GENOA CHARTER TOWNSHIP ZONING BOARD OF APPEALS MAY 15th, 2012 6:30 P.M.

AGENDA

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Pledge of Allegiance:

Introduction:

Approval of Agenda:

Call to the Public: (Please Note: The Board will not begin any new business after 10:00 p.m.)

- 1. 12-09...A request by Douglas Milne, 6501 Forest Beach, for a height variance to allow an 8' fence.
- 2. 12-10...A request by Thomas Sipko and Kathi Presutti, 2712 Scottwood, for a side yard variance to construct a covered deck.
- 3. 12-11...A request by Dennis Dahlmann, 4582 Filbert, for a side yard variance to allow a new construction home.

ADMINISTRATIVE BUSINESS:

- A. Approval of minutes for the April 17th, 2012 Zoning Board of Appeals meeting.
- B. Correspondence
- C. Member Discussion
- D. Adjournment

Charter Township of Genoa

ZONING BOARD OF APPEALS MAY 15th, 2012 CASE #12-09

PROPERTY LOCATION:

6501 Forest Beach Dr.

PETITIONER:

Douglas Milne

ZONING:

LDR (Low Density Residential)

WELL AND SEPTIC INFO:

Well and Septic

PETITIONERS REQUEST:

Requesting a height variance to allow for an 8 foot fence.

CODE REFERENCE:

Section 11.04.04 (a) - Fences in front yards not to exceed 3 feet.

Section 11.04.04 (a) - Front yard fences not to exceed 49 percent solid

or impervious

STAFF COMMENTS:

Any fence approved should not conflict with Section 11.04.04(d) which

prohibits obstruction of motorist vision when exiting driveways.

DETACHED ACCESSORY	Solidity or Imperviousness	One		Rear	Size	Height
STRUCTURE Setbacks of Zoning	49%	Side	Side			3
	1000/			****		
Setbacks Requested	100%					6
Variance Amount	100%					

GENOA CHARTER TOWNSHIP APPLICATION FOR VARIANCE	
2911 DORR RD. BRIGHTON, MI 48116	
2911 DORR RD. BRIGHTON, MI 48116 (810) 227-5225 FAX (810) 227-3420 Meeting Date: 5-15-12 PAID Variance Application Fee \$125.00 for residential - \$300.00 for commercial/industrial	
Meeting Date: $5-15-12$	
PAID Variance Application Fee \$125.00 for residential - \$300.00 for commercial/industrial	
Copy of paperwork to Assessing Department	
	ļ.
 Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached) 	
Applicant/Owner: Dougles A. Milne	
Property Address (05D) Forest Beach Dr. Phone:	
Present Zoning: LDR Tax Code: 4711 - 266 - 301 - 018	
The state of the Zoning Ordinance be made in the case of	f
their property because the following neciliar or unusual conditions are present which justify variables.	
1. Variance Requested: 8 foot high fence.	
2. Intended property modifications:	
This variance is requested because of the following reasons:	
a Unusual topography/shape of land	
(explain)	•
	-
b. Other We would like to complete an existing 20 yr, old fix feace	2h
extending it along the property line. This will enhance the property	<u>/</u> b
extending it along the property line. This will enhance the property providing a uniform appearance for neighbors and those using the easem Variance Application Requires the Following: (failure to meet these	ven
requirements may result in tabling of this petition.	
	rΔ
 PROPERTY MUST BE STAKED SHOWING ALL proposed improvements 5 days befor the meeting and remain in place until after the meeting 	
Diet Dies drowings showing sethacks and elevations of proposed buildings snowing]
all other pertinent information. Note: will need 8 copies of any drawings larger than	6 9
x 17. • Waterfront properties must indicate setback from water from adjacent homes.	
 Petitioner (or a Representative) must be present at the meeting 	
Signature: Description 12 months from the date of approval is invalid	
Dard. N	
Signature:	
Any Variance not acted upon within 12 months from the date of approximate	
and must receive a renewal from the ZBA.	

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.

(Pad) easement existing fence steps grement

6505 Fored Beach Drive

6501 Forest Beach

chage

6485 Farest Brach Drive



Charter Township of Genoa

ZONING BOARD OF APPEALS MAY 15th, 2012

CASE #12-10

PROPERTY LOCATION:

2712 Scottwood

PETITIONER:

Thomas Sipko and Kathi Presutti

ZONING:

SR (Suburban Residential)

WELL AND SEPTIC INFO:

Well and Septic

PETITIONERS REQUEST:

Requesting a side yard variance to construct a covered deck.

CODE REFERENCE:

Table 3.04 - Dimensional Standards - SR (Suburban Residential)

STAFF COMMENTS:

Petitioner is seeking a variance to enclose an existing conforming

deck. Due to the placement of the existing building, this enclosure

would project into the side yard setback.

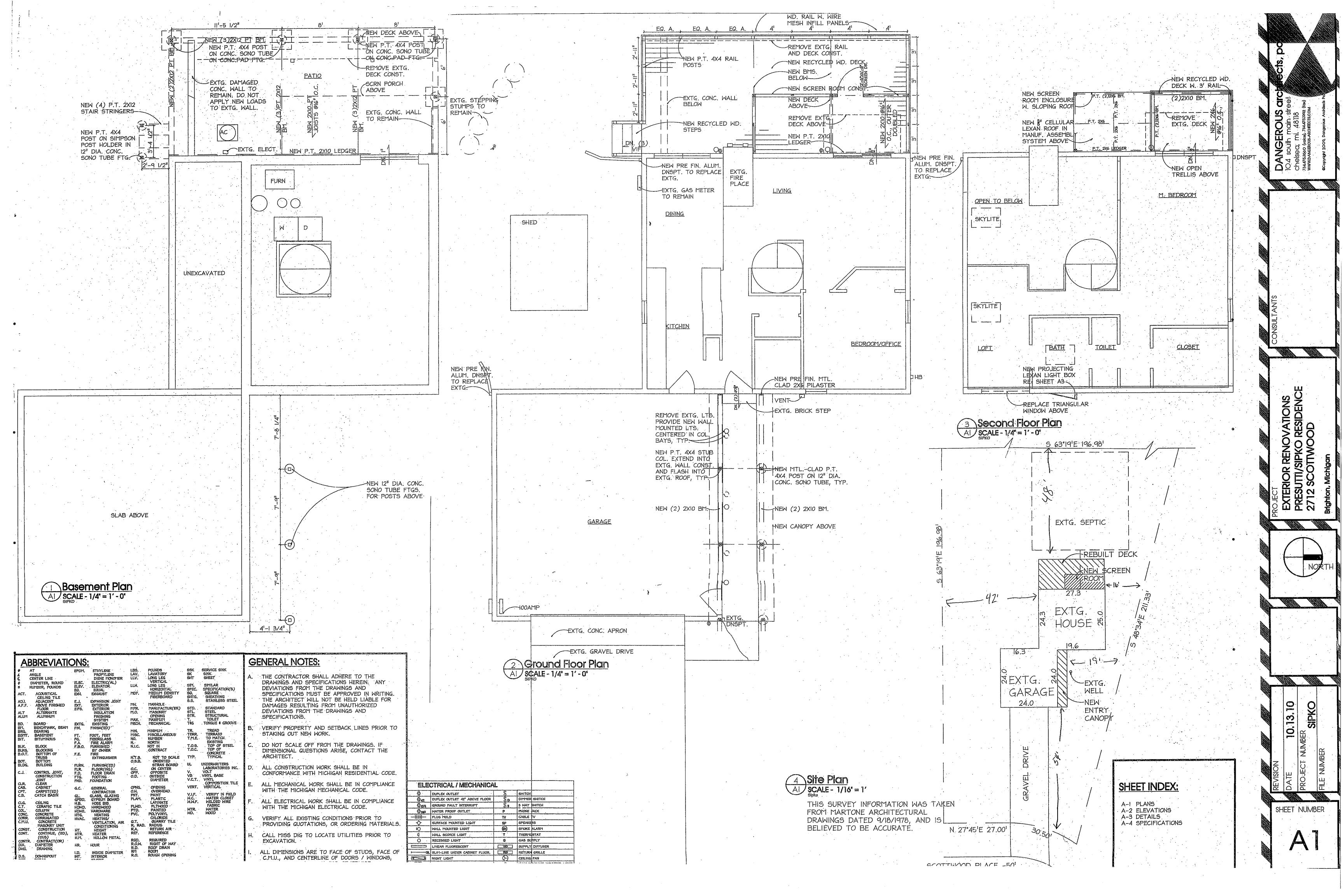
	Front	One Side	Other Side	Rear	Hegh	i - Wattenfront - €
Setbacks of	40	20	20	50	35	N/A
Zoning						
Setbacks		16				
Requested						
Variance Amount		4				

