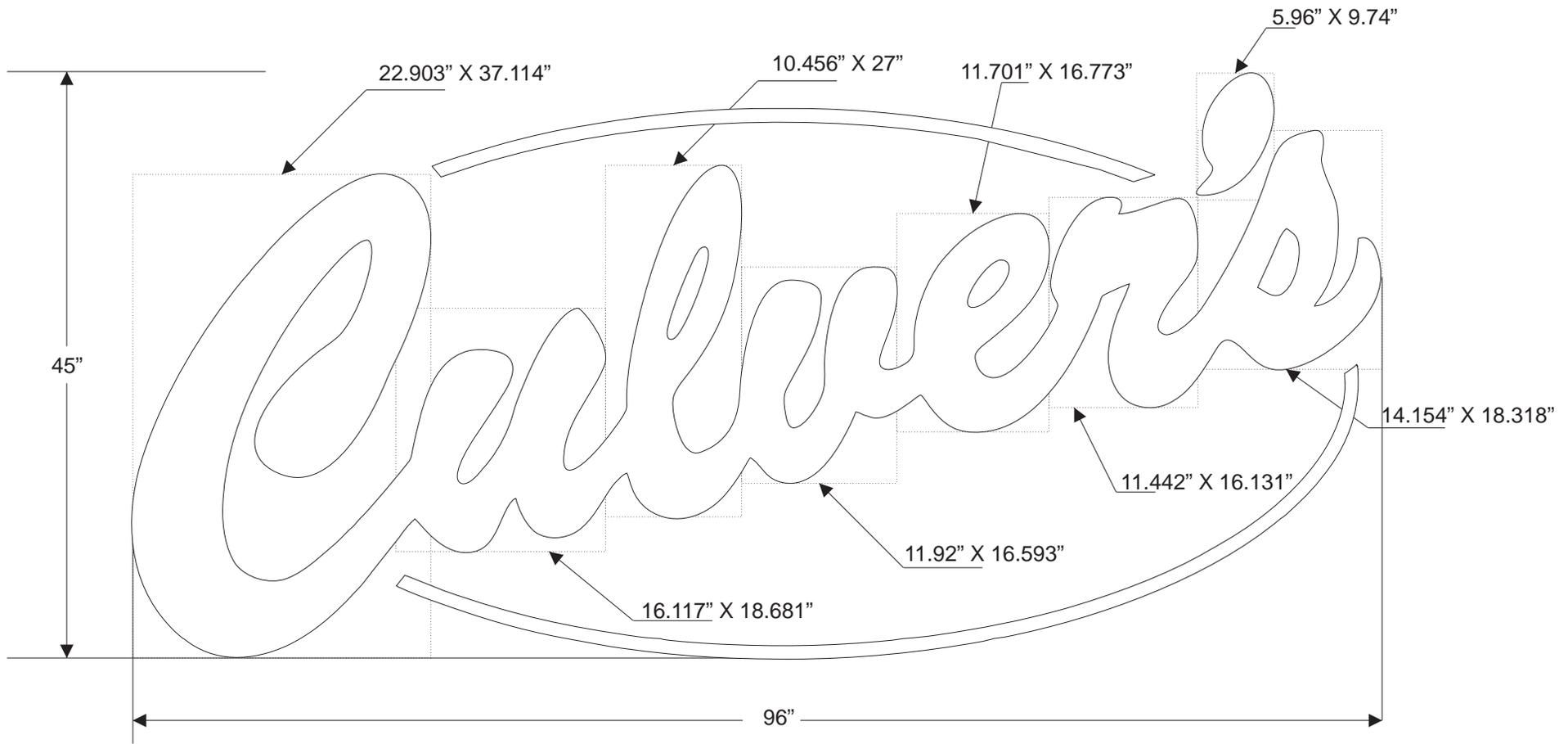


20mm 16 X 176

Concrete and
brick work
by others

TITLE 12' Long Monument Sign with EMC		THIS DRAWING IS THE PROPERTY OF: Jim Greeley Signs & Awnings, Inc. 100 W. ROBB RD. N. INDUSTRIAL PARK RICHLAND CENTER, WI. 53581 608/647-2628 Fax 608/647-2020 1-800-WI-SIGNS <small>IT IS UN-LAWFUL TO USE THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF JIM GREELEY SIGNS AND AWNINGS, INC.</small>	
PROJECT DATE 10-13-2011 SCALE 3/8" = 1' BY GRD	VINYL FONT FILE P:\0 CULVER'S\ 0 Culver's Stores\ Genoa Township, MI\		

45" x 96" = 4,320 square inches divided by 144=30 square feet

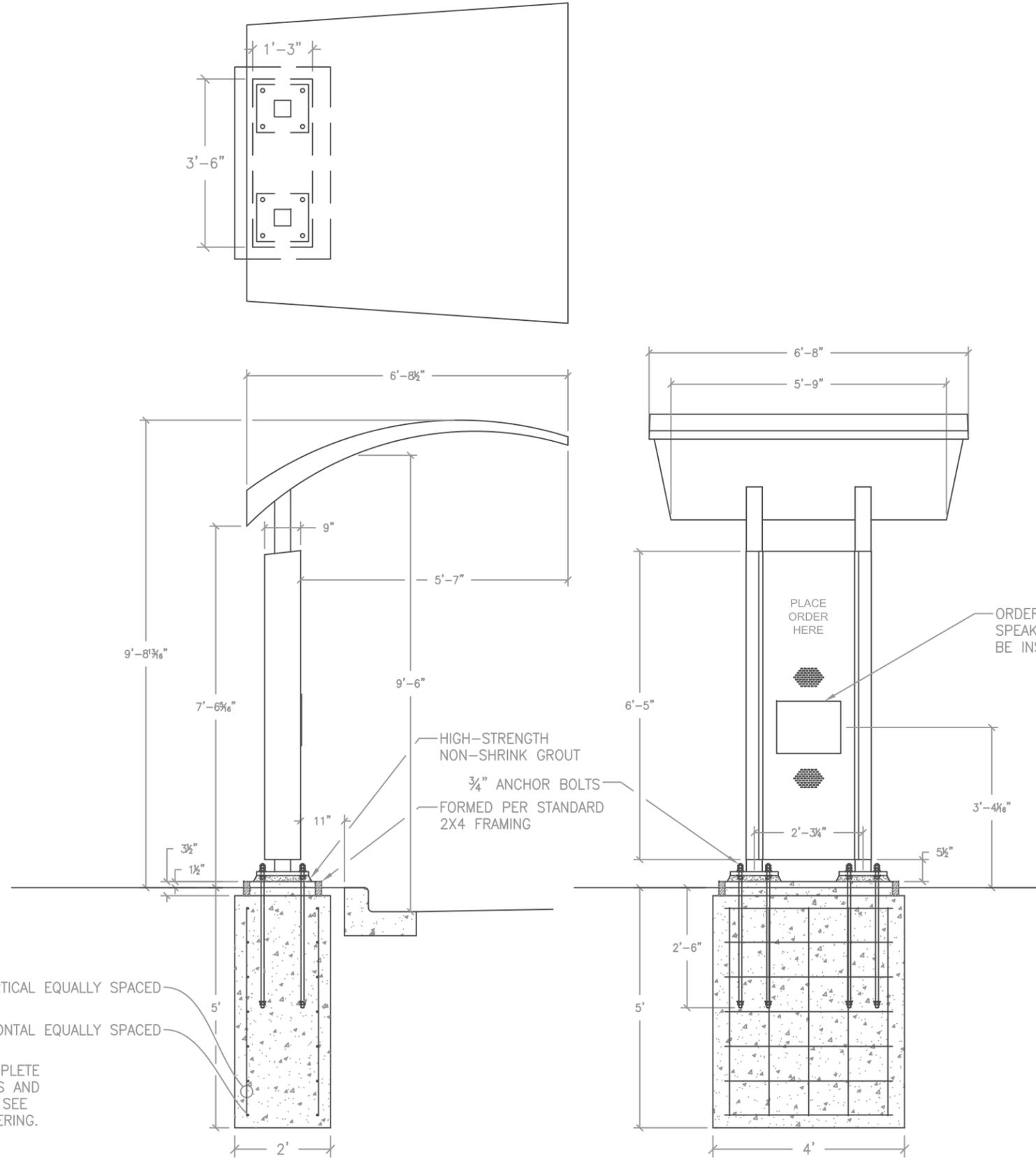


30 Sq Ft.
**(Actual Square Footage measured
 by drawing a box around sign)**

TITLE Culver's 45" x 96" Script Wall Logo		P:\AI's Projects\ THIS DRAWING IS THE PROPERTY OF: Jim Greeley Signs & Awnings, Inc. 100 W. ROBB RD. N. INDUSTRIAL PARK RICHLAND CENTER, WI. 53581 608/647-2628 Fax 608/647-2020 1-800-WI-SIGNS IT IS UN-LAWFUL TO USE THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF JIM GREELEY SIGNS AND AWNINGS, INC.
Layout Approved By _____ Date _____ DATE 10-03-2011 SCALE 1" = 1' BY GRD		

- (5) #6 REBAR VERTICAL EQUALLY SPACED
- (7) #6 REBAR HORIZONTAL EQUALLY SPACED

NOTE: FOR COMPLETE FOOTING DETAILS AND SPECIFICATIONS SEE SEALED ENGINEERING.



SCALE 3/8"=1'

