

GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
JANUARY 15, 2013  
6:30 P.M.

AGENDA

Call to Order:

Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: *(Please Note: The Board will not begin any new business after 10:00 p.m.)*

1. 12-27...A request by Joe Aguis, Section 27, 5311 Brighton Road, for a sign variance.
2. 13-01...A request by Christian and Damian Karch, 5400 Brady Road, Sec. 31, for a variance to construct a detached accessory structure in the front yard.
3. 13-02...A request by Champion Buick GMC, 7885 W. Grand River, Sec. 13, for a front yard variance to construct an addition to an existing non-conforming building.
4. 13-03...A request by Genoa Charter Township, 2911 Dorr Road, Sec. 14, for a sign variance.
5. 13-04...A request by Blair Bowman, 4252 Highcrest, Sec. 22, for a front yard and waterfront variance to construct a new home.

**ADMINISTRATIVE BUSINESS:**

- A. ***Approval of minutes for the December 11, 2012 Zoning Board of Appeals meeting.***
- B. ***Correspondence***
- C. ***Member Discussion***
- D. ***Adjournment***

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**JANUARY 15, 2013**  
**CASE #12-27**

**PROPERTY LOCATION:** 5311 Brighton Road

**PETITIONER:** Burroughs Tavern (Joe Aguis)

**ZONING:** MUPUD (Mixed Use Planned Unit Development)

**WELL AND SEPTIC INFO:** Water and sewer

**PETITIONERS REQUEST:** Requesting a sign variance.

**CODE REFERENCE:** Table 16.1 – Sign dimensional standards - MUPUD (Mixed Use Planned Unit Development)

**STAFF COMMENTS:** Petition was tabled at the December 2012 ZBA meeting as there was no petitioner present.

Petitioner was contacted on January 10, 2013 and informed that there must be a petitioner in attendance for the January 2013 hearing on this matter.

Petitioner is seeking a height variance to allow a ground sign with a height greater than 6 feet. Petitioner has been utilizing a prohibited messageboard sign in addition to the existing ground sign which resulted in code enforcement. Petitioner is seeking to merge the two signs to satisfy township ordinances as well to advertise the business.

	R.O.W setback	One Side	Other Side	Sign height	Sign area	Other
Setbacks of Zoning				6		
Setbacks Requested				7		
Variance Amount				1		

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
DECEMBER 11, 2012  
6:30 p.m.**

**MINUTES**

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30pm at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The members and staff of the Zoning Board of Appeals were then introduced. The board members in attendance were as follows: Chris Grajek, Marianne McCreary, Barbara Figurski, Jean Ledford and Jeff Dhaenens. Also present was Township staff member Adam VanTassell and 3 persons in the audience.

**Moved** by Figurski, supported by Ledford, to approve the agenda with the moving of Item #2 to Item #1. **Motion carried unanimously.**

**12-29...A request by Liberty Tax Service, Section 4, 4072 E. Grand River, for a sign variance.**

Steve and Pat Schenck were present for the petitioner.

McCreary questioned if the windfeathers were a distraction for drivers. Mr. Schenck and Mr. VanTassell stated that they have not received complaints. Grajek stated that it was discussed last year that the petitioner should revisit the Zoning Board of Appeals year to year for this request.

**Moved** by Ledford, supported by McCreary, to approve case #12-29, Liberty Tax Service, 4072 E. Grand River, for a (1) year period with 2 banners, 2 windfeathers and balloons for an additional 3 weeks from the allowed 2 weeks per the Zoning Ordinance with a total of 5 weeks. The practical difficulty is the finding of fact of the temporary type of seasonal business and the hardship of the location off the road. **Motion carried unanimously.**

**12-27 A request by Joseph Agius, 5311 Brighton Road, sec. 27, for a sign variance.**

The petitioner was not present.

**Moved** by Grajek, supported by Figurski to table case #12-27 until the next ZBA meeting due to the petitioner's not being present and directing staff to notify petitioner the request will be decided at the next regularly scheduled Zoning Board of Appeals meeting. **Motion carried unanimously.**

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 12-27 Meeting Date: 10/16/12 @ 6:30

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

P.M.

• **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Joseph Agius

Property Address: 5311 Brighton Phone: 810 229 9988 cell 313 600 9986

Present Zoning: MUPD Tax Code: 11-27-300-013

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: A sign variance

2. Intended property modifications: \_\_\_\_\_

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) \_\_\_\_\_

b. Other (explain) \_\_\_\_\_

**Variance Application Requires the Following:**

- **Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.**
- **Waterfront properties must indicate setback from water for adjacent homes**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

Date: 9/25/12

Signature: Joseph R Agius

*Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.*

*After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.*

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
NOVEMBER 13, 2012  
6:30 p.m.**

**MINUTES**

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30pm at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The members and staff of the Zoning Board of Appeals were then introduced. The board members in attendance were as follows: Chris Grajek, Marianne McCreary, Barbara Figurski, and Jeff Dhaenens. Member Steve Wildman was absent. Also present was Township staff member Adam VanTassell and 5 persons in the audience.

**Moved** by Figurski, supported by McCreary, to approve the agenda. **Motion carried unanimously.**

A call to the public was made with no response.

**12-27 A request by Joseph Agius, 5311 Brighton Road, sec. 27, for a sign variance.**

Joe Agius present for the petitioner.

A call to the public was made with no response.

**Moved** by Grajek, supported by Figurski to table the meeting until the next ZBA meeting due to the petitioner's request for a full quorum of the Zoning Board of Appeals. **Motion carried unanimously.**

**12-28 A request by Leo and Karen Mancini, 4057 Homestead Road, Sec. 28, for a waterfront and two side yard variances to construct a new home.**

Dennis Dinser from Acardia Design was present for the petitioner.

Leo Mancini stated that the footprint of the house is going to be the exact same and that is why the property was not staked.

A call to the public was made with no response.

**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
PUBLIC HEARING  
OCTOBER 16, 2012  
6:30 p.m.**

**MINUTES**

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The members and staff of the Zoning Board of Appeals were introduced. The Board members in attendance were as follows: Chris Grajek, Marianne McCreary, Barbara Figurski, and Jeff Dhaenens. Also present was Township staff member Adam Van Tassell and 7 persons in the audience.

**Moved** by Figurski, supported by McCreary, to approve the agenda with the tabling of case #12-20 for John and Carrie Mitter at 5287 Edgewood Shores Drive. **Motion carried unanimously.**

A call to the public was made with no response.

**12-23...A request by Transtar Autobody Technologies, 2040 Heiserman Drive, Sec. 13, for variances regarding size and setback for above ground storage tanks.**

Mike Westrick, Vice President along with Rick Coy and Barbara Kapusniak, Site Engineer was present to represent the petitioner. Mr. Westrick gave a project overview and advised the Zoning Board of Appeals on the safety protection for the tanks.

A call to the public was made with no response.

**Moved** by Grajek, supported by Figurski, to approve case #12-23, Transtar Autobody Technologies, 2040 Heiserman Drive for a variance of 75 feet with a setback of 0 feet from the building and a variance for tank size of (2) 5,000 gallons tanks and (4) 3,500 tanks.

The practical difficulty is the Zoning Ordinance is dated and does not parallel what the current demand would allow. **Motion carried unanimously.**

**12-26...A request by James Thornton, 2412 Prado Vista Lane, Sec. 19, for a side yard variance to construct a detached accessory structure.**

James and Denise Thornton were present for the petitioner.

A call to the public was made with no response.

**Moved** by Figurski, supported by McCreary to approve case #12-26, 2412 Prado Vista, James Thornton for a side yard variance of 8 feet with a 22 foot setback to construct a 26 x 32 detached garage.

The practical difficulty is the typography of the lot and the placement of the septic field. **Motion carried unanimously.**

**12-27...A request by Joseph Aguis, 5311 Brighton Road, Sec. 27, for a sign variance.**

Petitioner was not present.

10-16-12 Approved ZBA Minutes

**Moved** by Grajek, supported by McCreary to table case #12-27, 5311 Brighton Road, Joseph Aguis until the next scheduled Zoning Board of Appeals meeting. **Motion carried unanimously.**

**Moved** by McCreary, supported by Grajek to approve the September 21, 2012 Zoning Board of Appeals minutes with corrections. **Motion carried unanimously.**

**Moved** by Grajek, supported by McCreary, to adjourn the meeting of the Zoning Board of Appeals at 7:14 p.m. **Motion carried unanimously.**

Joe,

Here is the latest revision, looks a lot like what you have just considerably taller - 84" to be exact.

That is the 48" light box and the top panel is 30" all being 6" off the ground. They will need to know that 84" tall dimension.

Everything else is the same width.

Apparently, John (we) installed that original sign and the uprights are i beams with 2" square tubes across.

We will have to completely dismantle the sign and place some new cross members and fabricate a frame to hold the upper panel.

Then rebox the uprights with wood, cap them and reinstall the lights.

If you want to paint them, that would save you a few bucks. We will just supply the boards installed.

We really don't know exactly what we are getting into until we dismantle it so the price is still somewhere between \$2500 - \$3000.

This does not include any special lighting. I am looking into a solution for that, may take some time.

The upper panels will be the same type of material that you have now but the framing will have to change.

One of the main issues we have is the construction of the light box itself. If it is just an inexpensive metal box we may have to add support inside the cabinet to mount it.

Lots of variables but shouldn't be more than that.

Let me know if you have any questions,

Regards

Steve

Steve Kullman

SBT Brighton

810-225-7446 Office

734-634-1957 Cell

[steve.kullman@signsbytomorrow.com](mailto:steve.kullman@signsbytomorrow.com)

burroughs mailer

Hi Joe,

Here's a rough concept based on what we discussed today.

Note that I made the borders around the cabinets grey so they would be easier to see for purposes of this concept, actual cabinets will be black with black trim. Also, if you would like and the township will allow, we can extend the carriage lamps up so they extend above the top sign cabinet. We could do that by just using the same cap should work. I was also thinking, with the message center being white, we could make the background for the Burroughs cabinet black and use V at no greater cost. Otherwise it may be too much white. That detail shouldn't matter for your variance, but it is something we should consider when we move forward.

The total height of the message center and the Burroughs sign cabinet is 72". The bottom of the message center will be about 5-6" off the ground and the tips of the carriage lamps will be about 3-4" above the top sign cabinet. The total height of the existing sign, from the ground to the top of the carriage lights is approximately 80".

Let me know if this will be adequate for your meeting or if you need something further, and we'll work on putting something together. Time is tight though, so anything else.

Thank you for giving us this opportunity to work with you on this project.

Regards,

**Mike Favoretto**



5050 S. Old US Hwy. 23  
Brighton, MI 48114

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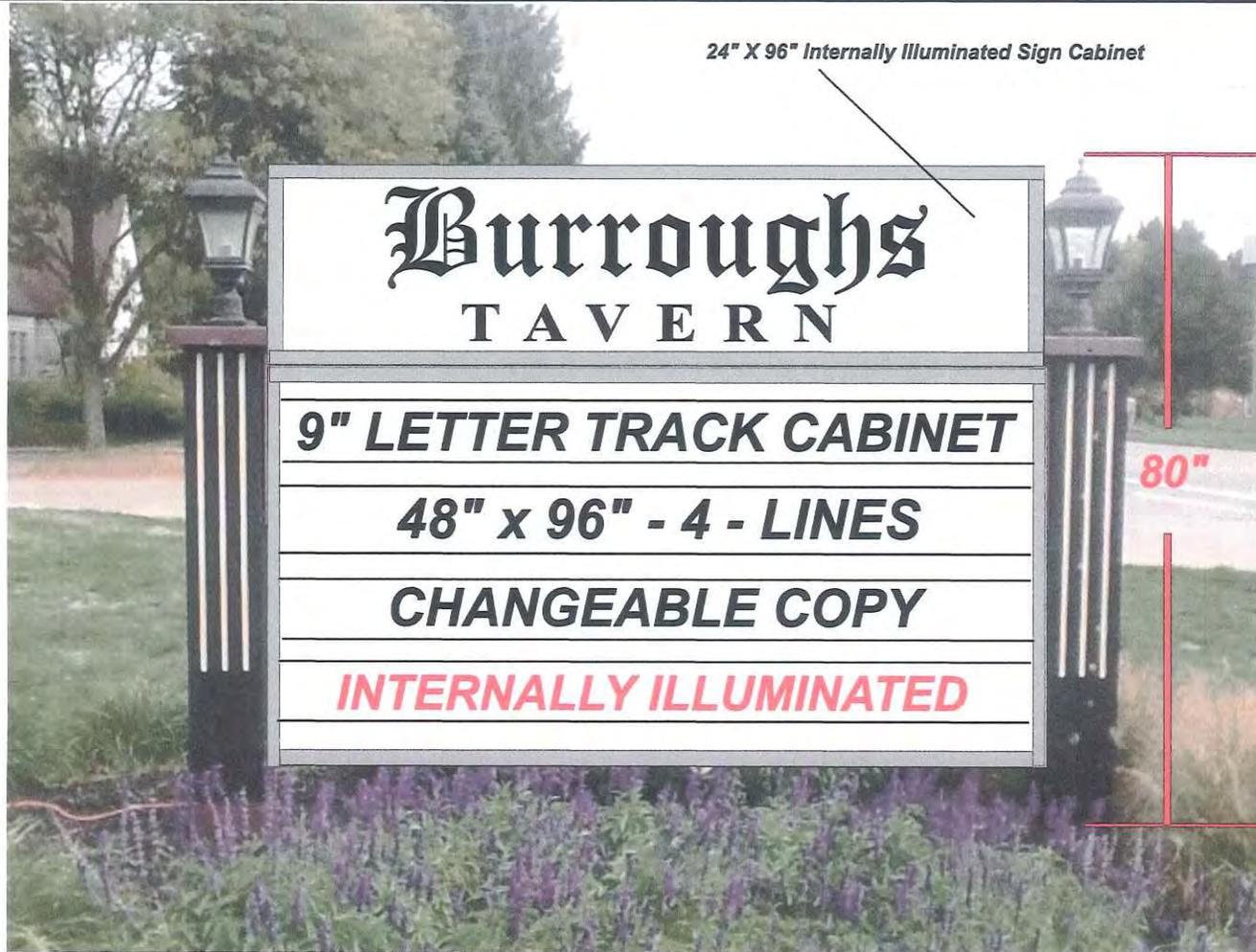
e: [mikefav@signarama-brighton.com](mailto:mikefav@signarama-brighton.com)  
P: 810.494.7446  
F: 810.494.9023  
C: 248.421.8957

PROMOTIONS

 [View your 3 Bureau CREDIT REPORT](#)

 [1 Weight Tip To Burn Belly Fat](#)

24" X 96" Internally Illuminated Sign Cabinet



810.494.7446  
5050 Old US Highway 23  
Brighton MI 48114

PLEASE CALL AFTER SENDING US YOUR PROOF APPROVAL TO CONFIRM IT HAS BEEN RECEIVED

It is the responsibility of the customer to ensure accuracy of the image. Your email or faxed reply authorizes SARB to begin production. Indicate desired design in the reply if multiple options are provided. Call for turn-around time otherwise you will be notified when your project is finished or ready for scheduling. Proof modifications will incur art charges after 2nd revision. Job cannot be cancelled.

Revision #: 1  2  3  4  5  6  (\$25 charge per ea. additional revision)

Approved  Approved with Revisions  Not Approved

Signature:

Date:

Job No.: Date: 10/1/2012

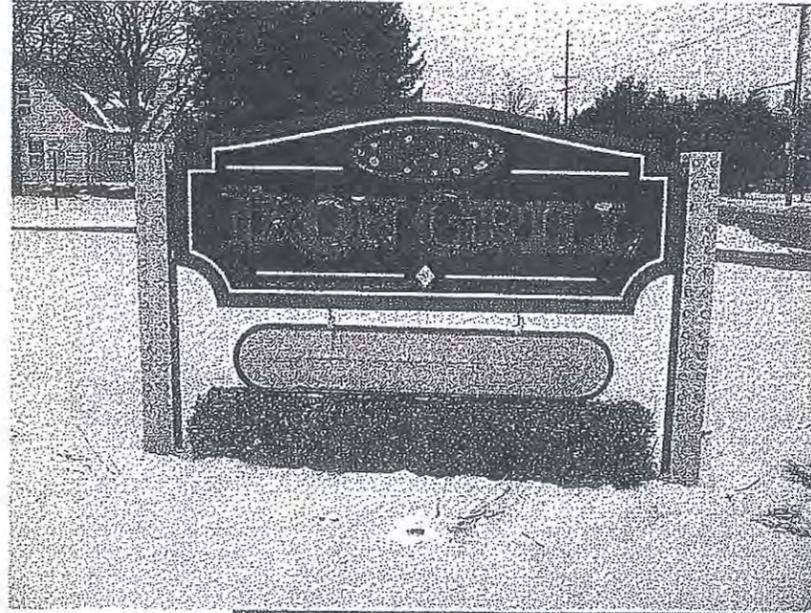
Order Date: Salesperson:

Description (size, colors, material, # of sides, installer):

**Concept 1**



Existing Sign

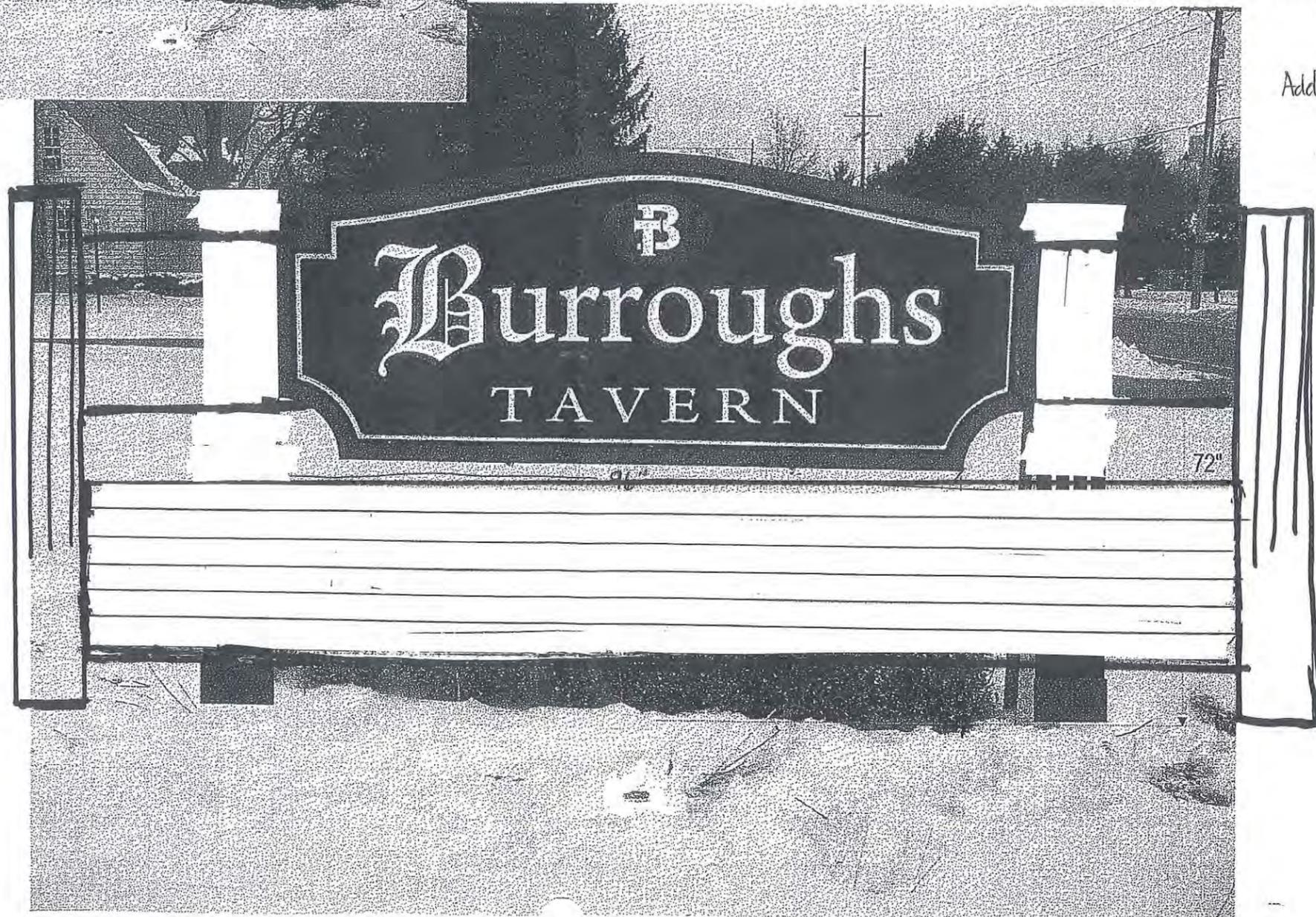


96" x 36" Aluminum DieBond Panels  
Mounted to Existing Sign (6" x 6" Posts)

GENOA TOWNSHIP  
MAR 9 4 2010  
PERMIT APPROVED

- 24 sq. ft. existing -  $\frac{1}{3}$  of what is allowed.  
- Can add an additional 48 sq. ft.