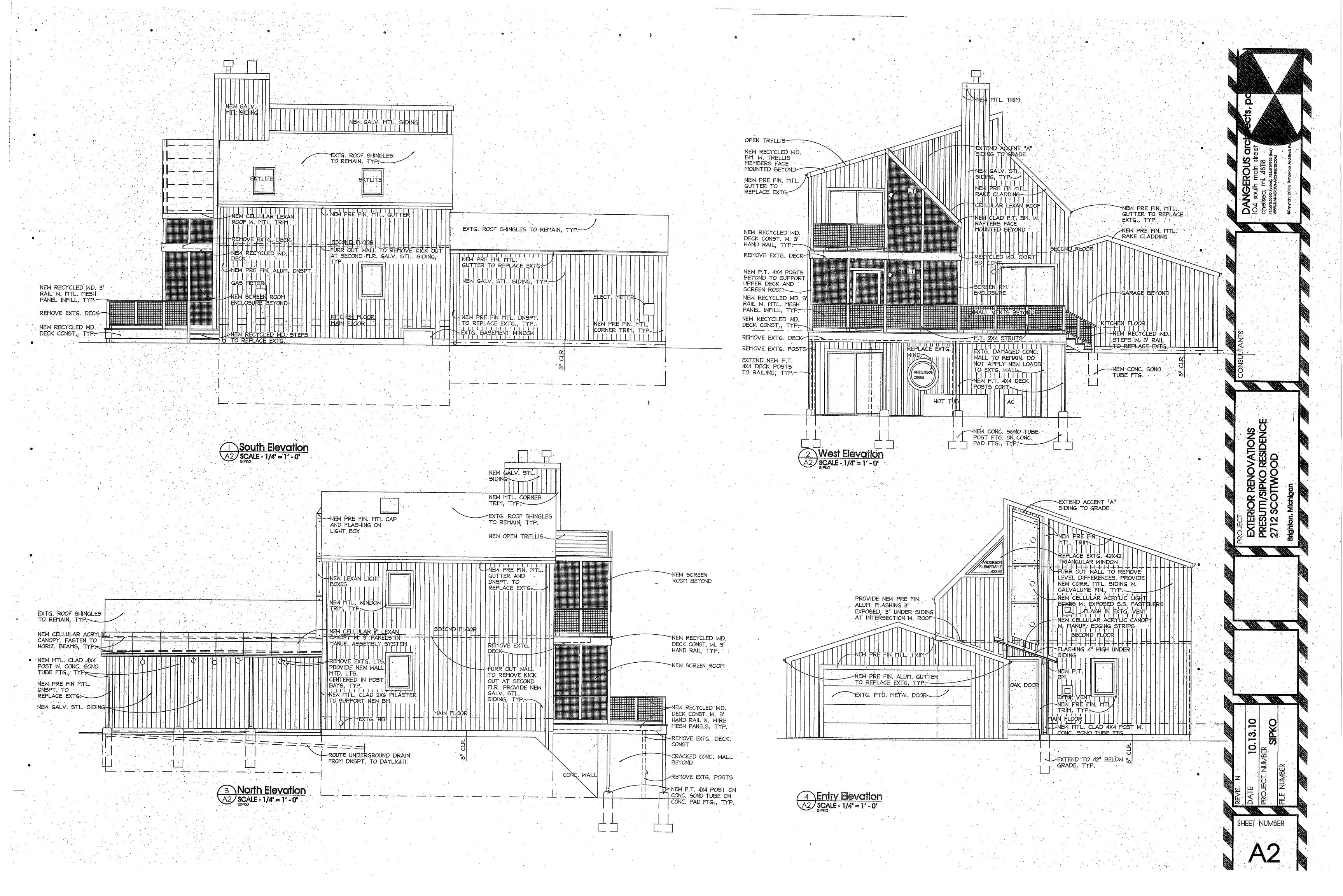
GENOA TOWNSHIP APPLICATION FOR VARIANCE 2911 DORR RD. BRIGHTON, MI 48116 FAX (810) 227-3420 (810) 227-5225 12-10 Meeting Date: 5-15-12 a 6.30 PAID Variance Application Fee \$125.00 for residential - \$300.00 for commercial/industrial Copy of paperwork to Assessing Department Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached) The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance. 1. Variance Requested: Side yard Variance Partial enclosure of existing 2. Intended property modifications: This variance is requested because of the following reasons: Unusual topography/shape of land irregularly shaped lot, location of existing Other (explain)_ Variance Application Requires the Following: Plot Plan Drawings showing setbacks and elevations of proposed buildings showing all other pertinent information. Note: Will need 8 copies of any drawings larger than 81/2 and 14 in size. Waterfront properties must indicate setback from water for adjacent homes Property must be staked showing all prostesso improvements a days before the meeting and remain in make until after the meating Petitioner (or a Representative) must be present at the meeting