LOCATION:
CULVER'S

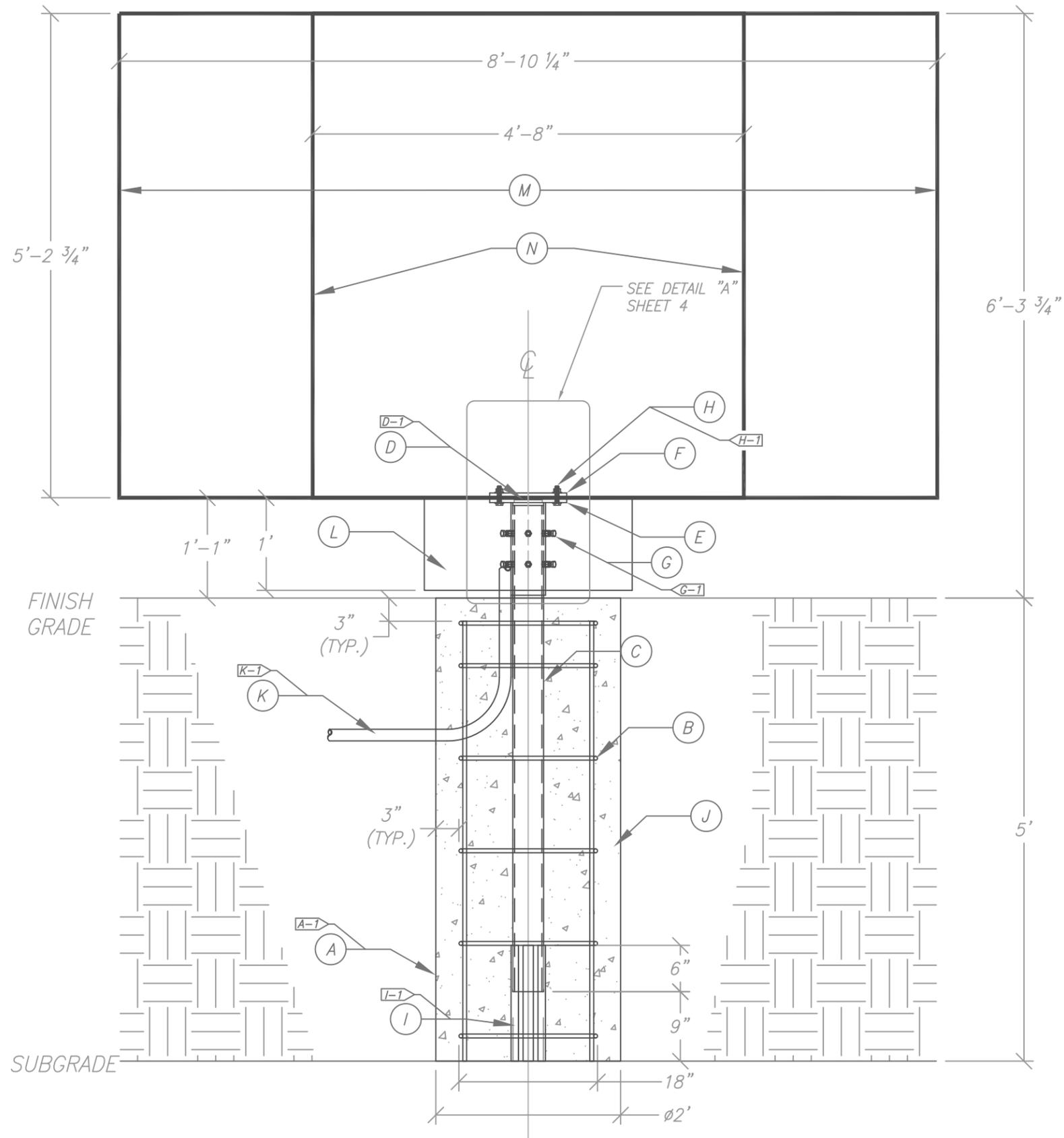
SPRINGFIELD SIGN & NEON
2531 N. Patterson
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
Systems, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
CANOPY AND ORDER CONFIRMATION SYSTEM
(DTC-2)

Project Number:
Drawn By: SAD
Reviewed By: MW
Date: 11-18-14
Sheet Number:

1 OF 1



DRIVE-THROUGH MENU BOARD	
Ⓐ AUGER	
SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ REBAR REINFORCING	
SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES
Ⓘ BASE PIPE SUPPORT	
MATERIAL:	1" STEEL ANGLE-3 PLACES
I-1	WELDED TO BASE PIPE
Ⓢ BACKFILL	
MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ ELECTRICAL PRIMARY	
K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ SIGN SKIRT	
MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ MAIN MENU BOARD	
PART #:	MB-DT-46
Ⓝ PRE-SELL MENU BOARD	
PART #:	MB-DT-25-PS & MB-DT-25

SCALE 3/4" = 1'

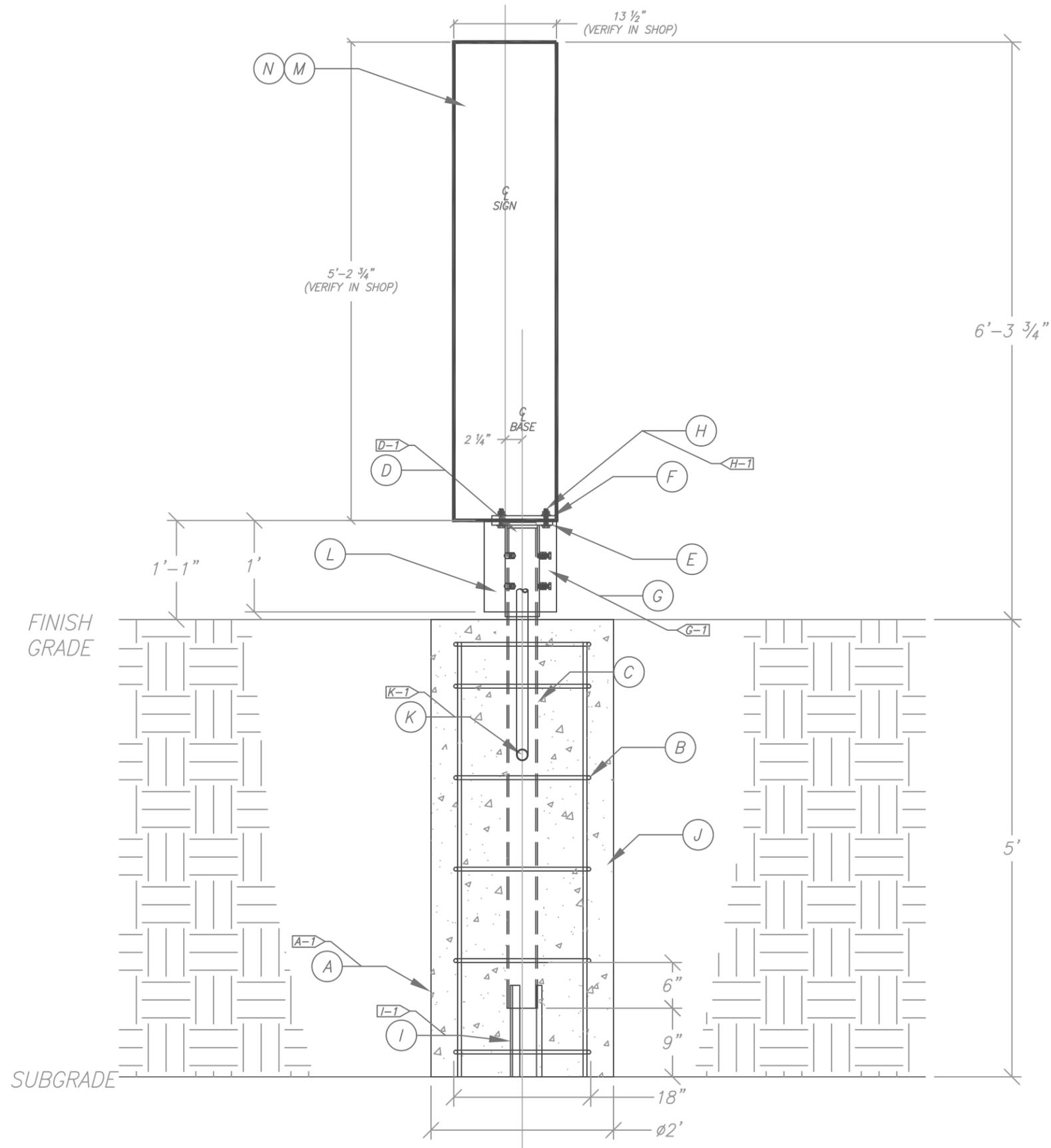
LOCATION: **CULVER'S LOCATIONS**

Client: **CULVER FRANCHISING SYSTEM, INC.**
 2531 N. Patterson
 Springfield, MO 65803
 (417) 862-2454

Client: **Culver Franchising System, Inc.**
 540 Water Street
 Prairie du Sac, WI 53578
 p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD/PRE-SELL MENU BOARD
FRONT VIEW

Project Number: DEN
 Drawn By: NW
 Reviewed By: 1-20-15
 Date: 1-20-15
 Sheet Number: **1 OF 5**



DRIVE-THROUGH MENU BOARD	
Ⓐ AUGER	
SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ REBAR REINFORCING	
SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES
Ⓘ BASE PIPE SUPPORT	
MATERIAL:	1" STEEL ANGLE-3 PLACES
I-1	WELDED TO BASE PIPE
Ⓢ BACKFILL	
MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ ELECTRICAL PRIMARY	
K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ SIGN SKIRT	
MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ MAIN MENU BOARD	
PART #:	MB-DT-46
Ⓝ PRE-SELL MENU BOARD	
PART #:	MB-DT-25-PS & MB-DT-25

SCALE 3/4" = 1'

LOCATION: **CULVER'S LOCATIONS**

SPRINGFIELD SIGN & NEON
2531 N. Patterson
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

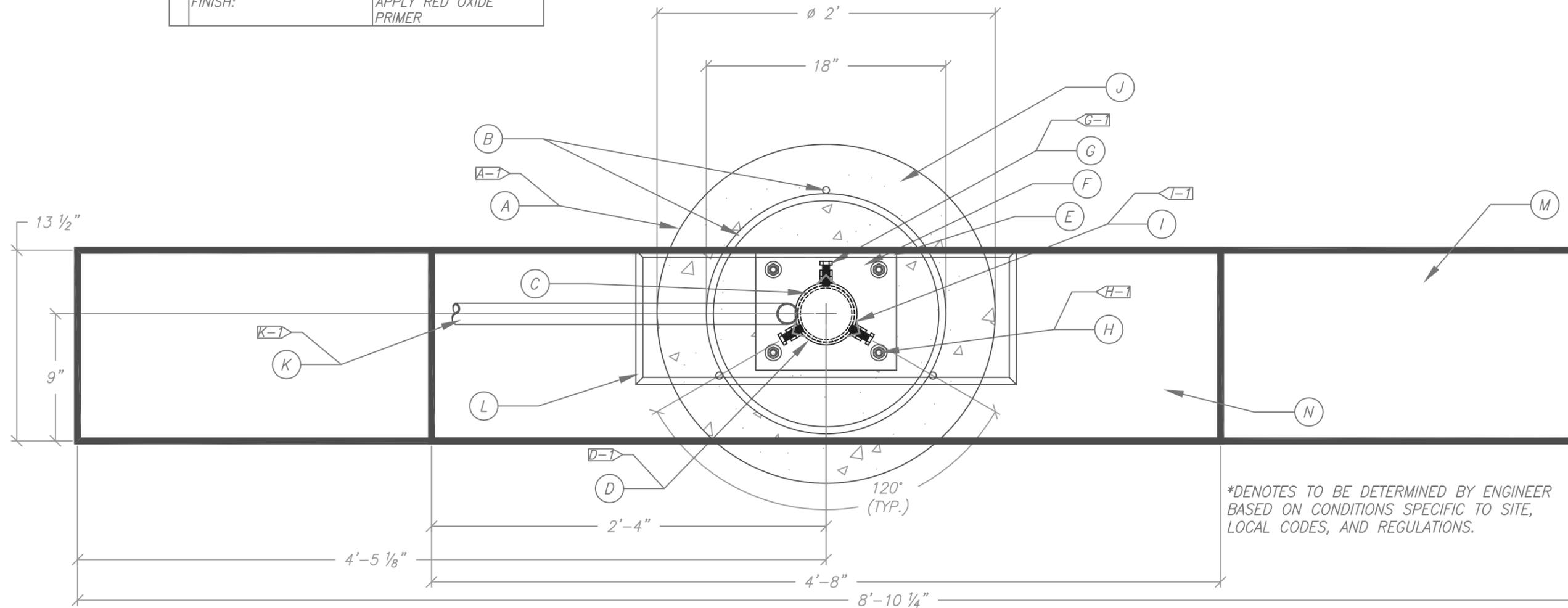
CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD/PRE-SELL MENU BOARD
SIDE VIEW

Project Number: DEN
Drawn By: NW
Reviewed By: 1-20-15
Date:
Sheet Number: **2 OF 5**