Add 3' x 15' readerboard  
= 45 sq. ft.



3' x 15'  
Readerboard

## Amy Ruthig

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**From:** Adam VanTassell  
**Sent:** Monday, October 01, 2012 10:52 AM  
**To:** Amy Ruthig  
**Subject:** FW: BurroughsTavern Zoning Variance Request 10/16/2012

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**From:** Fred Gnadt [<mailto:gnadt@sbcglobal.net>]  
**Sent:** Monday, October 01, 2012 10:51 AM  
**To:** Adam VanTassell  
**Subject:** Fw: BurroughsTavern Zoning Variance Request 10/16/2012

**Subject:** BurroughsTavern Zoning Variance Request 10/16/2012

Genoa Township Zoning Board of Appeals

Thank You for the notice regarding the requested variance. I have no issue either way. I would agree with Joe that the current sinage in question is on the small side, however if the variance is granted **will this bring to an end the 2 years of sound & sign violations**. Going into opening this business I understand that Joe Aguis knew what the Genoa Township ordinances were yet both have been ignored and continue to be ignored requiring action from Adam Van Tassell at the Genoa Township Ordinance Department. The business practices must be consistent with the neighborhood.

Fred & Yvonne Gnadt  
Ashton Ct



BRIGHTON

ASHTON

## Adam VanTassell

---

**From:** Gary McCririe <garymccririe@gmail.com>  
**Sent:** Tuesday, October 16, 2012 6:04 PM  
**To:** Adam VanTassell  
**Subject:** Burroughs Tavern Sign Variance

Genoa Township ZBA Members:

Tonight you will be hearing an appeal for a sign variance from Burroughs Tavern owner Joe Agius. Mr. Agius, assistant township manager/planning director Kelly VanMarter, zoning administrator Adam VanTassell and I have been working together to try to find a reasonable way for him to properly advertise his business and comply with the township's sign ordinance. Throughout the process Mr. Agius has been receptive to coming up with a solution that was a win-win for the township and his business. Throughout our several meetings our main goal was to seek a way to keep his business successful and profitable while respecting the area where his restaurant is located.

You have copies of several photos and drawings in your packet tonight. The picture on page 40 of 45 in your package was an idea by Ms. VanMarter to increase the reader board and keep the height within the ordinance. We presented that to Mr. Agius and he took the concept to his sign companies for ideas. What you have before you is the result of that effort. I think you would agree that the rendering on page 39, which I believe Mr. Agius is prepared to erect, accomplishes the same thing and is quite attractive. The amount of signage in both is the same but the page 39 option is, in my opinion, much more professional.

Please consider granting the request for a 1 foot height variance tonight. I believe it is in the spirit of assisting one of the businesses in Genoa Township that we are all hopeful will continue to be successful and prosperous.

Gary McCririe  
Genoa Township Supervisor

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**JANUARY 15, 2013**  
**CASE #13-01**

**PROPERTY LOCATION:** 5400 Brady Road

**PETITIONER:** Christian and Damian Karch

**ZONING:** Country Estates (CE)

**WELL AND SEPTIC INFO:** Well and septic

**PETITIONERS REQUEST:** Requesting a variance to construct a detached accessory in the front yard.

**CODE REFERENCE:** Section 11.04.01 (c) (2)

**STAFF COMMENTS:** Petitioner is seeking to place a detached accessory structure in the front yard. The lot is conforming to allow a structure in the front yard per Section 11.04.01 (c) (2) but does not meet the front yard setbacks of the adjoining lots. In addition, the structure requires a side yard setback.

DETACHED ACCESSORY STRUCTURE	Front Yard setback	One Side	Other Side	Rear	Size	Height
Setbacks of Zoning	-	40				
Setbacks Requested	90	15				
Variance Amount	90	25				

# GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 13-01

Meeting Date: 1-15-2013 @

PAID Variance Application Fee

\$125.00 for residential - \$300.00 for commercial/industrial

Copy of paperwork to Assessing Department

6:30p.m.

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Christian and Damian Karch

Property Address: 5400 Brady Rd., Howell, MI Phone: 734-585-6583

Present Zoning: CE Tax Code: 11-31-100-011

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

I. Variance Requested: side variance + structure in front yard.

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain)

Wetlands and Utility Gas Pipelines in the Backyard, topography in the Backyard (Slopes greater than 12%)

b. Other (explain)

## Variance Application Requires the Following:

- **Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.**
- **Waterfront properties must indicate setback from water for adjacent homes**
- **A Land Use Permit Application to be submitted with ZBA Variance Application.**
- **Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting**
- **Petitioner (or a Representative) must be present at the meeting**

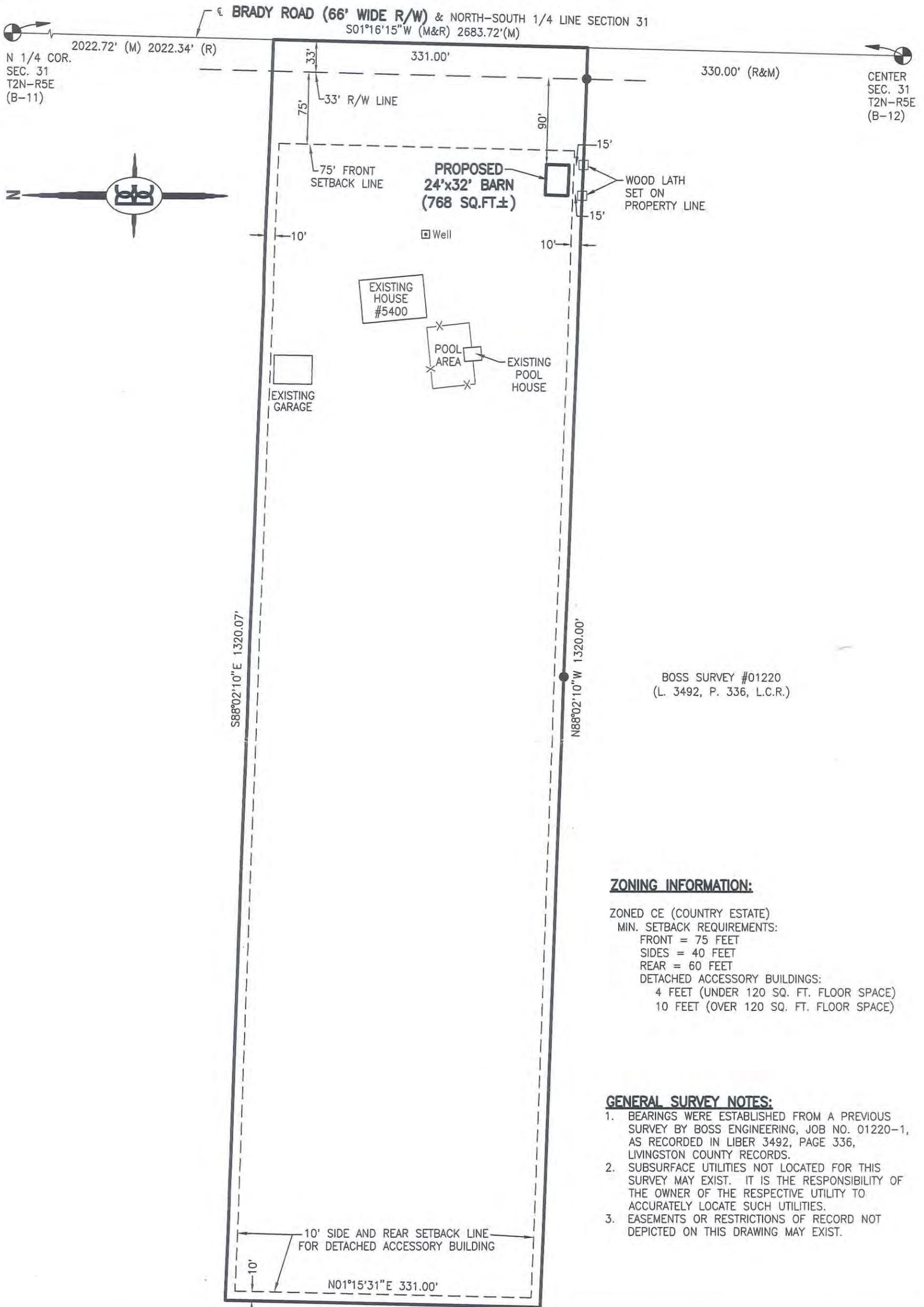
Date: 12/5/12

Signature: Christian Karch

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.**

**After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.**

# SITE PLAN



BOSS SURVEY #01220  
(L. 3492, P. 336, L.C.R.)

### ZONING INFORMATION:

ZONED CE (COUNTRY ESTATE)  
MIN. SETBACK REQUIREMENTS:  
FRONT = 75 FEET  
SIDES = 40 FEET  
REAR = 60 FEET  
DETACHED ACCESSORY BUILDINGS:  
4 FEET (UNDER 120 SQ. FT. FLOOR SPACE)  
10 FEET (OVER 120 SQ. FT. FLOOR SPACE)

### GENERAL SURVEY NOTES:

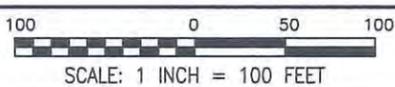
- BEARINGS WERE ESTABLISHED FROM A PREVIOUS SURVEY BY BOSS ENGINEERING, JOB NO. 01220-1, AS RECORDED IN LIBER 3492, PAGE 336, LIVINGSTON COUNTY RECORDS.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.

DESCRIPTION:  
PART OF NW 1/4,  
SECTION 31, T2N-R6E,  
GENOA TOWNSHIP,  
LIVINGSTON COUNTY,  
MICHIGAN

**BOSS ENGINEERING**  
ENGINEERS • SURVEYORS • PLANNERS  
LANDSCAPE ARCHITECTS  
(E-MAIL: [be@bosseng.com](mailto:be@bosseng.com))  
3121 E. GRAND RIVER AVE.  
HOWELL, MI 48843  
(800) 246-6735; FAX (517) 548-1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

CLIENT:  
KARCH



- LEGEND
- = IRON SET
  - = IRON FOUND
  - ⊙ = MONUMENT FOUND
  - ✱ = FENCE
  - (R) = RECORDED
  - (M) = MEASURED



3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
(TOLL FREE)



JOB NO.	12-279	DATE	11-8-12	11-19-12
SHEET	1 OF 1	FB 521	CREW GFD	DR. AEB CHKD.

# Application for Variance

5400 Brady Rd. Howell, MI



Property Overview with Utility Gas Pipelines

# Application for Variance

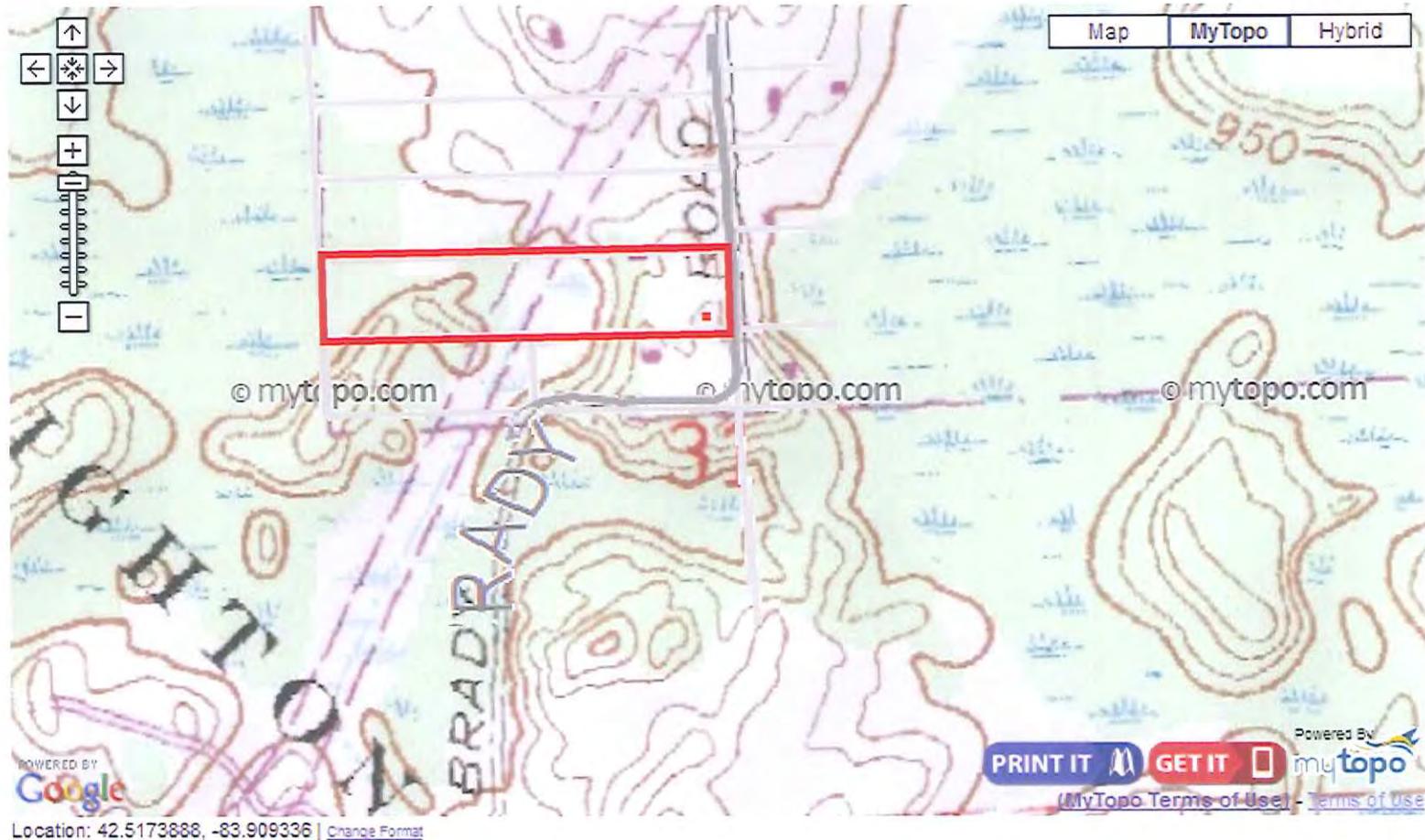
5400 Brady Rd. Howell, MI



Detailed Property Overview with Utility Gas Pipelines

# Application for Variance

5400 Brady Rd. Howell, MI



Property Overview with Utility Gas Pipelines and Topography  
Red Dot on Property shows Proposed Structure

# Application for Variance

5400 Brady Rd. Howell, MI



Proposed  
Structure  
behind  
Trees

Street view south from Brady Rd.

# Application for Variance

5400 Brady Rd. Howell, MI



Street view north-west from Brady Rd. showing south-east Property corner

# Application for Variance

5400 Brady Rd. Howell, MI



Proposed  
Structure  
behind  
Trees

South view of Proposed Structure from Property Drive way

# Application for Variance

5400 Brady Rd. Howell, MI



South view on the Proposed Structure from Property

# Application for Variance

5400 Brady Rd. Howell, MI



West view on Proposed Structure on Property

# Application for Variance

5400 Brady Rd. Howell, MI



South-West view towards Property line

# Application for Variance

5400 Brady Rd. Howell, MI



South-West view towards Property line from West corner of the Proposed Structure

# Application for Variance

5400 Brady Rd. Howell, MI



East view of the Proposed Structure

# Application for Variance

5400 Brady Rd. Howell, MI



North view of beginning Slope towards West

# Application for Variance

5400 Brady Rd. Howell, MI



South view of beginning Slope towards West



BRADY

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**JANUARY 15<sup>th</sup>, 2013**  
**CASE #13-02**

**PROPERTY LOCATION:** 7885 W. Grand River

**PETITIONER:** Champion Buick GMC

**ZONING:** GCD

**WELL AND SEPTIC INFO:** Water and sewer

**PETITIONERS REQUEST:** Requesting a front yard variance to construct an addition.

**CODE REFERENCE:**

**STAFF COMMENTS:** Petitioner is seeking a front yard variance to construct an addition to a nonconforming building. Please see the attached letter from LSL Planning.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	70					-
Setbacks Requested	56.3					
Variance Amount	13.7					

# GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 13-02 Meeting Date: 1/15/13

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- **Article 23** of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)

Applicant/Owner: Champion Buick GMC  
 Property Address: 7885 W. Grand River Phone: 810-227-1761  
 Present Zoning: Commercial Tax Code: 4711-13-400-026

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: Front Set Back

This variance is requested because of the following reasons:

- a. Unusual topography/shape of land (explain) \_\_\_\_\_
- b. Other (explain) Buick is requiring us to upgrade facility + change entrance to front + square off where the front is angled to meet existing front  
**Variance Application Requires the Following:**

- **Plot Plan Drawings** showing setbacks and elevations of proposed buildings showing all other pertinent information. *Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size.*
- **Waterfront properties** must indicate setback from water for adjacent homes
- A Land Use Permit Application to be submitted with ZEA Variance Application.
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 12/14/12

Signature: Kathy Kaminski : 810-599-3881  
Kathy Kaminski

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.**

**After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.**



**LSL Planning, Inc.**

Community Planning Consultants

January 8, 2013

Planning Commission  
Genoa Township  
2911 Dorr Road  
Brighton, Michigan 48116

<b>Attention:</b>	Kelly Van Marter, AICP Assistant Township Manager and Planning Director
<b>Subject:</b>	Champion Buick/GMC building expansion/alteration – Sketch Plan Review #1
<b>Location:</b>	7885 W. Grand River Avenue – north side of Grand River Avenue, just west of Hacker Road
<b>Zoning:</b>	GCD General Commercial District

Dear Commissioners:

As requested, we have reviewed the sketch plan proposing minor modifications to the front of the existing Champion Buick/GMC dealership building. The property is located on the north side of Grand River, just west of Hacker Road, and is zoned GCD General Commercial District.

The proposed project has been reviewed in accordance with the Genoa Township Zoning Ordinance.