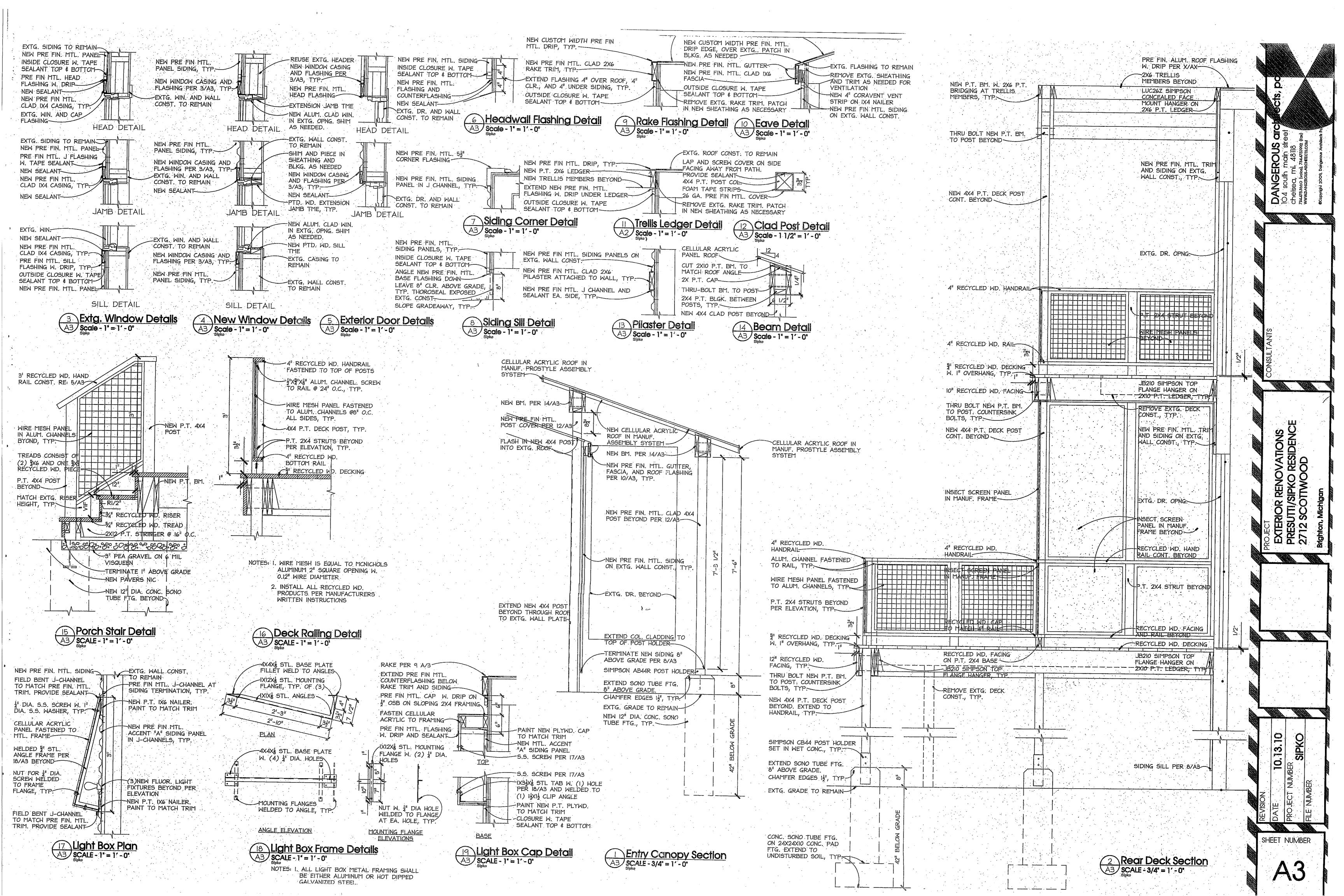
Date: 4-23-12

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.







01010 SUMMARY OF WORK

The Contractor shall prepare the Certificate for Payment on the latest-AIA Forms G702 and G703, and shall submit all Change Orders on the latest AIA

in summory, the scope of work includes partial demolition of the existing deck, exterior deck stair and as noted. New galvanized steel siding and trim will be installed over the existing. The existing exterior deck will be rebuilt and expanded, a neu screen room will be built on the deck, the M. bedroom deck will be eplaced, and a new lexan canopy will be added to the front entryway.

The scope of work under all Divisions shall include all labor, materials, equipment and services scheduled, indicated or referred to either in the drawings or herein specified. The contents of the Contract Documents are complimentary, and what is required by one shall be as binding as if required by

Any work not cited specifically in the Contract Documents, but which can be reasonably inferred therefrom as being necessary to produce the intended results in a quality manner, shall be considered as included in the scope of work. Any items or materials noted in one detail or section of the drawings shall be included in the scape of work for all other similar areas or elements

Items noted as 'furnished by owner' (F.B.O.) shall be so furnished, but the contract price shall include installation, and roughing in any required mechanical or electrical systems for all such Items, Items noted 'not in contract! (N.I.C.) shall be "provided" (i.e., furnished AND installed) by the owner under separate contract. Contractor shall afford other Contractors reasonable opportunity for the introduction and storage of their materials and equipment and for the execution of their work, and shall properly connect and coordinate his work with theirs

All work shall be furnished and/or installed, as noted, in compliance with the highest standards of professional workmanship of the respective building trades performing work under this contract.

The Contract Documents make representations as to the nature of the existing structure regarding various existing conditions. By submitting a proposal the Contractor represents that he has thoroughly examined the existing conditions, and that he accepts as a condition of his proposal the representations in the Contract Documents of all such conditions not concealed by existing structure.

During the course of the work the Contractor shall take special care to protect and preserve the state and detailing of the existing structure and site, where not cited for demolition.

Submittals: Refer to General Conditions, Supplementary General Conditions, and the specifi trade sections of these Specifications for requirements for submittals as follows: show drawings, samples, manufacturers data, request for

Permits, Fees, Codes, Regulations: The Contractor shall obtain and pay for all permits required to perform the work under this Contract. The Contractor shall secure all Certificates of Inspection and Certificate of Occupancy as required by all suthorities having jurisdiction over the Work, and shall deliver same to Owner. The Contractor shall perform all work in conformance with all federal, local codes, laws regulations or standards a all such Authorities having Jurisdiction over the work.

Temporary Facilities: The Contractor shall procure, and keep in service for the duration of the work, temporary phone and sanitary service. The Owner shall provide and pay for electrical service, heat and hot water, as required for execution of the work, for the duration of the work. All costs of closing in the building and addition, including temporary covers and enclosures, shall be borne by the Contractor. Such temporary enclosures as are necessary to maintain thermal comfort and protection of interior space shall be maintained at all times.

Salvage Rights: Any Items scheduled, indicated, desired to be retained by the Owner shall be properly stored on site per the owner's instructions. No "salvage rights" shall be assumed on the part of

Completion: Subject to the Owner's discretion and I addition to the requirements in the General -Conditions; the date of Substantial Completion shall be fixed at the date of receipt of Certificate of

Cleaning up at the completion of the work shall include cleaning of entire premises and washing of all windows and glass to the satisfaction of the owner. Premises shall be turned over to the Owner in move-in condition prior to issuance of the Certificate of Substantial Completion.

Upon completion of the work, furnish owner with all written warranties, installation instructions and operating manuals provided by manufacturers of products and equipment specified herein.

insurance required is as specified below and in the amounts indicated: The Contractor shall carry, and maintain in force during the full life of the Contract. Workmans Compensation insurance as required by law, and shall comply with all other national, state and/or local laws and regulations relating to insurance for the Work under this Contract, and shall require that each person or concern shall likewise comply therewith before subletting work under this Contract to them. The Contractor shall further purchase and maintain in effect such other minimum insurance as set forth below: (Certificates of Insurance acceptable to the Owner shall be furnished to the Owner prior to the commencement of the Work.)