DRIVE-THROUGH/MAIN MENU BOARD	
Ⓐ AUGER	
SIZE:	24" UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
A-1	NO OVERDIG WILL BE ALLOWED. THE SOIL REMAINING OUTSIDE OF THE DIMENSIONAL LIMITS OF THE AUGERED HOLE IS TO REMAIN UNDISTURBED.
Ⓑ REBAR REINFORCING	
SIZE:	#4'S UNLESS OTHERWISE DETERMINED BY ENGINEERING/CODE REQUIREMENTS
SPACING:	TO BE DETERMINED ON SITE BY ENGINEER
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER

Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL:	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES

Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES
Ⓘ BASE PIPE SUPPORT	
MATERIAL:	1" STEEL ANGLE-3 PLACES
I-1	WELDED TO BASE PIPE
Ⓝ BACKFILL	
MATERIAL:	2500 PSI CONCRETE OR AS PER ENGINEERING
Ⓚ ELECTRICAL PRIMARY	
K-1	CONDUIT, SWEEP THROUGH FOOTING
Ⓛ SIGN SKIRT	
MATERIAL:	0.063" ROUTED ALUMINUM
Ⓜ MAIN MENU BOARD	
PART #:	MB-DT-46
Ⓝ PRE-SELL MENU BOARD	
PART #:	MB-DT-25-PS & MB-DT-25



SCALE 1/8" = 1"

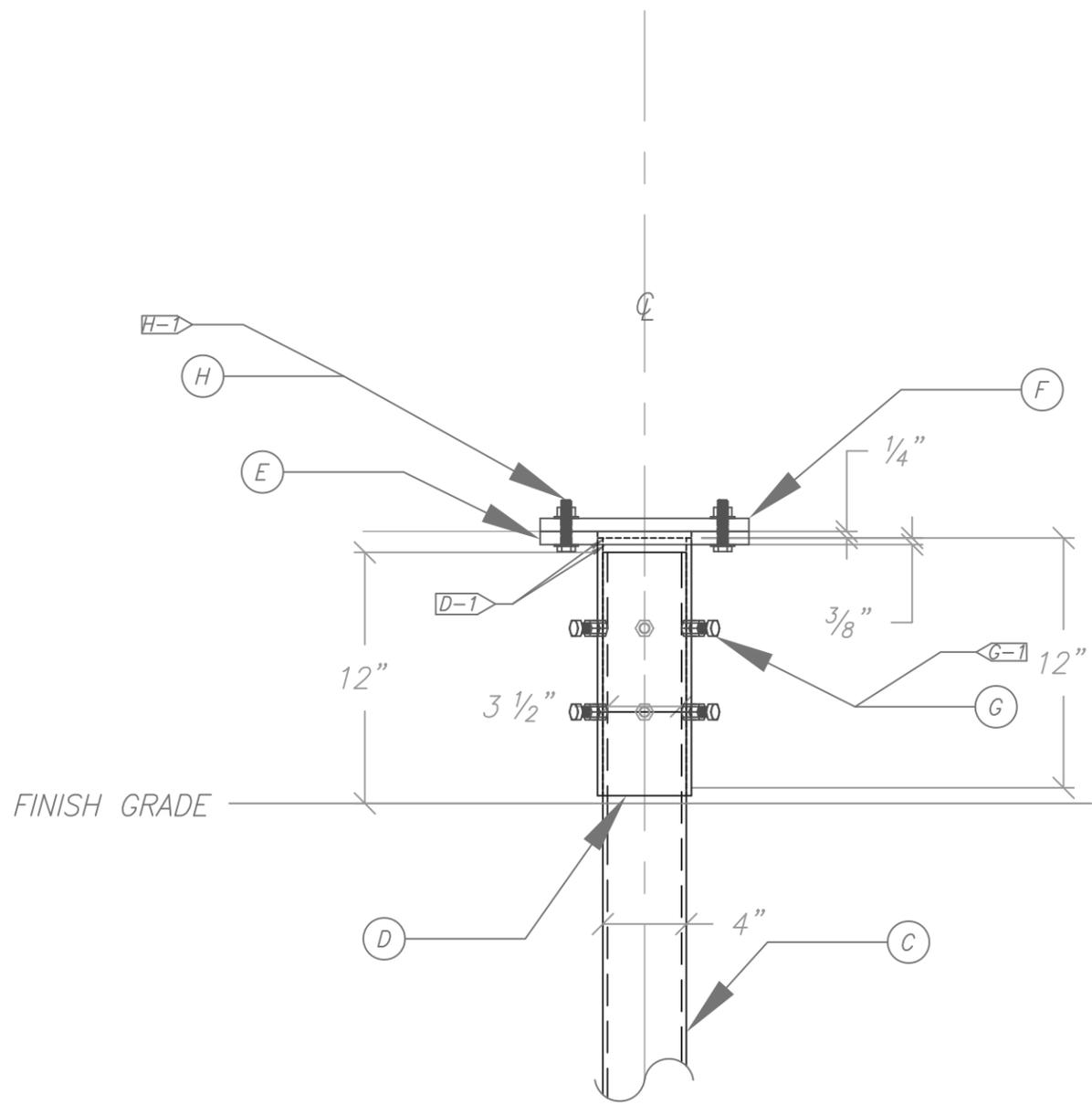
LOCATION:
CULVER'S LOCATIONS

SPRINGFIELD SIGN & NEON
2531 N. Patterson
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
MB-DT-BASE
MAIN MENU BOARD/PRE-SELL MENU BOARD
TOP VIEW

Project Number:
Drawn By: DEN
Reviewed By: NW
Date: 1-20-15
Sheet Number:
3 OF 5



DRIVE-THROUGH/MAIN MENU BOARD	
Ⓒ STEEL PIPE	
MATERIAL:	3 1/2" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
Ⓓ STEEL PIPE	
MATERIAL:	4" SCHEDULE 40
FINISH:	SAND SMOOTH APPLY RED OXIDE PRIMER
D-1	WELDED TO MOUNTING PLATE ALL THE WAY AROUND-2 PLACES
Ⓔ OUTSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓕ INSIDE BASE MOUNTING PLATE	SEE SHEET 5
MATERIAL:	5/8" PLATE STEEL
Ⓖ PIPE BOLTS	
MATERIAL	1/2" x 1 3/4" BOLTS / NUTS
G-1	6 PLACES
Ⓗ MOUNTING PLATE BOLTS	
MATERIAL:	1/2" x 2 1/2" BOLTS / NUTS / WASHERS
H-1	4 PLACES

SCALE 1/8" = 1"

LOCATION:
CULVER'S LOCATIONS

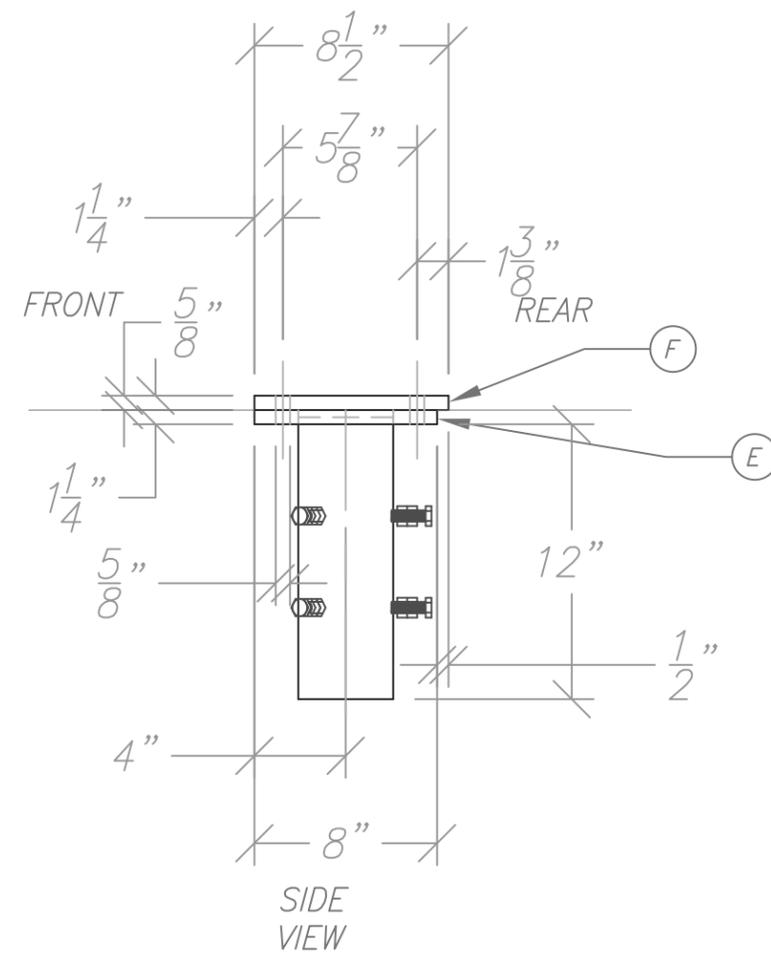
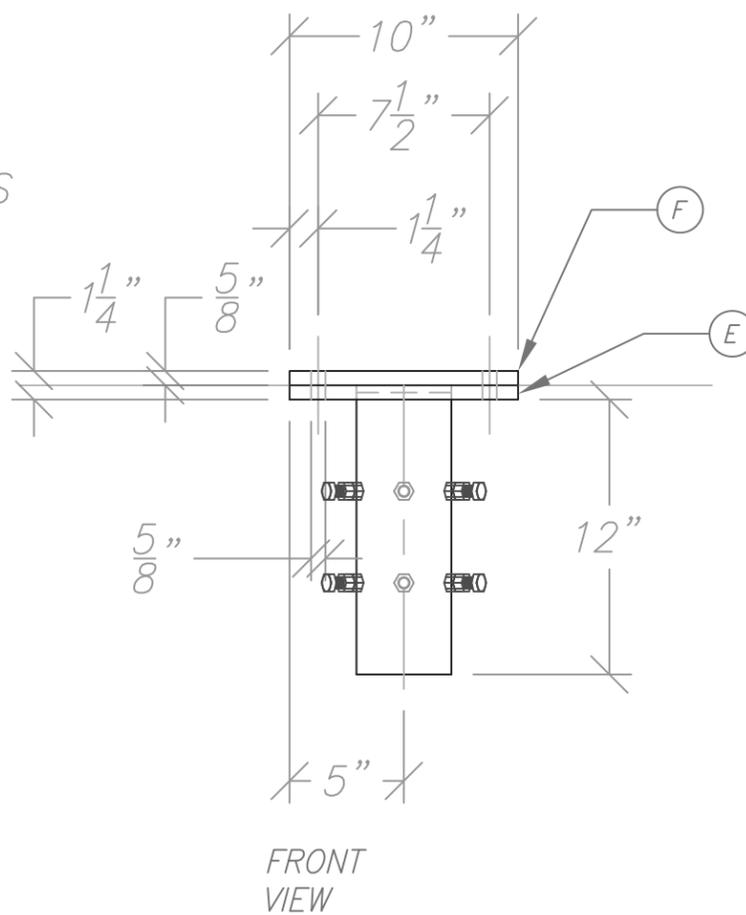
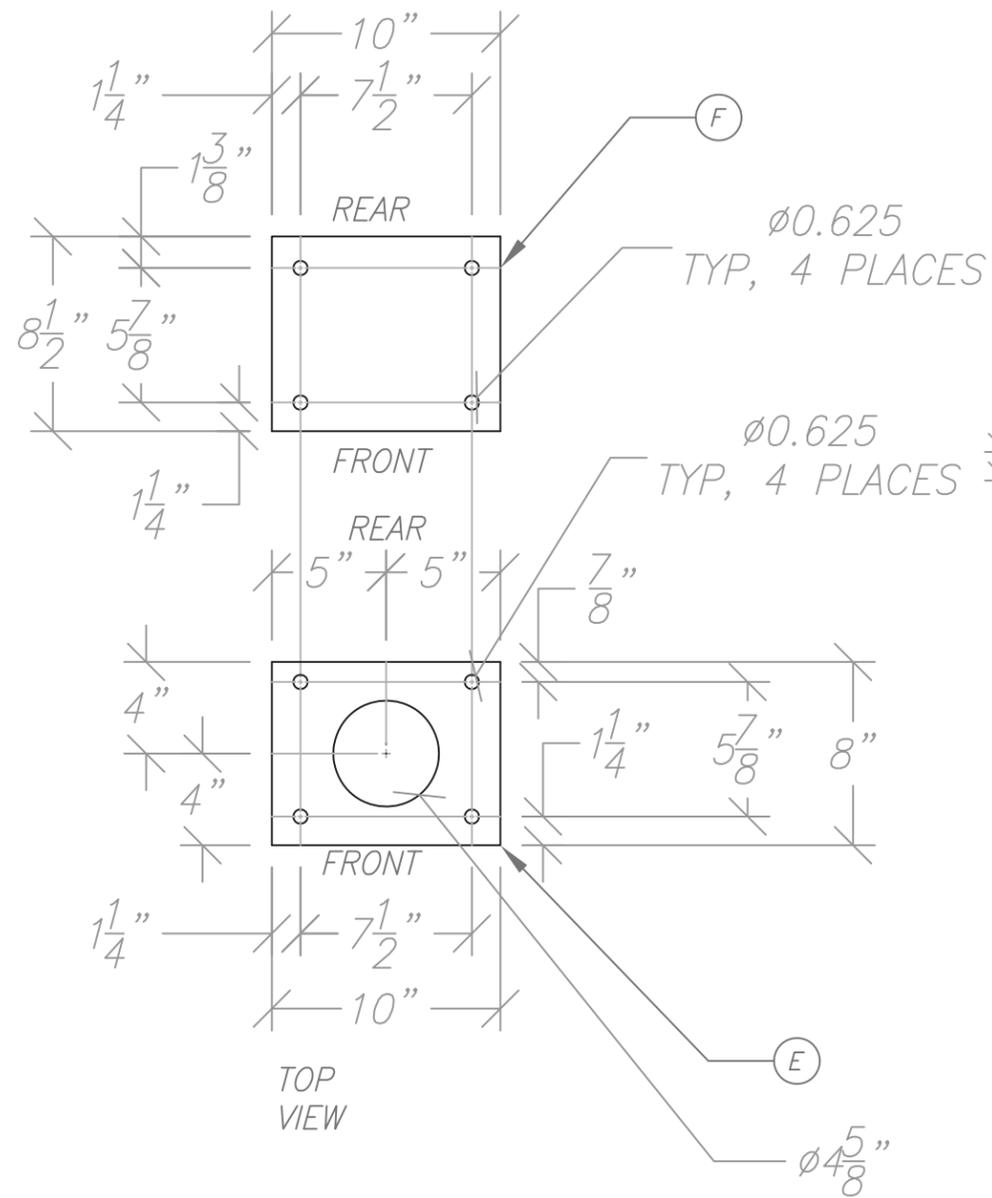
SPRINGFIELD SIGN & NEON
2531 N. Patterson
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
DRIVE-THROUGH/MAIN MENU BOARD
SIGN BASE
DETAIL A