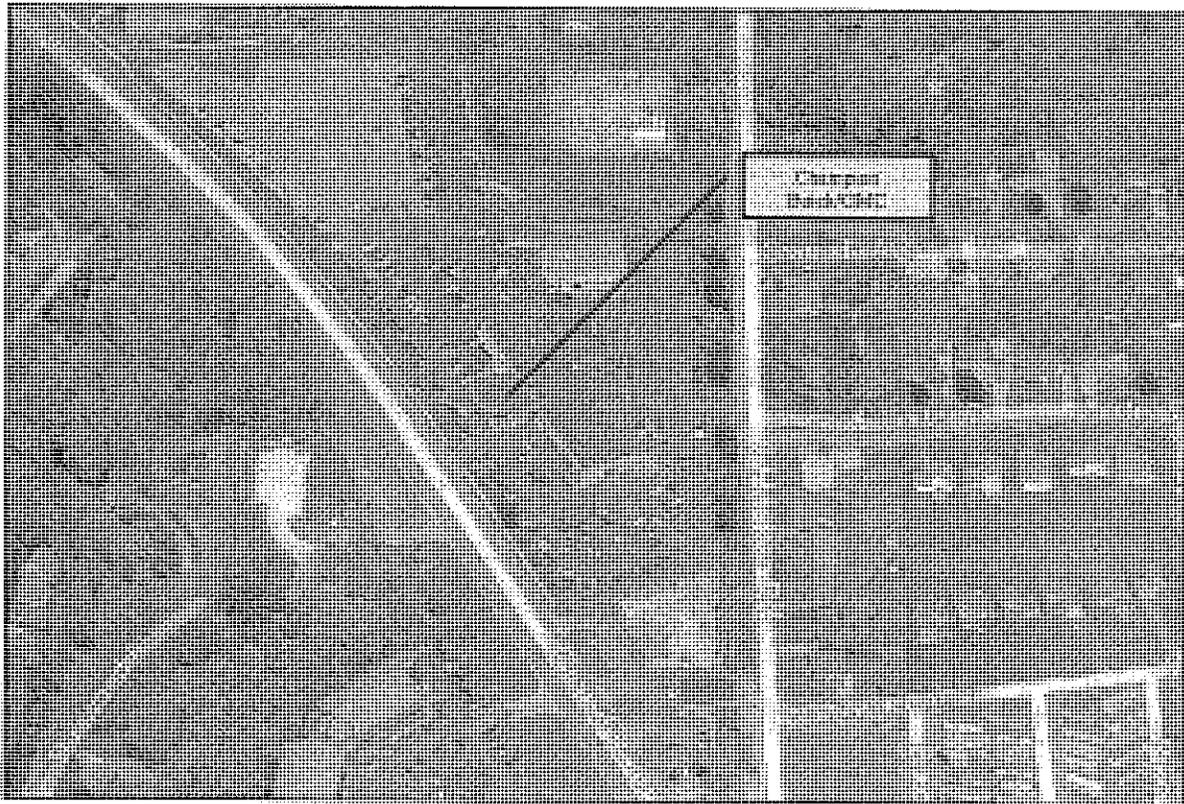
**A. Summary**

1. The project is eligible for sketch plan review (as opposed to a full site plan) and is considered a minor amendment to an existing special land use; therefore, a new special land use is not required.
2. The applicant has also submitted to ZBA for a setback variance/permission to expand a nonconforming building.
3. Building materials and colors are subject to review and approval by the Township. Samples should be presented at the Planning Commission meeting. The Planning Commission also has discretion to permit materials and colors that match the existing building.
4. We recommend information be added to the site plan identifying vehicle display areas distinct from customer and employee parking spaces.
5. The Township may require details of existing landscaping and/or lighting. If deficiencies are found, the Township may require improvements to bring the site closer to compliance with current standards.
6. The Ordinance permits two wall signs, while the submittal proposes four wall signs along with the existing nonconforming pole sign. The applicant may wish to add signage to their ZBA application.

**B. Proposal/Process**

The applicant requests sketch plan approval for a relatively minor building expansion, as well as a new entryway and canopy for the existing 24,421 square foot dealership building. The proposed expansion is approximately 440 square feet in area, while the canopy will cover an area of approximately 1,500 square feet. All of the proposed modifications are to the front of the building, facing Grand River Avenue.

Given the scope of the project, it is eligible for sketch plan review (as opposed to full site plan review) in accordance with Article 18 of the Township Zoning Ordinance. Furthermore, although automobile dealerships are special land uses in the GCD, the project qualifies as a minor amendment to an existing special land use. As such, Section 19.06.02 does not require a new review of the special land use.



*Aerial view of site and surroundings (looking north)*

### **C. Sketch Plan Review**

- 1. Dimensional Requirements.** The existing building provides a front yard setback of 58.9 feet, while the GCD requires a minimum of 70 feet given the presence of parking in the front yard. As such, the existing building is considered nonconforming.

The proposed building addition and canopy match the established nonconforming front yard setback, while the entryway and architectural columns encroach by an additional 2.6 feet. Section 24.04.01 prohibits the expansion of nonconforming buildings unless a variance is obtained from the ZBA. Accordingly, the applicant has submitted an application to ZBA requesting a variance for the proposed expansion.

- 2. Building Materials and Design.** The proposed elevations, including colors and materials, are subject to review and approval by the Planning Commission. The materials proposed are unclear based on the information provided to our office. The applicant should be prepared to present this information to the Planning Commission for their consideration.

The materials and color scheme must match the existing building (or proposed building if additional changes are proposed to the color scheme of the existing building). Even if the proposed materials do not fully comply with current requirements, Section 12.01.08 allows the Planning Commission to permit building expansions where the design and materials match the existing building.

- 3. Parking and Vehicle Display.** Given the size and location of the proposed project in relation to the size of the property, it is not expected to have an impact on parking for the site. The project area is currently used for vehicle display and it appears as though it will remain as such.

With that being said, we recommend the applicant update the site plan to identify areas reserved for vehicle display versus those used as customer and employee parking spaces.

4. **Pedestrian and Vehicular Circulation.** The required public sidewalk is already provided within the Grand River right-of-way and the project includes a new 5-foot sidewalk along the front and side of the proposed building expansion. Given the extent of the project and the location of the expansion, it is not expected to impact or alter established circulation patterns.
5. **Landscaping.** The submittal does not provide any information regarding existing or proposed landscaping. The Township may wish to require details of existing landscaping to determine if there are any deficiencies. If the site is not in compliance with the landscaping requirements of Section 12.02, the Township may wish to require the inclusion of additional plantings to bring the site closer to compliance.
6. **Exterior Lighting.** The site plan identifies existing light poles throughout the site; however, no additional details are provided. The Township may wish to require details of the existing poles and fixtures to determine compliance with current standards (Section 12.03). If current lighting is not in compliance, the Township may wish to require improvements as part of this project.
7. **Signs.** The site plan identifies an existing (nonconforming) pole sign fronting Grand River Avenue, while the elevation drawings show several wall signs, including those for "Champion," "Buick," "GMC," and "Certified Service." The "Champion" and "Certified Service" appear to exist, while the others are proposed as part of the new entryway. Given the site is a through-lot, Table 16.I permits only two wall signs. As such, the applicant may wish to add this to their pending variance request.

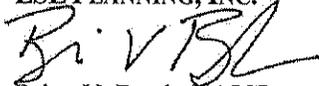
If the proposed signage is ultimately approved, a permit will be required in accordance with Article 16 of the Township Zoning Ordinance.

8. **Impact Assessment.** Impact Assessments are not generally required as part of a sketch plan review; however, the Township may require one if deemed necessary for their review.

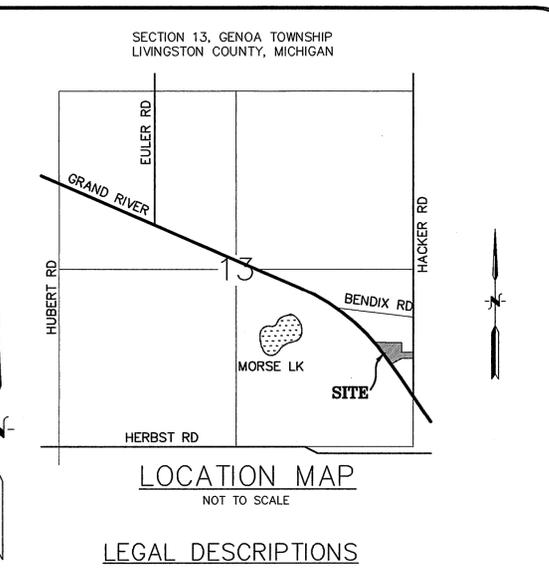
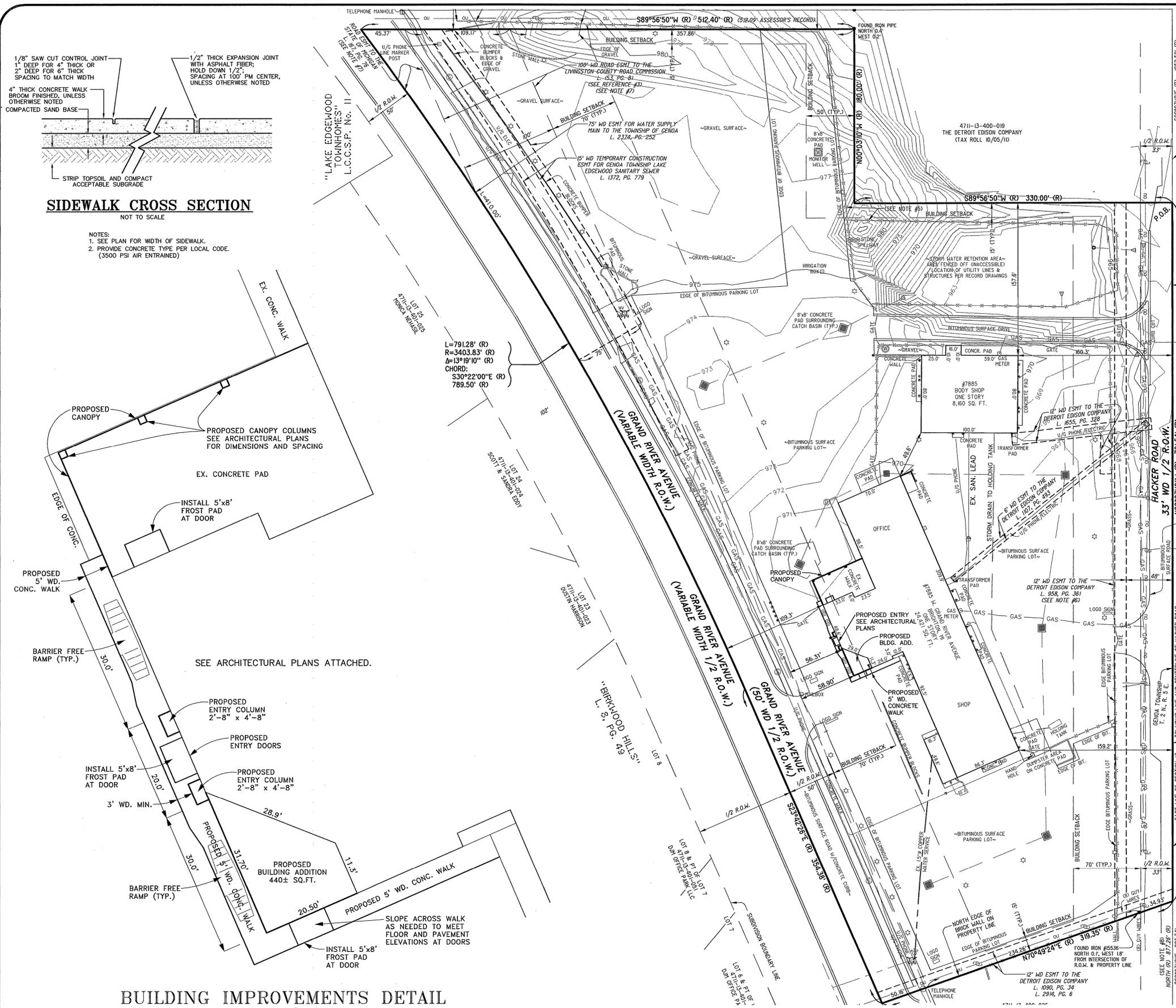
Should you have any questions concerning this matter, please do not hesitate to contact our office. I can be reached by phone at (248) 586-0505, or via e-mail at [borden@lsplanning.com](mailto:borden@lsplanning.com).

Sincerely,

LSL PLANNING, INC.



Brian V. Borden, AICP  
Senior Planner



- LEGEND**
- = MISC. STRUCTURE (AS LABELED)
  - = SURVEYOR'S MONUMENT (AS LABELED)
  - = WELL
  - = BOLLARD
  - = SIGN
  - = FLAG POLE
  - = LIGHT
  - = TELEPHONE BOX
  - = UTILITY POLE W/GUY WIRE
  - — — = OVERHEAD UTILITY LINES (ELECTRIC/PHONE/CABLE)
  - — — = U/G LINES (ELECTRIC/PHONE/CABLE)
  - — — = 6" HGT CHAIN LINK FENCE (UNLESS OTHERWISE STATED)
  - — — = EDGE OF GRAVEL
  - — — = CONCRETE CURB (UNLESS OTHERWISE STATED)
  - = SANITARY SEWER MANHOLE
  - = SANITARY SEWER PIPE
  - = CLEAN OUT
  - = STORM WATER MANHOLE
  - = CATCH BASIN
  - = CATCH BASIN W/8"x8" CONCRETE PAD
  - = STORM WATER CONTROL STRUCTURE
  - = FLARED END SECTION
  - = STORM WATER DRAINAGE PIPE
  - = HYDRANT
  - = WATER SHUT OFF
  - = WATER VALVE
  - = CONTROL STRUCTURE
  - = WATER MAIN
  - = GAS SHUT OFF
  - = U/G GAS

DESIGN: JMB	DATE	REVISION-DESCRIPTION	DATE	REVISION-DESCRIPTION
DRAFT: LF/JHG				
CHECK: JMB				

**CHAMPION  
BUICK-GMC**

**PROPOSED  
SITE IMPROVEMENTS  
ENTRANCE - SHOWROOM**

CLIENT:  
SCHAFER CONSTRUCTION INC.  
150 N. FIRST ST.  
BRIGHTON, MICHIGAN 48116  
(810) 220-0296

SCALE: 1in. = 50ft.

PROJECT No.: 122033  
DWG NAME: 2033-ALX  
PRINT:





- DEALERSHIP ZONES
- SHOWROOM AND SALES
  - NEW CAR DELIVERY
  - SERVICE WRITE-UP
  - CUSTOMER AMENITIES
  - SERVICE DEPARTMENT  
ALL SPACES ACCESSIBLE OR VISIBLE TO CUSTOMERS MUST BE IMAGE COMPLIANT
  - PARTS DEPARTMENT  
ALL SPACES ACCESSIBLE OR VISIBLE TO CUSTOMERS MUST BE IMAGE COMPLIANT
  - NON-CUSTOMER TOUCH POINT  
ALL SPACES ACCESSIBLE OR VISIBLE TO CUSTOMERS MUST BE IMAGE COMPLIANT
  - AREA NOT IN CONTRACT

**ALL SPACES ACCESSIBLE OR VISIBLE TO CUSTOMERS MUST BE IMAGE COMPLIANT**

DEALER FACILITY SIZE STANDARDS FOR GM DEALERS

EXPECTED SALES	GROSS OVERALL SPACE			
	Medium Small	Required	Actual	Delta
601-800				
<b>INTERIOR</b>				
Showroom/New Car Delivery (sq ft)	3,624	4,289	665	-3
Number of Display Vehicles	4	1		-3
Parts Department (sq ft)	4,222*	1,959		-2,263
Service Department (sq ft)	8,541	16,240		7,699
Number of Stalls	15	15		0
Service Reception (sq ft)	1,593	2,512		919
Number of Lanes	3	2		-1
General Office (sq ft)	2,389	1,083		-1,306
Customer Convenience (sq ft)	931	1,438		507
<b>Total Building (sq ft)</b>	<b>21,301</b>	<b>27,521</b>		<b>6,220</b>
<b>EXTERIOR</b>				
<b>Total Number of Parking Spaces</b>	<b>264</b>	<b>236</b>		<b>-28</b>

\* Parts Department Standards reflects 100% of required parts space: 60% on ground floor, 40% on second floor.  
 \*\* If Expected Sales is above 2500, Dealer and General Motors will develop business case and mutually agree upon facility size.

**NOTES:**  
 1. Total building square footage is at grade without provisions for body shop operations.

DEALERSHIP OVERVIEW PLAN - LEVEL 01

272/105  
CHAMPION BUICK GMC INC.

BUICK  
Enterprise  
Name:

Genstar #

21,910,079

Revision #

7.0

Facility Proposal  
CHAMPION BUICK GMC  
BROOKTON, MA 01538



GENERAL MOTORS  
Facility Image Program  
Design Intent



- ZONE 1 - SHOWROOM AND SALES**
- 1A SALES OFFICES
  - 1B SALES WORKSTATIONS
  - 1C GREETER/RECEPTION
  - 1D GENERAL MANAGER
  - 1E SALES MANAGER
  - 1F DISPLAY VEHICLES
  - 1G LOGO SCREEN
  - 1H PRODUCT INFORMATION CENTER UNIT
  - 1J BUSINESS DEVELOPMENT CENTER
  - 1K INTERNET SALES DEPARTMENT

- ZONE 2 - NEW CAR DELIVERY**
- 2A NEW CAR DELIVERY SPACE
  - 2B CUSTOMER SEATING
  - 2C FINANCE OFFICE
  - 2D FINANCE WAITING AREA

- ZONE 3 - SERVICE WRITE-UP**
- 3A SERVICE LANES
  - 3B QUICK-LUBE SERVICE LANE
  - 3C SERVICE WRITERS (OFFICE/ PODIUM)
  - 3D SERVICE MANAGERS OFFICE
  - 3E WARRANTY CLAIMS OFFICE
  - 3F DISPATCHER OFFICE

- ZONE 4 - CUSTOMER AMENITIES**
- 4A CUSTOMER BUSINESS CENTER
  - 4B CHILDREN'S PLAY AREA
  - 4C REFRESHMENTS / HOSPITALITY AREA
  - 4D RESTROOMS
  - 4E RETAIL PARTS DISPLAY
  - 4F RETAIL PARTS COUNTER
  - 4G CASHIER
  - 4H CUSTOMER LOUNGE SEATING
  - 4J CUSTOMER RELATIONS MANAGERS OFFICE
  - 4K TV MEDIA WALL

- ZONE 5 - SERVICE DEPARTMENT**
- 5A SERVICE STALLS
  - 5B QUICK-LUBE STALLS
  - 5C ALIGNMENT STALLS
  - 5D DETAIL / WASH STALLS
  - 5E COMPRESSOR ROOM / OIL STORAGE ROOM
  - 5F USED TIRE AND BATTERY STORAGE
  - 5G TECHNICIAN LUNCHROOM / TRAINING ROOM
  - 5H TECHNICIAN LOCKER / RESTROOM
  - 5J TOOL ROOM
  - 5K NEW TIRE STORAGE

- ZONE 6 - PARTS DEPARTMENT**
- 6A TECHNICIANS PARTS COUNTER
  - 6B PARTS MANAGER OFFICE
  - 6C SHIPPING AND RECEIVING DROP-OFF
  - 6D PARTS MEZZANINE
  - 6E SPECIAL TOOLS ROOM
  - 6F PARTS INVENTORY

- ZONE 7 - NON-CUSTOMER TOUCH POINTS**
- 7A CONTROLLERS OFFICE
  - 7B OFFICE MANAGER
  - 7C GENERAL OFFICE
  - 7D FILE STORAGE AREA
  - 7E IT/ PRINT ROOM/ COPY ROOM
  - 7F DEALERS OFFICE
  - 7G CONFERENCE AND TRAINING ROOM
  - 7H LUNCHROOM
  - 7J STORAGE
  - 7K MECHANICAL
  - 7L JANITOR'S CLOSET

NOT IN CONTRACT  
 AREA NOT IN CONTRACT  
 ALL SPACES ACCESSIBLE OR VISIBLE TO CUSTOMERS MUST BE IMAGE COMPLIANT

DEALERSHIP SPACE PLAN - LEVEL 01



**Gehlster**

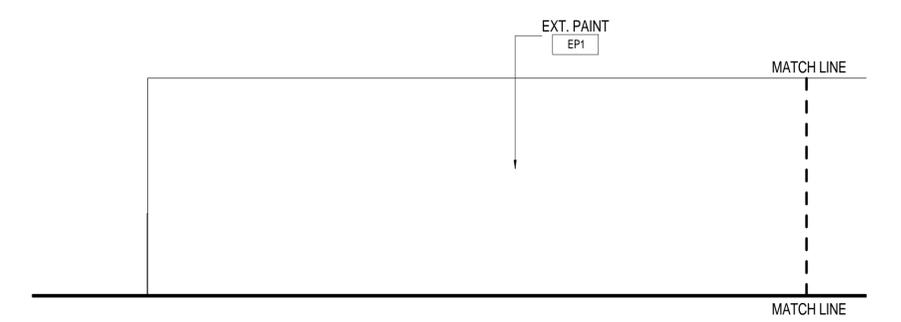
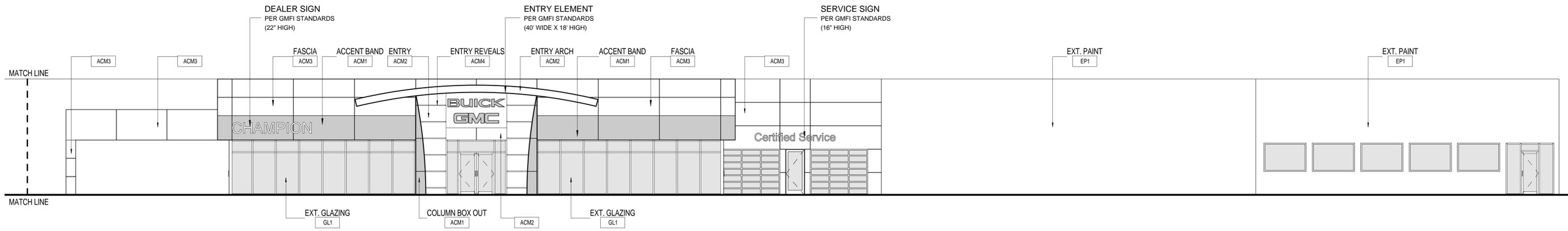
**DEALERSHIP SPACE PLAN - LEVEL 01**  
 These drawings are for communication of design intent only. These drawings are not suited or intended for construction or fabrication.