GENERAL LIABILITY INSURANCE. \$500,000.00 occurrence property damage. \$1,000,000 occurrence bodily injury. \$1,000,000 automobile comprehensive form. \$500,000 Workers compensation liability for all workers on site.

DIVISION 2 - SITE WORK

02010 Areas affected shall be inspected and the drawings shall be carefully checked to ascertain all of the required work. Particular attention is called to the types of finishes that are required, and surfaces that are to be patched. Areas that will be altered shall match existing corresponding surfaces or adjoining new surfaces as required.

Protect the work scheduled to remain and, if damaged, repair to match existing. Cut away carefully all parts to be demolished to reduce the amount of necessary repairs. Support existing structure as needed during cutting of new openings or replacement of structural members. Prevent accumulation of debris and overloading of any parts of the structure with any materials or equipment that may endanger structural safety. Erect and maintain all temporary barriers as needed to sustain thermal comfort and clean, dust-free conditions in all areas not scheduled for demolition operations.

Where new work is to be built into existing work, new to the extent as required to solidly build and anchor the new work in place.

Provide temporary shoring and bracing and take other precautions to prevent settlement, collapse or movement of walls, floors, or other existing construction. Remove temporary shoring, bracing, etc. when the necessity for same ceases to exist.

All work of removals shall be executed in a careful and orderly manner, with the least possible amount of noise and disturbance. Materials shall be sprinkled as required to avoid any annoyance from dust, and all necessary precautions shall be taken to prevent fire. Cutting and patching shall be neatly and carefully

done, and materials and methods shall match existing corresponding work unless particularly shown or specified otherwise. Exposed patches and repairs shall be as inconspicuous as possible and shall be subject to approval by the owner.

Exercise due care to protect and maintain in service all existing site utilities, to include but not be limited to: aas systems, water and sanitary systems, telephone and communication systems and electrical service entrance, immediately alter and/or restore to use any and all such systems interfered with during and as a result of performance of the Work.

Upon completion of all work, and also when directed

thoroughly clean all surfaces which have been solled as a result of Contract operations, and thoroughly clean all rooms and spaces which have been affected by Work of this Project.

responsible for all breakage of glass. Replace all broken glass prior to final acceptance of the work. Thoroughly clean on both sides all new and existing glass of entire affected area of premises.

Restore or replace to their former conditions, and t the satisfaction of the Architect, all existing construction, finishes, equipment, site work, and other improvements that are to remain and that have been damaged as a result of the operations under this Contract.

All tools, appliances, materials and equipment belonging to the Contractor shall be removed from each area when no longer needed therein and from the premises upon completion of the work.

Site Cleaning: Remove shrubs, grass and other vegetation, improvements or obstructions interfering with new construction. Remove such items elsewhere on site or premises as specifically indicated. Remova includes digging out stumps and roots.

Protection: No trees or vegetation other than those specifically scheduled for removal shall be destroyed or removed without written consent of owner. Provide adequate protection to prevent damage to existing improvements, trees and vegetation indicated to remain in place. Protect trees and vegetation as appropriate and necessary by fencing, barricading or

Repair or replace trees and vegetation indicated to remain which are damaged by construction operations, in a monner acceptable to the owner.

Remove all materials from clearing and grubbing as well as excess or unsuitable topsoll and excess or unsatisfactory subsoil not scheduled for an site. retention. It shall be the responsibility of the Contractor to arrange and provide proper and legal means of off site disposal for all debris of clearing

Topsoll: Satisfactory topsoll is that which is reasonably free of clay lumps, stones, and other objects over 2" in diameter and without weeds, roots, and other objectionable material. Strip topsoil to whatever depths encountered in a manner to prevent intermingling with underlying subsoil or other objectionable material. Remove heavy growths of grass from areas before stripping. Stockpile topso in storage piles in areas shown, or where directed. piles to freely argin burbace water. Cover storage piles if required to prevent wind-blown dust of topsoll erosion.

Excavate earth and rock to depths and widths required. Slope sides of excavations to comply with applicable codes; shore and brace where stoping is not possible; maintain sides of excavations in safe condition until completion of back filling. Do not allow water to accumulate in excavations, remove standing water with pumps, sumps and dewatering systems as necessary to prevent softening of foundation bottoms.

Excavation for Mechanical/Electrical Work: Excavation and backfill required in conjunction with any and all underground mechanical and electrical utilities, and burled mechanical and electrical appurtenances is included as work of this section.

Backfill excavations as promptly as work permits but not prior to inspection and acceptance of all construction specified below finish grade, removal of concrete formwork and all other debris, and adequate bracing above grade of structure to be backfilled

Backfill and fill with satisfactory excavated or borrow material, free of clay, large rock, debris, waste, frozen or organic materials and other deleterious matter. Place backfill and fill materials in not more than 6" loose depth layers and compact to a density equal to adjacent subsoil between layers.

Grade areas within limits of grading under this section, including adjacent transition areas. Smooth finished surface and compact with uniform levels or slopes between points where elevations are indicated, or between such points and existing grades.

Replacement of topsoil, finish grading and seeding shall be executed by owner under separate contract. Allow for topsoil depth as directed when backfilling, filling and rough grading.

Subbase materials beneath walks and povements, steps and rat slabs shall be naturally or artificially graded mixture of natural or crushed gravel, crushed stone or slog, natural or crushed sand, free or organic and other deleterious matter. Compact subbase fill in 6" maximum layers to 60 per cent maximum density between each successive layer of

Drainage fill beneath building slabs on grade shall be washed, evenly graded mixture of crushed stone, or crushed or uncrushed gravel, 100% possing a 1 1/21 sieve and maximum 5% passing a No. 4 sieve. Compact in 6" maximum layers to 90 per cent maximum density between successive layers.

Drainage pipe for foundation and storm drainage shall be black PVC, and shall be pitched a minimum of & to daylight or to connections with existing drain

DIVISION 3 - CONCRETE

Concrete shall be provided with a minimum compressive strength of 3,000 PSI @ 28 days: 480 lbs. cement per cu. yd. minimum; w/c ratio=0.58 minimum. Portland cement shall be ANSI/ASTM CI50, type I; aggregate shall be ANSI/ASTM C33; water shall be potable. Calcium chloride not permitted without express consent of Architect. Consult with Architect re: accelerating admixture; when slabs placed at less than 50° F amblent.

Reinforcing steel shall camply with ASTM A-15. the existing work shall be removed and replaced with Clean rebors of materials which reduce bond, accurately position, support and secure bars against displacement, and set and tie reinforcement to comply with CR51's recommended practice for *Placing Reinforcing Bars."

Welded wire fabric shall comply with ASTM A-185. Use 6x6 W.W.M., install mesh in lengths as long a practicable; lap adjoining pieces at least one full mesh and lace pieces with wire; offset end laps adjacent in widths. Lift and maintain proper position of mesh, at center of slab unless noted otherwise, before and throughout pour.