Project Number:
Drawn By: DEN
Reviewed By: NW
Date: 1-20-15

Sheet Number:
4 OF 5



DRIVE-THROUGH/MAIN MENU BOARD	
E	OUTSIDE BASE MOUNTING PLATE
	MATERIAL: $\frac{5}{8}''$ PLATE STEEL
F	INSIDE BASE MOUNTING PLATE
	MATERIAL: $\frac{5}{8}''$ PLATE STEEL

LOCATION:
CULVER'S LOCATIONS

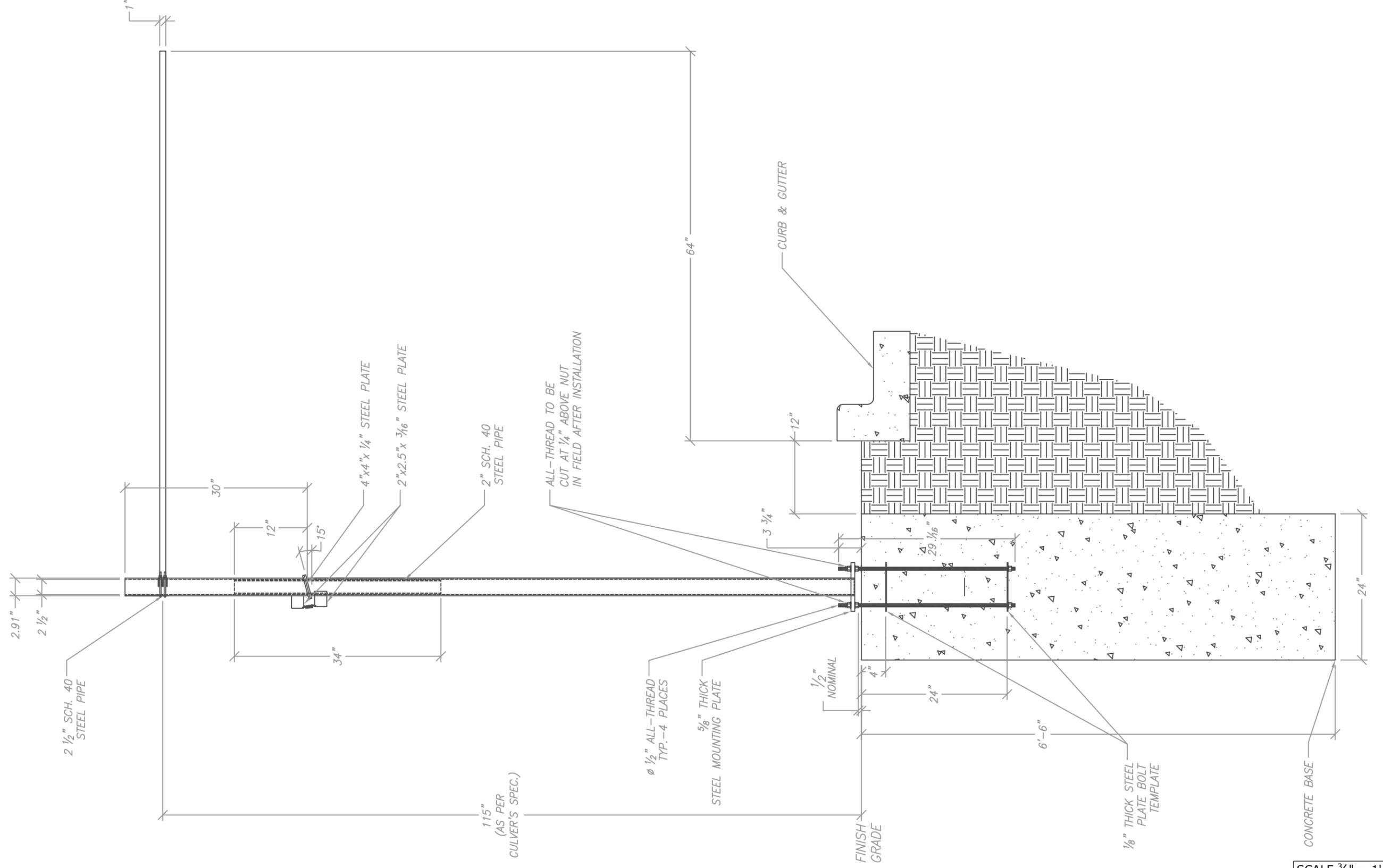
SPRINGFIELD SIGN & NEON
 2531 N. Patterson
 Springfield, MO 65803
 (417) 862-2454

Client:
 Culver Franchising
 System, Inc.
 540 Water Street
 Prairie du Sac, WI 53578
 p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
 DRIVE-THROUGH/MAIN MENU BOARD
 BASE MOUNTING PLATES
 SIGN BASE-DETAIL

Project Number:
 Drawn By: DEN
 Reviewed By: NW
 Date: 1-20-15
 Sheet Number:
5 OF 5

SCALE $\frac{1}{8}'' = 1''$



Project Number: DEN
 Drawn By: NW
 Reviewed By: 6-24-15
 Date:

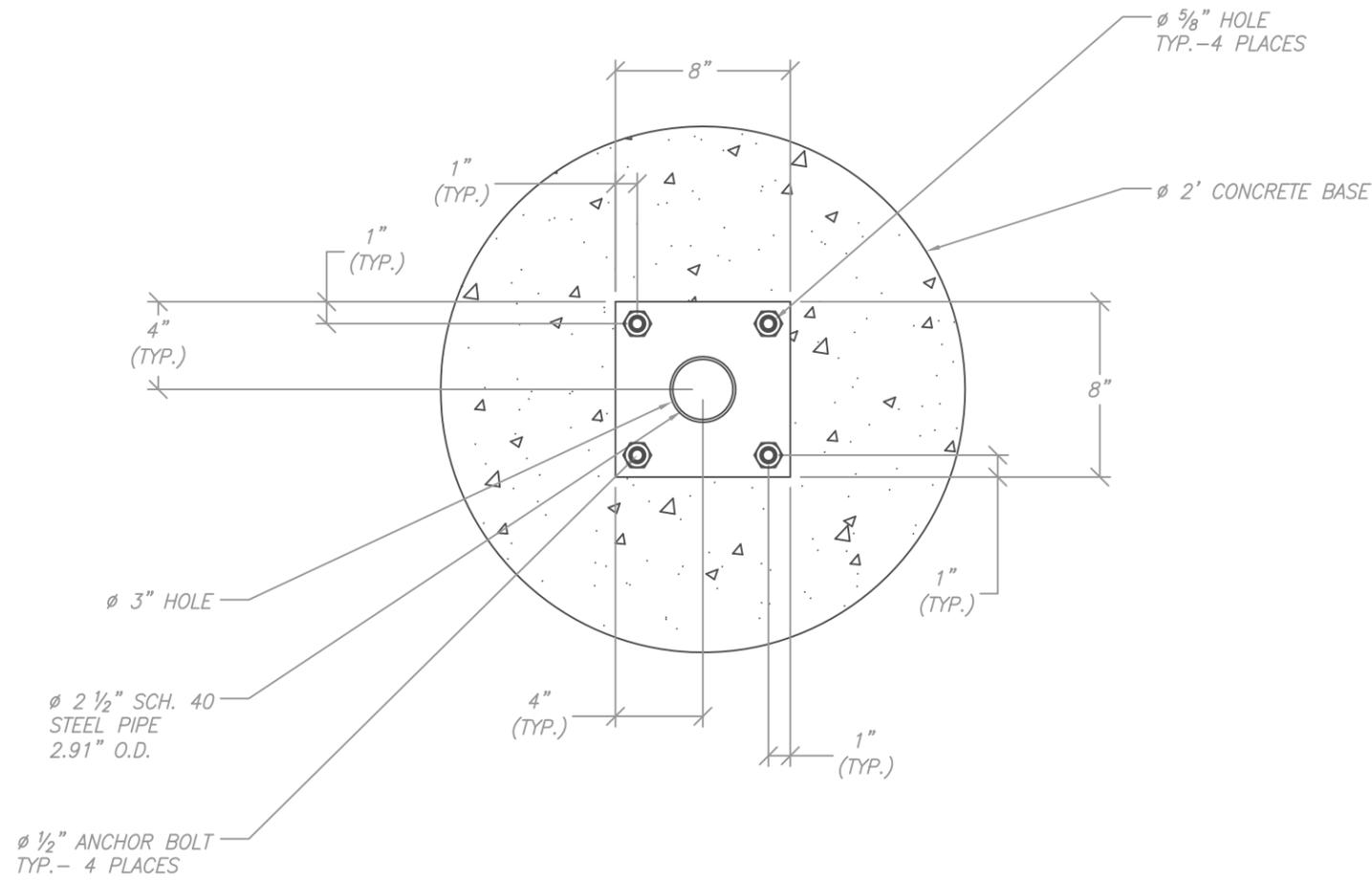
Sheet Number:
1 OF 3

CULVER FRANCHISING SYSTEM, INC.
 VEHICLE HEIGHT DETECTOR
 FRONT VIEW

LOCATION:
CULVER'S

Client:
 Culver Franchising System, Inc.
 540 Water Street
 Prairie du Sac, WI 53578
 p (608) 643-7980

SPRINGFIELD SIGN & NEON
 2531 N. Patterson
 Springfield, MO 65803
 (417) 862-2454



STEEL PLATE - 5/8" THICK
 CENTERED ON ϕ 2' CONCRETE BASE

SCALE 1 1/2" = 1'

LOCATION:
CULVER'S

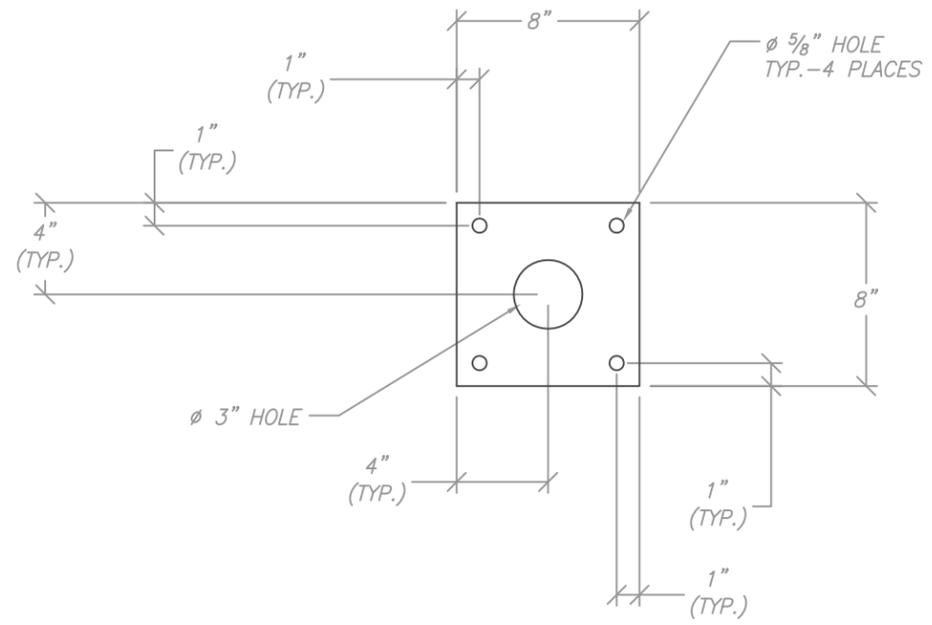
SPRINGFIELD SIGN & NEON
 2531 N. Patterson
 Springfield, MO 65803
 (417) 862-2454

Client:
 Culver Franchising
 System, Inc.
 540 Water Street
 Prairie du Sac, WI 53578
 p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
 VEHICLE HEIGHT DETECTOR
 CONCRETE BASE/MOUNTING PLATE
 TOP VIEW

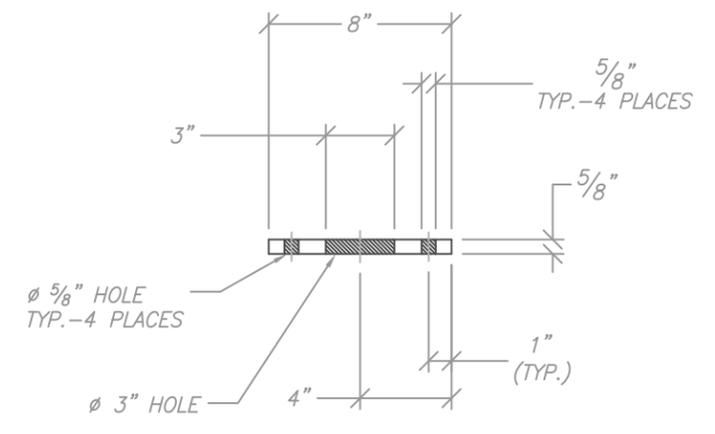
Project Number:
 Drawn By: DEN
 Reviewed By: NW
 Date: 6-24-15

Sheet Number:
2 OF 3

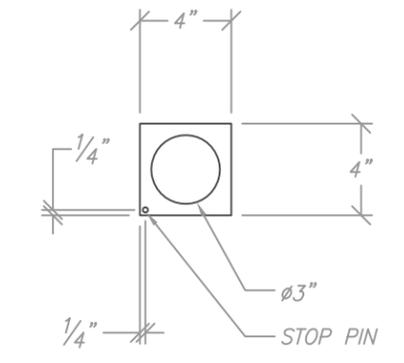


TOP VIEW

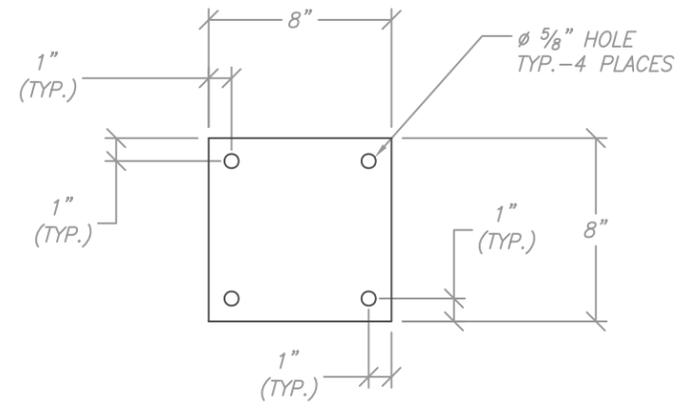
STEEL PLATE-5/8" THICK



SIDE VIEW

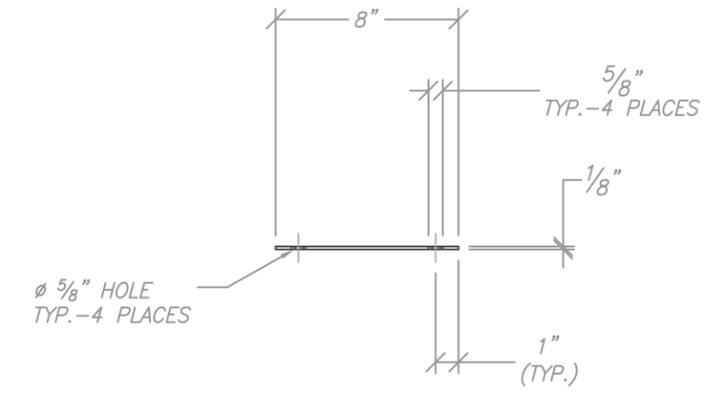


STEEL PLATE-1/4" THICK



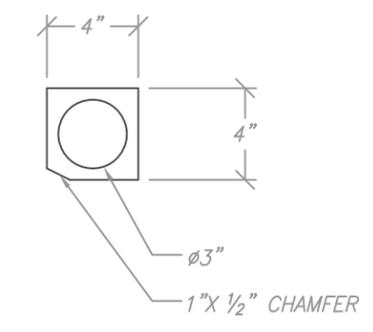
TOP VIEW

STEEL PLATE-1/8" THICK



SIDE VIEW

STEEL PLATE-1/4" THICK



LOCATION:
CULVER'S

SPRINGFIELD SIGN & NEON
2531 N. Patterson
Springfield, MO 65803
(417) 862-2454

Client:
Culver Franchising
System, Inc.
540 Water Street
Prairie du Sac, WI 53578
p (608) 643-7980

CULVER FRANCHISING SYSTEM, INC.
VEHICLE HEIGHT DETECTOR
STEEL MOUNTING PLATE

Project Number:
Drawn By: DEN
Reviewed By: NW
Date:
Sheet Number:
3 OF 3

SCALE 1 1/2" = 1'



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

TO: Genoa Township Board of Trustees
FROM: Ron Akers, Zoning Official
RE: Hearing on Dangerous Building Located at 1112 Chemung Dr.
DATE: July 30, 2015

Manager Review:

The Township Staff has pursued removal of a dangerous building at 1112 Chemung Dr. Applying the Abandoned and Dangerous Building Ordinance, the proper notification and hearings have been held to ensure compliance with the Township code and have the owner render the structure safe. The Hearing Officer has reviewed the evidence and found the building to be a dangerous building. Per the Abandoned and Dangerous Building Ordinance, this matter is before you to discuss whether the decision from the Hearing Officer should be enforced.

Per section 4 of the Abandoned and Dangerous Buildings Ordinance, the Township Board has the following responsibilities during the hearing:

- The Township Board shall give the owner the opportunity to show cause why the order should not be enforced.
- The Township Board shall either approve, disapprove, or modify the Hearing Officer's order.
- If the order is approved or modified, the owner, agent, or lessee shall comply with the order within 60 days after the date of the hearing under this subsection.

After the 60 day period, if the order is not complied with the Township "shall take all necessary action to enforce the order." This includes removal of the dangerous structure. If the order is approved, it will be the responsibility of the owner, agent, or lessee of the property, to reimburse the full cost of demolition to the Township.

Recommended Motion:

Moved by ____, Supported by _____, to approve the order of the Hearing Officer for the removal of the dangerous building located at 1112 Chemung Dr.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Mortensen

Jean W. Ledford

Todd W. Smith

Linda Rowell



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

July 23, 2015

Terese Bujel
1112 Chemung Dr.
Howell, MI 48843

RE: Dangerous Building Hearing Notice
1112 Chemung Dr.

Dear Ms. Bujel,

Please be advised that a hearing will take place at the Township Board meeting on Monday August 3, 2015 at 6:30 p.m. at the Genoa Township Hall located at 2911 Dorr Road, Brighton, Michigan regarding the findings and order of the Hearing Officer for 1112 Chemung Dr. At the hearing, you will be given the opportunity to show cause why the order of the Hearing Officer should not be enforced.