277A100  
 CHAMPION BUICK GMC INC.  
 BUCKLE UP FOR SAFETY  
 Name: 21.9100.079  
 Designer: 7.0  
 Revision #:

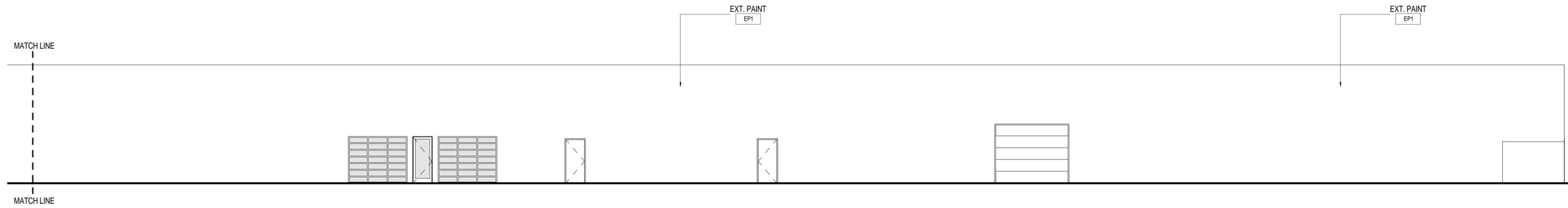
**Facility Proposal**  
 CHAMPION BUICK GMC  
 BUCKLE UP FOR SAFETY



**GENERAL MOTORS**  
 Facility Image Program  
 Design Intent



FRONT ELEVATION



BACK ELEVATION



Getzler

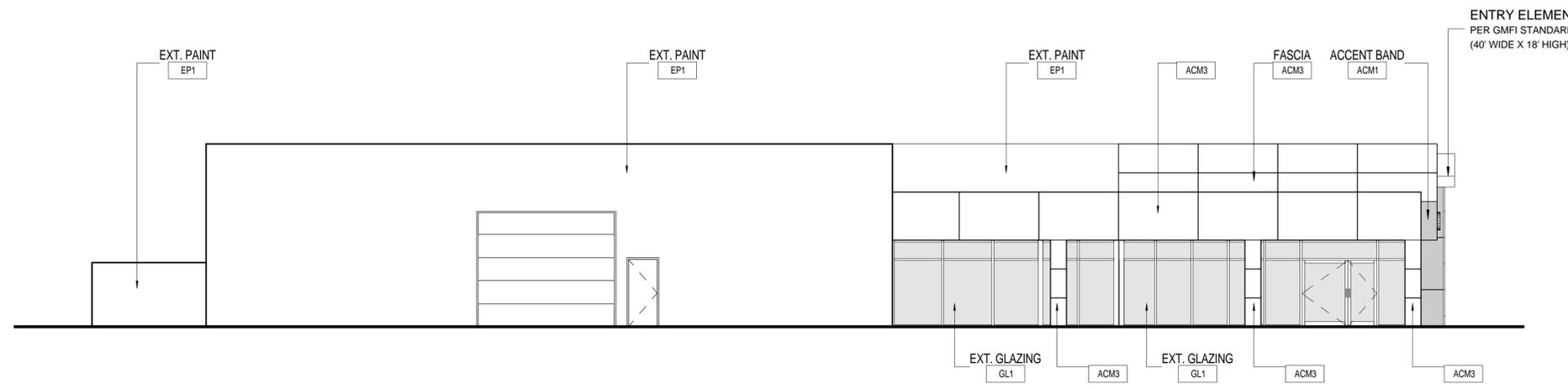
**EXTERIOR ELEVATIONS**  
 These drawings are for communication of design intent only. These drawings are not suited or intended for construction or fabrication.

B.C.S. Enterprise Name: 272105 CHAMPION BUICK GMC INC.  
 General #: 21.9100.079  
 DID Version: 7.0  
 Revision #:

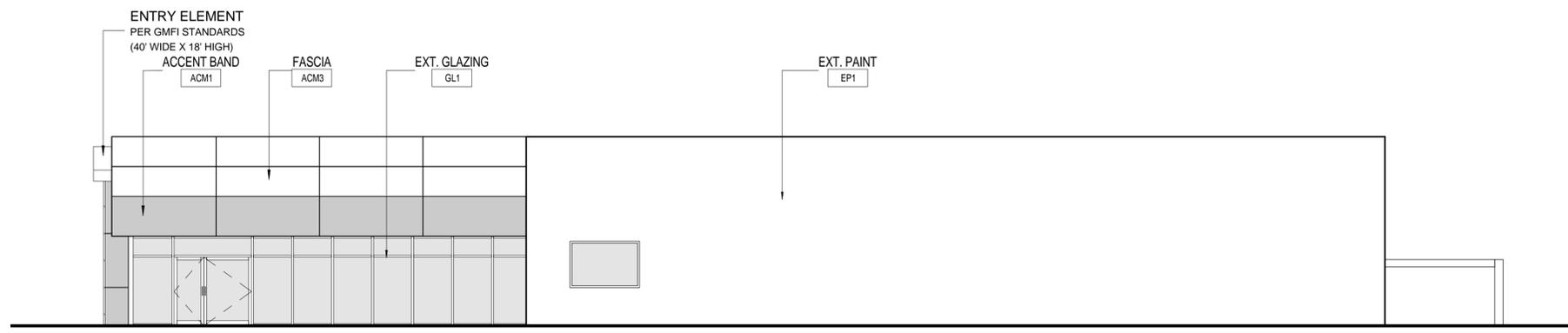
**Facility Proposal**  
 CHAMPION BUICK GMC  
 BIRMINGHAM, AL 35238



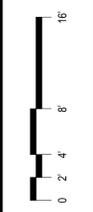
**GENERAL MOTORS**  
 Facility Image Program  
 Design Intent



LEFT ELEVATION



RIGHT ELEVATION



**Gebstler**

**EXTERIOR ELEVATIONS**  
 These drawings are for communication of design intent only. These drawings are not suited or intended for construction or fabrication.

B.C.S. Enterprise Name: 272/MS CHAMPION BUICK GMC INC.  
 Designer #: 21,9100,079  
 DID Version: 7.0  
 Revision #:

**Facility Proposal**  
 CHAMPION BUICK GMC  
 BIRMINGHAM, AL 35238



**GENERAL MOTORS**  
 Facility Image Program  
 Design Intent



**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**JANUARY 15<sup>th</sup>, 2013**  
**CASE #13-03**

**PROPERTY LOCATION:** 2911 Dorr Road

**PETITIONER:** Genoa Charter Township

**ZONING:** PRF (Public Recreation Facility)

**WELL AND SEPTIC INFO:** Well and sewer

**PETITIONERS REQUEST:** Requesting a sign variance.

**CODE REFERENCE:** Table 16.1 – Sign Dimensional Standards - PRF (Public Recreation Facility)

**STAFF COMMENTS:** Genoa Charter Township is seeking to place a large monument sign at the Township Hall Park to attract attention from I-96. Please see the attached letter from the Township Manager Michael Archinal.

	R.O.W setback	One Side	Other Side	Sign height	Sign area	Other
Setbacks of Zoning				6	72	
Setbacks Requested				14	329	
Variance Amount				8	257	

# GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 13-03 Meeting Date: 1-15-13  
 PAID Variance Application Fee 0  
\$125.00 for residential - \$300.00 for commercial/industrial  
 Copy of paperwork to Assessing Department

- **Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)**

Applicant/Owner: Genoa Charter Township

Property Address: 2911 Dorrr Phone: (810) 227-5225

Present Zoning: PRF Tax Code: 14-300-022

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: Sign variance for height, size and number of signs

2. Intended property modifications: \_\_\_\_\_

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) \_\_\_\_\_

b. Other (explain) \_\_\_\_\_

## Variance Application Requires the Following:

- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 3 copies of any drawings larger than 8 1/2 and 14 in size.
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

**Property must be staked**

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.**

**After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.**

## MEMORANDUM

TO: Zoning Board of Appeals

FROM: Michael Archinal, Manager 

DATE: 1/9/13

RE: Township Park Sign Variance Request

For your consideration this evening is a request from the Township for the installation of a park identification sign adjacent to I-96. The development of recreational amenities at the Township Hall site has made our property a destination for residents and a regional population. The Township Hall, extensive playground equipment, lighted soccer fields and wind turbines have attracted intentional attention. What we lack is discernible identification oriented towards the freeway.

In addition to helping people find our property a readily identifiable logo and sign help promote GENOA TOWNSHIP as a brand. The facilities on our property help make Genoa Township a desirable place to live. When I am asked where our Township is located I often refer to the wind turbines. I am surprised at the number of people who know where we are located but do not know who we are. The development of our property is something we can all be proud of. Recreation is an economic development tool that encourages people to locate here. Identification on I-96 and its visibility to the 107,000 east bound vehicle trips per day is critical to this effort.

The proposed sign exceeds the maximum size allowed by ordinance. The ordinance allows a sign six feet high and 72 square feet in area. The request is for a sign 14 feet in height with a total area of 329 square feet. Motorists traveling along east bound I-96 have approximately 7 seconds to view the sign. The requested size is necessary because of this limited visual window, the topography of the site and the distance away from the freeway travel lanes.

§23.05.03 of the Zoning Ordinance lists four criterion that must be met for the Zoning Board of Appeals to grant a variance to allow the construction of the sign.

Parens (a) states in substantial part that granting the variance would do substantial justice to the applicant as well as to other property owners in the district. This request is somewhat unique in that benefits will accrue to not only to property owners in the district but to all Township residents.

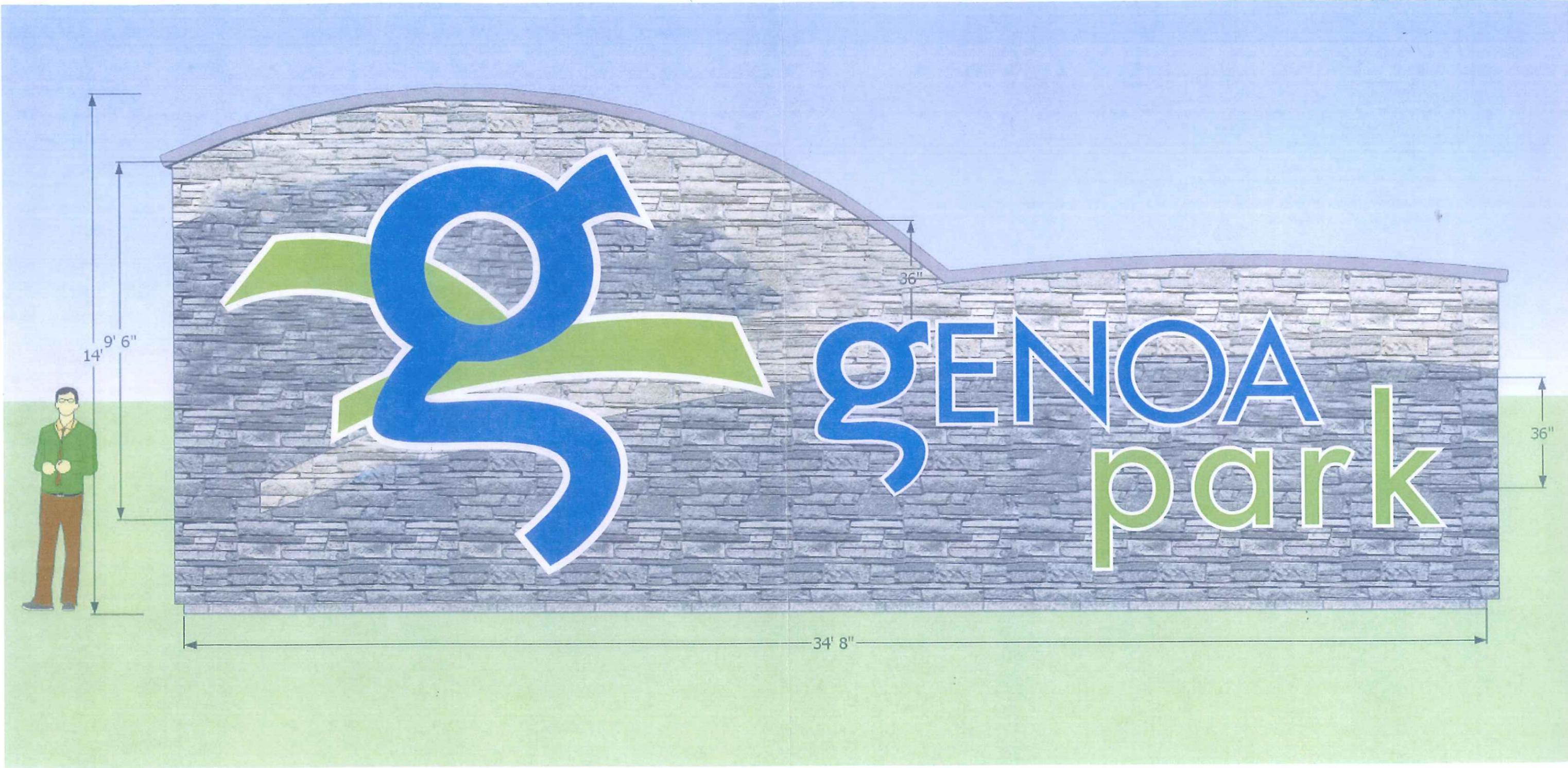
Parens (b) requires that there are exceptional or extraordinary circumstances or conditions applicable to the property or the intended use which are different than other properties in the same zoning district. As a publicly owned destination on I-96 our property is similar only to Cleary University which has

freeway oriented signage on one of our water towers. The Livingston County Road Commission is not a destination like a park but has extensive signage oriented towards the freeway as well.

Parens (c) requires that the granting of a variance will not have a negative impact on the public health, safety and welfare. By providing wayfinding and enhancing property values the sign will serve the public good.

Parens (d) states that a variance must not interfere with or discourage the appropriate development, continued use, or value of adjacent properties. This section is satisfied in that the sign will improve property values in our community.

I believe the criteria for granting a variance in §23.05.03 are satisfied. Granting a variance will do substantial justice to the applicant, will not negatively impact any property and will in fact improve the public welfare. I look forward to discussing this request with you at your January 15, 2013 meeting.



14' 9" 6"



34' 8"

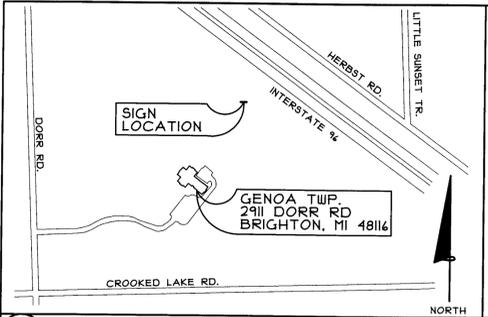
36"

36"



GENOA  
park

FILE LOCATION: H:\048 Genoa Park Sign\048\048.dwg  
 DATE PLOTTED: 12/17/2012  
 COPYRIGHT © 2012  
 LINDHOUT ASSOCIATES architects dba pc  
 THIS DOCUMENT AND THE SUBJECT MATTER CONTAINED THEREIN IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN APPROVAL



**MEETING CODES:**  
 2004 MICHIGAN BUILDING CODE  
 2001 INTERNATIONAL BUILDING CODE  
 2008 NATIONAL ELECTRIC CODE (NEC)  
 2004 INTERNATIONAL FIRE CODE

**ARCHITECT'S INFORMATION:**  
 LINDHOUT ASSOCIATES ARCHITECTS  
 1046 CITATION DRIVE  
 BRIGHTON, MI 48116

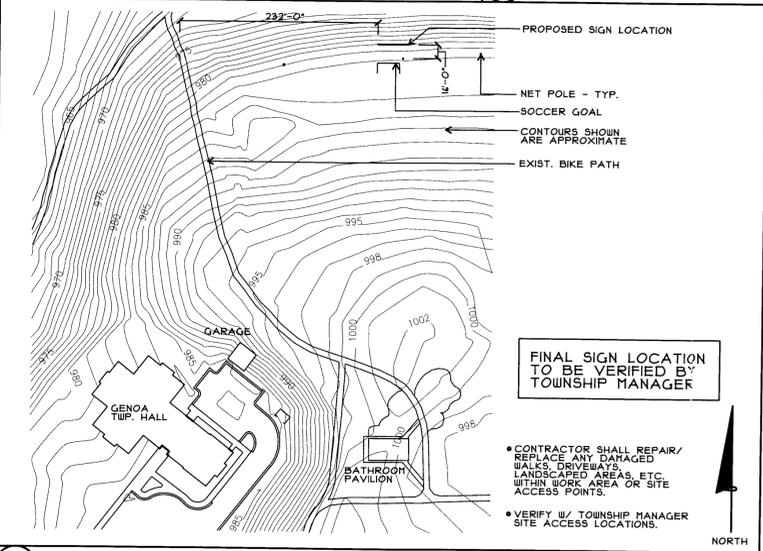
**PROJECT DESCRIPTION:**  
 PROVIDE NEW SOLAR POWERED  
 BACKLIT SIGN ON MASONRY &  
 SOLAR VENEER WALL VISIBLE  
 FROM INTERSTATE 74