. Expansion joints between concrete stabs on grade on vertical surfaces shall have asphalt saturated fiber type filler strips, one-half inch thick by full depth

Moisture borrier over prepared subbase or drainage fill, where indicated, shall be polyethyelene sheet not less than 6 mills thickness. Cover entire surface area; lap sheets minimum 8", install moisture barrier Just prior to pouring slab and take care not to

Forms: Design, erect, support, brace and maintain formwork to support vertical and lateral loads that might be applied. Design formwork to be readily removable. Construct forms to sizes, shapes, tines and dimensions shown, and to obtain occurate alignment, location, grades, level and plumb work to finished structures. Provide for openings, offsets, sinkages, keyways, recesses, moldings, rustications, reglets, chamfers, blocking, screeds, bulkheads, anchorages and Inserts, and other features required

The concrete shall be used at a degree of plasticity which would produce the specified slump; footings; 1-4 inches, slabs, 3-6 inches. Do not increase the water ratio in concrete for easier movement.

Coat contact surfaces of forms with a form-coating compound before pouring concrete. Deposit concrete continuously or in layers of such thickness that no concrete will be placed on concrete which has hardened sufficiently to cause the formation of seams or planes of weakness. If a section cannot be placed continuously, provide construction joints as directed. Deposit concrete as nearly as practicable t Its final location to avoid segregation.

Cold Weather Placing: Protect concrete work from physical damage or reduced strength which could be caused by frost, freezing actions, or low temperatures, in compliance with ACI 306. Hot Weather Placing: When hot weather conditions exist that would seriously impair quality and strength of concrete, place concrete in compliance with ACI 305

Floor slab surfaces shall be uniform true and straight plane surfaces as indicated, with manolithic surface screeded with straightledge, floated to required level and finished per finish floor requirements, apply scratch finish to slabs to receive concrete topping a mortar setting beds and as otherwise indicated; non-slip broom finish to exterior slabs, platforms, steps and ramps and elsewhere as indicated. Concrete slab surfaces shall be protected against extreme heat and cold, and against loss of moisture by moistcuring for not less than five days in accord

At concrete piers provide sono tube in sizes shown. Place sono tube on poured footing and place reinforcing bor as shown on the details. Extend tor height of sono tube piers as shown on the details. Chamfer tops of sono tube piers per the details. Set post holders on piers and fasten per the details. Replace all damaged concrete including piers, footings,

DIVISION 5 - METALS

with ACI 301 procedures.

Provide metal trim, mesh, and detalls as shown an the drawings. Store, handle, and install metal products in strict accordance with manufacturers written instructions. Provide to owner copy of manufacturers written warranty on all finishes.

New railing mesh is McNichols (877 884 4653) 14 square opening wire mesh 0.1200" wiresquare weave, aluminum. Install in aluminum channels as shown or the drawings in flat sheet stock. Ensure that dissimilar metals are seperated with mostic tape or other material to avoid potential for galvanic action.

scarf straight running joints, in all finish work. Remove and replace all defective mesh and metal trim at discretion of the owner and architect.

PROTECTION

Provide rough corpentry work as indicated and as required by job conditions, including that not limited to the following, partition, floor, deck and roof framing and sheathing; all fasteners, attachments and accessories; all blocking, shimming, furring, firestops, sleepers, grounds and nailers; additional framing required to introduce the work of other contractors and trades.

Framing lumber shall be sized, spaced and WWPA grade stamped and stress graded. Framing lumber shall be graded "S-dry", max. MC=19%, and free of worping, checking or other defects. Stud framing shall be "Stud" grade or better. Spanning members shall be graded Fb-1450; E=1.6. Framing lumber abutting masonry shall be AWPA grade stamped pressure treated.

Property of the contract of the contract of

Exterior sheathing shall be APA grade Oriented Strand Board (OSB); stress rated for Job conditions: 1/2" @ walls; 5/8" on sloping roofs; 3/4" on floors. Sheathing sheets shall be laid with long edges perpendicular to direction of structural members, ar end Joints well staggered. All framing lumber at any exposed exterior locations or which abuts concrete of foundations, such as sills, shall be pressure treated with Penta-Chlorophenol.

Erect all work true to line, dimension, level squared, plumb and securely fasten. All work shall conform to the highest standards of quality professional workmanship.

Do not impair integrity of structural members by improper drilling or cutting. All work shall be adequately braced until all portions of the building affecting its stability are in place and securely All necessary connections must be made and all

fully closed in and heated to 70 degree F for minimum of two weeks prior to installation of interior drywall or finish. Adjustments for shrinkage and warping shall be made by the Contractor for one year after substantial completion. Wall and partition framing: Interior and exterior partition sluds shall be 16" O.C., Double stude at all

possible shrinkage allowed for. New structure shall be

openings. Use 2x4 at interior and exterior walls. All structural fastenings shall comply with Michigan 200 Building Code. Where flush framing is indicated, method of fastening shall be by means of code-approved gaiv, steel beam or joist hanger attached with approved hanger nalls; Simpson

"Strong-Tie" or approved equal. All nulls or other

fasteners in exterior finish shall be hot-dipped galv. Provide engineered wood products as shown on the drawings. Store and stack on site in strict compliance with manufacturers written instructions Provide to architect shop drawingd of location and size of all engineered wood products intended to be used, prior to orderin=g materials. Do not cut or notch LVL beams. Install all engineered wood products in strict compliance with manufacturers

Scope of work shall include all miscellaneous blocking, bridging, firestopping and bracing as indicated and as further required by Michigan Building Code and by other Authorities having jurisdiction over the work.

Exterior trim shall pre-primed Hardy Plank trim in sizes indicated on the drawings. Install Hardy Plank products in strict accordance with manufacturers written instructions. Remove and replace defective

Provide recycled wood decking, railing and other components as shown on the drawings, install recycled wood decking using blind screws from the decking underside. Install all recycled wood products In strict accordance with manufacturers written instructions. Remove and replace all damaged recycled wood components.

Condition wood materials to average prevailing numidity conditions in installation areas prior to

installing. All millwork and exterior finish shall be carefully cut, erected and secured with tight-fitting joints. . Use fine finishing nails for all finish work; hot dipped galvanized @ exterior finish. Exposed nails shall be set for putty. All work shall be thoroughly cleaned and sanded to receive the finish. Sharp corners of finish woodwork shall be slightly chamfered. Stogger conceal or place joints in inobtrusive locations. Back mitre outside corners, cope or butt inside corners,

All work shall be installed plumb, level, sayare, true to line and plane, and in conformance with the highest standards of quality professional workmanship.

Vapor barrier shall be dear polyethylene sheet, mil thick, and shall extend over full extent of interior surfaces of all insulated framing cavities. Staple securely and neatly in place, lapped minimum 6" at all joints, which shall occur at structural members. Vapor barriers shall be cut and fit very enugly at all electrical boxes and other obstructions, and shall be taped to all obstructions where cutting s necessary.

Wherever exterior wall, floor or roof sheathing is removed during construction, corefully insulate with fiberglass batt insulation before closing in. Stuff-insulate corefully with insulation ecraps all door and window rough opening spaces at new work, and coulk R.O. perimeters with butyl coulking compound where gaps too narrow to receive insulation.

Caulk carefully gaps, volds, through Joints and cracks in perimeter construction with butyl caulking compound as required to assure a weathertlaht exterior and minimal air infiltration.