Thank you in advance for you cooperation in this matter. Should you have any questions please feel free to contact me at (810) 227-5225.

Sincerely,

Ron Akers
Zoning Official
Genoa Township

cc: address file

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

Robin L. Hunt

MANAGER

Michael C. Archinal

TRUSTEES

H. James Martensen

Jean W. Ledford

Todd W. Smith

Linda Rowell

**GENOA CHARTER TOWNSHIP
DANGEROUS BUILDING HEARING**

June 4, 2015

5:00 p.m.

MINUTES

Hearing Officer David Byrwa called the hearing to order at 4:56 p.m. at the Genoa Township Hall. Present were Zoning Official Ron Akers, Hearing Officer David Byrwa and owner of 1112 Chemung Dr. Teresa Bujel.

Hearing Officer Byrwa stated that this was a show cause hearing for the dangerous building located at the property known as 1112 Chemung Dr., Howell, MI 48843 (Parcel ID: 4711-10-201-019). Hearing Officer Byrwa specified that the structure in question was the accessory building located on the property.

Written testimony was provided to the Hearing Officer by the Township prior to the hearing, which outlined why the structure was considered a dangerous structure and outlined the communication the Township has had with the applicant. The written testimony also included a report from the Livingston County Building Department dated 7/24/2014 and the notices provided to the owner. A copy of the testimony is available for review at the Genoa Township Hall.

Testimony was then received from Ms. Bujel who provided a proposal to bring the structure into compliance with the Dangerous Building Ordinance and make the building structurally sound. Hearing Officer Byrwa reviewed the proposal and requested that in addition to the proposal the owner take steps to ensure the siding does not rot by scraping and painting the exterior of the structure or by installing water resistant siding on the structure.

DECISION:

Hearing Officer Byrwa decided that the detached accessory structure on the property known as 1112 Chemung Dr. Howell, MI 48843 is a "dangerous building" as specified in the Genoa Township Abandoned and Dangerous Building Ordinance sections 2.c, 2.e, 2.f, and 2.i. The Hearing Officer's inspection on 5/31/15 demonstrated that the building was in an extreme state of disrepair due to the following findings:

- A. There are missing roof sections and rotted and deteriorated structural members (rafters and wall studs).
- B. The walls and roof are deflecting and out of plumb.

Based on this the Hearing Officer decided that in order to bring the property into a structurally sound state the following would need to occur:

- A. Missing and damaged roof sections will need to be re-sheathed with minimum 7/16 plywood or OSB and the roof will need to be made water resistant through the installation of required roofing materials.

- B. All rotted and/or damaged structural members and supplement rafters and wall studs shall be replaced to achieve the loading requirements of the Michigan Building Code.
- C. The walls and roof will need to be re-plumbed.
- D. The accessory building will need to be scraped and painted to properly surface coat all wood in order to prevent rot. Alternatively the owner may install new siding which is water resistant.

The Hearing Officer also decided that a building permit is to be secured by a licensed contractor for the repairs within thirty (30) days or by July 4, 2015. After the building permit is obtained the repair work shall be completed within thirty (30) days of the permit being issued or by August, 4, 2015. If the owner fails to meet these previously mentioned requirements then the Township shall move for demolition of the dangerous building.



2911 Dorr Road
Brighton, MI 48116
810.227.5225
810.227.3420 fax
genoa.org

May 22, 2015

Dave Byrwa
Hearing Officer
24854 Portsmouth
Novi, MI 48374

RE: Dangerous Building Hearing, 1112 Chemung Dr.

The Genoa Township Abandoned and Dangerous Building Ordinance defines a dangerous building as follows:

Dangerous building means a building or structure that has one or more of the following defects or is in one or more of the following conditions:

- a. A door, aisle, passageway, stairway, or other means of exit does not conform to the approved building code adopted by Livingston County.
- b. A portion of the building or structure is damaged by fire, wind, flood, or other cause so that the structural strength or stability of the building or structure is appreciably less than it was before the catastrophe and does not meet the minimum requirements of this act or a building code adopted by Livingston County for a new building or structure, purpose, or location.
- c. A part of the building or structure is likely to fall, become detached or dislodged, or collapse and injure persons or damage property.
- d. A portion of the building or structure has settled to such an extent that wall or other structural portions of the building or structure have materially less resistance to wind than is required in the case of new construction by this ordinance or a building code adopted by Livingston County.
- e. The building or structure, or a part of the building or structure, because of dilapidation, deterioration, decay, faulty construction or the removal or movement of some portion of the ground necessary for the support, or for other reason, is likely to partially or completely collapse, or some portion of the foundation or underpinning of the building or structure is likely to fall or give way.
- f. The building, structure, or a part of the building or structure is manifestly unsafe for the purpose for which it is used.
- g. The building or structure is damaged by fire, wind, or flood, or is dilapidated or deteriorated and becomes an attractive nuisance to children who might play in the building or structure to their danger, or becomes a harbor for vagrants, criminals, or immoral persons, or enables persons to resort to the building or structure for committing a nuisance or an unlawful or immoral act.
- h. A building or structure used or intended to be used for dwelling purposes, including the adjoining grounds, because of dilapidation, decay, damage, faulty construction or arrangement, or otherwise, is unsanitary or unfit for human habitation, is in a condition that the health officer determines is likely to cause sickness or disease, or is likely to injure the health, safety, or general welfare of people living in the dwelling.
- i. A building or structure is vacant, dilapidated, and open at door or window, leaving the interior of the building exposed to the elements or accessible to entrance by trespassers.

SUPERVISOR

Gary T. McCririe

CLERK

Paulette A. Skolarus

TREASURER

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MANAGER

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Todd W. Smith

Linda Rowell

Based on prior inspection it appears the detached accessory building meets the definition of a “dangerous building” due to the building meeting certain above mentioned conditions. These are highlighted in bold above.

Communication with Owner

There have been several notices issued regarding the condition of this structure. The first notice was issued on 12/1/14 regarding a carport that was attached to the accessory building in question. After a discussion with the owner on 12/8/14, she decided to remove the carport. A follow-up inspection on 1/14/15 demonstrated that the carport had been removed.

Due to a complaint in March/April of 2015, I re-inspected the property and noticed that the roofing for the accessory building had not been replaced and due to this the roof of the accessory building had deteriorated to the point where a substantial portion of it was open to the elements and it appeared ready to collapse. Due to this I sent a dangerous building notice to the owner to remove the remainder of the structure on 4/24/15. On 5/5/15 I spoke to the owner of the property and indicated that the building was dangerous and would need to be removed. The owner disagreed that the building needed to be removed and indicated that only the roof would need to be repaired. I offered to schedule the dangerous building hearing to resolve the issue.

On May 22, 2015 a certified letter was mailed to the property at 1112 Chemung Dr., notice was posted on the property and the owner was notified verbally via telephone of the date, time and location of the hearing.

Post Hearing Dangerous Building Process

Not more than five (5) days after completion of the hearing, the hearing officer shall render a decision either closing the proceedings or ordering the building or structure demolished, otherwise made safe, or properly maintained.

If the structure is to be demolished, otherwise made safe or properly maintained, the hearing officer shall specify a date in which the owner, agent or lessee shall comply with the order. The order may require the maintenance of the exterior of the building and adjoining grounds including, but not limited to, the maintenance of lawns, trees or shrubs.

If the owner, agent, or lessee fails to appear or neglects or refuses to comply with the order issued under subsection (2) the hearing officer shall file a report of the findings and a copy of the order with the legislative body of the township not more than 5 days after noncompliance by the owner and request that necessary action be taken to enforce the order. A copy of the findings and order of the hearing officer shall be served on the owner, agent, or lessee in the manner prescribed in section 3.0.

If this gets to this step another hearing will be held not less than 30 days after the initial hearing. The property owner will be notified in the same manner and the Township Board will decide if the order should be enforced. If they decide it should be enforced then the owner, agent or lessee shall comply within 60 days after the date of the hearing in this subsection.

In the case of an order of demolition, if the board of appeals of the township determines that the building or structure has been substantially destroyed by fire, wind, flood, or other natural disaster, and the cost of repair of the building or structure will be greater than the state equalized value of the building or structure, the owner, agent, or lessee shall comply with the order of demolition within 21 days after the date of the hearing under this subsection.

If this does not occur, then the Township will have the ability to make the necessary steps to enforce the order and recover costs from the property owner. If the owner fails to pay the cost after 30 days, then a lien will be placed upon the property.

Attachments

I have attached pictures and supporting documentation including my correspondence with the property owner, the report from the Livingston County Building Department regarding the building and carport and current images of the carport.





2911 Dorr Road
Brighton, MI 48116
810-227-5225
810-227-1430 fax
genoa.org

July 23, 2015

Terese Bujel
1112 Chemung Dr.
Howell, MI 48843

RE: Dangerous Building Hearing Notice
1112 Chemung Dr.

Dear Ms. Bujel,

Please be advised that a hearing will take place at the Township Board meeting on Monday August 3, 2015 at 6:30 p.m. at the Genoa Township Hall located at 2911 Dorr Road, Brighton, Michigan regarding the findings and order of the Hearing Officer for 1112 Chemung Dr. At the hearing, you will be given the opportunity to show cause why the order of the Hearing Officer should not be enforced.

Thank you in advance for your cooperation in this matter. Should you have any questions please feel free to contact me at (810) 227-5225.

Sincerely,

Ron Akers
Zoning Official
Genoa Township

cc: address file

SUPERVISOR

Gary J. McCreese

CLERK

Pauline A. Skoldera

TREASURER

Robin L. Hunt

MANAGER

Michael E. Arghmal

TRUSTEES

H. James Morrison

John W. Ledford

Iodd W. Smith

Linda Rowell





1106

1106
1106
1106
1106



Mike Archinal

From: Mike Archinal
Sent: Thursday, July 30, 2015 2:39 PM
To: 'kurt skarjune'
Subject: RE: Sheriff For Genoa

Mr. Skarjune,

You are more than welcome to address the Township Board during the Call to the Public portion of the meeting on Monday. I will distribute your attachments to the Board members prior to the meeting.

Michael C. Archinal
Township Manager



Genoa Charter Township
2911 Dorr Road, Brighton, Michigan 48116
Phone: (810) 227-5225, Fax: (810) 227-3420
E-mail: mike@genoa.org, Url: www.genoa.org

From: kurt skarjune [<mailto:skarjune@yahoo.com>]
Sent: Monday, July 20, 2015 10:16 AM
To: Mike Archinal
Subject: Sheriff For Genoa

Michael Archinal, Genoa Township Manager

Dear Sir,

My name is Kurt Skarjune and I am the President of the Lake Edgewood Condominium Association. I am writing you today to request the opportunity to address the Township Board at the August 3rd Meeting. As you may know, I have worked the last several weeks on an issue I feel is extremely important to the residents of Genoa Township. That issue is the level of police coverage now afforded to our township.

As a retired police veteran (23 years City of Oak Park) I decided to get involved in this issue following 3 incidents of tire thefts which occurred in the middle of night within my community. I spoke with Sheriff and State Police officials to get a feel for the police coverage available here in Genoa Township. Their information coupled with my experience and research convinced me that I needed to advise the public about the need to increase the patrol numbers.