**LINE LEGEND**

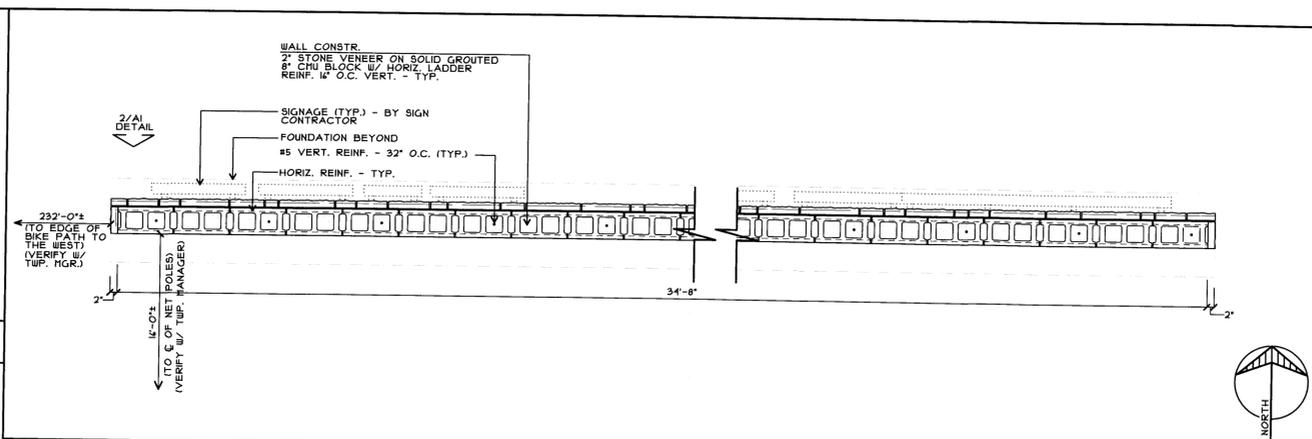
- NEW CONSTRUCTION
- NEW WORK BY SIGN SUBCONTRACTORS
- HIDDEN WORK

**1 LOCATION MAP** SCALE: NTS

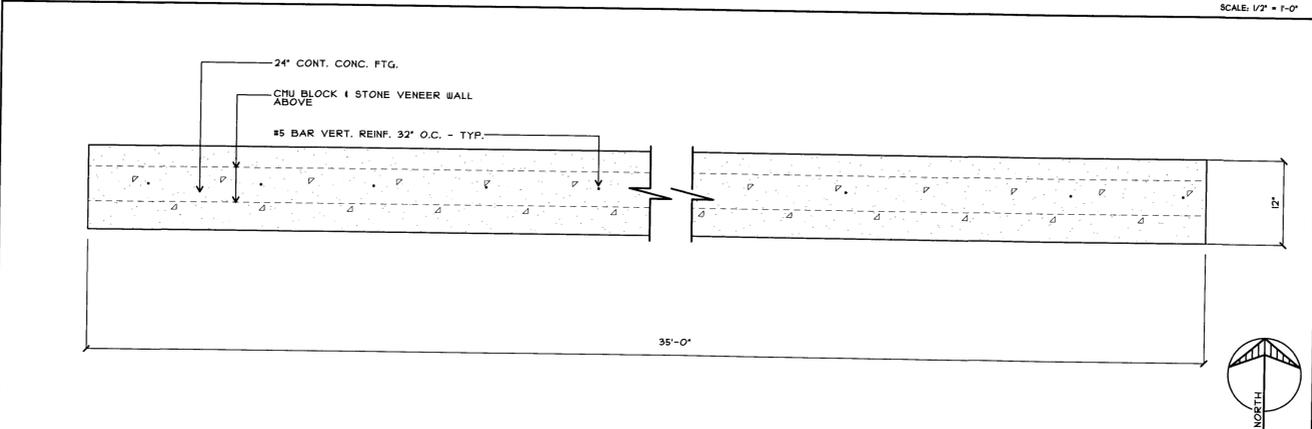
**CODE INFO**



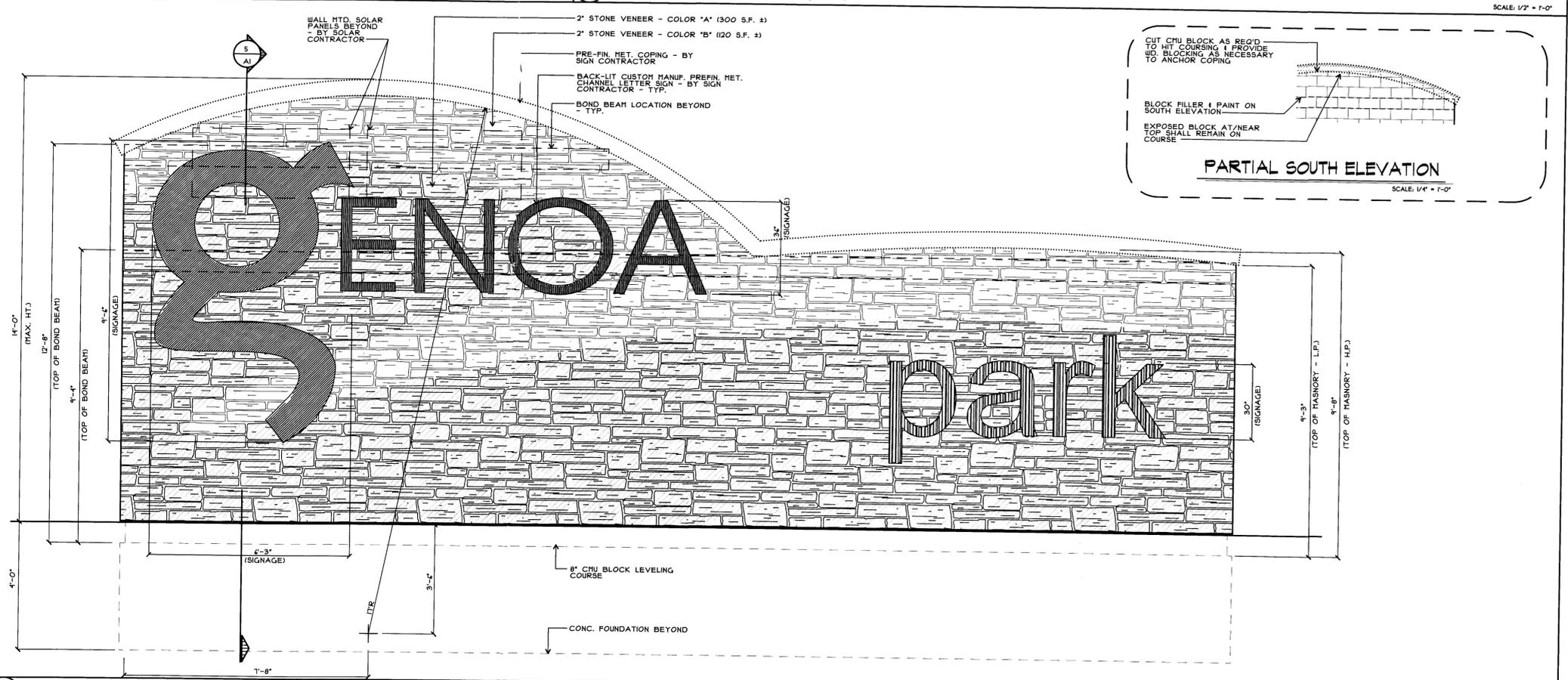
**2 PARTIAL SITE PLAN** SCALE: NTS



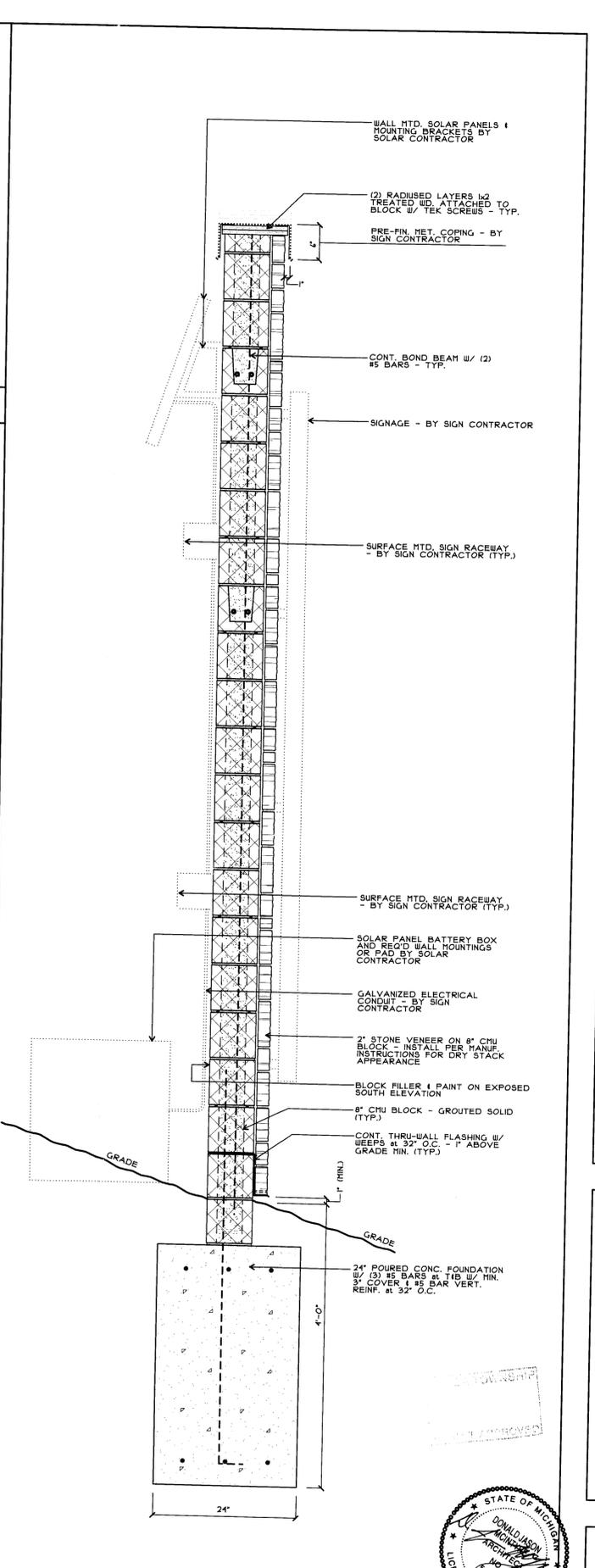
**3 PLAN** SCALE: 1/2" = 1'-0"



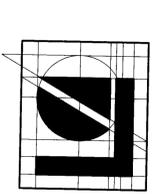
**4 FOUNDATION PLAN** SCALE: 1/2" = 1'-0"



**5 NORTH ELEVATION** SCALE: 1/2" = 1'-0"



**6 SECTION** SCALE: 1" = 1'-0"



**Lindhout Associates  
architects pc**  
 10465 citation drive, brighton, michigan 48116-9510  
 www.lindhout.com (810)227-5668 fax: (810)227-5855

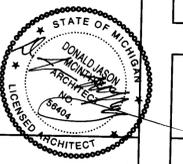
consultant

issued for  
 PERMITS  
 BIDS  
 REVIEW  
 PLOTTING  
 date

dr: d.m. lb  
 ck: d. pal  
 app: d. pal

NEW SIGN FOR:  
**GENOA TOWNSHIP**  
 GENOA TOWNSHIP, MICHIGAN  
**PLANS, ELEVATION, SECTION**

**A1**  
**1048**



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**DIVISION 01A GENERAL REQUIREMENTS**

01 The common practices and industry standards associated with Commercial Construction are to be followed for the work described herein.

02 The specific recommendations of all product manufacturers in regards to material handling, installation, and initial operation are to be included within the performance requirements of this contract by reference. All suppliers and contractors who wish to deviate from the industry and material manufacturers recommendations and requirements for commercial applications must notify the Owner or Architect prior to bidding the work. If no notice is given, all standards and recommendations must be followed for this project.

03 Where no material specification is given, suppliers and sub-contractors shall assume commercial grade products intended for the application shown.

**ARTICLE 15 DRAWINGS AND SPECIFICATIONS**

a. The drawings and specifications are complementary, and what is called for by one is binding as if called for by the other. Any discrepancy should be noted to the architect immediately. When unable to contact the architect for any reason, the contractor must assume the higher quality, most restrictive of the two.

**ARTICLE 16 INSURANCE**

16.1 CONTRACTORS LIABILITY INSURANCE

16.1.1 The Contractor shall purchase insurance that will protect the contractor, owner and architect from claims set forth below which may arise out of or result from the Contractor's operations under the Contract, and for which the Contractor may be legally liable, whether such operations be by the Contractor or by a Subcontractor or by anyone directly or indirectly employed by any of them, or by anyone for whose acts and of them may be liable:

16.1.2.1 Such insurance shall be written to include the following coverage and for not less than the following minimum limits or greater if required by law:

Worker's Compensation, Occupational Disease and Employer's Liability Insurance:

A. State of Michigan - Statutory Limits

B. Employer's Liability - Bodily Injury by Accident - \$1,000,000 each accident  
Bodily Injury by Disease - \$1,000,000 each employee  
Bodily Injury by Disease - \$1,000,000 each policy limit

Commercial General Liability Insurance including as minimum coverage: premises operations liability, independent contractor's protective liability, broad form property damage endorsement, blank contractual, personal injury, with employment exclusion deleted.

A. Limits of Liability: \$1,000,000 Each Occurrence as respects Bodily Injury Liability or Property Damage Liability, or both combined. \$1,000,000 General Aggregate, \$1,000,000 Products/Completed Operations Aggregate, \$1,000,000 Personal and Advertising Injury

Automobile Liability Insurance:

A. All owned, hired, and non-owned vehicles including the loading or unloading thereof.

B. Limits of Liability \$1,000,000 Each occurrence.

Umbrella/Excess Liability Insurance:

Limits of Liability: \$1,000,000 Each occurrence, \$1,000,000 Aggregate.

16.1.3 Certificates of insurance for the above coverage shall be submitted to the Architect or Owner for approval prior to the start of construction. The Contractor shall obtain certificates of insurance from each of his Subcontractors before their work commences. Each Subcontractor must be covered by insurance of the same character and in the same amounts as the Contractor unless the Contractor and the Owner agree that a reduced coverage is adequate. Each subcontractor's insurance shall cover the Owner, Architect, their agents and employees.

16.2 OWNER'S INSURANCE

16.2.1 The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance and builders risk coverage.

16.2.2 Unless otherwise provided, the Owner shall purchase property insurance in the amount of the initial Contract Sum. Property insurance provided by Owners shall not cover any construction equipment, which may be on the site and the capital value of which is not included in the Work.

**SECTION 01B SPECIAL CONDITIONS**

**ARTICLE 1S TIME OF COMPLETION**

01 The contract involves the construction described herein and requires completion for occupancy in the least time consistent with good construction practices.

**ARTICLE 2S EXAMINATION OF SITE**

01 The General Contractor and those sub-contractors specifically involved shall be held to have examined the site and have informed themselves of the conditions under which they must work. They shall make due allowance for the conditions that are reasonably apparent in their proposal.

**ARTICLE 3S LAYING OUT WORK**

01 The General Contractor shall inform the Sub-Contractors as to responsibilities for lay out of the work and provide the assistance of a competent surveyor for the work if required by the sub-contractor.

**ARTICLE 4S TEMPORARY UTILITIES**

01 water and electricity shall be available through Owners existing building on site. Owner shall bear cost of metered power and water when accessed through existing building.

**ARTICLE 5S TEMPORARY TOILETS**

01 The Owner allow use of existing toilets in the township hall.

**ARTICLE 6S COLD WEATHER PROTECTION**

**ARTICLE 7S TEMPORARY HEAT**

**ARTICLE 8S SHOP DRAWINGS**

01 All shop drawings shall be examined by the General Contractor for coordination with other trades and general conformity to contract documents before submission to the Architect for the Architects review and shall bear the signature of the party so doing. The architect shall retain one copy, all other will be returned.

02 Corrections or comments made on the shop drawings during their review do not relieve the contractor from compliance with requirements of the drawings and specifications. This check is only for review of the general conformance with the design concept of the project and general compliance with the information given in the contract documents. The contractor is responsible for:

Confirming and correlating all quantities and dimensions.  
Selecting fabrication processes and techniques of construction.  
Coordinating his or her work with that of all other trades and performing all work in a safe and satisfactory manner.

03 Architects review of Shop Drawings shall not be construed to relieve supplier of any obligations set forth in the original contract documents. Specific reference shall be made on the Shop Drawings of any contradictions of the original documents and specific acceptance of that contradiction must be made on the drawings by the Architect.

**ARTICLE 9S CLOSE OUT AND GUARANTEES**

At the completion of the Contract and prior to final payment:

a. The General Contractor and sub-contractors shall give to the Owner a written guarantee that they will make good at their own expense any defects in material or workmanship, not due to ordinary wear or improper use, which may develop within

one (1) year from the date of acceptance of the work unless otherwise stated in the specifications.

b. The Owner shall be furnished with the following as it may apply to the project and as called for in the specifications:

- Owner's manuals for operation and maintenance of equipment furnished under the Architectural trades.
- Owner's manuals for operation and maintenance for equipment furnished under the Electrical contract; a complete brochure of lighting fixtures and lamps furnished; an as-built drawing of the electrical installation as described in the specifications.
- List of sub-contractors employed on the project, including addresses, phone and fax numbers.

**ARTICLE 10S PROGRESS SCHEDULES**

01 At the time of signing of the contract, the General Contractor, in co-operation with his sub-contractors, shall furnish a schedule giving the time of starting and finishing of each trade involved.

**ARTICLE 11S TEMPORARY PROTECTION**

01 The General Contractor shall assume responsibility for the building, site and immediately adjacent areas, providing protection to meet the governing laws for worker and by-stander safety.

02 He shall provide suitable temporary walks, fences, enclosures, to maintain unobstructed areas for pedestrians, vehicles, fire protection equipment, etc., including temporary exit access and enclosures. All damage to existing walks, drives and landscaped areas traversed by construction vehicles shall be made good by the General Contractor.

**ARTICLE 12S OWNER'S USE OF SITE**

01 The Owner will maintain normal operation on any existing building on site during the construction period. The various contractors shall take all possible precautions to minimize interference with the operations.

**ARTICLE 13S OTHER CONTRACTORS**

01 The contractor or contractors for this work shall at all times allow the Owner and any other contractors and their employees to be in the building or about the premises undisturbed as may be required in the execution of other portions of the building work, and installation of equipment, etc.

**ARTICLE 14S AWARD OF SUBCONTRACTS**

01 The award of subcontracts shall be subject to the right of rejection by the Owner and the Architect of any individual sub-contractor. All contracts made by the General Contractor with sub-contractors shall be covered by the terms and conditions of the prime contract.

**ARTICLE 15S PERMITS**

01 The General Contractor shall apply and pay, where necessary, for all required building and land use permits; all required plan review fees; and all inspections; in addition to any other required permits.

02 The mechanical and electrical contractors shall apply and pay for their respective permits, any required plan review fees, and all inspection fees. They shall call for all inspections and comply with all requirements.

03 The General Contractor, sub-contractors and their suppliers shall comply with Michigan Building Code Section 1704 Special Inspections, as it may be applied to the project by the local Building Authority for inspections and certifications.

**ARTICLE 16S DELETED LOCAL BONDING REQUIREMENTS**

**ARTICLE 17S DELETED GAS SERVICE**

**ARTICLE 18S DELETED SOIL EROSION PERMIT**

**ARTICLE 19S SAFETY RULES**

01 All contractors and their employees shall comply with applicable requirements of "General Safety Rules and Regulations for the Construction Industry", as promulgated by the Construction Safety Commission of the State of Michigan including all amendments. General Contractor and all sub-contractors shall become familiar with and comply with the "Safety and Health Regulation for Construction" as promulgated by the Occupational Safety and Health Administrator of the U.S. Department of Labor.

**ARTICLE 20S DELETED CONNECTION CHARGES**

**DIVISION 02 SITEWORK**

**ORDINANCES, PERMITS, AND INSPECTIONS**

01 The Contractor shall observe all ordinances, rules, and regulations of municipal, county, state and federal departments and agencies. He shall obtain and pay for all permits, bonds, and licenses necessary for the execution of this contract.

02 The Contractor shall make arrangements for such inspection that the Local Authorities or other agencies may require. The cost of such inspection will be borne by the Contractor.

**EROSION AND SEDIMENTATION CONTROLS**

01 The Contractor shall comply with the local Drain Commission authority requirements for soil erosion and sedimentation control. The cost of such erosion measures shall be incidental to the cost of construction work and shall be included in the prices bid. Fee shall be paid by the General Contractor.

01 Remove all surface vegetation, shrubs, trees, brush and topsoil from areas to be occupied by project area. Stockpile topsoil stripped from construction area and remove any excess material after finish grading.

**EXCAVATING AND GRADING**

01 Excavate to levels indicated on the drawings for footings, foundation walls, sewers, and water mains. The bottom of all excavations shall be reasonably clear of loose or surplus material and must be approved by the Architect prior to pouring of concrete or laying pipe. Provide all necessary shoring, boxes, bracing, sheeting, etc. to protect sides of embankments until backfill has been placed.

02 Do all rough and finish grading as indicated on topographic site plan, and in all areas disturbed by construction activity. Finished surfaces shall conform to established grades with a vertical tolerance of 2 inches. Surfaces shall be graded smooth with no pockets or perceptible reverse slopes. Take particular care at building line to cover damp-proofing course and maintain clearance at weep holes in exterior masonry walls.

**FILLING AND BACKFILLING**

01 Exterior: Excavated material will be permitted for Backfilling at exterior of foundation walls if it is kept free of construction debris, roots, etc. Fill shall be placed in 12 inch lifts and compacted to provide minimum settlement. Do all filling necessary to bring existing grades up to indicated grades.

0-3 Seasonal limits: No fill material shall be placed, spread or compacted while it is frozen or thawing or during unfavorable weather conditions. When the work is interrupted by heavy rain, filling operations shall not be resumed until the moisture content and density of the previously placed fill are as specified.

**COMPACTION**

01 Each layer of fill shall be mechanically compacted to meet or exceed the following requirements.

a. Fill, beyond building, paving, and walks, shall be compacted to 90% of the maximum bulk density as determined by the A.A.S.H.O. test designation T-180 (modified proctor test).

02 **Connection Tests:** Where required by the local building authority, the General Contractor shall obtain the services of a testing laboratory, approved by the Architect, for determining the satisfactory soil density of the compacted sand fill where placed in depths exceeding 18" and at bottom of foundation excavations to confirm stated loading requirements for soil bearing capacity.

**DIVISION 03 CONCRETE**

**GENERAL**

01 All concrete work shall be detailed and constructed in accordance with the latest specifications of the American Concrete Institute and Concrete Reinforcing Steel Institute and all materials shall conform to current standard specifications of the ASTM as may apply to the work and respective materials.