Provide continuous exterior air inflitration barrier around entire house under new siding, at all exterior wall surfaces, applied to face of existing siding. Tyvek' as manufactured by Dupont. Wrap entire surfaces, cut out @ openlings, lap sheets and staple in strict occord with manufacturers printed instructions. Tape all windows and door nail fins.

New siding is corrugated galvanized steel, 24 guage, wide, "corrugated" with Galvalume finish. Siding and trim is equal to Pac Clad. Provide J chanel drlp, and other siding trim with Kynar 500 finish Trim oard and casing is pre primed Hardie Trim materials in sizes shown on the drawings. Deliver and store according to manufacturers written instructions. Inspect substrate for any defects or irregularities prior to installation, insure that wind infiltration barrier is complete prior to starting Installation. Install siding and panels trim in strict accordance with manufacturers written instructions for weathertight fit. Install level and true in longest lengths possible, avoiding butt joints wherever possible. Remove any diffective siding or trim.

Fasteners: hot dipped zinc coated siding naits, in lengths as recommended by siding manufacturer for siding thickness and substrate conditions.

Provide siding manufacturer's warranty on installed work, agreeing to pay for repair or replacement of siding which fails due to manufacturing defects within years of substantial completion date. Comply with instructions and recommendations of

Caulking: Provide exterior grade sealant at joints as necessary to weatherproof installation. Sealant is Provide feit underlay shingle roofing, flashing and

dripedge as indicated an drawings, required by job conditions and herein specified. Deliver roofing materials in monufacturer's unopened labeled containers. Store materials to avoid water

damage; store rolled goods on end; stack all materials neatly, securely and in well-protected way. Proceed with shingle work only after substrate construction and penetrating work have been completed, and only when weather conditions are in compliance with manufacturer's recommendations and

when substrate is completely dry. Flashing and dripedge, as indicated and as further required by job conditions, shall be .030 pre-finished shop brake, aluminum. Lip and pop rivot all joints neatly and properly. Lap and tuck inside and outside corners in dripedge neatly and properly.

New lexan is equal to Dealas Acrylic Building Products 888.233.4527. Frovide in manufacturers standard multi skinned arrylic & thick, Alltop Clear Store, handle, and install lexan products in strict accordance with manufacturers written Instructions. Install-closures, flashing, edges, etc. as shown on the drawings and as required by manufacturer, remove and replace all defectie lexan

New gutters and downspouts are pre finished aluminum 4", 0.040 thick, in color to match existing. Install gutters in longest lengths possible to avoid Joints. Route downspouts to underground collection

DIVISION 8 - WINDOWS

Windows shall be of type manufactured and quality, and to extent, indicated on drawings.

Comply with manufacturer's instructions and recommendations for installation of clad wood window units, hardware, accessories, and other components of work. Provide locking hardware on all operable windows not so equipped by manufacturer. Provide cap flashing and drip at tops of all windows. Set units plumb, level, and true to line, without warp or rack of Frames or sash. Provide proper support and anchor securely in place. Refer to Section-7 for Joint fillers and sealants required for Installation.

New skylights are motor operated venting units equal to Vellux or Anderson. Store skylights and accessories in strict accordance with manufacturers written instructions. Provide all necessary accessories including proper base (step) flashing and manufacturer's standard continuous counter-flashing at all roof windows (skylights). Set roof windows as Indicated; square and true to plane in rough opening and at manufacturer's specified curb height.

install skylights in strict accordance with monufacturer's written instructions for weather tight seal. Provide to owner manufacturer written warranty against leaking. Replace all defective skylights.

Glazing, as indicated, shall be preassembled sealed insulated glass units which camply with ASTM E774, Class A, requirements. Fabricate insulating glass to sizes required for glozing openings indicated, with edge clearances and tolerances complying with recommendations of glass manufacturer. Provide I thick insulated low emission glass. Cavity to be filled with argon gas for maximum insulated value.

Protection is required through remainder of construction period, to ensure that wood window units will be without damage or deterioration at time of

Wash and polish glass on both faces not more than four days prior to date scheduled for final inspection. Comply with glass manufacturer's recommendations for final cleaning and maintenance. Adjust operating sash and hardware to provide smooth operation with tight, weatherproof closure. Lubricate hardware and moving parts

Paint all paintable surfaces within the limits of, and as directly affected by, the scope of all scheduled new work, as indicated and to include but not be

-exterior trim and appurtenances -stain and clear finish on woodwork as indicated

Paint shall be highest quality grade manufactured by Pratt & Lambert, Sherwin Williams, Benjamin Moore PPG Industries or Devoe. All paint shall be delivered to the site in original containers labeled by manufacturer, with seals unbroken. Substitutions will be acceptable only upon written approval of Architect,

Stain shall be of color as selected by owner; 'Cabot', 'Minwax' or approved equal. Clear finish where indicated shall be 'zip quard', mfd. by Star Bronze Co., or approved equal; finish = "satin" unless

Rub stain to dry and uniform appearance before applying finish. Urethone shall be three coat application, each coat applied in smooth consistent monner, free of drips, voids or brush marks. Allow each successive coat to dry completely before continuing. Sand floor lightly with very fine grit aluminum oxide sandpaper, or by other approved method, and rub until smooth and dust free with tack rag after each coat, except last coat, has dried

-Exterior trim: Two coats exterior grade Latex. Allow for two colors.

Schedule of Painting:

Applicator must examine areas and conditions under which painting work is to be applied and notify Contractor of conditions detrimental to proper and timely completion of work. Do not proceed with work until unsatisfactory conditions have been corrected in a mignner acceptable to Applicator Starting of painting work will be construed as Applicator's acceptance of surfaces and conditions within any particular area.

Dropoloths shall be used for protection of all surfaces. Employ skilled mechanics to insure quality workmanship. Use applicators and techniques best sulted for the type of materials being finished. Use brushwork and rollers on interior; all brushwork on exterior; no spraying is permitted except where specifically called for

Apply water-base paints only when temperature of surfaces and surrounding air are between 50°F and 90°F, unless otherwise permitted by paint manufacturer's printed instructions. Apply solvent-thinned paints only when the temperature of surfaces and surrounding air are between 45°F and 95°F, unless otherwise permitted by paint manufacturer's printed instructions.

Remove hardware, hardware accessories, machined surfaces, plates, lighting fixtures, and similar items in place and not to be finish-painted, or provide surface-applied protection prior to surface preparation and painting operation. Remove, if necessary, for complete painting of items and adjacent surfaces. Following completion of painting of each space or area, reinstall removed items. Metal plates and appurtenances shall be painted with enamel paint of a color to match surrounding surfaces

Trim: Clean surfaces to be painted of dirt, oil, or other foreign substances with scrapers, mineral spirits, and sandpaper, as required. Sandpaper smooth those finished surfaces exposed to view, and dust off. Sandpaper smooth when dried.

Apply paint film of uniform finish, color and appearance. Give special attention to insure that surfaces, including edges, corners, crevices, welds and exposed fasteners receive a dry film thickness equivalent to that of flat surfaces. Points shall he evenly and smoothly spread and shall be free of any runs, drips, sags, brush marks or holldays. No successive coats shall be applied until the preceding coat is dry and hard.