Attached find 5 documents related to the research I've done on this issue. I respectfully request the opportunity to speak before the Board. This could be done during the Call to the Audience or within the Agenda. You can make the call on that. Please feel free to call me at the below number for any questions or information that you may have.

Respectfully,
Kurt Skarjune 248 702-7481

Mike Archinal

From: kurt skarjune <skarjune@yahoo.com>
Sent: Monday, July 20, 2015 11:25 AM
To: Mike Archinal
Subject: Re: Sheriff For Genoa

Dear Mr. McCririe and Ms. Murphy,

I am forwarding this due to Mr.Archinal's absence.

From: kurt skarjune <skarjune@yahoo.com>
To: "mike@genoa.org" <mike@genoa.org>
Sent: Monday, July 20, 2015 10:15 AM
Subject: Sheriff For Genoa

Michael Archinal, Genoa Township Manager

Dear Sir,

My name is Kurt Skarjune and I am the President of the Lake Edgewood Condominium Association. I am writing you today to request the opportunity to address the Township Board at the August 3rd Meeting. As you may know, I have worked the last several weeks on an issue I feel is extremely important to the residents of Genoa Township. That issue is the level of police coverage now afforded to our township.

As a retired police veteran (23 years City of Oak Park) I decided to get involved in this issue following 3 incidents of tire thefts which occurred in the middle of night within my community. I spoke with Sheriff and State Police officials to get a feel for the police coverage available here in Genoa Township. Their information coupled with my experience and research convinced me that I needed to advise the public about the need to increase the patrol numbers.

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Respectfully,
Kurt Skarjune 248 702-7481

POLICE SERVICES FOR 100 LARGEST MICHIGAN TOWNSHIPS (2015)

<u>Rank</u>	<u>Township</u>	<u>No Dedicated Police</u>	<u>Sheriff Contract</u>	<u>Police Dept.</u>	<u>Population in 2010</u>
1	Clinton			X	96,796
2	Canton			X	90,173
3	Macomb		X		79,580
4	Shelby			X	73,804
5	Waterford			X	71,707
6	West Bloomfield			X	64,690
7	Ypsilanti		X		53,362
8	Redford			X	48,362
9	Georgetown		X		46,985
10	Chesterfield			X	43,381
11	Bloomfield			X	41,070
12	Saginaw			X	40,840
13	Commerce		X		40,186
14	Meridian			X	39,688
15	Grand Blanc			X	37,508
16	Holland		X		35,636
17	Orion		X		35,394
18	Independence		X		34,681
19	Pittsfield			X	34,663
20	Delta		X		32,408
21	Flint			X	31,929
22	Bedford			X	31,085
23	Plainfield		X		30,952
24	Brownstown			X	30,627
25	White Lake			X	30,019
26	Van Buren			X	28,821
27	Northville			X	28,497
28	Plymouth			X	27,524
29	Delhi		X		25,877
30	Gaines		X		25,146
31	Washington		X		25,139
32	Harrison		X		24,587
33	Blackman			X	24,051
34	Summit		X		22,508
35	Kalamazoo			X	21,918
36	Oshkemo		X PENDING		21,705
37	Genesee			X	21,581
38	Mount Morris			X	21,501
39	Hamburg			X	21,165
40	Allendale		X		20,708
41	Oxford		X		20,526
42	Frenchtown		X		20,428
43	Byron		X		20,317
44	Scio		X		20,081
45	Genoa	X			19,821
46	Davison			X	19,575
47	Highland		X		19,202
48	Muskegon			X	17,840
49	Park		X		17,802
50	Brighton	X			17,791
51	Green Oak			X	17,476
52	Cascade		X		17,134
53	Grand Rapids		X		16,661
54	Garfield		X		16,256
55	Huron			X	15,879
56	Milford			X	15,736
57	Fenton		X		15,552
58	Grand Haven		X		15,178
59	Brandon		X		15,175
60	Comstock		X		14,854
61	Benton			X	14,749
62	Texas		X		14,697

	<u>Township</u>	<u>No Dedicated Police</u>	<u>Sheriff Contract</u>	<u>Police Dept.</u>	<u>Population in 2010</u>
63	Lincoln			X	14,691
64	Hartland	X			14,663
65	Bangor		X		14,641
66	Monroe		X		14,568
67	Lyon		X		14,545
68	Dewitt			X	14,321
69	Niles		X		14,164
70	Springfield		X		13,940
71	Leoni			X	13,807
72	Fruitport			X	13,598
73	Cannon		X		13,336
74	Alpine		X		13,332
75	Vienna		X		13,255
76	Ada		X		13,142
77	Superior		X		13,058
78	Union	X			12,927
79	Caledonia		X		12,332
80	Antwerp		X		12,192
81	Thomas			X	11,985
82	Oceola	X			11,936
83	Emmett			X	11,770
84	Bath			X	11,598
85	Holly		X		11,362
86	Fort Gratiot		X		11,108
87	Monitor		X		10,735
88	East Bay		X		10,663
89	Port Huron		X		10,654
90	Flushing			X	10,640
91	Bridgeport			X	10,514
92	Lenox		X		10,470
93	Grosse Isle			X	10,371
94	Cooper	X			10,111
95	St. Joseph			X	10,028
96	Tyrone		X		10,020
97	Algoma		X		9,932
98	Egelston	X			9,909
99	Tittabawassee			X	9,726
100	Hampton			X	9,652

No Dedicated Police Sheriff Contract Police Dept.

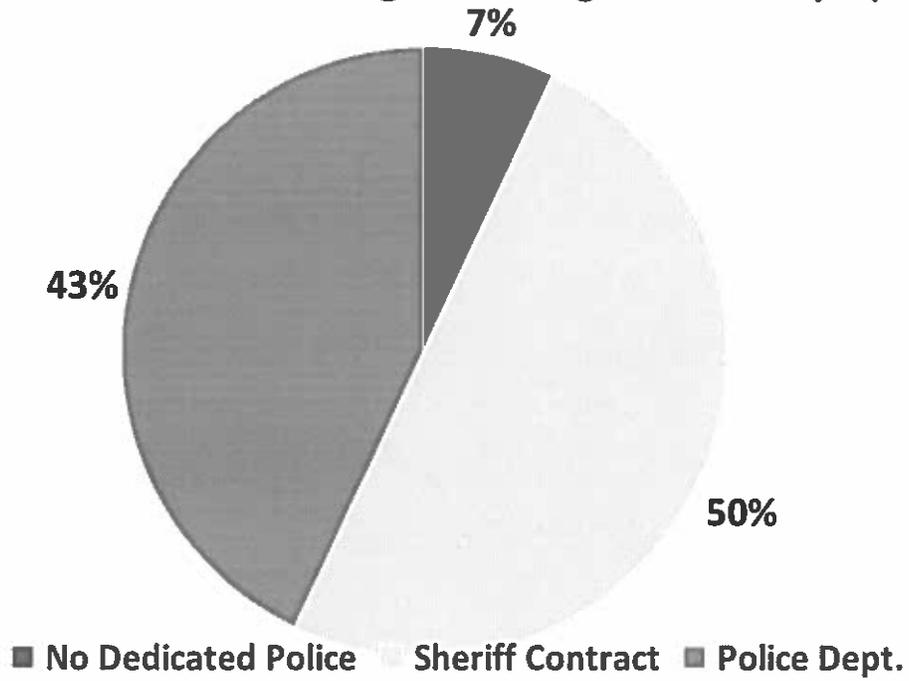
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43

(4 from Livingston County)

Police Services for 100 Largest Michigan Townships (2015)



LIVINGSTON DAILY

MONDAY, JULY 6, 2015



LIVINGSTONDAILY.COM



A GANNETT COMPANY

RETIRED OFFICER LEADS EFFORT

Skarjune wants dedicated police patrol in Genoa Township

LISA ROOSE-CHURCH
LIVINGSTON DAILY

A retired police officer is spearheading an effort for dedicated police patrol in Genoa Township.

Kurt Skarjune, a retired Oak Park police officer and president of the Lake Edgewood Condominium Association in the township, has started Sheriff for Genoa, an online petition — <http://ipetitions.com/petition/sheriff-for-genoa> — he hopes to present to the Board of Trustees for consideration of contracting dedicated police patrol with the Livingston County Sheriff's Department.

"To not have dedicated police force in this township is unacceptable," he said. "Let's not wait until a heinous crime occurs. We need some dedicated police force in the township."

Township Supervisor Gary McCririe said the board has discussed the issue in the past and it can be boiled down to one word: funding. The board and township residents already pay taxes to the county and state, which fund both the Sheriff's Department and Michigan State Police — the two agencies that provide police coverage for Genoa Township.

"If the township board considered paying

for dedicated road patrol, we'd have to decide what else we would not pay for. Would it be \$200,000 to \$500,000 in road repair?" McCririe asked. "The services we're being provided now are excellent. ... Clearly we take police protection very serious, but there is not a human cry for additional levies to pay for additional police services."

Skarjune believes residents should not settle for their current service based on response times.

McCririe said the response times depend on the nature of the call — and if one breaks out the numbers for fender-bender-type low-priority calls, the response time is acceptable.

"The numbers I've seen show serious crimes response time is excellent," he said.

According to statistics from the Livingston County Sheriff's Department, the average response time for nonpriority calls in Genoa Township is about 27 minutes while it's about 16 minutes for priority calls.

A quick look at the nature of the day-to-day police-related calls in Genoa Township shows numerous traffic stops as well as alarm calls. However, it also shows situations where time



**"To not have
dedicated
police force in
this township
is
unacceptable."**

KURT SKARJUNE
RETIRED POLICE OFFICER

See POLICE, Page 2A



GILLIS BENEDICT/LIVINGSTON DAILY

Livingston County Sheriff's Deputy Ryan Sanders waves to local business owners and residents on his routine patrols in Tyrone Township. The sheriff's department is contracted to patrol communities that don't have their own police department.

Police

Continued from Page 1A

is of essence and could mean safety for someone, such as domestic violence or personal injury crashes.

In June, there was an armed home invasion, and it is situations like that Skarjune points to as justification for dedicated patrol in the township.

Undersheriff Michael Murphy said his deputies oftentimes apologize to county residents for how long it can take to respond to some calls. The slow response times are the result of the department losing half its road

patrol in recent years due to budget cuts.

"Everyone in government is supportive of law enforcement," he said.