**MATERIALS**

01 **Cement:** Shall be Portland Cement (ASTM C-150 Type 1) of American Manufacturer.

02 **Aggregate:** All aggregate shall conform to ASTM C-33 Specifications for Concrete Aggregate. Maximum aggregate size shall not exceed 3/4 of clear space between reinforcing bars or 1/5 minimum thickness of formed slabs.

03 **Combined Aggregate:** Shall be of such composition as to permit between 30% and 50% to pass through a No. 4 sieve.

04 **Water:** Shall be suitable for drinking purposes.

05 **Reinforcing Steel:** Shall be ASTM A-615 specifications for deformed billet steel for concrete reinforcement (Fy=60,000 psi).

06 **Reinforcing Mesh:** Shall be ASTM A-185 specification for wire mesh having a rigid connection of intersecting wires. Gauge of wires and spacing is shown on drawings.

07 **Concrete:** Limits for proportions of concrete made with average materials are indicated in the following table. Trial mixtures shall establish exact proportions for all materials to be used within the limits of the table.

CLASS OF CONCRETE	MINIMUM 28 DAY STRENGTH (PSI)	MAX. W/ C RATIO	NOM. AGGR. SIZE	MINIMUM CEMENT CONTENT PER CUBIC YARDS* WEIGHT	SLUMP	AIR CONT. %
STANDARD FOUNDATION CONCRETE	3500	0.68	3/4" - 1-1/2"	5-1/2 - 5-1/4	517 - 494	3" - 2 1

\* Cement content may be reduced by 1/2 bag per cu. yd. for unreinforced mass concrete.  
\*\* Omit air entraining agent in hardened slabs.

Additional design mixes by the supplier that meet the above performance requirements are permitted pending proper documentation and submission for Architect's approval prior to bid due date.

08 **Admixtures:** For air entraining and water-reducing shall be as manufactured by W.R. Grace Co. or Master Builders, and employed in strict accordance with the manufacturers recommendations (ASTM C260 & ASTM C494, Type A). Air content in air entrained concrete delivered shall be +/- 1-1/2 percent. Non-corrosive, non-chloride accelerator shall be "Aceleguard" by The Euclid Chemical Co. (ASTM C494, Type C or E). No admixtures containing chloride ions are permitted. No fly ash permitted.

09 **Non-Shrink Grout:** ChemRex "Masterflow 928" or "Sonogrou" 10K, grout.

**DIVISION 04 MASONRY**

**GENERAL**

01 All mason work shall conform with the latest standards of the National Concrete Masonry Association; the American Concrete Institute; the National Masonry Institute; the Concrete Masonry Specifications for use in the State of Michigan and all materials shall conform to current standard specifications of the ASTM as they apply to the work and respective materials. Laying methods shall be in accordance with the recommendations of the Masonry Institute of Michigan.

**MATERIALS**

01 All Portland, natural and masonry cements, quicklime and hydrated lime for use in masonry mortar and grout shall meet the minimum strength and durability requirements of ASTM C270 and ASTM C476.

02 **Water:** Shall be suitable for drinking purposes.

03 **Aggregate:** Shall be natural sand and shall conform to the requirements of the Specification for Masonry Mortar, ASTM C144.

04 **Prepared Mortar:** Shall conform to ASTM Specification C91, Type 11, masonry cement.

05 **Mortar Coloring:** Soloman Grind-Chem Services, CPI Industries, Medusa Custom Color Masonry Cement.

06 **Integral Color Mortar:** Holman Rainbow Products Rainbow Mortamix Custom Color Masonry Cement. Preferred alternate to Mortar Coloring.

07 Limits for proportions of mortar and grout made with average materials are indicated in the following tables:

**Portland Cement / Lime Mortar**

Mortar Type	Portland Cement	Lime	Sand
M	1	1/4	3 3/4
S	1	1/2	4 1/2
N	1	1	6
O	1	2	9

**Masonry Cement and Mortar Cement**

Mortar Type	Portland Cement Type or Mortar Cement Type	Portland Cement or Blended Cement	Sand
M or M	1(M)		3
M or S	1(N)	1	6
S or S	1(S)		3
N or N	1(N)	1/2	4 1/2
O or O	1(N)		3

08 **Mortar Additives:** Water reducer and repellent shall be Euclid Chemical Co., Euco Integral Waterpeller, powder form, containing no chlorides. No other additives shall be used without submission of complete product documentation and written approval of the Architect.

09 **Grout:** Shall be course grout meeting the requirements of Modified ASTM C-476, providing 21.93 cubic feet of Portland Cement and 605 cubic yards of coarse aggregate. Grout shall have a minimum compressive strength of 3000 psi at 28 days.

10 **Medium Weight Masonry Units:** Shall be load bearing burned clay, burned shale, clinker or blast furnace slag aggregate modular units conforming to the Concrete Masonry Specifications for use in the State of Michigan, Technical Series No. 4.08.55. Units shall meet ASTM C90 Specifications with aggregate meeting ASTM C331. Units shall meet UL requirements for 2 Hour rating.

a. Provide pre-cast lintels as called for of the above material.

b. Provide all necessary standard units to accommodate the various conditions indicated on the drawings for slab bearing, dampproofing, door jambs, window jambs, bullnose, etc.

c. Provide pattern units where shown on elevations.

d. All exterior block units shall contain Integral Masonry Unit Water-Repellent which shall be Krete HQ (5) Plus as manufactured by Krete Industries, Inc.

11 **Normal Weight Concrete Masonry Units:** Shall be load bearing sand and gravel aggregate modular units meeting ASTM C90 specifications with aggregate meeting ASTM C33.

12 **Thin Stone:** Shall be Cultured Stone by Boral Stone Products as supplied by Stone Pro LLC, Brighton, MI (www.stoneprollc.com)  
Stone series: "Southern LedgeStone"  
Stone colors: "Fog" (color "B") and "Gray" (color "A")  
- Remove individual orange units from "Fog" color set (10-15%).  
- Drystack mounting.  
- Provide special corner units as detailed on the drawings.

13 **Weep Vents:** Shall be Duro-O-Wal Cell Weep Hole Ventilator, 3-5/8" x 3/8" wide. Vents shall be furnished in color approved by the Architect to match mortar. Mason-Pro product acceptable.

14 **Masonry Reinforcing Wire:** Shall be Hohmann and Barnard, Inc. ASTM A153, Class B2 hot dip galvanized after fabrication, as scheduled below. Alternate Manufacturers: Duro-Wal, Block-Mesh, Heckman.

Wall Materials	Back-up	Grout	Reinforcing Wire	No.	Name	Size
2"	8" or 12" Block	yes		280	LOX-ALL LADDER REINFORCEMENT W/ ADJUSTABLE PINTLES	Std.

16 **Through wall flashing—Veneered walls:** Shall be W R Grace Co. "Perm-A-Barrier" Wall Flashing.

17 **Metal Flashing:** Shall be .060 gauge bronze anodized aluminum with end caps at ends of flashing detail.

18 **Pea Stone:** Shall be commercial grade pea gravel with sizes ranging from 1/2" to #8 mesh round particles.

**DIVISION 05 METALS: STRUCTURAL & MISC**

**GENERAL**

01 All steel shall be detailed, fabricated and erected in accordance with the latest specifications for the Design, Fabrication and Erection of Structural Steel for Buildings, and the Code of Standard Practice as adopted by the American Institute of Steel Construction, Inc., for bolted and arc-welded construction.

**MATERIALS**

01 ASTM Designations and strengths for structural steel work shall be as follows:

Items	ASTM Designation	Min. Yield Strength fy
Angles, bars and plates	A36	36ksi

**DIVISION 06 CARPENTRY**

**MATERIALS**

01 **Lumber:** Framing lumber shall be Douglas Fir - Larch, Douglas Fir - South, Hem-Fir or Spruce-Pine-Fir meeting the scheduled requirements as described in Western Lumber Grading Rules.

**Lumber Schedule:**

Use	Bending Stress Fb	Horizontal Shear Fv	Compression Fc	Modulus of Elasticity
Studs, 2x4 Blocking	675psi	150psi	405psi	1,100,000 <sup>1</sup>

03 **Preservative Treated Material:** Shall be pressure impregnated in accordance with Federal Specification TT-W-571 and American Wood Preservers Association Standards and bear an American Wood Preservers Bureau Quality Control Mark. Lumber shall be kiln dried to 19% or less after treatment. Material shall meet retention requirements for above ground and for ground contact as employed.

06 **Adhesive:** Construction adhesive meeting ASTM C557.

16 **Plowcod:** Shall be APA Grade A-B (A-D where D face is concealed), generally 1/2" thickness.

**DIVISION 07 MOISTURE PROTECTION**

**GENERAL**

01 All roofing work shall conform to the latest specifications and recommendations of the manufacturer of the materials employed in the work for the structural conditions indicated on the drawings. Sheet metal work shall generally follow the recommended practices of the SMACNA Architectural Manual. All work shall be installed by skilled mechanics of the trade and executed in a manner consistent with the best practices of the trade.

**MATERIALS**

02 **Sheet Metal:** Shall be 24 gauge G-90 hot dipped galvanized steel with Kynar 500 fluorocarbon coating.

03 **Fastenings:** Nails, screws, etc., shall be best grade to meet compatibility requirements of material being secured, and be as furnished by the manufacturer of the roofing system where employed in same. Elastic Cement: Federal Spec. SS-C-153.

04 **Sealant:** Shall be One-part, non-sag, acrylic latex compound for interior work; Epoxidized Polyurethane Terpolymer for exterior work; self-leveling epoxidized urethane for control and expansion joints in sidewalks and pavements, Tremco, Sonneborn, Polymeric Systems or Dow Corning Sealants. Color as selected by Architect. Sealant shall be provided as indicated on drawings and at the following standard locations:

a. At control joints—exterior; interior where exposed to view.  
b. At joint between stone and dissimilar materials.  
c. Elsewhere as required for weather tight construction.

22 **Sealant Back Up Material:** AET, Inc. HBR Backer Rod, Williams Products, Inc. Backer Rod or Expand-O-Foam Cord.

**WORKMANSHIP CERTIFICATION**

01 The contractors shall submit written certification, in approved form, that all materials and workmanship have been installed in complete conformance with the drawings and specifications, and with the manufacturers specifications and requirements for the particular type of roof called for. This certification must also contain a statement by the manufacturer that the materials furnished by him are without defect.

**GUARANTEE**

01 This Contractor shall provide a written guarantee covering defects in material and workmanship under this contract for period of two (2) years after acceptance of work.

02 Completed single ply roof system shall be inspected by manufacturers representative to verify

that system has been installed according to specifications and details. The manufacturer shall issue an inspection and service guarantee, without limiting penal sum, assuring that the system shall remain watertight for fifteen (15) years; the insulation shall retain at least 80% of its initial thermal resistance and the insulation system shall meet UL Class "A" requirements.

**DIVISION 08 DELETED HARDWARE, DOORS, WINDOWS, AND GLASS**

**DIVISION 09 DELETED FINISHES**

**DIVISION 10 DELETED SPECIALTIES**

**DIVISION 15 DELETED MECHANICAL SYSTEM**

**DIVISION 16 SOLAR ELECTRICAL & SIGN SYSTEMS**

**SCOPE**

01 This Division of the specifications and accompanying electrical drawings, contemplates the provision of all labor and material to install a complete system of electrical work for this project.

02 Only the best materials of each class specified shall be used and installation shall be made in a neat workmanlike manner, complete in every detail, ready for immediate satisfactory operation by Owner.

**PERMITS**

01 Contractors shall obtain permits for his work and cost of same shall be included in his Proposal.

**INSPECTION AND APPROVAL**

01 Any material or manner of installation not specifically mentioned in this specification shall be strictly in accordance with local requirements and rules of Board of Fire Underwriters.

02 Installation shall be subject to approval of Local Bureau of Electrical Inspection from whom a Certificate of Inspection covering all work will be required before final payment on Contract. All inspection costs shall be borne by the Solar Contractor.

03 All material and work shall comply with the current National Electric Code, NFPA 70 and ASHRAE 90.1-1999 Standard.

**MANUFACTURER'S DRAWINGS**

01 After award of Contract, Solar Contractor shall prepare six (6) copies of manufacturer's drawings on panel boards, lighting fixtures, motor starters, and all other special electrical equipment to be installed on this project for Architect's approval. All drawings shall be first checked and corrected by this Contractor before submitting for review. Owner may, at his discretion, require removal and replacement of any materials or equipment which may not have been reviewed. Refer to Division 1 for other requirements.

**CONTRACTOR'S WORKING AS BUILT DRAWINGS**

01 Upon completion of project and before final payment is made, the Contractor shall provide Architect with three (3) sets of prints of As-Built Drawings, showing routing of all conduit, number, size and type of wires, number and rating of all branches in switchboard and panels and such other information as will be useful to the Owner in maintaining building and making future additions. As-built information for fire alarm, public address or other special systems shall be included, but may be on separate drawings.

**EXCAVATING AND BACKFILLING**

01 The General Contractor shall perform all necessary excavations for underground work. Excavations shall be made by the open cut method, removing whatever substances that are encountered, to the depths as required. No excavations shall be made in filled or disturbed earth until it has finally settled or been otherwise compacted to properly support materials. Trenches shall be excavated to provide ample working space; however, trench width shall not be excessive in order to limit settlement.

**SUPPORTS**

01 All supports, braces, and framing shall be provided by Solar Contractor where required for proper installation of solar panels conduits, starting and control equipment, as well as all other equipment installed and connected in accordance with these specifications and accompanying drawings.

**SAFETY SWITCHES**

01 Safety switches furnished by solar contractor as required, shall be fusible or non-fusible quick-make, quick-break, cover-inter-locked, of proper current or horsepower rating, in Type #1 enclosure. Use NEMA 3R enclosures for exterior mounted switches.

**SWITCHES**

01 Local switches shall be equivalent to Eagle, G.E., Hubbell, Leviton, Pass & Seymour. Despard switches of the same type and rating may be used, subject to Architect's approval.

**CONDUIT AND FITTINGS**

01 All conduit to Power source shall be provided by sign contractor. All wires shall run in galvanized rigid steel conduit, intermediate metal conduit or galvanized electrical metallic tubing. Conduit shall bear Underwriters Label. UL approved PVC conduit with ground wire may be used for under-ground branch circuits and low voltage wiring.

**WIRE AND CABLE**

01 Sign Contractor shall provide and install wire and cable required for complete installation of signage. All conductors shall be copper with 600 volt insulation. Branch circuit wire shall be Type THHN. Feeders and service shall be XHHW, except that service cables shall be type USE with XHHW insulation. Wire shall be color coded. Aluminum feeders may be substituted for copper providing they are of equal current carrying capacity, conduit size is increased accordingly and approved connectors are used. All wire #8 and larger shall be stranded. Minimum size shall be #12.

**LIGHTING FIXTURES AND LAMPS**

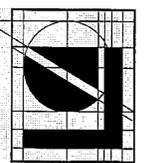
01 Lighting fixtures and lamps shall be of LED type necessary for sign illumination (60 watts max.).

**EXTERIOR LIGHT CONTROL**

01 Solar panels shall provide up to 60 watts of power for 12 hours per day.

**GUARANTEE**

01 Contractors shall give Owner, in writing, a statement guaranteeing that all work is in accordance with these plans and specifications and subsequent addenda's, and is free from imperfect workmanship and materials and that the Contractor will make good at his own expense, all work covered by his contract which may prove defective within a period of one (1) year from date of acceptance of his work by Architect, including repairing without additional expense to Owner any work which he may disturb in making good any defective work. Equipment shall carry standard warranty of manufacturer.

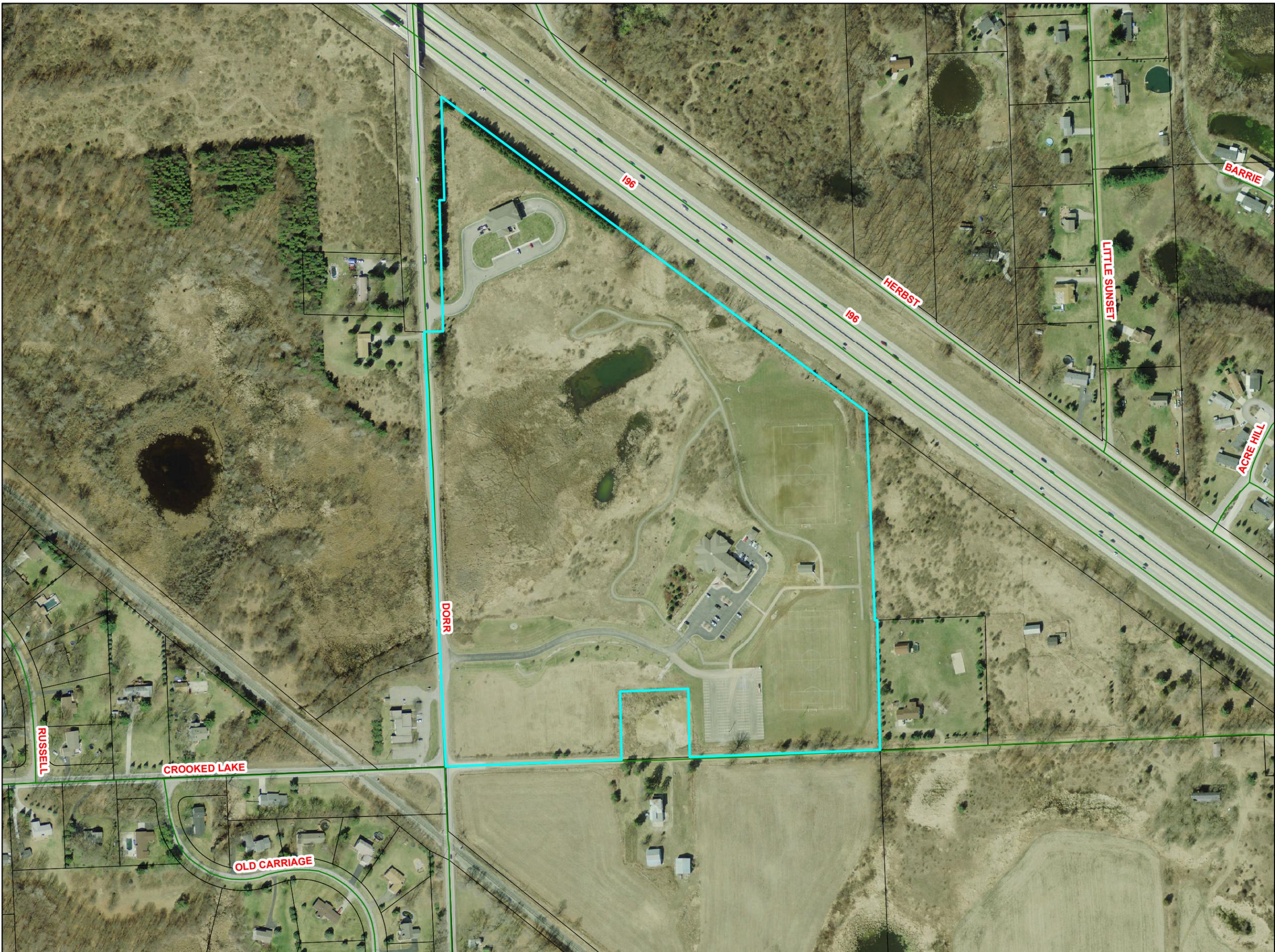


Lindhout Associates  
architects aia pc  
48116-9150  
birmingham, michigan  
(810)227-5688  
www.lindhout.com

DATE: 10-26-2013  
BY: 07-14-2013  
APP'D: [Signature]

PROJECT SPECIFICATIONS FOR:  
GENCO TWP. SIGN  
GENCO TWP., MICHIGAN  
PROJECT SPECIFICATIONS

SP1  
1048



DORRR

196

196

HERBST

LITTLE SUNSET

BARRIE

ACRE HILL

RUSSELL

CROOKED LAKE

OLD CARRIAGE

**Charter Township of Genoa**  
**ZONING BOARD OF APPEALS**  
**JANUARY 15<sup>th</sup>, 2013**  
**CASE #13-04**

**PROPERTY LOCATION:** 4252 Highcrest

**PETITIONER:** Blair Bowman

**ZONING:** LRR (Lakeshore Resort Residential)

**WELL AND SEPTIC INFO:** Well and sewer

**PETITIONERS REQUEST:** Requesting a front yard and waterfront variance to construct a new home.

**CODE REFERENCE:** Table 3.04 – Dimensional Standards - LRR (Lakeshore Resort Residential)

**STAFF COMMENTS:** Petitioner is seeking to construct a new home on the former sites of two homes. Petitioner has already applied for and preliminarily received approval to combine the lots.