It is the overriding concern and intent of the Contract Documents for work under this Section that all painting work be of good quality, complete and comprehensive, and, upon completion, that the premises be in acceptable move-in condition throughout. Consult with owner in field as specific job conditions require. A less than professional job will be considered unocceptable.

Upon completion of painting work, clean window glass and other paint-spattered surfaces. Remove spattered paint by proper methods of washing and scraping, using care not to scratch or otherwise damage

Protection: Protect work of other trades, whether to be painted or not, against damage by painting and finishing work. Correct any damage by cleaning, repairing or replacing, and repainting, as acceptable to owner. Provide "Wet Paint" signs as required to protect newly-painted finishes. Remove temporary protective urappings provided by others for protection of their work, after completion of painting operations. At the completion of work of other trades, touch-up and restore all damaged or defaced

Upon completion of floor finishing, apply heavy paper protection over floors. Leave paper protection in place until final cleaning. Prior to final cleaning any portion of the work found damaged shall be repaired

Remove and replace plumbing and mechanical items as required which are in conflict with new work. All materials used shall be new and free from defects. Egylpment shall be UL-listed.

All work performed or provided under this contract shall be guaranteed against defects in workmanship and/or materials for a minimum period of one year from date of installation.

submitting a bid, Contractor represents that he has visited the site, familiarized himself with all conditions and limitations under which this project is o be performed, and correlated his observations with the requirements of the Drawings and Specifications. Failure to determine existing conditions and limitations shall be considered a basis for the arantina of additional compensation.

DIVISION 16 - ELECTRICAL SYSTEM

remove and replace all electrical Items in conflict with new work. All new light fixtures are furnished by owner. Install at locations shown on the

Data indicated on the Drawings are as exact as could be secured, but their absolute accuracy is not guaranteed. Exact locations, distances, levels, and other conditions will be governed by field conditions. Use the Drawings and these Specifications for guidance, and secure the Architect's approval of all changes in location. Verify all measurements at the site. No extra compensation will be made because of differences between locations shown on the Drawings and measurements at the building;

It shall be the contractor's responsibility to perform all circuiting calculations for all new electrical work as required for approval by local authorities.

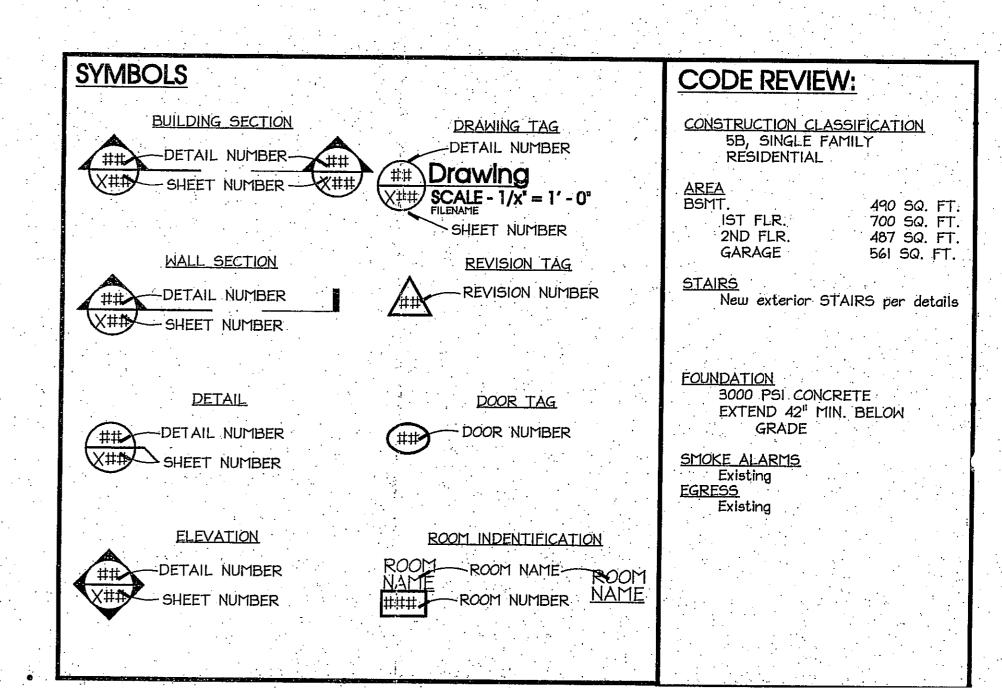
The Contractor shall properly ground the entire system as required by all regulations, National Electrical Code, and any other authority having

Provide ground fault interrupters as indicated and as further required by authorities having jurisdiction. The interrupting capacity of circuit breakers shall be as required by code. Convenience outlets shall be provided as indicated, and as further required, at no additional charge, to

satisfy fully code and other requirements of all authorities having jurisdiction. Receptacles shall be 3-pole grounding type, and toggle type switches shall be quiet flush tumbler type, single or double pole, three or four way, toggle or key operated, as required; 'Leviton',

'Bryant' or approved equal; ivory color high impact

All work shall comply with National Electrical Code edition in force, and with all regulations of all authorities having jurisdiction over the work. Obtain and pay for all underwriter's certificates, permits, certificates of inspection and approvals required by authorities having jurisdiction, and deliver same to owner upon completion of the work.



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SHEET NUMBER



Charter Township of Genoa

ZONING BOARD OF APPEALS MAY 15th, 2012 CASE #12-11

PROPERTY LOCATION:

4582 Filbert

PETITIONER:

Dennis Dahlmann

ZONING:

MUPUD (Mixed Use Planned Unit Development)

WELL AND SEPTIC INFO:

Water and sewer

PETITIONERS REQUEST:

Requesting a side yard variance to allow for a new home.

CODE REFERENCE:

Oak Pointe Hills PUD

STAFF COMMENTS:

Petitioner is seeking a variance for a recently constructed home. Due to an error during the original siting of the home on the lot, the home

was constructed slightly too close to the side yard line.

	Front	One Side	Other Side	Rear	Height	Watterfiront
Setbacks of Zoning	40	10	10	50	35	N/A
Setbacks Requested		9				
Variance Amount		1				

GENOA TOWNSHIP APPLICATION FOR VARIANCE

2911 DORR RD. BRIGHTON, MI 48116 (810) 227-5225 FAX (810) 227-3420 Meeting Date: Case # PAID Variance Application Fee \$125.00 for residential - \$300.00 for commercial/industrial Copy of paperwork to Assessing Department Article 23 of the Genoa Township Zoning Ordinance describes the Variance procedure and the duties of the Zoning Board of Appeals. (Please see attached) DENNIS DAVIMANN The applicant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of their property because the following peculiar or unusual conditions are present which justify variance. 1. Variance Requested: Side Cert hade Intended property modifications: This variance is requested because of the following reasons: Unusual topography/shape of land Other (explain)_.