"Nobody wants to be the public entity or commission who speaks out against law enforcement, but it is a funding issue. It's going to come to a head and it's a matter of who is going to pay for it:

who is going to pay for it: Township officials feel the county has owned law enforcement with uniform services, therefore, they should fund it. The county says, 'We're not mandated to do this, so you should fund it.' It truly does come down to what the people are willing to pay for and who is going to write the check," Mur-

phy added. Governmental bodies for both Putnam and Tyrone townships have contracted with the Sheriff's Department for dedicated patrols. Tyrone once shared a contract with Hartland Township for dedicated patrol for decades, but that ended when the cost began to increase "without recognizing that we were already paying for road patrol," Tyrone Clerk Keith Kramer said. However, when the Sher-

LIVINGSTON COUNTY SHERIFF'S DEPARTMENT'S CALLS FOR SERVICE, 2013-2015

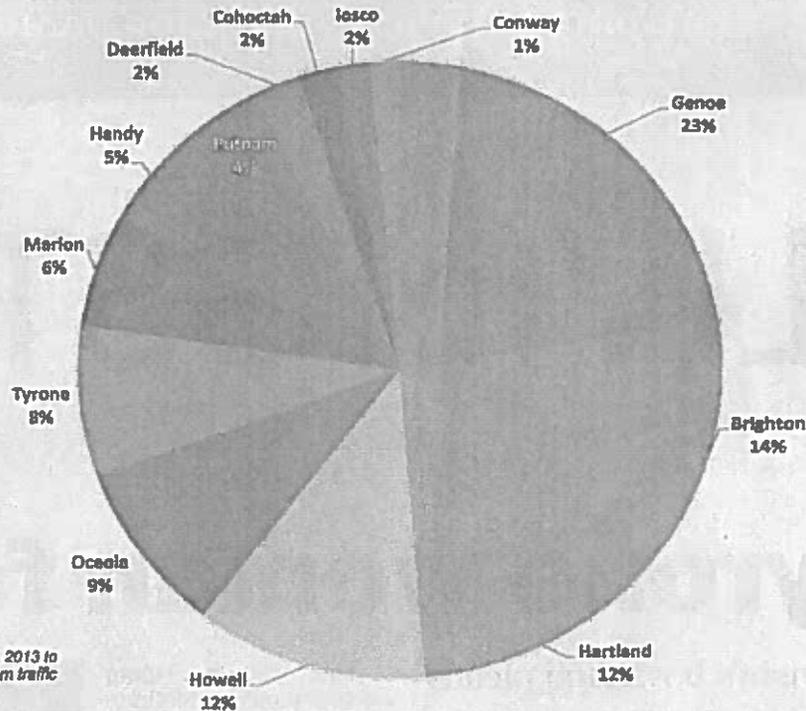
The number of calls for service per year, per township shows that Genoa Township comprises the majority of the Livingston County Sheriff's Department's time.

Township No. Calls

Genoa	16,242
Brighton	10,211
Hartland	8,810
Howell	8,500
Ocala	6,473
Tyrone	5,732
Marion	4,295
Handy	3,876
Putnam	2,845
Deerfield	1,768
Cohoctah	1,359
Iosco	1,194
Conway	1,033

Total 72,328

Data is from Sheriff's Department, Jan. 1, 2013 to June 30, 2015. Calls for service range from traffic stops to thefts, retail frauds and murder.



iff's Department offered a proposal that took into consideration township residents do pay county taxes that fund police services, the township approved a special assessment for the dedicated patrol.

"Everyone is paying for the Sheriff's Department in some way or another, and we wanted to have some credit for that," Kramer said. "We wanted a little better service ... and that's why we have a dedicated

patrol. If we could afford it, we'd do 24 (hours a day), seven (days a week)."

Kramer said response times are important for Tyrone residents because the township is in the northeast corner of the county, and depending on where a deputy is located during an emergency call, response times could be as much as 15-20 minutes longer than acceptable.

Skarjune said Genoa Township is a fast-grow-

ing community and the current police coverage "is dated and insufficient." He believes Genoa should follow Tyrone's footsteps and contract for dedicated police patrol.

"It's a passer-by police department and the township is growing," he said.

Contact Livingston Daily justice reporter Lisa Roose-Church at 517-552-2846 or lrchurch@gannett.com.

Robert J. Bezotte
Sheriff

Michael J. Murphy
Undersheriff



LIVINGSTON COUNTY SHERIFF DEPARTMENT

150 S. HIGHLANDER WAY • HOWELL, MICHIGAN 48843
TELEPHONE (517) 546-2440 • FAX (517) 552-2542

October 24, 2013

Gary McCrie, Supervisor
Genoa Township
2911 Dorr Road
Brighton, MI 48116

Dear Supervisor McCrie,

Recent events surrounding County government and changing policy have prompted me to send you this communication. Since my career with the Sheriff's Department began in 1973, we have always maintained and operated a Road Patrol Division. As my career has progressed, especially since my appointment as Undersheriff in 1999 and then my election to the Office of Sheriff in 2004, we have had on-going conversations with the Board of Commissioners with regard to retaining our Road Patrol Division. During these conversations, we have been asked over and over "what obligation does the Board of Commissioners have to pay for Road Patrol out of General Funds."

The Law is very specific; County Government is mandated to run the jail. In addition, the law indicates that the Sheriff will also respond to citizen complaints and we have argued that this requires us to have a Road Patrol Division. The Board of Commissioners, along with the County Administrator, disagrees with our understanding of the law. In my first term as Sheriff, we began to see a reduction in Road Patrol positions, as a consequence of our declining economy. As of June 1, 2013 we have lost 18 certified Road Patrol positions. Our plans to build an addition to the County Jail have progressed over recent months to the point that I am confident to report we will soon see this expansion move forward in 2014 with a cost to the County of approximately 13 million dollars. The annual operating expense to run the jail is estimated to be approximately 2 million dollars.

On many occasions during my term as Sheriff we have continually asked for direction from the Board of Commissioners with regard to their position on maintaining our Road Patrol. With each budget year we re-hash this same question repeatedly. Until recent months it has, for the most part, gone unanswered.

Two of our Road Patrol Sergeant's retired this past summer. We went to the Board of Commissioners to request these two Road Patrol positions in the form of new hires and for the first time our request was denied. However, the Board of Commissioners did approve to add two Corrections Deputy positions to our Jail facility. This is the first time we have seen this happen. We have continually asked for direction from the Board of Commissioners and we just received our first glance at what the future will bring for our Department.

In the past I have discussed the topic of police service contracts with many of you. We have sent letters and made presentations regarding the importance of contracting in order to provide law enforcement services to the citizens of Livingston County. This is not a plea for you to reconsider your past decisions, all of you have made it very clear what your position is on this issue and I respect and thank you for your consideration. As your Sheriff, I feel an obligation to keep you informed, as we have in the past, of the county Board of Commissioners decision to scale back on Road Patrol services.

Currently we have 23 general patrol deputies working on four different shifts; 6a to 6p and 6p to 6a. We have 3 deputies assigned to contracts with Putnam Township and Tyrone Township. We have 3 deputies assigned to our Civil Division, which is mandated and 4 deputies assigned to our courts, which is mandated. We have 3 deputies assigned to drug units, and 2 deputies assigned to traffic safety. As certified deputies retire or leave employment with the Sheriff's Department they will not be replaced. We will see these positions re-assigned to the jail in anticipation of opening a new addition to our existing jail facility within the next couple years.

Frankly, I can tell you losing 18 certified Deputies since becoming Sheriff has taken its toll. Deputies who continue to work Road Patrol are asked to do more with declining resources. To their credit, they have stepped up and done a great job under very difficult circumstances. More important to us, we have become increasingly concerned about officer safety as our road patrol deputy positions continue to decline. The Michigan State Police (Brighton Post) also provide road patrol services to our citizens in the unincorporated areas of Livingston County. They have lost approximately 20 Trooper positions over the past several years. Although this equates to a loss of 38 law enforcement positions, we will continue to provide coverage with our combined resources.

The realization of losing our Road Patrol has been very difficult for me and my staff to deal with. We have fought hard to maintain funding but the reality is, if the Board of Commissioners does not fund our Road Patrol, it will end at some point and time.

Thank you for your continued support over the years. As we move forward, the men and women of the Livingston County Sheriff's Department will continue to provide quality service and we remain committed to the citizens we serve.

Sincerely,


Robert J. Bezotte
Sheriff

To: Genoa Township Board of Trustees 5/18/2015

WE The Residents of Lake Edgewood Townhomes Condominium Association, In order to help make this a safer Community, respectfully request that The Township of Genoa research the possibility of establishing a fixed Law Enforcement presence in this Township.

NAME

ADDRESS

Kurt + Pam Skuse	2787 MONTE VISTA
Aimee Yarrick-Warner	2917 E TELLURIDE
Michael Zbeck	2498 W. TELLURIDE
[Signature]	3033 W. Telluride
[Signature]	7787 SILVER PLUME, 48114
Marion J. Bey	7999 Silver Plume 48114
William D. Swihart Jr.	2901 E. Telluride 48114
[Signature]	7690 Sunman Ct 48114
Barbara Spica	2872 E. Telluride 48114
Quail Stokes	3117 E. Telluride 48114
Janet Mizick	3008 E. Telluride
[Signature]	2835 MONTE VISTA
William Stone	2896 W TELLURIDE
DOROTHY Stone	✓ ✓

POLICE
PROTECTION

Erben Burns	3009 W. TELLURIDE	48114
Hal & Nancy Stoddard	2964 W. Telluride	48114
Rick & Joan Mahony	3017 W Telluride	48114
Doko Vitella	7567 Radcliffe Brighton	48114
Janet Hamlin	7559 Radcliffe	48114
Charlene Hugot	7579 Radcliffe	48114
JP Whelan	2925 W. Telluride	
Batricia A Dyer	2931 W. Telluride	48114
Denese J Brock	2888 W. Telluride	48114
Miriam Trzun	2912 W Telluride	48114
Mary S Vandenberg	2867 BRECKENRIDGE	48114
Louise De Fresno	2869 Breckenridge	48114
Karen Brenden	2865 Breckenridge	48114
Cecilia McClure	7775 Silver Plume	48114
David M. Arew	7555 RADCLIFFE	48114
Mary Scheliske	2703 Breckenridge Dr	48114
Marken Githens	7542 Radcliffe	48114
Julie Cooper	7541 Radcliffe	48114
Gileen Yanik	7530 Radcliffe	48114
Rhonda Tocco	7751 Silver Plume	48114
Jones Jones	7751 Silver Plume	48114
Jean Makela	3038 E. Telluride	48114
DEBRA O'CONNOR	2933 BRECKENRIDGE BRIGHTON	48114
CAROL PARKER	2909 E. TELLURIDE BRIGHTON	48114

Elizabeth Conroy 7585 Radcliffe 48114

Don & Shirley Wilson 2920 N. Telluride 48114

DEWIS & CAROLINE GABEL 2852 MONTE VISTA 48114

Karen & Steve Wray 2799 Breckinridge Dr 48114

Harriet & Don Evans 2715 " " "

Madelaine Vintzel 3073 E Telluride "

Ruthann C. Kalohn 3001 W Telluride 48114

Pat Nottle 3035 E-Telluride 48114

Frederick S. Wark 3027 E. TELLURIDE 48114

CONNIE BENNETT 3051 E. TELLURIDE 48114

~~Tom~~ Tom & Nancy Bennett 3041 W. Telluride 48114

Patricia Morley 3049 N. Telluride 48114

Marilyn Madley 3056 W Telluride 48114

Mary Clark 2864 W. Telluride Brighton 48114

Carol Dehue 2828 Monte Vista 48114

Bonnie C. Larney 2819 Monte Vista 48114

Carole Deuts 3040 W. Telluride 48114

Suzanne C. Crain 2974 E Telluride 48114

Ruth Kravich 2856 E Telluride 48114

David Ennis 2914 E Telluride 48114

John J. Saunders 2860 Monte Vista Brighton 48114

R.W. Kehl 2811 Monte Vista Brighton 48114