	Front	One Side	Other Side	Rear	Height	Waterfront
Setbacks of Zoning	35	10	5	40	25	75
Setbacks Requested	20					73
Variance Amount	15					2

# GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116  
(810) 227-5225 FAX (810) 227-3420

Case # 13-04 Meeting Date: 1-15-13 @ 6:30

- PAID Variance Application Fee  
\$125.00 for residential - \$300.00 for commercial/industrial
- Copy of paperwork to Assessing Department

- Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached)**

Applicant/Owner: Blair Bowman PB Development LLC

Property Address: 4252 Highcrest Phone: 248 348-5600 ex 211 248-207-8040  
CELL

Present Zoning: LRR Tax Code: 22-302-182, 183

The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance.

1. Variance Requested: ROAD SIDE SET BACK

2. Intended property modifications: NEW Build of Main Home - Upgrade Beach House

This variance is requested because of the following reasons:

a. Unusual topography/shape of land (explain) TOP 2 AND Existing neighboring structures

b. Other (explain) \_\_\_\_\_

## Variance Application Requires the Following:

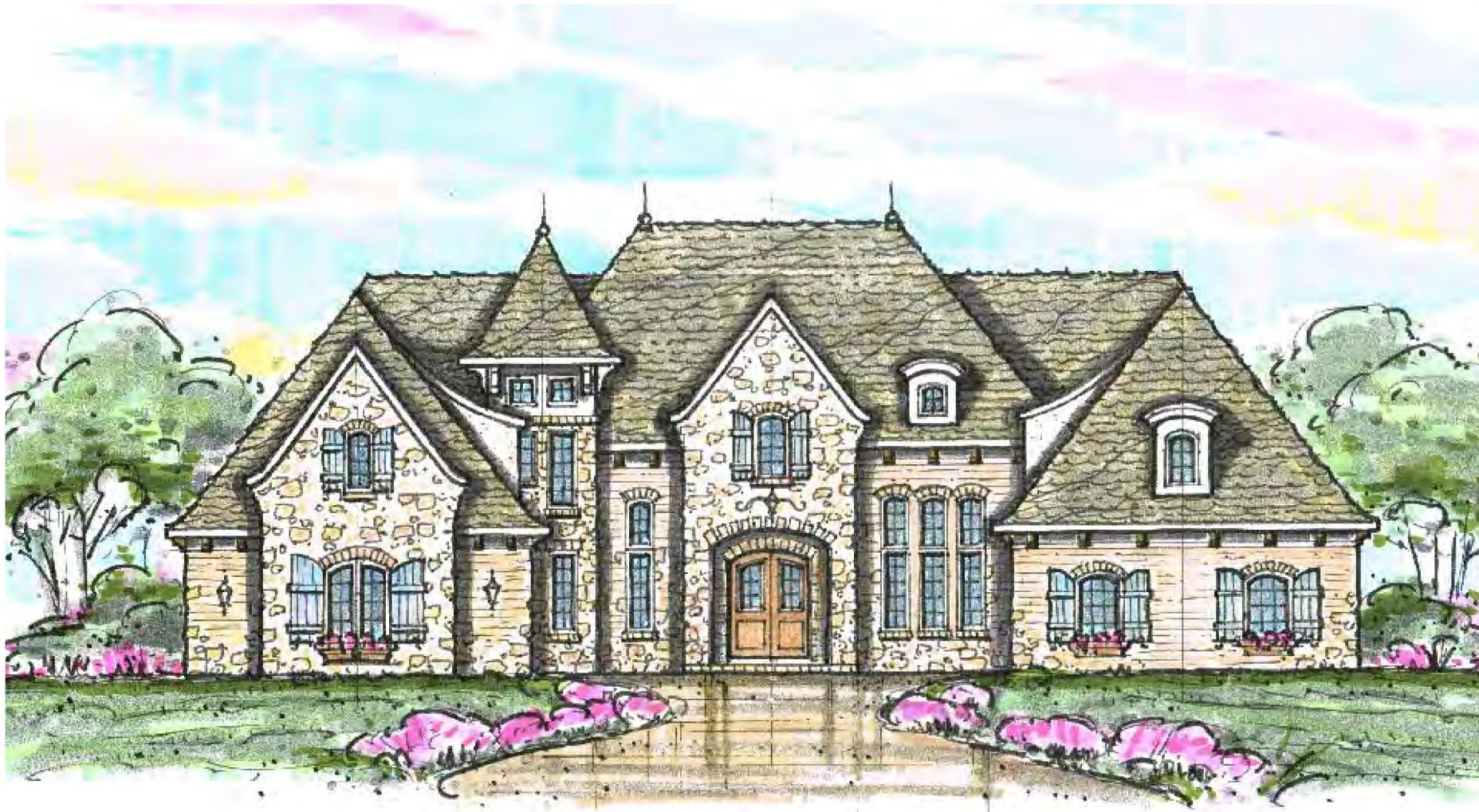
- Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. *Note: Will need 8 copies of any drawings larger than 8 1/2 and 14 in size*
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Date: 12-20-12  
Signature: \_\_\_\_\_

**Property must be staked**

**Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.**

**After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.**



# FRONT ELEVATION CONCEPT

HEATED SQUARE FOOTAGE	
FIRST FLOOR:	3,480 SF.
SECOND FLOOR:	1,044 SF.
TOTAL HEATED SFACE:	4,524 SF.
HOME GYM:	546 SF.
FINISHED LOWER LEVEL:	2,898 SF.
UNFINISHED ATTIC:	135 SF.

VanBrock & Associates, Inc.  
 Residential Design Group  
 5517 Arbor Bay Dr.  
 Brighton, MI 48116  
 Ph: (734) 604-2409  
 Fax: (810) 844-0699



**van brock**  
 AND ASSOCIATES

ENGINEERED BY:

**BOWMAN RESIDENCE**  
 4252 HIGHCREST  
 BRIGHTON, MI

MICHIGAN  
 RESIDENTIAL  
 CODE 2003

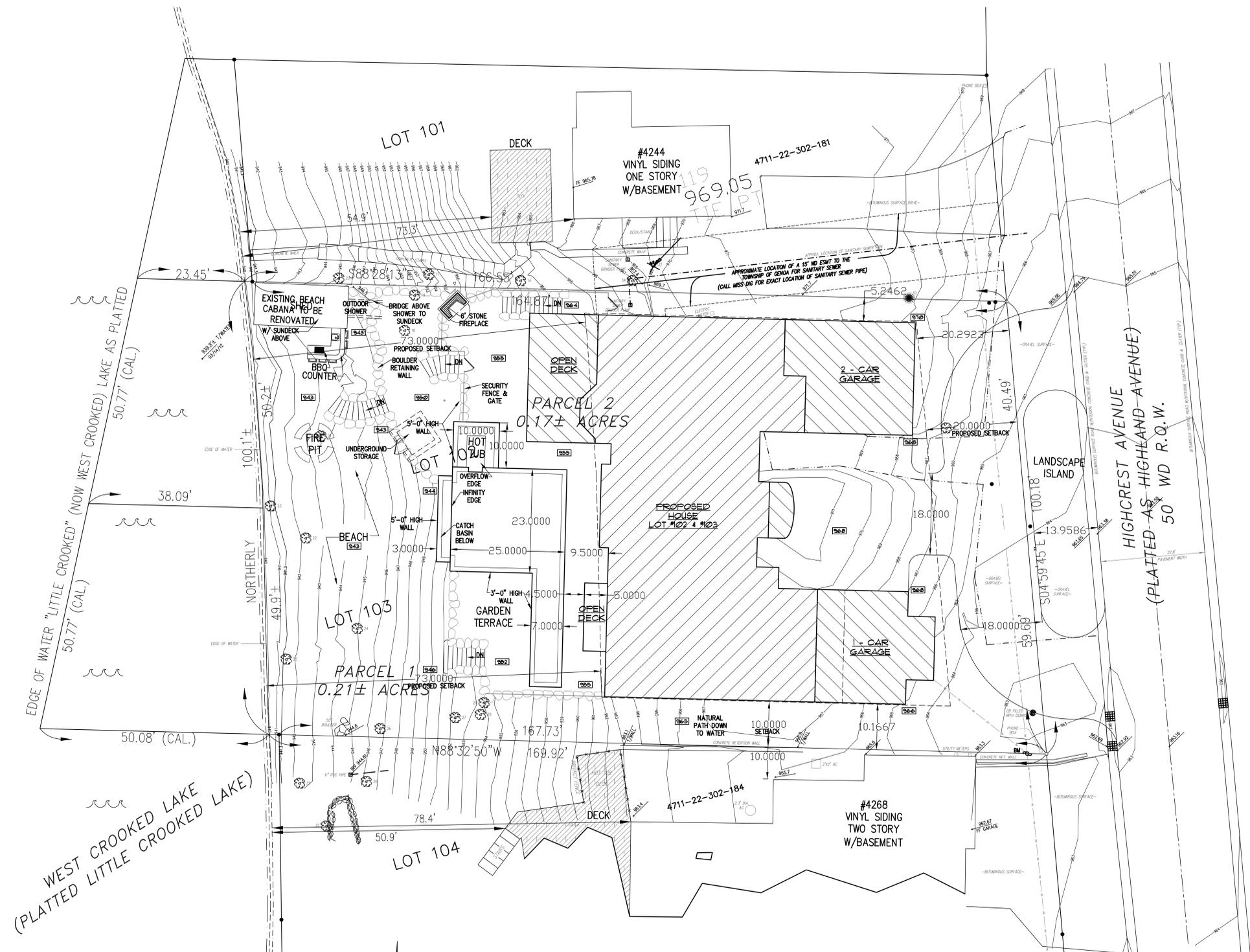
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 5-17-12  
 8-8-12  
 12-6-12

SHEET #  
**A1**  
 OF 16 SHEETS

BL. OUT: C.T.  
 W.D: C.T.  
 CHK'D BY: J.V.

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 VANBROCK &  
 ASSOC., INC.





**PROPOSED SITE PLAN**

SCALE: 1" = 10'-0"  
 0 5 10

PRELIMINARY

**BOWMAN RESIDENCE**  
 4252 HILLCREST  
 BRIGHTON, MI

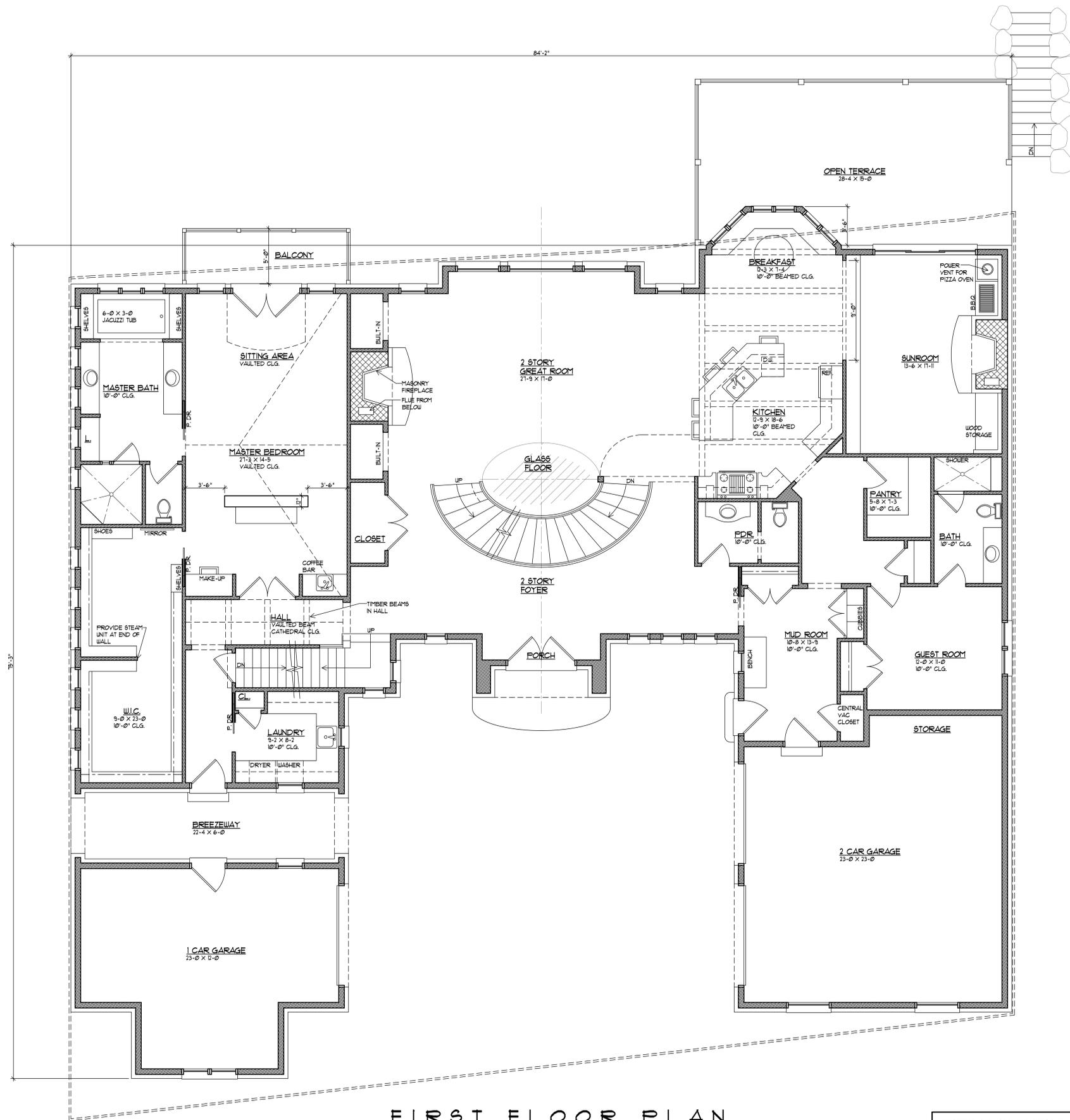
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JOB #12-112  
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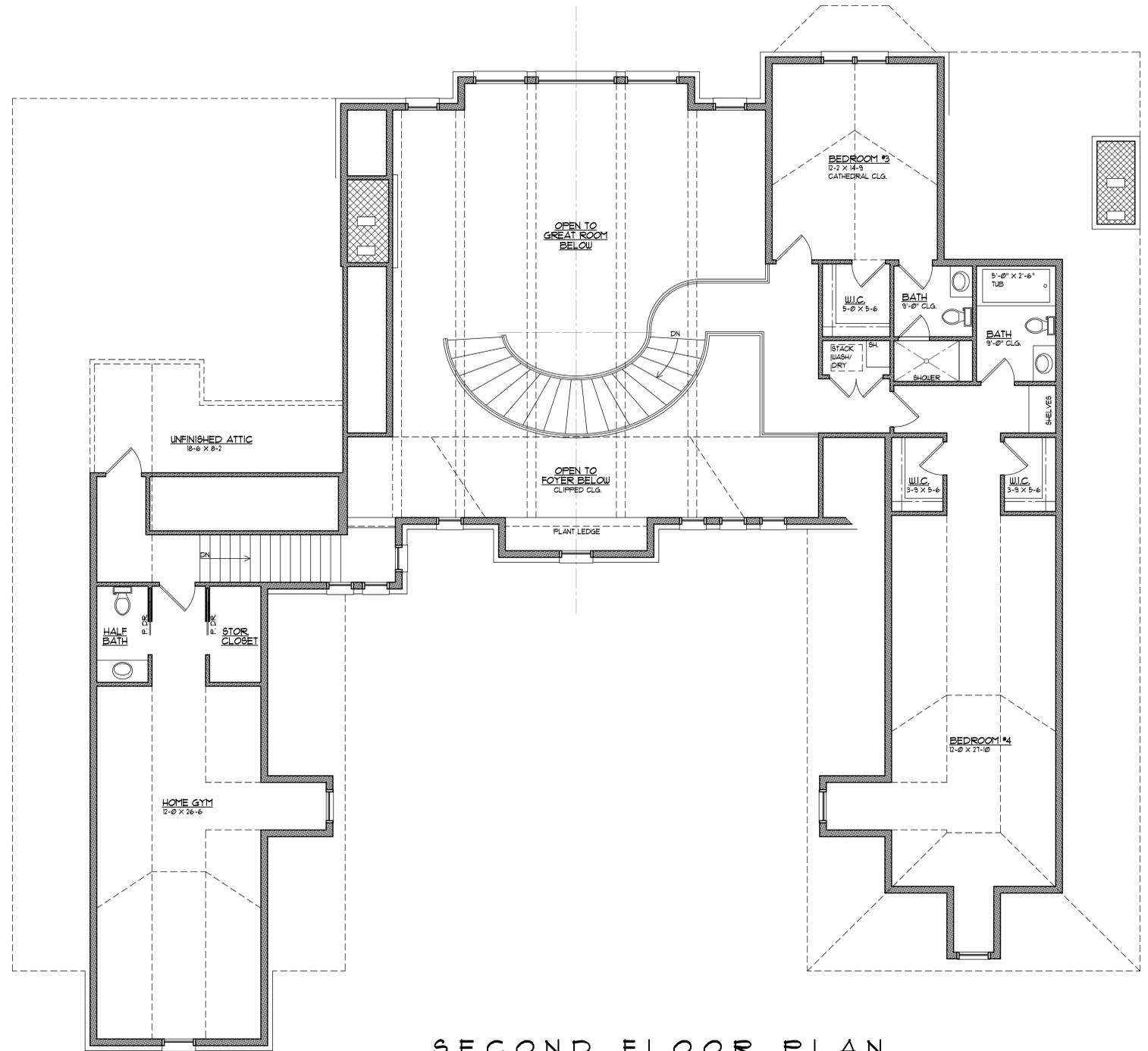
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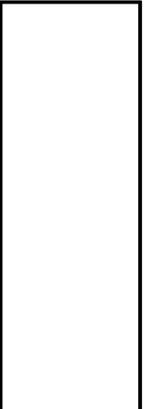


**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

HEATED SQUARE FOOTAGE	
FIRST FLOOR:	3,480 SF.
SECOND FLOOR:	1,044 SF.
TOTAL HEATED SPACE:	4,524 SF.
HOME GYM:	546 SF.
FINISHED LOWER LEVEL:	2,898 SF.
UNFINISHED ATTIC:	135 SF.