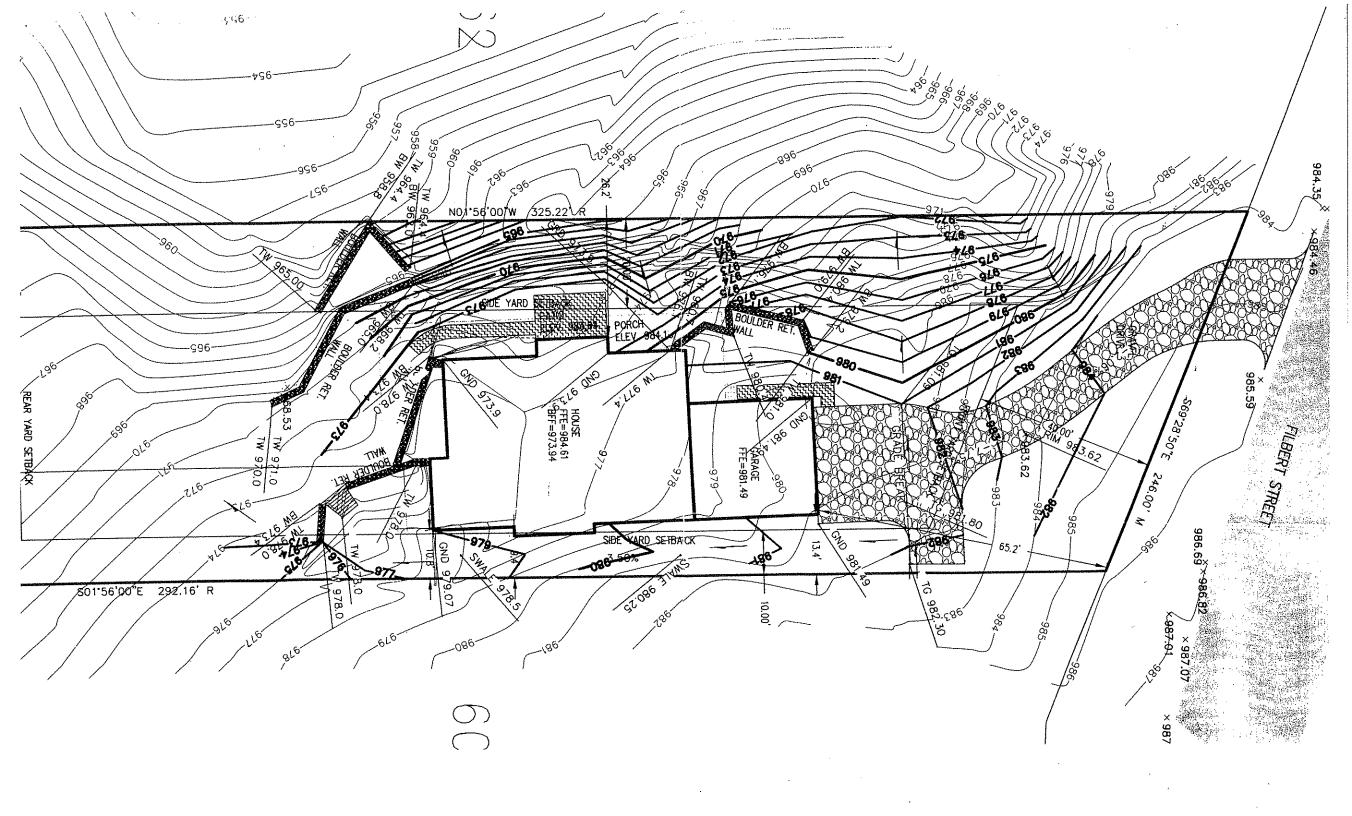
Variance Application Requires the Following:

- • Pari aları den direktini delik ili delik Ala adınmış delik ili delik Aları delik firi delik delik
- Waterfront properties must indicate setback from water for adjacent homes
- Property must be staked showing all proposed improvements 5 days before the meeting and remain in place until after the meeting
- Petitioner (or a Representative) must be present at the meeting

Signature: // // Signature:

Any Variance not acted upon within 12 months from the date of approval is invalid and must receive a renewal from the ZBA.

After the decision is made regarding your variance approval contact Adam or Amy at the township office to discuss what your next step is.





GENOA CHARTER TOWNSHIP ZONING BOARD OF APPEALS April 17th, 2012 6:30 P.M.

MINUTES

Chairman Dhaenens called the regular meeting of the Zoning Board of Appeals to order at 6:30 p.m. at the Genoa Charter Township Hall. The Pledge of Allegiance was then said. The board members in attendance were as follows: Marianne McCreary, Barbara Figurski, Steve Wildman and Jeff Dhaenens. Also present was Township staff member Adam VanTassell and 6 persons in the audience.

Moved by Figurski, supported by Wildman, to approve the agenda. Motion carried unanimously.

A call to the public was made with no response.

12-03...A request by Christine Reum, Section 11, 1856 Hughes Road, for a size variance and a side and front yard variance to construct an addition to an existing non-conforming structure and to construct a new detached accessory structure.

Christine Reum – new proposed construction no longer is being made, petition is now only for the addition to the existing non-conforming addition.

A call to the public was made with no response.

Moved by Wildman, Supported by Figurski, to deny Case #12-03. The finding of fact is the petition does not meet all the requirements of Section 23.05.03, the structure was built on to another property, the building was nonconforming as well as the reasons set forth by the Township Attorney in his 2/29/2012 letter. Staff is directed to work with the petitioner on removing the structure immediately. **Motion carried unanimously.**

12-06...A request by Lance Newberry, Sec 30, 2929 Coon Lake Road, for a side yard variance to construct an addition to a detached accessory structure.

Scott Parisian, contractor for Mr. Newberry and acting on his behalf.

A call to the public was made with no response.

Moved by Wildman, Supported by Figurski, to deny Case #12-06. The finding of fact is the petition does not meet all the requirements of Section 23.05.03 and that there is available property to build a conforming addition. Motion carried unanimously.

12-07...A request by Krug Ford, Sec 6, 2798 E. Grand River, for a sign variance to install a new sign on an existing nonconforming pole.

Kevin Deters, from Metro Detroit Signs, 23554 Hoover Michigan, on behalf of Krug Ford.

A call to the public was made with no response.

Moved by Figurski, Supported by McCreary, to deny Case #12-07. The finding of fact is the petition does not meet all the requirements of Section 23.05.03, that per the ZBA decision of 8/20/2002 the sign was to be removed when it was no longer a Lincoln Mercury franchise as part of the variance at that time. Motion carried as follows: Ayes – Dhaenens, Figurski, McCreary. Nays – Wildman.

12-08...A request by Joseph Hobmeier, Section 21, 4790 Stillmeadow, for a size variance to construct a pergola.

Mr. and Mrs. Hobmeier were in attendance, representing themselves.

Joe Denatti – Association President. Stated association had approved the construction and was in favor of the petition.

Moved by McCreary, supported by Wildman. The finding of fact is that it meets all the requirements of Section 23.05.03 and the location of the structure on the lot and its exposure to the elements. **Motion carried unanimously.**

Moved by Figurski, supported McCreary to the approve the March 2012 Zoning Board of Appeals minutes with the corrections. Motion carried unanimously.

Moved by Figurski, supported by McCreary to adjourn the Zoning Board of Appeals meeting at 7:28 p.m. **Motion carried unanimously.**