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**BOWMAN RESIDENCE**  
4252 HIGHCREST  
BRIGHTON, MI

MICHIGAN  
RESIDENTIAL  
CODE 1928

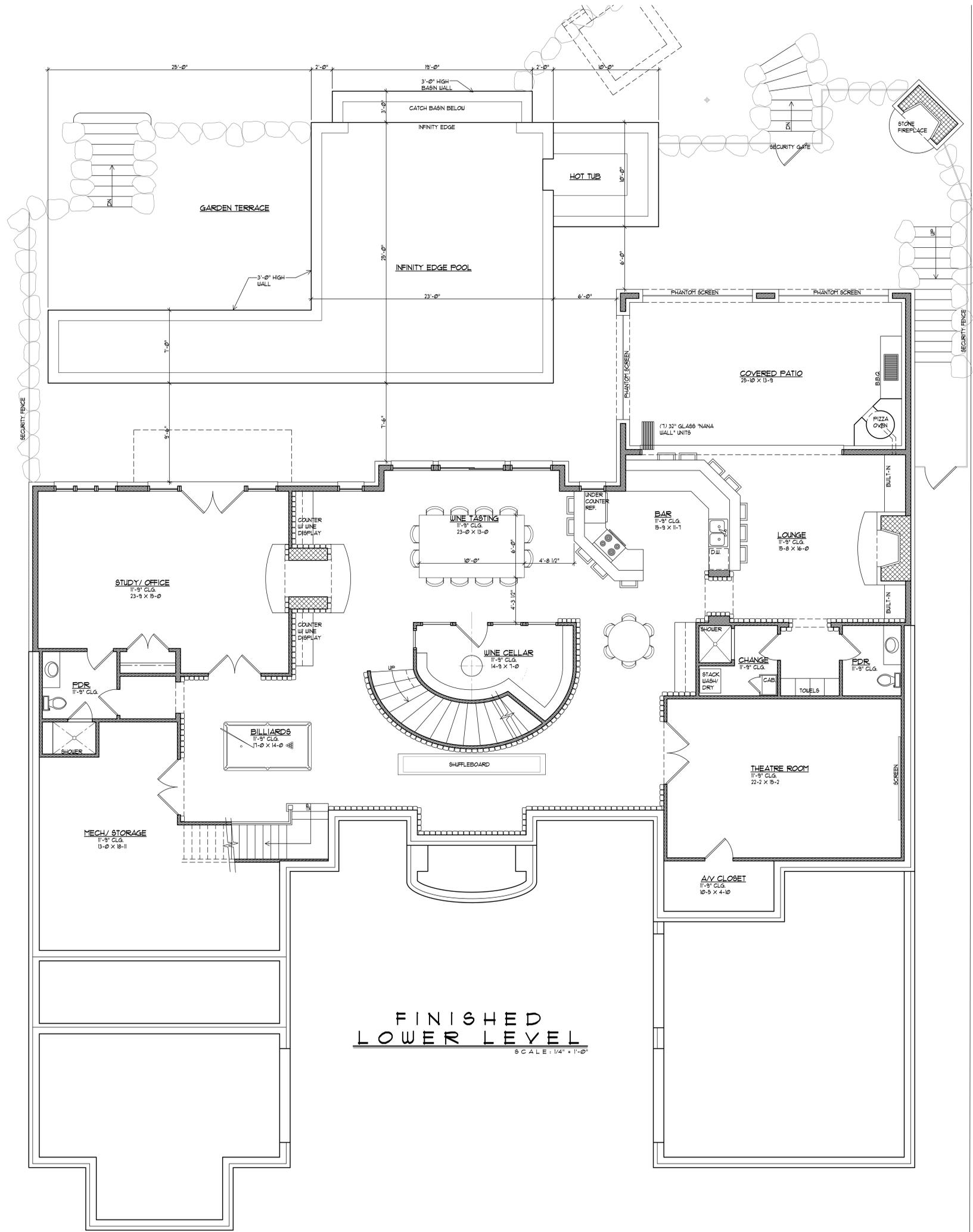
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5-1-12  
5-11-12  
12-10-12

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WD: C.T.  
CHKD BY: J.V.

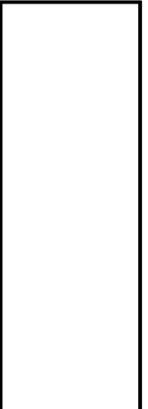
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SHEET #  
4  
OF 15 SHEETS





**FINISHED  
LOWER LEVEL**  
SCALE: 1/4" = 1'-0"



**BOWMAN RESIDENCE**  
4252 HIGHCREST  
BRIGHTON, MI

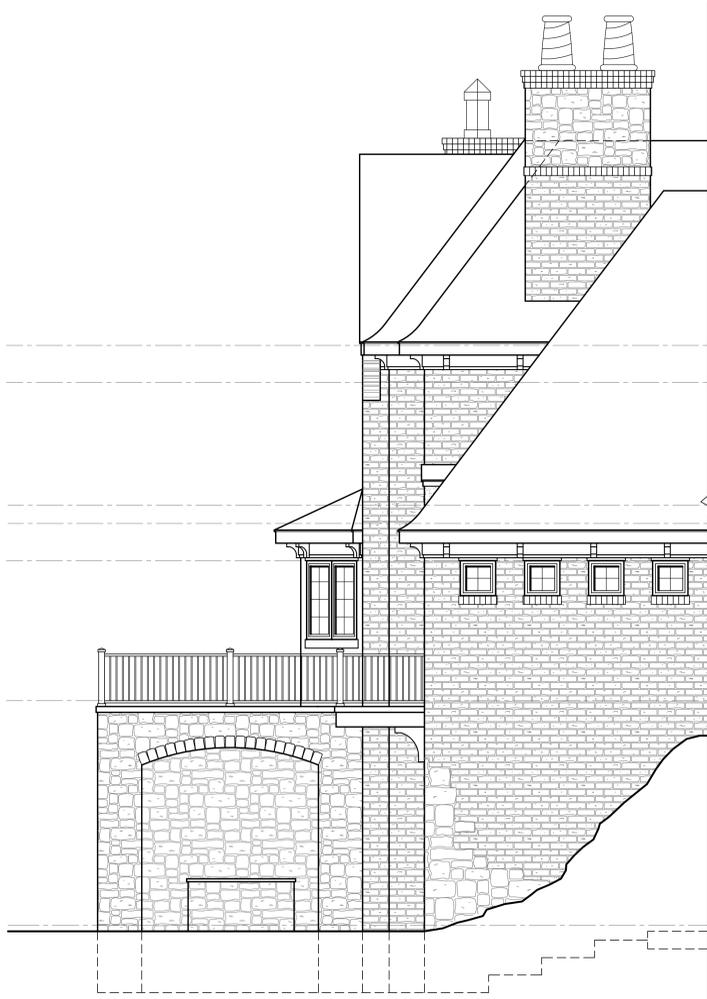
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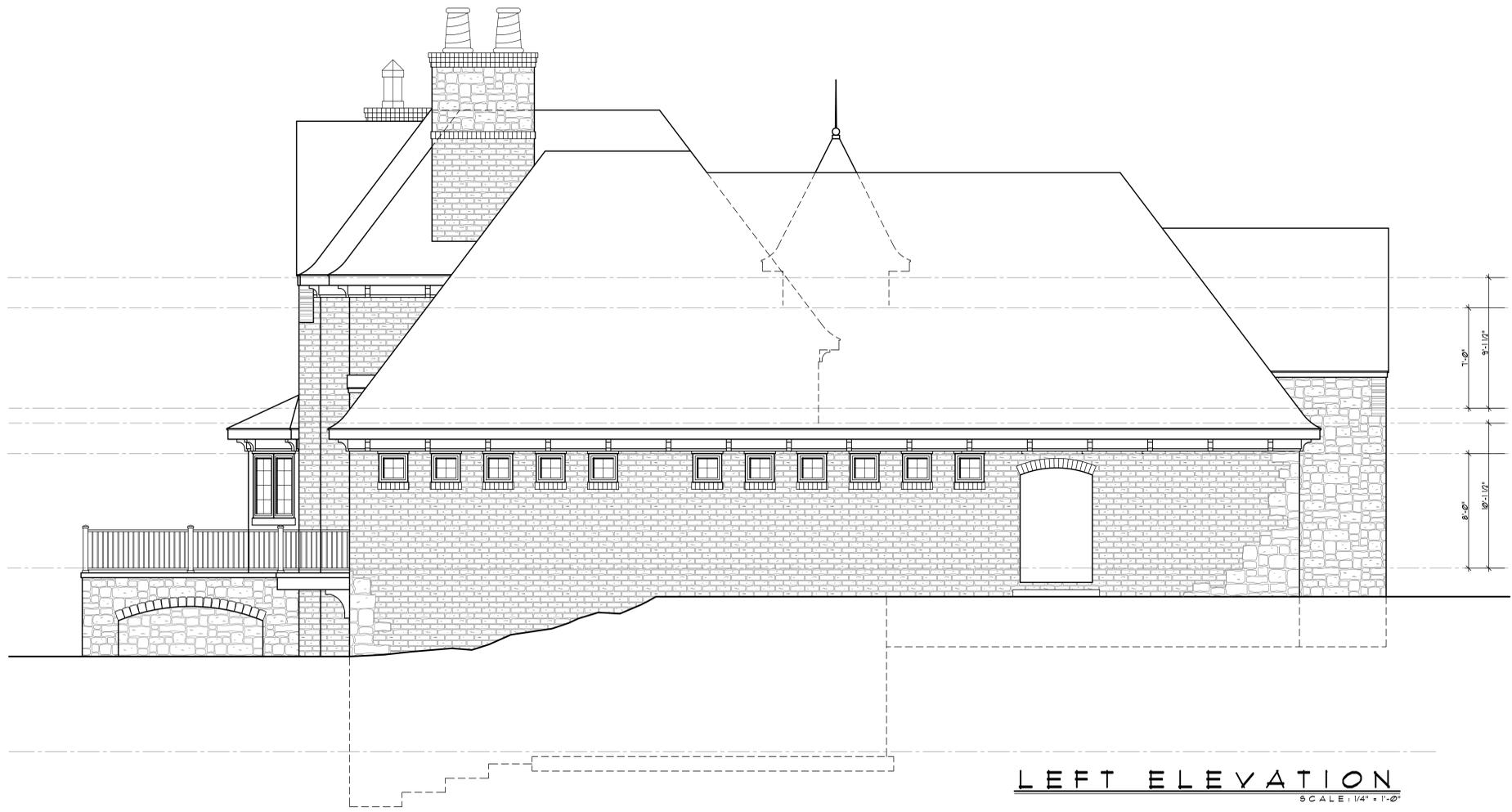
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WD: C.T.  
CHKD BY: J.V.

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SHEET #  
**A5**  
OF 15 SHEETS



**LEFT ELEVATION  
BEYOND RETAINING WALL**  
SCALE: 1/4" = 1'-0"



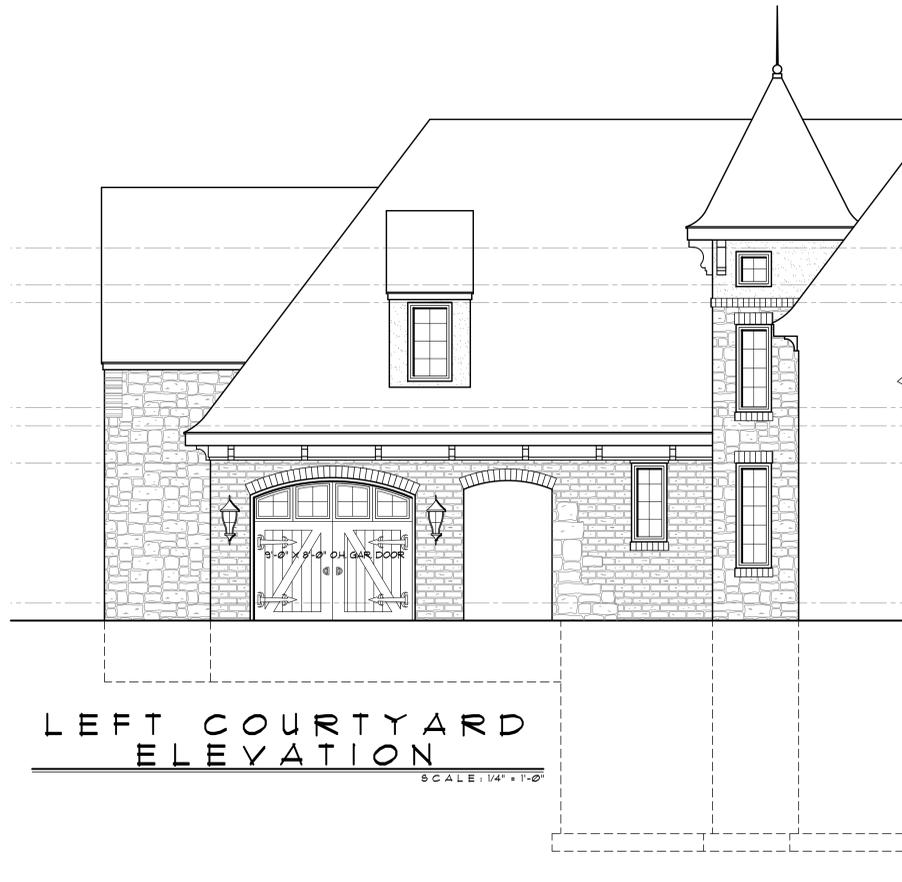
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT COURTYARD  
LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

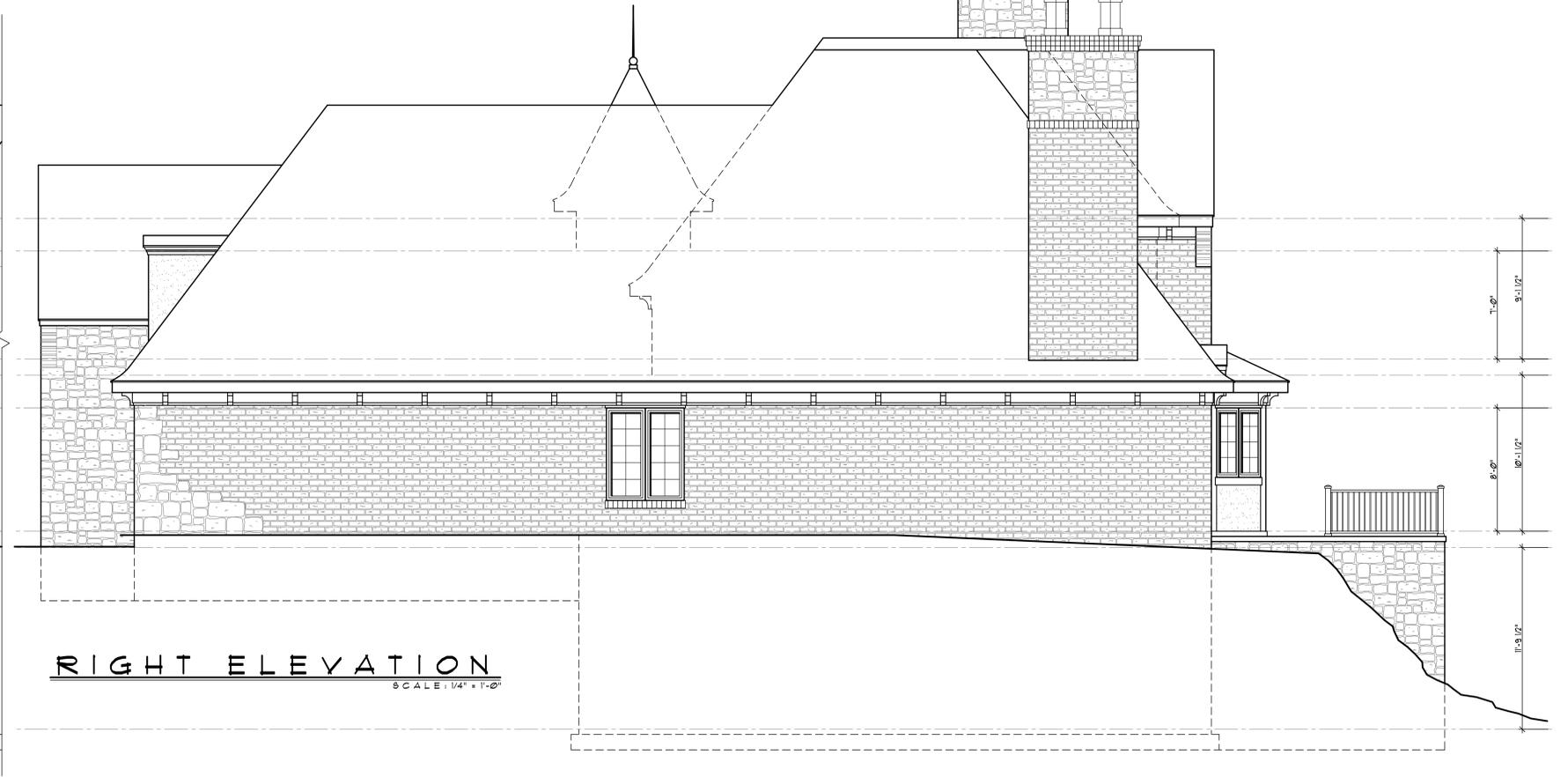


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



LEFT COURTYARD  
ELEVATION

SCALE: 1/4" = 1'-0"



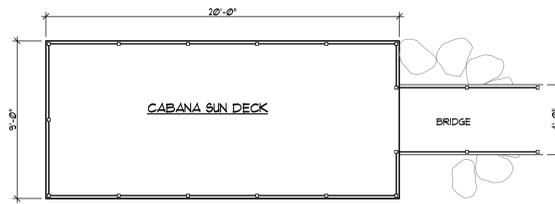
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

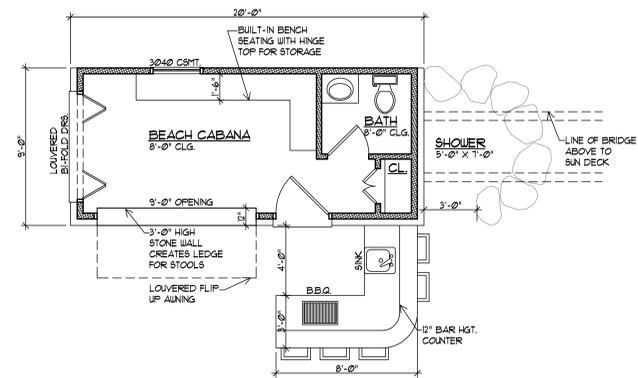


REAR ELEVATION

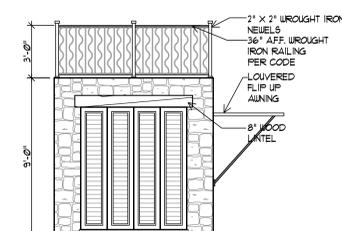
SCALE: 1/4" = 1'-0"



**SUN DECK FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



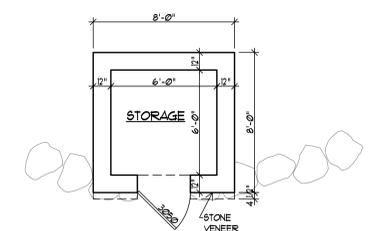
**CABANA FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



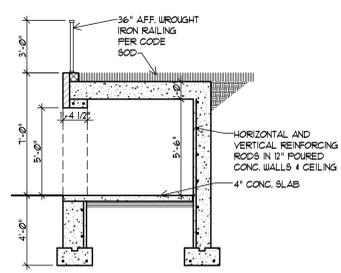
**CABANA FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



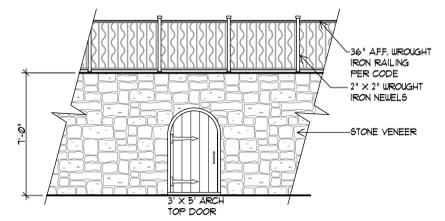
**CABANA LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**UNDERGROUND STORAGE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**SECTION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**GENOA CHARTER TOWNSHIP  
ZONING BOARD OF APPEALS  
DECEMBER 11, 2012  
6:30 p.m.**

**MINUTES**

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30pm at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The members and staff of the Zoning Board of Appeals were then introduced. The board members in attendance were as follows: Chris Grajek, Marianne McCreary, Barbara Figurski, Jean Ledford and Jeff Dhaenens. Also present was Township staff member Adam VanTassell and 3 persons in the audience.

**Moved** by Figurski, supported by Ledford, to approve the agenda with the moving of Item #2 to Item #1. **Motion carried unanimously.**

**12-29...A request by Liberty Tax Service, Section 4, 4072 E. Grand River, for a sign variance.**

Steve and Pat Schenck were present for the petitioner.

McCreary questioned if the windfeathers were a distraction for drivers. Mr. Schenck and Mr. VanTassell stated that they have not received complaints. Grajek stated that it was discussed last year that the petitioner should revisit the Zoning Board of Appeals year to year for this request.

**Moved** by Ledford, supported by McCreary, to approve case #12-29, Liberty Tax Service, 4072 E. Grand River, for a (1) year period with 2 banners, 2 windfeathers and balloons for an additional 3 weeks from the allowed 2 weeks per the Zoning Ordinance with a total of 5 weeks. The practical difficulty is the finding of fact of the temporary type of seasonal business and the hardship of the location off the road. **Motion carried unanimously.**

**12-27 A request by Joseph Agius, 5311 Brighton Road, sec. 27, for a sign variance.**

The petitioner was not present.

**Moved** by Grajek, supported by Figurski to table case #12-27 until the next ZBA meeting due to the petitioner's not being present and directing staff to notify petitioner the request will be decided at the next regularly scheduled Zoning Board of Appeals meeting. **Motion carried unanimously.**

**Moved** by Grajek, Supported by Ledford, to approve the November 13, 2012 Zoning Board of Appeals minutes with corrections. **Motion carried unanimously.**

**Moved** by Figurski, Supported by Grajek, to adjourn the Zoning Board of Appeals meeting at 6:50 p.m. **Motion carried unanimously.**